



WEBER COUNTY PLANNING DIVISION

Administrative Review Meeting Agenda

August 13, 2014

4:00 - 5:00 p.m.

1. Consideration and action on an administrative application, final approval of Trento Estates Subdivision (2 lots) located at 1445 S. and 1529 S. 5100 W. – John Degiorgio Applicant
2. Consideration and action on an administrative application, final approval of Blue Acres Subdivision phase 3 (1 lot) located at approximately 4000 W. 2200 S. – Romney Buck Applicant
3. Consideration and action on an administrative application, final approval of Mitch Painter Subdivision (1 lot) located at approximately 1779 S. 3500 W. – Phil Hancock Agent
4. Consideration and action on an administrative application, final approval of Woodland Estates Subdivision Unit 2 3rd Amendment (1 lot) located at approximately 2575 E Woodland Drive – A. Zach Tanner, Blue Spruce Investments LLC Applicant
5. Consideration and action on an administrative application, final approval of Bailey Acres Cluster Subdivision Phase 1 First Amendment (2 lots) located at approximately 3203 E. 4650 N. – Nan Dantz Agent
6. Consideration and action on a request to amend an existing site plan for Kimberly Clark by expanding the guard station to include a private fitness room/gymnasium located at approximately 2010 N Rulon White Blvd. – Kevin Thompson for Kimberly Clark Corporation, Mark Hilles – Mountain West Architects
7. Adjournment

The meeting will be held in the Weber County Planning Division Conference Room, Suite 240, in the Weber Center, 2nd Floor, 2380 Washington Blvd., Ogden, Utah unless otherwise posted



In compliance with the American with Disabilities Act, persons needing auxiliary services for these meetings should call the Weber County Planning Commission at 801-399-8791



Staff Report for Administrative Subdivision Approval

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on an administrative application, final approval of Trento Estates Subdivision (2 lots).
Agenda Date: Wednesday, August 13, 2014
Applicant: John Degiorgio
File Number: LVT 021314

Property Information

Approximate Address: 1445 S and 1529 S 5100 W, Ogden UT
Project Area: 1.84 acres
Zoning: Agricultural (A-2) Zone
Existing Land Use: Residential
Proposed Land Use: Residential
Parcel ID: 15-052-0051 and 15-052-0019
Township, Range, Section: T6N, R2W, Section 19

Adjacent Land Use

North:	Residential	South:	Residential
East:	Residential	West:	Agricultural

Staff Information

Report Presenter: Ben Hatfield
bhatfield@co.weber.ut.us
801-399-8766
Report Reviewer: JG

Applicable Ordinances

- Weber County Land Use Code Title 101 (General Provisions) Section 7
- Weber County Land Use Code Title 104 (Zones) Chapter 7 (A-2 Zone)
- Weber County Land Use Code Title 106 (Subdivisions)

Type of Decision

- **Administrative Decisions:** When the Planning staff is acting as the land use authority, it is acting in an administrative capacity and has much less discretion. Examples of administrative applications are design reviews, flag lots, and subdivisions. Administrative applications must be approved by the Planning staff if the application demonstrates compliance with the approval criteria.

Background

The applicant is requesting to approval on the Trento Estates Subdivision, located at approximately 1445 South and 1529 South 5100 West in the A-2 Zone. The 0.92 acres proposed lots within this subdivision meet the lot area and lot width requirements of this Zone, as they have more than 40,000 square feet in area and 150 feet in width. Access for the lots will be from 2200 South. The purpose of this subdivision is to further separate agricultural lands associated with the family dairy, from the two existing homes. When doing this it will be required that the remaining acreage is combined with other adjacent parcels which are greater than five acres.

Culinary water service is provided by Taylor West Weber Water. Private septic systems are used for waste water. All review agency requirements must be addressed and completed prior to this subdivision being recorded.

Summary of Administrative Considerations

- Does this subdivision meet the requirements of the Weber County Land Use Code?

The Weber County Land Use Code Title 101 defines "small subdivision" as "An amended subdivision consisting of five (5) or fewer lots and for which no streets will be created or realigned." This subdivision consists of only two (2) lots and no new streets are being created or realigned. The Land Use Code (Subdivisions) also states "With the exception of small subdivisions, the preliminary plan/plat including the phasing plan shall be presented to the Land Use Authority, in this section Planning Commission, for their determination, based upon compliance with applicable ordinances." Based on these requirements, this subdivision qualifies for administrative approval as a small subdivision.

Conformance to the General Plan

Subdivisions that meet the requirements of applicable County Ordinances conform to the General Plan. This subdivision addresses water, wastewater, roads, and other issues which are discussed in the General Plan.

Conditions of Approval

- Requirements of the Weber County Engineering Division
- Requirements of the Weber-Morgan Health Department
- Requirements of the Weber Fire District
- Requirements of the Weber County Surveyors Department

Administrative Approval

Administrative final approval of Trento Estates Subdivision 3 is hereby granted based upon its compliance with the Weber County Land Use Code. This approval is subject to the requirements of applicable review agencies and the conditions of approval listed in this staff report.

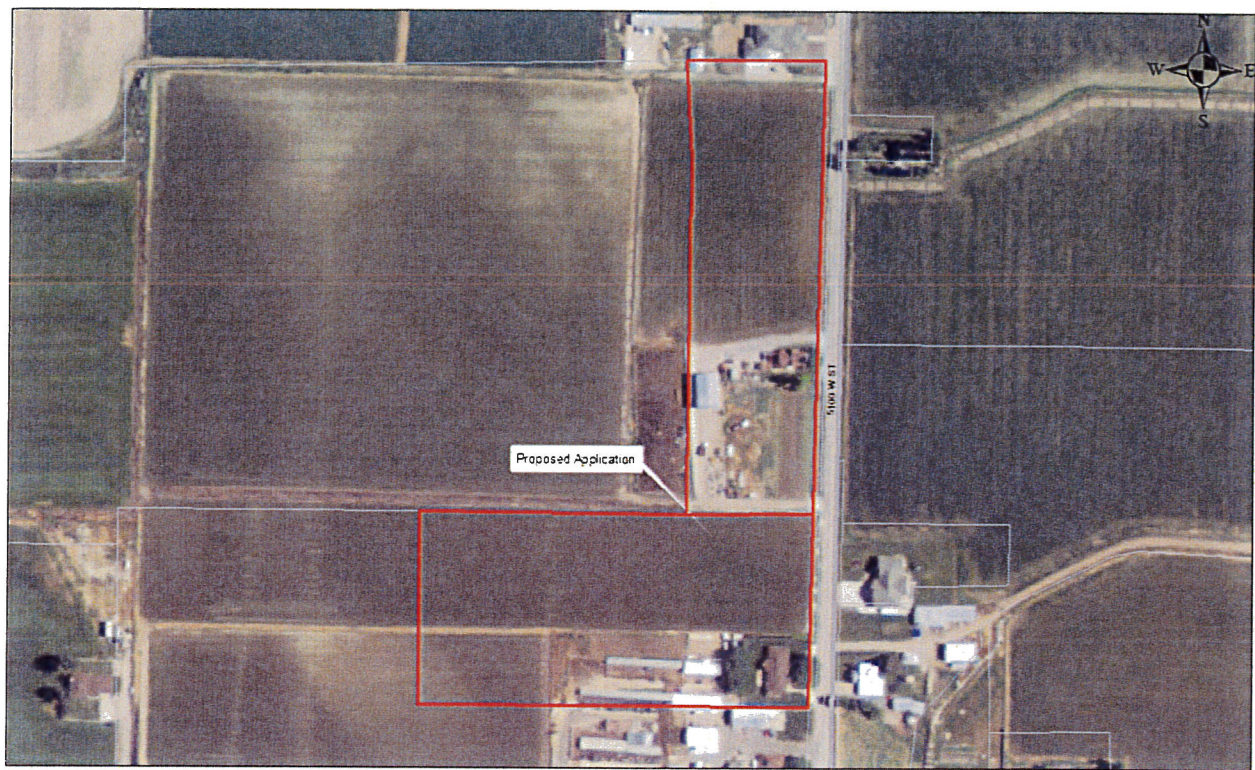
Date of Administrative Approval: Wednesday, August 13, 2014

Sean Wilkinson
Weber County Planning Director

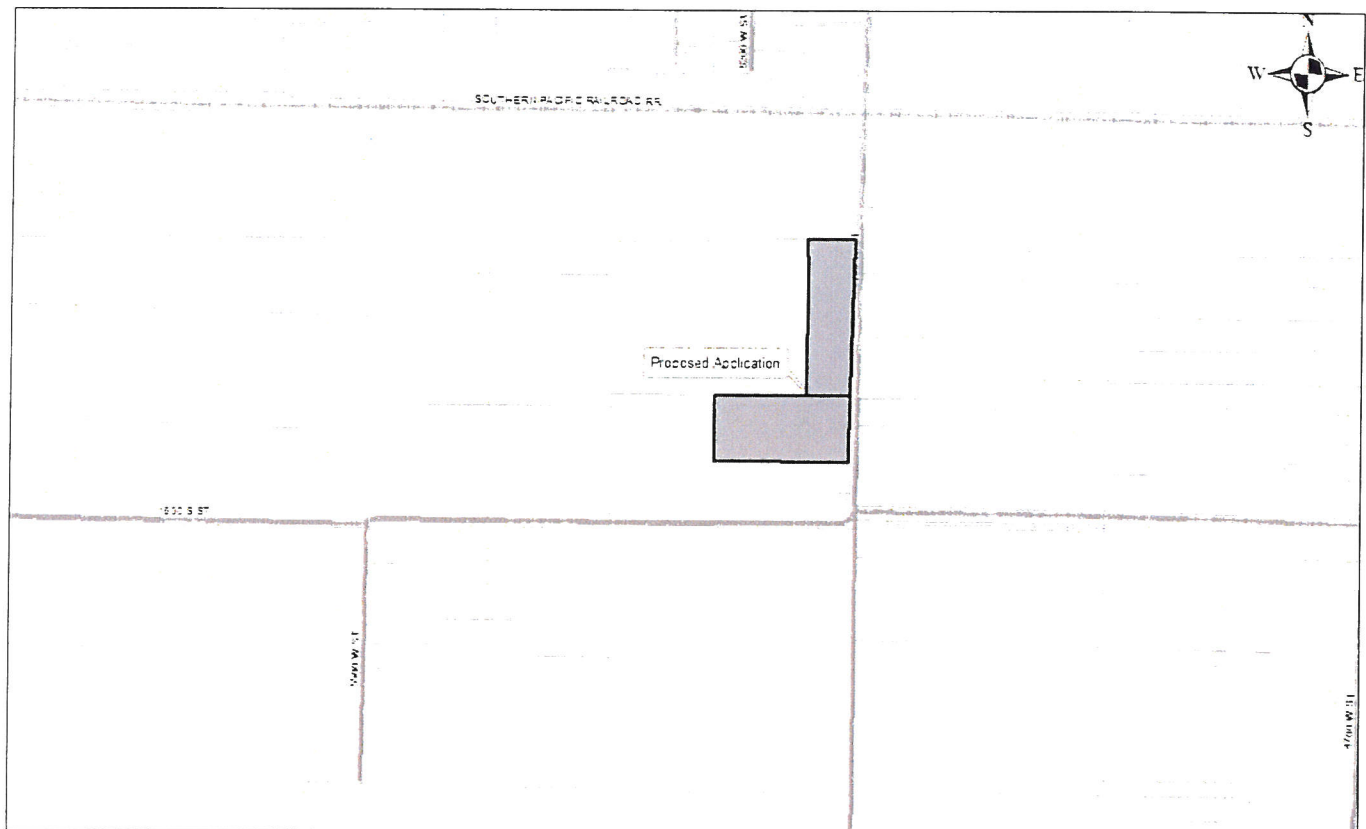
Exhibits

- A. Subdivision Plat

Map 1

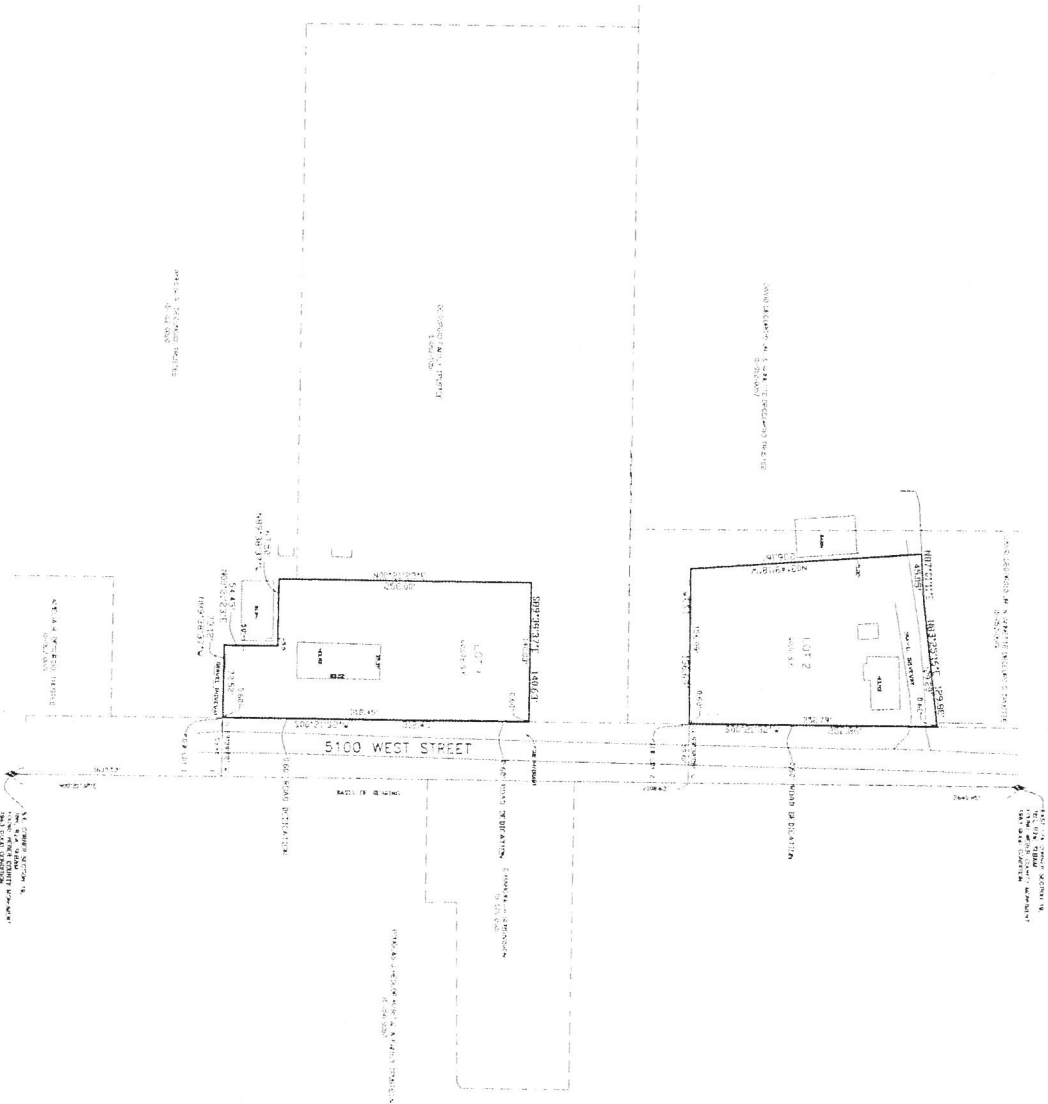


Map 2



APRIL 2013

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Journal of Internal Medicine 247: 115-122

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1. The first of the two main parts of the book is devoted to the study of the structure of the group G . The second part is devoted to the study of the structure of the group H . The book is written in a clear and concise style, and is suitable for use as a textbook or as a reference work.

[illegible]



Staff Report for Administrative Subdivision Approval

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on an administrative application, final approval of Blue Acres Subdivision phase 3 (1 lot).
Agenda Date: Wednesday, August 13, 2014
Applicant: Romney Buck
File Number: LVB 050714

Property Information

Approximate Address: 4000 W 2200 S, Ogden UT
Project Area: 1.112 acres
Zoning: Agricultural (A-1) Zone
Existing Land Use: Agricultural
Proposed Land Use: Residential
Parcel ID: 15-078-0130
Township, Range, Section: T6N, R2W, Section 28

Adjacent Land Use

North:	Residential	South:	Agricultural
East:	Residential	West:	Agricultural

Staff Information

Report Presenter: Ben Hatfield
bhatfield@co.weber.ut.us
801-399-8766
Report Reviewer: JG

Available Ordinances

- Weber County Land Use Code Title 101 (General Provisions) Section 7
- Weber County Land Use Code Title 104 (Zones) Chapter 5 (A-1 Zone)
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Type of Decision

- **Administrative Decisions:** When the Planning staff is acting as the land use authority, it is acting in an administrative capacity and has much less discretion. Examples of administrative applications are design reviews, flag lots, and subdivisions. Administrative applications must be approved by the Planning staff if the application demonstrates compliance with the approval criteria.

Background

The applicant is requesting to approval on the Blue Acres Subdivision phase 3, located at approximately 4000 West 2200 South in the A-1 Zone. The 1.112 acre proposed lot within this subdivision meets the lot area and lot width requirements of this Zone, as it has more than 40,000 square feet in area and 150 feet in width. Access for the lot will be from 2200 South, and the eastern boundary being a Hooper Irrigation Company canal. The western boundary of the subdivision is a lot in the Blues Acres Subdivision phase 2, approved earlier this year. The applicant has been working with Hooper Irrigation Company on improvement requirements and fence location on the canal.

Culinary water service is provided by Taylor West Weber Water. Pressurized secondary water is provided by Hooper Irrigation Company. All review agency requirements must be addressed and completed prior to this subdivision being recorded.

Summary of Administrative Considerations

- Does this subdivision meet the requirements of the Weber County Land Use Code?

The Weber County Land Use Code Title 101 defines "small subdivision" as "An amended subdivision consisting of five (5) or fewer lots and for which no streets will be created or realigned." This subdivision consists of only one (1) lot and no new streets are being created or realigned. The Land Use Code (Subdivisions) also states "With the exception of small subdivisions, the preliminary plan/plat including the phasing plan shall be presented to the Land Use Authority, in this section Planning Commission, for their determination, based upon compliance with applicable ordinances." Based on these requirements, this subdivision qualifies for administrative approval as a small subdivision.

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- Requirements of the Weber County Engineering Division
- Requirements of the Weber-Morgan Health Department
- Requirements of the Weber Fire District
- Requirements of the Weber County Surveyors Department

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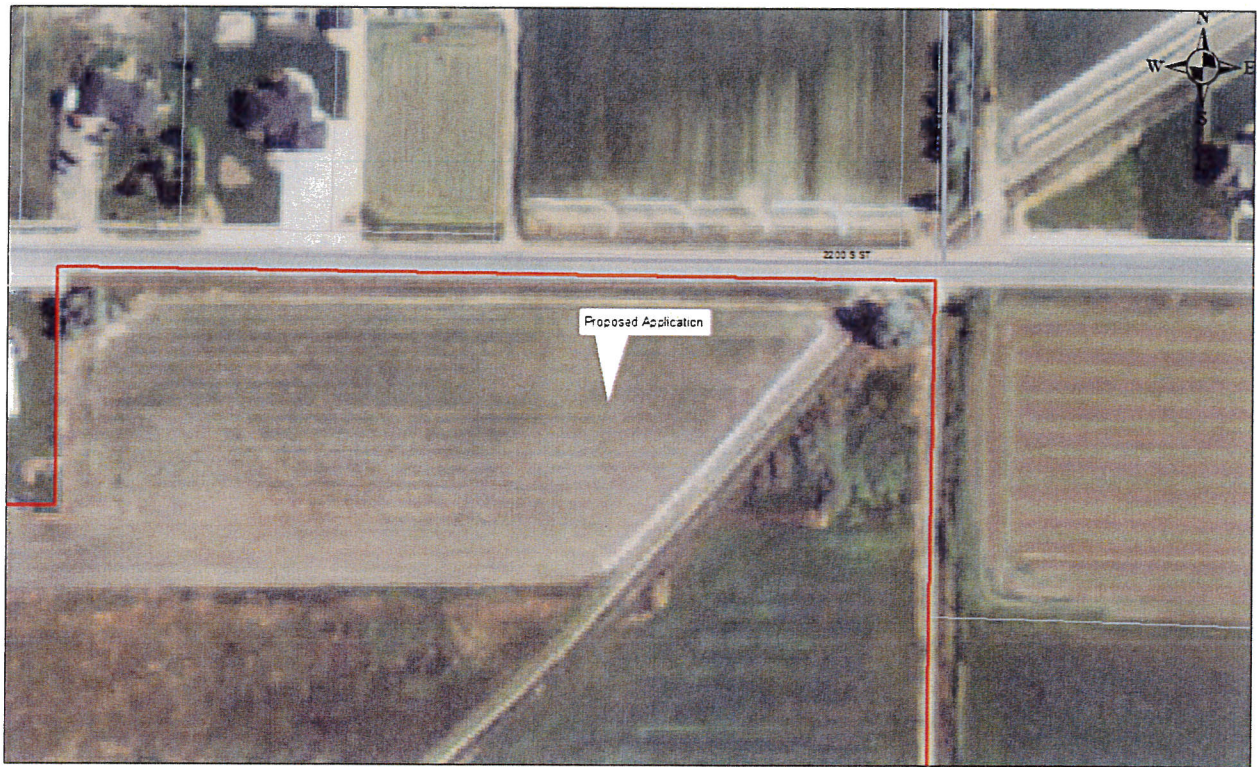
Date of Administrative Approval: Wednesday, August 13, 2014

Sean Wilkinson
Weber County Planning Director

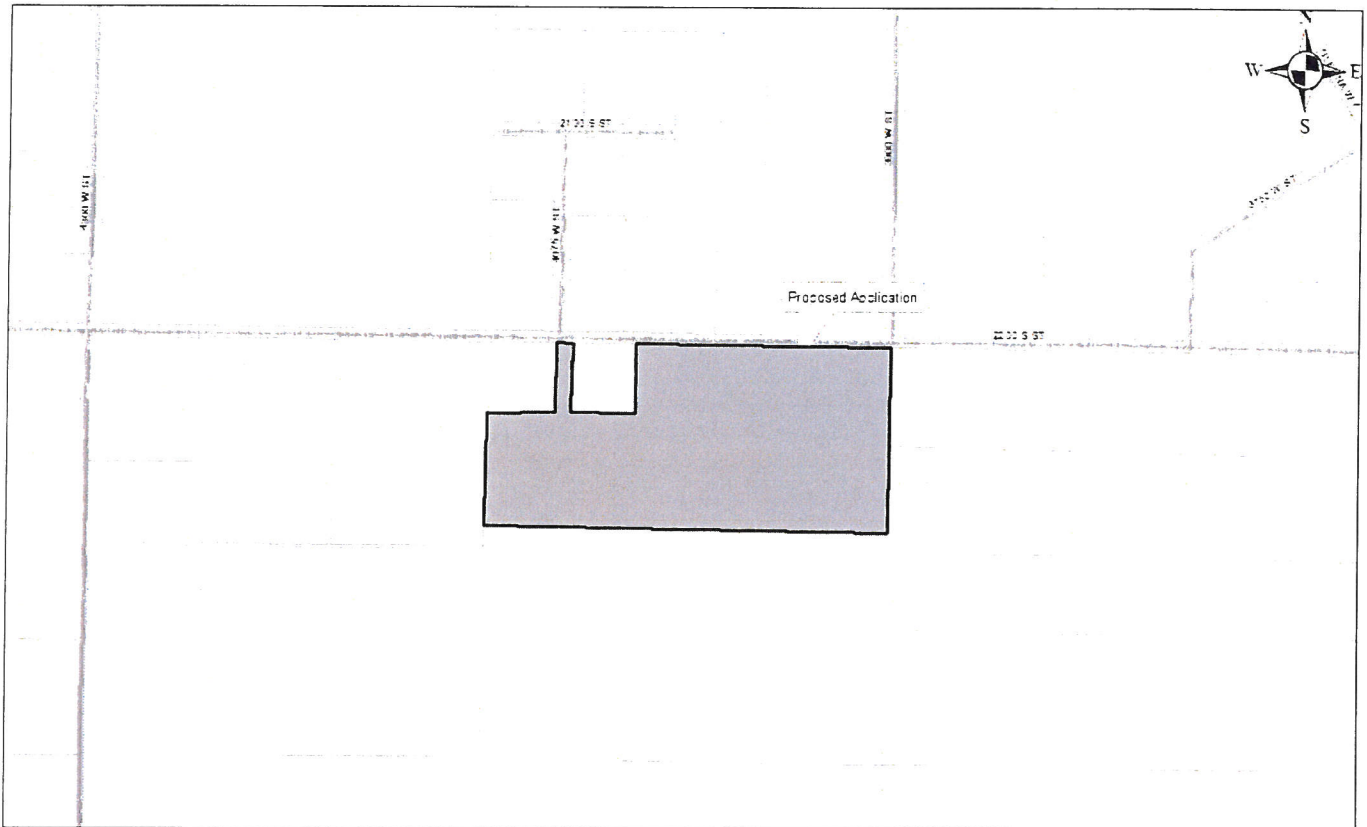
Exhibits

- A. Subdivision Plat

Map 1



Map 2



A PART OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
WEBER COUNTY, UTAH

ACQUAIRE IS THE EQUIPMENT USED IN THE AGRICULTURAL ZONES. AGRICULTURAL OPERATIONS ARE STOPPED IN THE ZONE OF DISTANCE FROM A NUCLEAR ZONE ARE REPORTED BY ANY TOOL INCLUDING THE OPERATION OF A TOOL. ACQUAIRE AND TO ALLOWED AGRICULTURAL USE. SHOULD BE SUBJECT TO RESTRICTIONS OF THE BASIS THAT IT INCLUDES WITH ACTIVITIES OF THE REPORTS OF THE SUBDIVISION. (AUO 040 11-02 JANUARY 26, 1982)

[illegible]

THE INTERIOR OF THE CARP SHOWS THE FOLLOWING FEATURES: 100 LOTS AND STREETS AS SHOWN, ALL BUILDINGS AND ACCESSORIES ARE 5/8" x 24" GREEN AND PLASTIC CARP STANDARD TRUCKS & ASSOCIATES.

[illegible]

A major effort is being made to develop the following new products for the U.S. market:

- 1. A new line of 100% cotton shirts, blouses, and dresses.
- 2. A new line of 100% cotton shirts, blouses, and dresses.
- 3. A new line of 100% cotton shirts, blouses, and dresses.
- 4. A new line of 100% cotton shirts, blouses, and dresses.
- 5. A new line of 100% cotton shirts, blouses, and dresses.
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- 7. A new line of 100% cotton shirts, blouses, and dresses.
- 8. A new line of 100% cotton shirts, blouses, and dresses.
- 9. A new line of 100% cotton shirts, blouses, and dresses.
- 10. A new line of 100% cotton shirts, blouses, and dresses.

[illegible]

THIS IS TO CERTIFY THAT THIS SUBSCRIPTION PLAN WAS FULLY APPROVED BY THE WHITE COUNTY PLANNING COMMISSION. SIGNED THIS _____ DAY OF _____, 20____.

INFORMATION STANDARDS AND DRAWINGS FOR THE SUBMISSION CONFORM WITH THE CURRENT STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE INFORMATION.

RELOCATION OF STREETS AND OTHER PUBLIC WAYS AND
TOWNSHIP, GUARANTEED OF PUBLIC IMPROVEMENTS
ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY
APPROVED AND ACCEPTED BY THE COMMISSIONERS OF

For a full description of the data set, see the *Survey of the Health of the Nation* (1994) and the *Survey of the Health of the Nation* (1995).

AS ASSOCIATED WITH THE SUPERIOR COURT OF THE DISTRICT OF COLUMBIA AND THE COURTS OF APPEALS THEREIN.

4115 WEST 2500
CITY OF DENVER, CO 80202

[illegible]

the hydroperoxide moieties of the oxen, decreased levels of the oxen and a consequent increase in the levels of the oxen. The authors conclude that the oxen are the main source of the oxen in the environment. The authors also conclude that the oxen are the main source of the oxen in the environment. The authors also conclude that the oxen are the main source of the oxen in the environment.

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Reeve
 & Associates, Inc.
 100 Cambridge Street, Suite 1100, Boston, MA 02114
 Tel. (617) 738-7100, Fax (617) 738-7101, Telex 980000, Cable 544525

$$M_{\text{C}2\text{H}^+}, \text{C}_{\text{OH}^+}, \text{H}_{\text{CN}}, \text{C}_{\text{CN}}, \text{C}_{\text{H}^+}$$



Staff Report for Administrative Subdivision Approval

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on an administrative application, final approval of Mitch Painter Subdivision (1 lot).
Agenda Date: Wednesday, August 13, 2014
Applicant: Phil Hancock, agent
File Number: LVM 052714

Property Information

Approximate Address: 1779 S 3500 W; Ogden UT
Project Area: 1.371 acres
Zoning: Agricultural (A-1) Zone
Existing Land Use: Residential/ Agricultural
Proposed Land Use: Residential
Parcel ID: 15-060-0064
Township, Range, Section: T6N, R2W, Section 22

Adjacent Land Use

North:	Residential	South:	Residential
East:	Residential	West:	Residential

Staff Information

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Report Reviewer: JG

Applicable Ordinances

- Weber County Land Use Code Title 101 (General Provisions) Section 7
- Weber County Land Use Code Title 104 (Zones) Chapter 5 (A-1 Zone)
- Weber County Land Use Code Title 106 (Subdivisions)

Type of Decision

- **Administrative Decisions:** When the Planning staff is acting as the land use authority, it is acting in an administrative capacity and has much less discretion. Examples of administrative applications are design reviews, flag lots, and subdivisions. Administrative applications must be approved by the Planning staff if the application demonstrates compliance with the approval criteria.

Background

The applicant is requesting to approval on the Mitch Painter Subdivision, located at approximately 1779 South 3500 West in the A-1 Zone. The 1.371 acre proposed lot within this subdivision meets the lot area and lot width requirements of this Zone, as it has more than 40,000 square feet in area and 150 feet in width. The 1.371 acre lot is being separated from a 17.47 acre parcel. Access for the lot will be from 3500 West, and additional road dedication will be provided for the widening of the roadway.

Culinary water service is provided by Taylor West Weber Water. Secondary water rights are required through Hooper Irrigation Company. One new fire Hydrant has been required from the Weber Fire District. All review agency requirements must be addressed and completed prior to this subdivision being recorded.

Summary of Administrative Considerations

- Does this subdivision meet the requirements of the Weber County Land Use Code?

The Weber County Land Use Code Title 101 defines "small subdivision" as "An amended subdivision consisting of five (5) or fewer lots and for which no streets will be created or realigned." This subdivision consists of only one (1) lot and no new streets are being created or realigned. The Land Use Code (Subdivisions) also states "With the exception of small subdivisions, the preliminary plan/plat including the phasing plan shall be presented to the Land Use Authority, in this section Planning Commission, for their determination, based upon compliance with applicable ordinances." Based on these requirements, this subdivision qualifies for administrative approval as a small subdivision.

Conformance to the General Plan

Subdivisions that meet the requirements of applicable County Ordinances conform to the General Plan. This subdivision addresses water, wastewater, roads, and other issues which are discussed in the General Plan.

Conditions of Approval

- Requirements of the Weber County Engineering Division
- Requirements of the Weber-Morgan Health Department
- Requirements of the Weber Fire District
- Requirements of the Weber County Surveyors Department

Administrative Approval

Administrative final approval of Mitch Painter Subdivision is hereby granted based upon its compliance with the Weber County Land Use Code. This approval is subject to the requirements of applicable review agencies and the conditions of approval listed in this staff report.

Date of Administrative Approval: Wednesday, August 13, 2014

Sean Wilkinson
Weber County Planning Director

Exhibits

- A. Subdivision Plat

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SAIC, Southcoast Co., Inc.
ACQUISITION OF 5%
INVESTMENT IN
SAIC, INC. (COMMON)

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Staff Report for Administrative Subdivision Approval

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on an administrative application, final approval of Woodland Estates Subdivision Unit 2 3rd Amendment (1 lot).
Agenda Date: Wednesday, August 13, 2014
Applicant: A. Zach Tanner, Blue Spruce Investments LLC
File Number: LVW 070314

Property Information

Approximate Address: 2575 E Woodland Drive; Ogden UT
Project Area: 0.45 acres
Zoning: Residential Estates (RE-20) Zone
Existing Land Use: Vacant/Residential
Proposed Land Use: Residential
Parcel ID: 07-089-0010
Township, Range, Section: T5N, R1W, Section 23

Adjacent Land Use

North:	Residential	South:	Residential
East:	Residential	West:	Residential

Staff Information

Report Presenter: Ben Hatfield
bhatfield@co.weber.ut.us
801-399-8766
Report Reviewer: JG

- Weber County Land Use Code Title 101 (General Provisions) Section 7
- Weber County Land Use Code Title 104 (Zones) Chapter 3 (RE-20 Zone)
- Weber County Land Use Code Title 106 (Subdivisions)

- **Administrative Decisions:** When the Planning staff is acting as the land use authority, it is acting in an administrative capacity and has much less discretion. Examples of administrative applications are design reviews, flag lots, and subdivisions. Administrative applications must be approved by the Planning staff if the application demonstrates compliance with the approval criteria.

The applicant is requesting to amend an existing subdivision, "Woodland Estates Subdivision Unit 2", located at approximately 2575 E Woodland Drive in the RE-20 Zone, by amending existing lot 34.

The proposed amended lot within this subdivision meets the lot area and lot width requirements of this Zone, because they received a variance as to area (BOA 2014-04). The proposed lot is 19,830 square feet. An abnormal condition exists in front of this lot at the intersection of 5950 South and Woodland Drive. A large rock outcropping was left unexcavated in the intersection through the construction of the roadways. Additional road dedication will be done with the proposed amended plat at the corner of the lot that was affected by the shift of roadway improvements.

Culinary water and sewer services are provided by Uintah Highlands Improvement Company and secondary water is required through Weber Basin Water Conservancy. All review agency requirements must be addressed and completed prior to this subdivision being recorded.

Summary of Administrative Considerations

- Does this subdivision meet the requirements of the Weber County Land Use Code?

The Weber County Land Use Code Title 101 defines "small subdivision" as "An amended subdivision consisting of five (5) or fewer lots and for which no streets will be created or realigned." This amended subdivision consists of only one (1) lot and no new streets are being created or realigned. The Land Use Code (Subdivisions) also states "With the exception of small subdivisions, the preliminary plan/plat including the phasing plan shall be presented to the Land Use Authority, in this section Planning Commission, for their determination, based upon compliance with applicable ordinances." Based on these requirements, this subdivision qualifies for administrative approval as a small subdivision.

Conformance to the General Plan

Subdivisions that meet the requirements of applicable County Ordinances conform to the General Plan. This subdivision addresses water, wastewater, roads, and other issues which are discussed in the General Plan.

Conditions of Approval

- Requirements of the Weber County Engineering Division
- Requirements of the Weber-Morgan Health Department
- Requirements of the Weber Fire District
- Requirements of the Weber County Surveyors Department

Administrative Approval

Administrative final approval of Woodland Estates Subdivision Unit 2 3rd Amendment is hereby granted based upon its compliance with the Weber County Land Use Code. This approval is subject to the requirements of applicable review agencies and the conditions of approval listed in this staff report.

Date of Administrative Approval: Wednesday, August 13, 2014

Sean Wilkinson
Weber County Planning Director

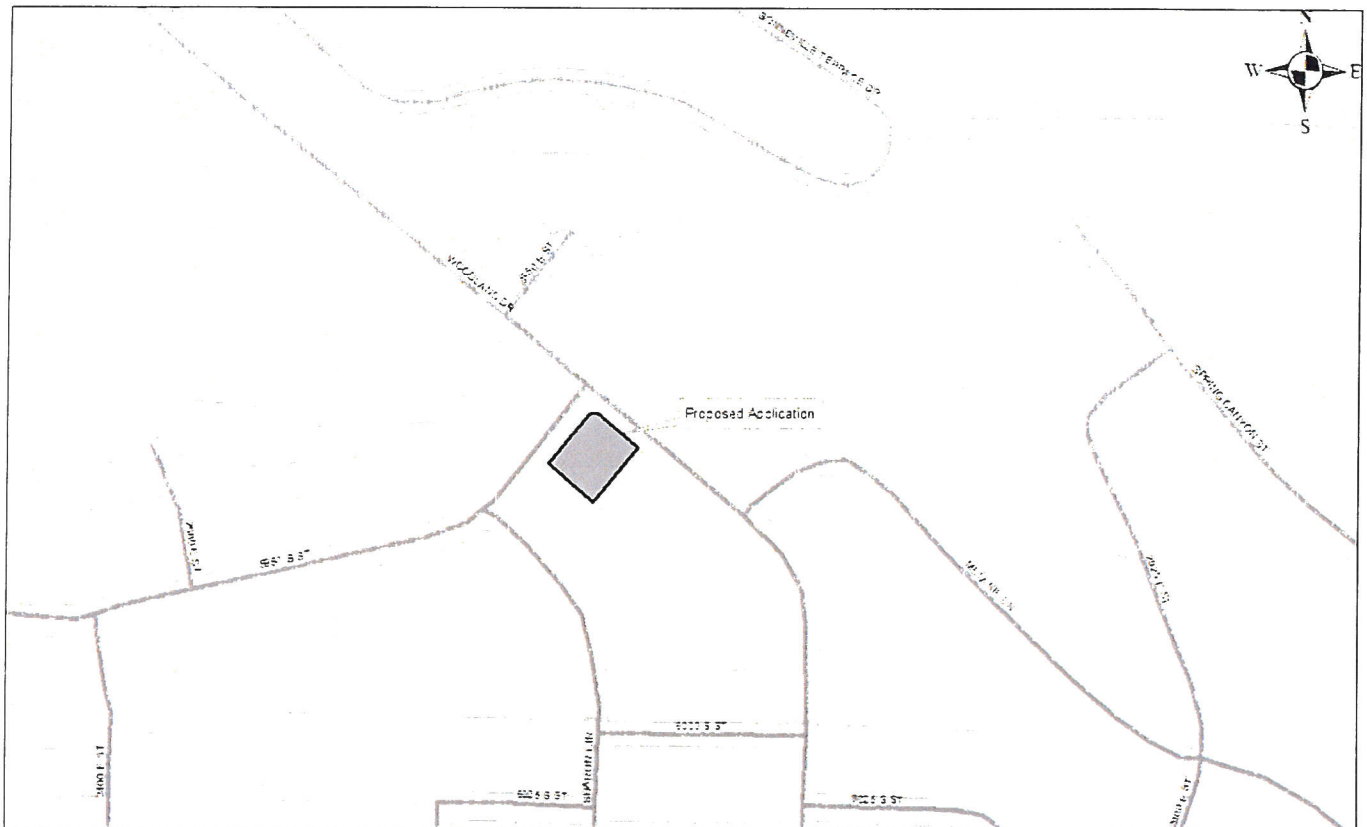
Exhibits

- A. Subdivision Plat

Map 1



Map 2



A Part of Lot 34, Woodland Estates Subdivision - Unit 2 being a part of the Northeast 1/4 of Section 23, T5N, R1W, SLB&M, U.S. Survey

[illegible]

6242920
License No. _____
Andy Hubbard

[illegible]

Bluespruce Investments LLC

On the day of [redacted] 2014, personally appeared before me, Trudie Tonnar who being by me duly sworn did say that she is Manager of Bluestreet Investments LLC, and that said instrument was signed in behalf of said LLC, by a resolution of its Members, and Trudie Tonnar acknowledged to me that said LLC, executed the same.

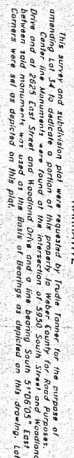
Commission Number _____ A Notary Public commission in Utah

Commission Expires: _____

A part of lot 34, Woodland Estates Subdivision - Unit 2, Weber County Utah - According to Official Plat Thereof
Being a part of the Northeast Quarter of Section 23, Township 5 North, Range 1 West, Soil Loss Base and Meridian, U.S. Survey, Weber County Utah, being more particularly described as follows:

[illegible]

NOTE:
1. 10' Wide Public Utility and Drainage Easements each side of property line as indicated by dashed lines, unless otherwise shown.



Graphic Scale

- ▲ Set Nail & Wash
- Set Rebar & Co w/ fencepost
- Set Hub & Tack Monument to be (Rad.) Radial Line (N/R) Non-Radial Line

This is to certify that this subdivision plat was duly approved by the Weber County Planning Commission on the day of , 2014.

- *Planning Commissioners*

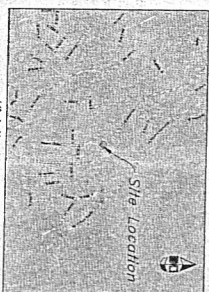
Improvement standards and drawings for this subdivision conform with County standards and the amount of the financial guarantee is sufficient for the installation of these improvements.

Signed this _____ day of _____, 2014.

WEBER COUNTY ATTORNEY

This is to certify that this subdivision plat was duly approved by the Weber County Attorney on the day of . 2014.

Weber County Attorney



Vicinity Map N.T.S.

MEMO COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____

RECORDED _____ FILED FOR RECORD _____

IN BOOK _____ OF OTHER _____

RECORDS, PAGE _____ RECORD _____

FOR _____

MEMO COUNTY RECORDER

BY _____

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Staff Report for Administrative Subdivision Approval

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on an administrative application, final approval of Bailey Acres Cluster Subdivision phase 1 First Amendment (2 lots).
Agenda Date: Wednesday, August 13, 2014
Applicant: Nan Dantz, Agent for the two home owners
File Number: UVB 070314

Property Information

Approximate Address: 3203 East 4650 North; Liberty UT
Project Area: 1.23 acres
Zoning: Agricultural Valley (AV-3) Zone
Existing Land Use: Residential
Proposed Land Use: Residential
Parcel ID: 22-144-0027, 22-144-0026, & 22-144-0031
Township, Range, Section: T7N, R1E, Section 17

Adjacent Land Use

North:	Residential	South:	Residential
East:	Residential	West:	Residential

Staff Information

Report Presenter: Ben Hatfield
bhatfield@co.weber.ut.us
801-399-8766
Report Reviewer: JG

- Weber County Land Use Code Title 101 (General Provisions) Section 7
- Weber County Land Use Code Title 104 (Zones) Chapter 6 (AV-3 Zone)
- Weber County Land Use Code Title 106 (Subdivisions)

- **Administrative Decisions:** When the Planning staff is acting as the land use authority, it is acting in an administrative capacity and has much less discretion. Examples of administrative applications are design reviews, flag lots, and subdivisions. Administrative applications must be approved by the Planning staff if the application demonstrates compliance with the approval criteria.

Background

The applicant is requesting to amend an existing subdivision, "Bailey Acres Cluster Subdivision", located at approximately 3203 East 4650 North in the AV-3 Zone, by amending existing lots 35 & 36, and reconfiguring their common lot line. The proposed amended lots within this subdivision meet the lot area and lot width requirements of this Zone, because they will continue to be part of the existing cluster subdivision. When the home on lot 36 was built it did not meet the 10 foot side yard setback required in the AV-3 Zone. A small strip of lot 35 was purchased to account for the space required for the setback. The two current owners are requesting an amendment plat to reflect the shift in the lot line.

Culinary water is provided by Liberty Pipeline Company and secondary water service is provided by Liberty Irrigation Association. Weber County manages the sewer needs for this subdivision. All review agency requirements must be addressed and completed prior to this subdivision being recorded.

Summary of Administrative Considerations

- Does this subdivision meet the requirements of the Weber County Land Use Code?

The Weber County Land Use Code Title 101 defines "small subdivision" as "An amended subdivision consisting of five (5) or fewer lots and for which no streets will be created or realigned." This amended subdivision consists of only two (2) lots and no new streets are being created or realigned. The Land Use Code (Subdivisions) also states "With the exception of small subdivisions, the preliminary plan/plat including the phasing plan shall be presented to the Land Use Authority, in this section Planning Commission, for their determination, based upon compliance with applicable ordinances." Based on these requirements, this subdivision qualifies for administrative approval as a small subdivision.

Conformance to the General Plan

Subdivisions that meet the requirements of applicable County Ordinances conform to the General Plan. This subdivision addresses water, wastewater, roads, and other issues which are discussed in the General Plan.

Conditions of Approval

- Requirements of the Weber County Engineering Division
- Requirements of the Weber-Morgan Health Department
- Requirements of the Weber Fire District
- Requirements of the Weber County Surveyors Department

Administrative Approval

Administrative final approval of Bailey Acres Cluster Subdivision phase 1 First Amendment is hereby granted based upon its compliance with the Weber County Land Use Code. This approval is subject to the requirements of applicable review agencies and the conditions of approval listed in this staff report.

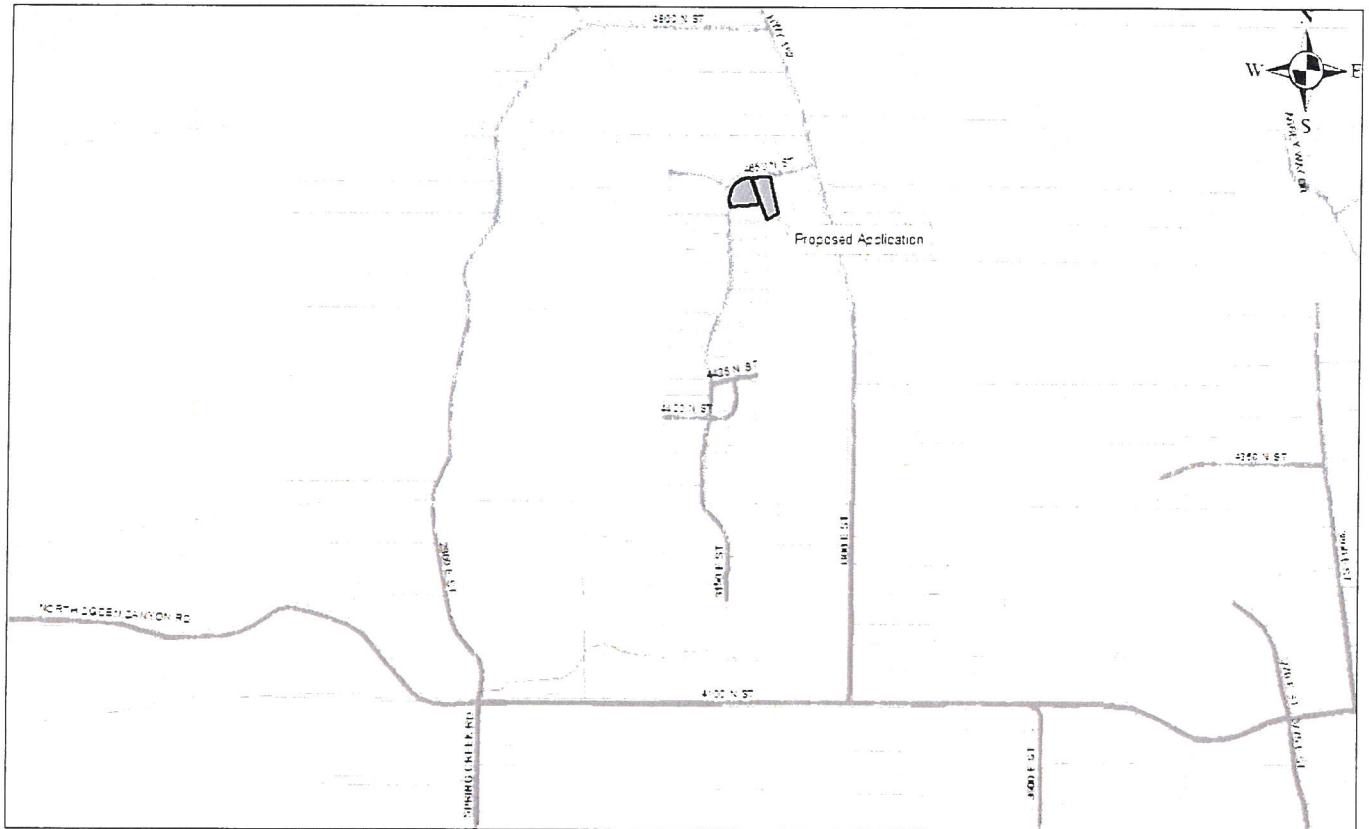
Date of Administrative Approval: Wednesday, August 13, 2014

Sean Wilkinson
Weber County Planning Director

Exhibits

- A. Subdivision Plat

Map 1



AMENDMENT OF LOTS 35 AND 36
PART OF THE SOUTHWEST QUARTER OF SECTION 17, T.7N., R.1E., S.L.B.&M., U.S. SURVEY

MAY, 2014



DETAIL

WEBER COUNTY PLANNING
COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBMISSION WAS MADE BY
 AGENDADO BY THE MEMBER COUNCIL PLANNING COMMISSION
 SIGNED THIS DAY OF 20__

CHAIRMAN, WELLS COUNTY PLANNING COMMISSION

WEBER COUNTY ENGINEER

UNIFORM STANDARDS AND DRAWINGS FOR THIS SUBMISSION COMPLY WITH THE COUNTY STANDARDS. THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.

ATHER COUNTY ENGINEER

WEBER COUNTY COMMISSION ACCEPTANCE

EDUCATION OF STEELERS AND OTHER PERSONNEL WAS A FINANCIAL LIABILITY OF THE BLUE MONUMENTS ASSOCIATED WITH THE TWO SUBSTANCES. THE SCENES ARE APPROVED AND ACCEPTED BY THE CHAIRSMEN OF

WEBER COUNTY SURVEYOR

IN THE EVENT THAT THE ABOVE CREDIT SUBJECT'S OFFICE HAS REQUESTED THIS FILE FOR ANALYTICAL CORRELATIONS, SECTION CHIEF AND FOR TRAINING PURPOSES AND REQUESTS ON RECORD IN COLLECTED, THE INFORMATION ON THIS FILE BY THE ABOVE CREDIT SUBJECTS WOULD BE FOR THE INTEREST AND SERVICE AND EXCLUDED TO THE PUBLIC.

WITH AFRICAN CLUBS

1 HAVE EXAMINED THE FINANCIAL STATEMENT AND OTHER ACCOUNTING ASSAULTS WITH THIS SUPERVISOR CLERK IN CHARGE THIS CONCORD WITH THE COUNTY COMPTROLLER AVAILABLE INBOLDING AND SIGN IN ADVANCE

SECRETARY

DATE OF

27

Journal of Management Education 36(7) 809-824

WEBER-MORGAN HEALTH DEPARTMENT

MEMORANDUM FOR THE SECRETARY OF THE ARMY
SUBJECT: THE ARMY'S POLICY ON THE USE OF
NARCOTICS IN THE ARMY AND THE ARMY'S
POLICY ON THE USE OF NARCOTICS IN THE ARMY
DATE: 10/1/55

County Recorder

to find
the best
way to
do it.

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LEGEND

- NOT A B + 2⁺ REACTION BUT REACTION
 ON SHALLOW REEF & ASSOCIATED
 • FORMED REEFS AND CAYS
 • BOUNDARY CREEK
 • FOLG CREEK
 • EXISTING REEF CAYS
 • FORMING CREEK REEF CAYS



BASIS OF BEARINGS

THE PASSAGE OF AIRCRAFT FROM THAT IS 541.36 NOT BETWEEN FORMER
STATIONS ON THE EASTERN BOUNDARY OF LOT 36.

NARRATIVE

THE OBJECTIVE OF THIS PART IS TO ANALYZE THE COORDINATE OF THE
EIGHTH AND NINE

BOUNDARY DESCRIPTION

A total of 38 samples of *S. aureus* (23 isolates) and *E. coli* (15 isolates) were isolated from 400 patients (200 patients) at 10 hospitals.

SURVEYORS CERTIFICATE

[illegible]

OWNERS DEDICATION AND CERTIFICATION

[illegible]

ACKNOWLEDGMENT

[illegible]

ACKNOWLEDGMENT

[illegible]

**Reeve
& Associates, Inc.**
1111 N. 1st St., Suite 100, Waco, TX 76787
Tel. (817) 871-3300 Fax (817) 871-3344 e-mail: reeve@reave.com

Company: C. A. LARSON
 Name: Dale
 Date: 09/2/2014
 Address: BAYVIEW ACRES CLUST
 SUB PH. 1 AMENDE
 City/State: 6362-01
 Reason:

Project Info

Project Info



Staff Report for Administrative Approval

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a request to amend an existing site plan for Kimberly Clark by expanding the guard station to include a private fitness room/ gymnasium.

Agenda Date: Wednesday, August 13, 2014

Applicant: Kevin Thompson – Kimberly Clark Corporation, Mark Hilles – Mountain West Architects

File Number: CUP 2014-18

Property Information

Approximate Address: 2010 N Rulon White Blvd., Ogden, Utah 84404

Project Area: Parcel Area: 133.48 acres / Site Area: 5,000 sqft.

Zoning: Manufacturing -1 Zone (M-1)

Existing Land Use: Manufacturing - Toiletries

Proposed Land Use: Manufacturing - Toiletries

Parcel ID: 19-041-0076

Township, Range, Section: T7N, R1W, Sections 36

Adjacent Land Use

North:	Manufacturing	South:	Manufacturing
East:	Manufacturing	West:	Manufacturing

Staff Information

Report Presenter: Ben Hatfield
bhatfield@co.weber.ut.us
801-399-8767

Report Reviewer: JG

- Weber County Land Use Code Title 104 Chapter 22 (M-1 Zone)
- Weber County Land Use Code Title 108 Chapter 4 (Conditional Uses)
- Weber County Land Use Code Title 108 Chapter 1 (Design Review)

Administrative Decisions: When the Planning staff is acting as a land use authority, it is acting in an administrative capacity and has much less discretion. Examples of administrative applications are design reviews, flag lots, and subdivisions. Administrative applications must be approved by the Planning staff if the application demonstrates compliance with the approval criteria.

Kimberly Clark Corporation is requesting approval of an amendment to an existing conditional use permit site plan by expanding the guard station to include a private fitness room/ gymnasium. The building addition is intended to provide an expanded area for employees to gather and exercise.

The accessory building is separate from the main manufacturing facility. The building currently is used for security, but also contains a large meeting area for training. The addition will allow for some of the interior areas to change and/or expand, including a large exercise room with locker rooms, restrooms, and showers for employees only.

The exterior will match the existing portions of the building with the same white insulated metal panels. The 83 foot by 60 foot addition will be 4,980 square feet. Minor landscaping adjustments will be made with the existing sidewalk to align with the buildings proposed entrances. All areas where sidewalks are removed will be replaced by turf grass.

The Kimberly Clark facility is located in an M-1 Zone, where the manufacture and packing of toiletries and paper is a conditional use. The guard station and training facilities are located in an accessory building, and the employee only fitness/ gymnasium use is accessory to only this corporation.

The Weber County Engineer's Office and the Weber County Building Official have responded with no significant concerns and will have any needed items addressed with the building permit. Culinary water and wastewater services already exist.

Summary of Considerations

- Does the proposed use meet the requirements of applicable County Ordinances?

- Are there any potentially detrimental effects that need be mitigated by imposing conditions of approval, and if so, what are the appropriate conditions?

In order for an amendment to a conditional use permit to be approved it must meet the requirements listed under "Criteria for Issuance of Conditional Use Permit." The Planning Director needs to determine if the proposed addition meets these requirements.

Section 108-4-4 Criteria for Issuance of Conditional Use Permit

Conditional uses shall be approved on a case-by-case basis. The Planning Commission shall not authorize a Conditional Use Permit unless evidence is presented to establish:

1. Reasonably anticipated detrimental effects of a proposed conditional use can be substantially mitigated by the proposal or by the imposition of reasonable conditions to achieve compliance with applicable standards. Examples of potential negative impacts are odor, vibration, light, dust, smoke, or noise.
2. That the proposed use will comply with the regulations and conditions specified in the Zoning Ordinance and other applicable agency standards for such use.

After reviewing this conditional use request staff has determined that the criteria listed above have been met in the following ways:

1. The typical negative impacts of noise, dust, vibration, etc. have already been mitigated with the original approval for the toiletries processing site. The addition of the proposed guard station building to include an expanded locker room and exercise area will not further produce additional negative impacts. The proposed addition will use the same materials on the exterior of the building to match the existing areas.
2. The proposed location of the building complies with all use and setback requirements listed in the Land Use Code.

This application to amend the site plan of an existing conditional use may be approved administratively since it meets all Land Use Code requirements particularly:

Section 102-1-2 Administrative Authority

The Planning Director, or designee, is authorized to deny, approve, or approve with conditions an application for an administrative approval. Administrative approval can be given for the following applications: site plans with buildings under 10,000 square feet located on a parcel less than one acre in size, home occupations with or without visiting clientele, combining of lots within an approved subdivision which meet ordinance requirements, minor subdivisions as defined by the subdivision definition, flag lots, access to a lot/parcel using a private right-of-way or access easement, and access to a lot/parcel at a location other than across the front lot line. The Planning Director may deny an application for an administrative approval if the use fails to comply with specific standards set forth in this ordinance or if any of the required findings are not supported by evidence in the record as determined by the Director. At the discretion of the Planning Director, the Planning Commission can hear the request for an administrative approval.

Conformance to the General Plan

The Kimberly Clark Corporation proposal conforms to the General Plan by complying with all standards found in the Weber County Land Use Code. The project is located in an M-1 Zone where manufacturing with a large number of employees is anticipated.

Conditions of Approval

- Compliance with the Weber County Zoning Ordinance.
- Requirements of the Weber County Engineering Division.
- Requirements of the Weber-Morgan Health Department.
- Requirements of the Weber Fire District.
- Requirements of the Weber County Building Official.

Staff Administrative Approval

Based upon the findings listed above, administrative approval for CUP 2014-18, expansion of an existing facility at Kimberly Clark to include an enlarged guard station and training building with an employee fitness room/ gymnasium is hereby approved this 13th day of August, 2014.

Sean Wilkinson
Weber County Planning Director

Exhibits

- A. Application
- B. Site Plan and Building plans

Weber County Conditional Use Permit Application

Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted / Completed	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use) CUP 2014-18
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Property Owner Contact Information

Name of Property Owner(s) Kimberly Clark Corporation - Kevin Thompson		Mailing Address of Property Owner(s) 2010 N Rulon White Blvd, Ogden, UT 84404
Phone (801) 786-2435	Fax	
Email Address (required) kbthomps@kcc.com		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail

Authorized Representative Contact Information

Name of Person Authorized to Represent the Property Owner(s) Mark Hilles		Mailing Address of Authorized Person 4590 Harrison Blvd. #100 Ogden, UT 84403
Phone (801) 388-6052	Fax	
Email Address mark@mountainwestarchitects.com		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail

Property Information

Project Name Kimberly Clark Corporation Fitness Addition	Total Acreage 139.87	Current Zoning M-1
Approximate Address 2010 N Rulon White Blvd, Ogden, UT 84404	Land Serial Number(s) Parcel#19-041-0076	

Proposed Use
Assembly Group A-3 (Gymnasiums without spectator seating)

Project Narrative

We are proposing a 4,885 sf addition to an existing 7,500 sf Guard station/Training building. This building is detached from the main manufacturing building. The current purpose of the existing building is for security with a large meeting area for training. There is a small fitness room which we are expanding. The new addition has a large exercise room with locker rooms, rest rooms and showers for Kimberly Clark employees only. On the exterior we are proposing white insulated metal panels to match the existing white insulated metal panels. There will be minimal site grading and landscaping required. Existing parking will accommodate this addition. The new rest rooms and showers will connect to the existing interior sew lines.

Basis for Issuance of Conditional Use Permit

Reasonably anticipated detrimental effects of a proposed conditional use can be substantially mitigated by the proposal or by the imposition of reasonable conditions to achieve compliance with applicable standards. Examples of potential negative impacts are odor, vibration, light, dust, smoke, or noise.

With the addition attaching to a building separate from the main manufacturing facility the contractor should be able to control and minimize any negative impacts including odor, vibration, light, dust, smoke, or noise. The addition location will be far from any adjacent properties or buildings. With minimal site work the Storm Water Pollution Prevention shall be easily maintained.

That the proposed use will comply with the regulations and conditions specified in the Zoning Ordinance and other applicable agency standards for such use.

We will comply with the regulations and conditions specified in the Zoning Ordinance and other applicable agency standards for such use.

Property Owner Affidavit

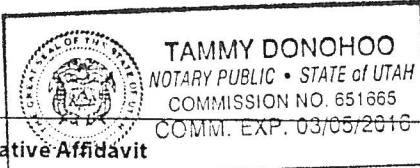
I (We), Kerill B Thompson depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge.

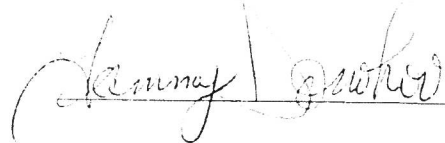


(Property Owner)

(Property Owner)

Subscribed and sworn to me this 16 day of July, 2014.

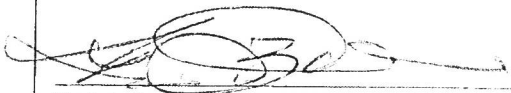




(Notary)

Authorized Representative Affidavit

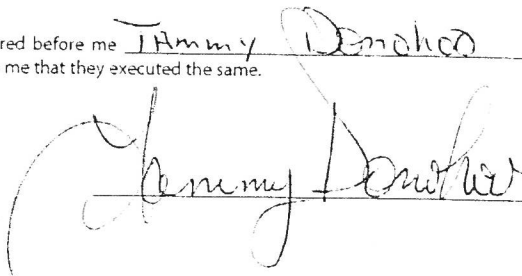
I (We), Kerill B Thompson the owner(s) of the real property described in the attached application, do authorized as my (our) representative(s), Mark Hillis, to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the County considering this application and to act in all respects as our agent in matters pertaining to the attached application.



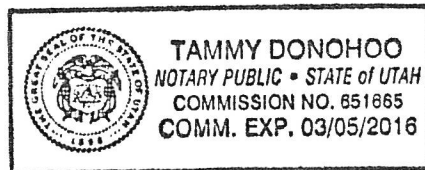
(Property Owner)

(Property Owner)

Dated this 16 day of July, 2014, personally appeared before me Tammy Donohoo, the signer(s) of the Representative Authorization Affidavit who duly acknowledged to me that they executed the same.

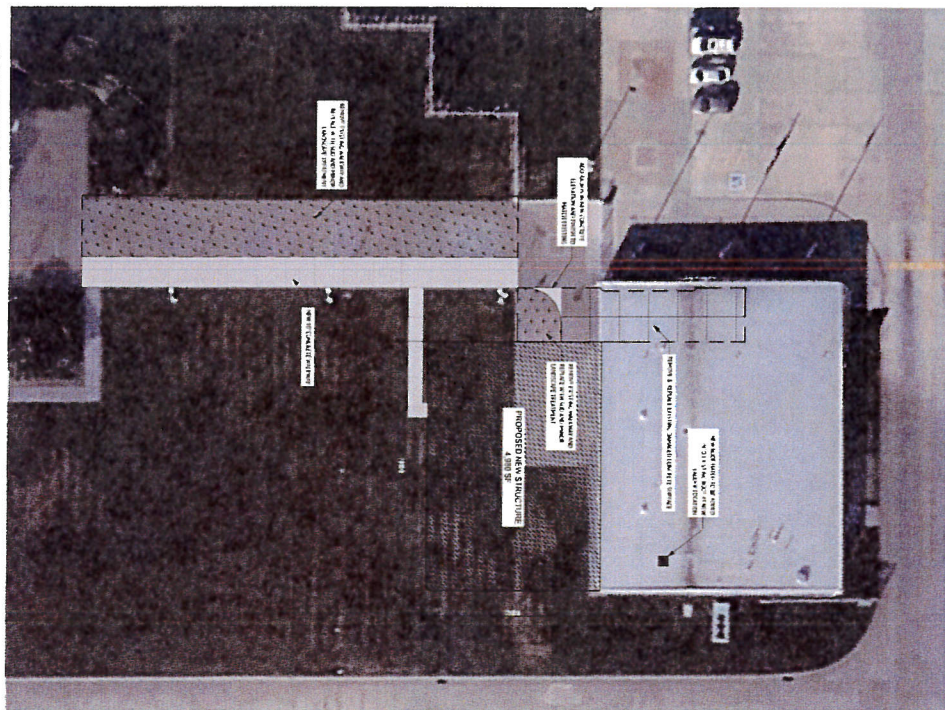


(Notary)

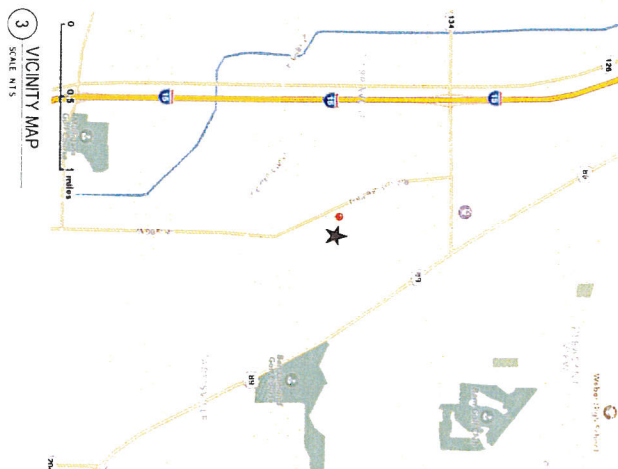




SITE MODIFICATION PLAN



2 OVERALL SITE PLAN
SCALE NTS



3 VICINITY MAP
SCALE MTS

G102

SITE MODIFICATION PLAN

**PROPOSED FITNESS ADDITION FOR
KIMBERLY CLARK CORPORATION**
1141 W 2150 N OGDEN 84404

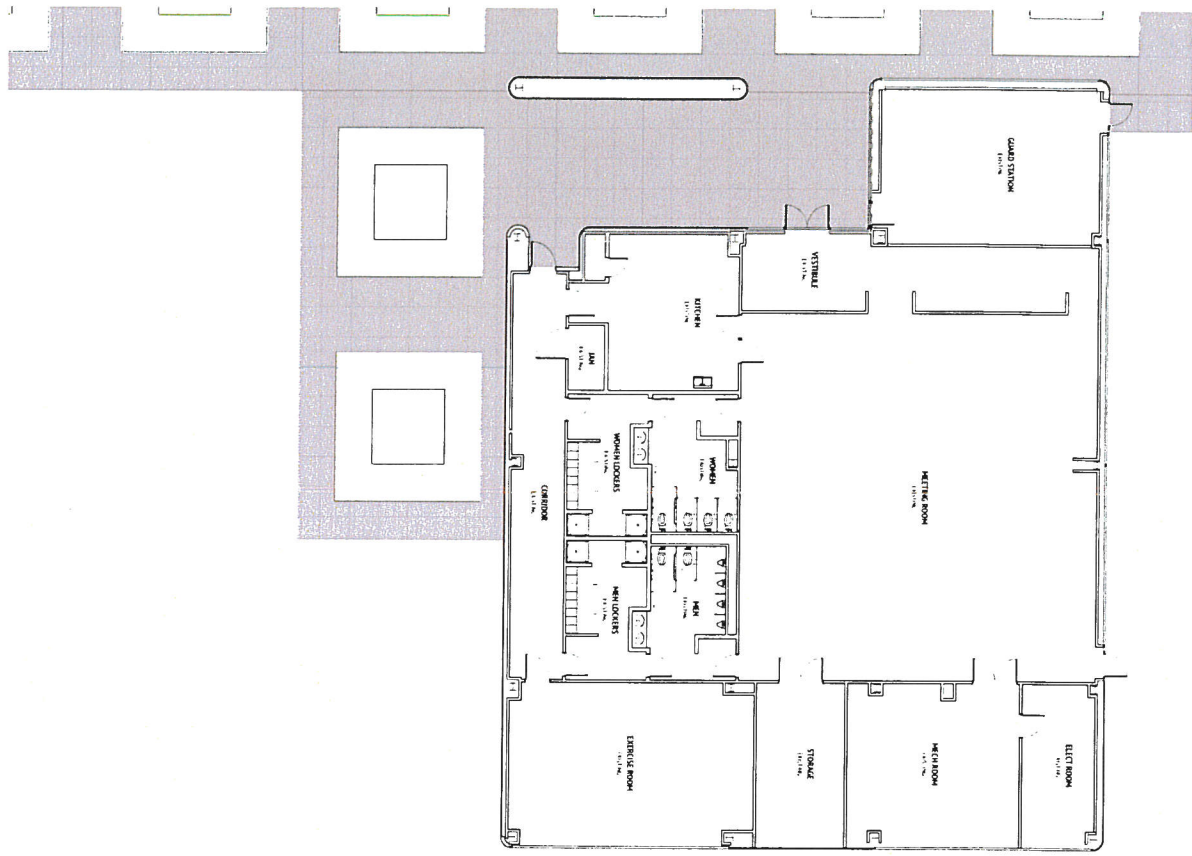


MOUNTAIN WEST

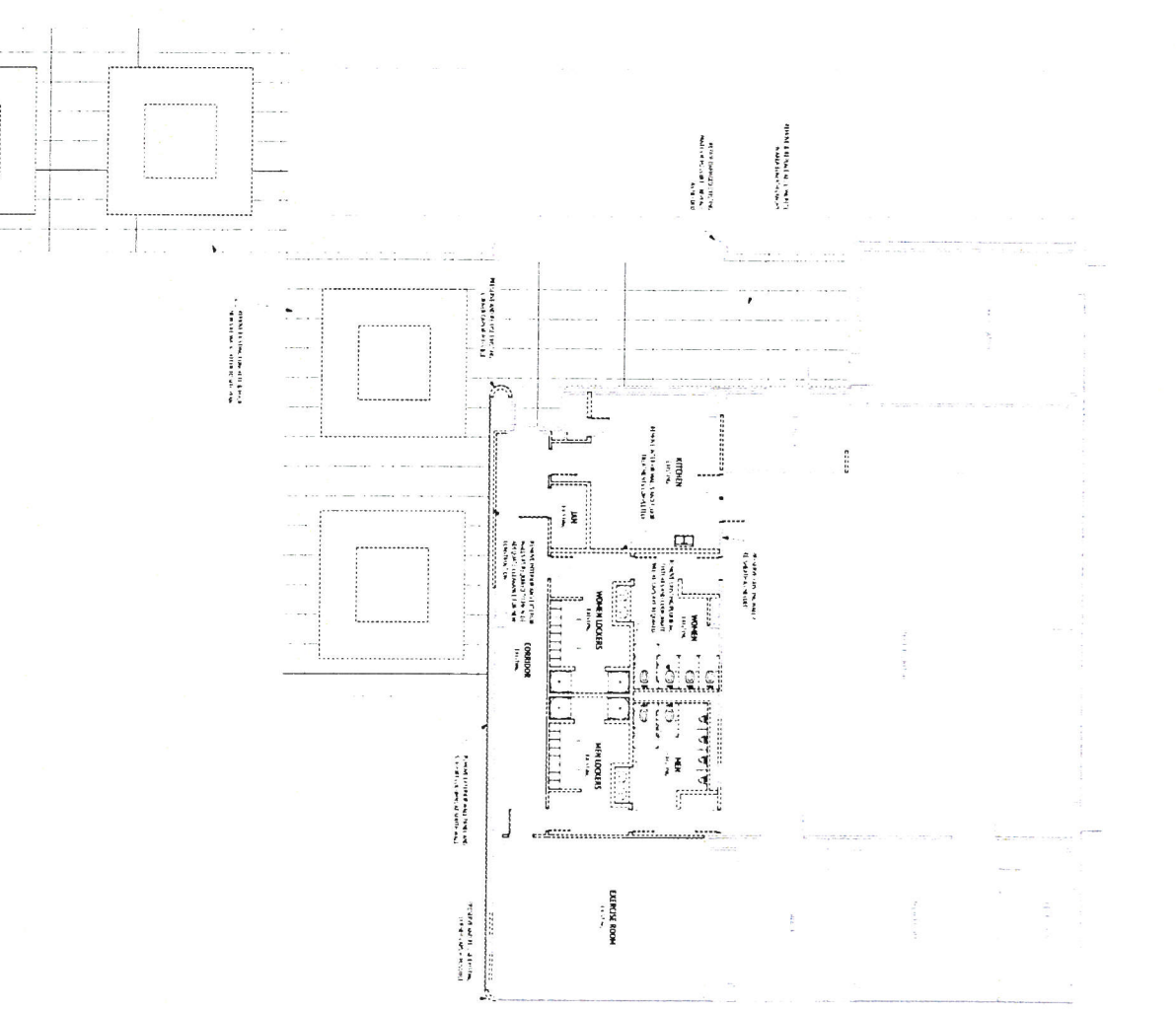
1



1 EXISTING FLOOR PLAN
SCALE: 1/8" = 1'-0"



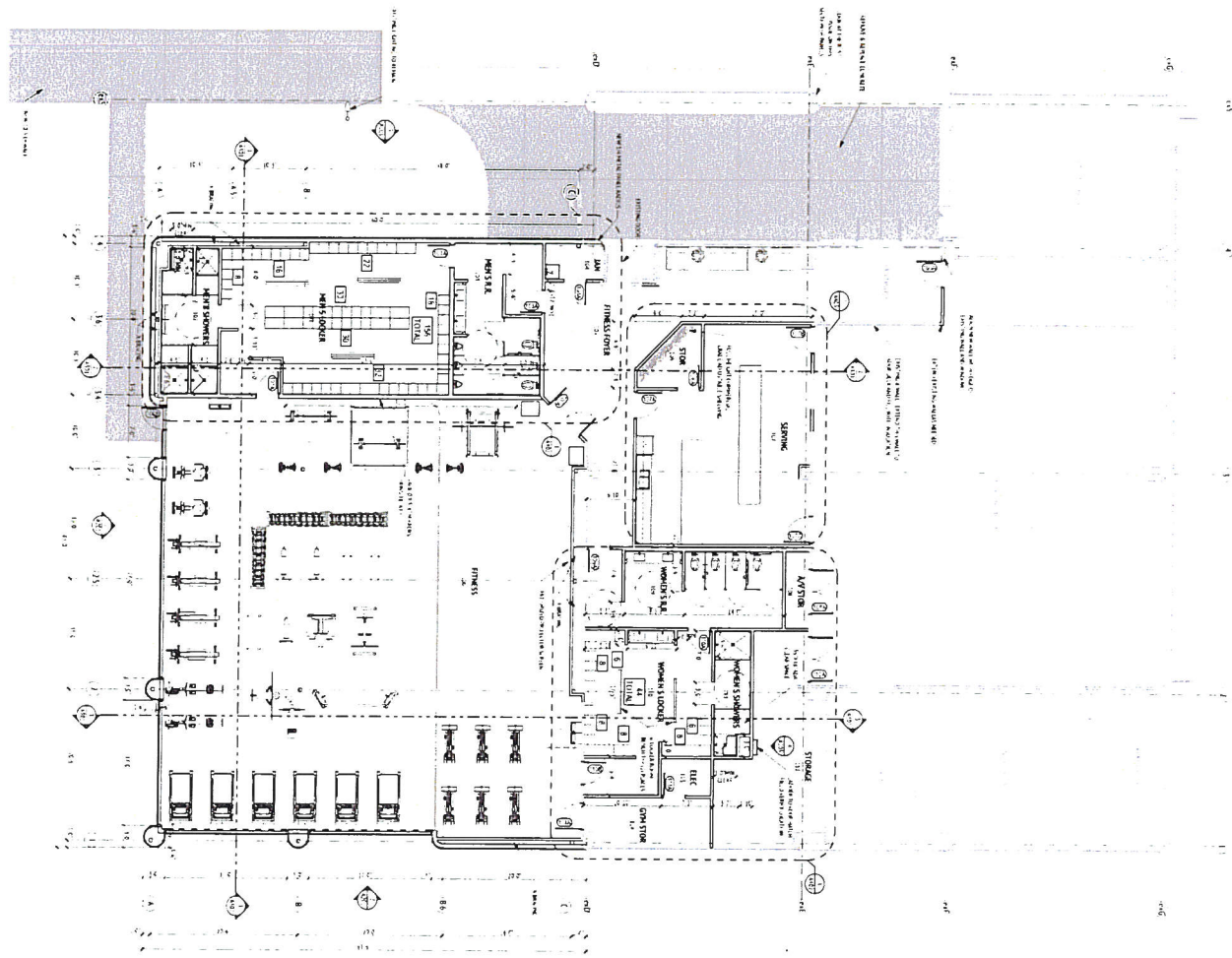
2 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



NOT FOR CONSTRUCTION

10/10/2014
A101
SCALE: 1/8" = 1'-0"
EXISTING & DEMO PLAN
PROJECT: 04-2014-KIMBERLY CLARK LTD.

PROPOSED FITNESS ADDITION FOR
KIMBERLY CLARK CORPORATION
1141 W 2150 N OGDEN 84404
NO. 04-2014-KIMBERLY CLARK LTD. 4-10-14-11-14-15-16-17-18-19-20-21-22-23-24-25-26-27-28-29-30-31-32-33-34-35-36-37-38-39-40-41-42-43-44-45-46-47-48-49-50-51-52-53-54-55-56-57-58-59-60-61-62-63-64-65-66-67-68-69-70-71-72-73-74-75-76-77-78-79-80-81-82-83-84-85-86-87-88-89-90-91-92-93-94-95-96-97-98-99-100-101-102-103-104-105-106-107-108-109-110-111-112-113-114-115-116-117-118-119-120-121-122-123-124-125-126-127-128-129-130-131-132-133-134-135-136-137-138-139-140-141-142-143-144-145-146-147-148-149-150-151-152-153-154-155-156-157-158-159-160-161-162-163-164-165-166-167-168-169-170-171-172-173-174-175-176-177-178-179-180-181-182-183-184-185-186-187-188-189-190-191-192-193-194-195-196-197-198-199-200-201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000-1001-1002-1003-1004-1005-1006-1007-1008-1009-1010-1011-1012-1013-1014-1015-1016-1017-1018-1019-1020-1021-1022-1023-1024-1025-1026-1027-1028-1029-1030-1031-1032-1033-1034-1035-1036-1037-1038-1039-1040-1041-1042-1043-1044-1045-1046-1047-1048-1049-1050-1051-1052-1053-1054-1055-1056-1057-1058-1059-1060-1061-1062-1063-1064-1065-1066-1067-1068-1069-1070-1071-1072-1073-1074-1075-1076-1077-1078-1079-1080-1081-1082-1083-1084-1085-1086-1087-1088-1089-1090-1091-1092-1093-1094-1095-1096-1097-1098-1099-1100-1101-1102-1103-1104-1105-1106-1107-1108-1109-1110-1111-1112-1113-1114-1115-1116-1117-1118-1119-1120-1121-1122-1123-1124-1125-1126-1127-1128-1129-1130-1131-1132-1133-1134-1135-1136-1137-1138-1139-1140-1141-1142-1143-1144-1145-1146-1147-1148-1149-1150-1151-1152-1153-1154-1155-1156-1157-1158-1159-1160-1161-1162-1163-1164-1165-1166-1167-1168-1169-1170-1171-1172-1173-1174-1175-1176-1177-1178-1179-1180-1181-1182-1183-1184-1185-1186-1187-1188-1189-1190-1191-1192-1193-1194-1195-1196-1197-1198-1199-1200-1201-1202-1203-1204-1205-1206-1207-1208-1209-1210-1211-1212-1213-1214-1215-1216-1217-1218-1219-1220-1221-1222-1223-1224-1225-1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GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL ROOMS SHALL BE FINISHED TO THE FINISHES SHOWN ON THE FINISH SCHEDULE.
3. ALL WALLS SHALL BE CONCRETE BLOCK WITH INTERIOR FINISHES.
4. ALL FLOORS SHALL BE POLISHED CONCRETE.
5. ALL CEILING SHALL BE SUSPENDED GRID WITH MINERAL WOOL INSULATION.
6. ALL ROOF SHALL BE BURIED GUTTER WITH 2" MIN. DRAINAGE SLOPE.
7. ALL EXTERIOR WALLS SHALL BE CONCRETE BLOCK WITH EXTERIOR FINISHES.
8. ALL EXTERIOR FLOORS SHALL BE CONCRETE WITH CURBS.
9. ALL EXTERIOR ROADS SHALL BE ASPHALT PAVEMENT.
10. ALL EXTERIOR LIGHTING SHALL BE 150' WATT HALOGEN BULBS.
11. ALL EXTERIOR DOORS SHALL BE 30' MIN. INSULATED GLASS UNITS.
12. ALL EXTERIOR WINDOWS SHALL BE 30' MIN. INSULATED GLASS UNITS.
13. ALL EXTERIOR STAIRS SHALL BE CONCRETE WITH METAL HANDRAILS.
14. ALL EXTERIOR RAMP SHALL BE CONCRETE WITH METAL HANDRAILS.
15. ALL EXTERIOR DRIVEWAY SHALL BE ASPHALT PAVEMENT.
16. ALL EXTERIOR PARKING SHALL BE ASPHALT PAVEMENT.
17. ALL EXTERIOR LANDSCAPING SHALL BE PLANTING.
18. ALL EXTERIOR FENCE SHALL BE 6' HIGH ALUMINUM FENCE.
19. ALL EXTERIOR SIGNAGE SHALL BE ALUMINUM SIGNAGE.
20. ALL EXTERIOR LIGHTING SHALL BE 150' WATT HALOGEN BULBS.

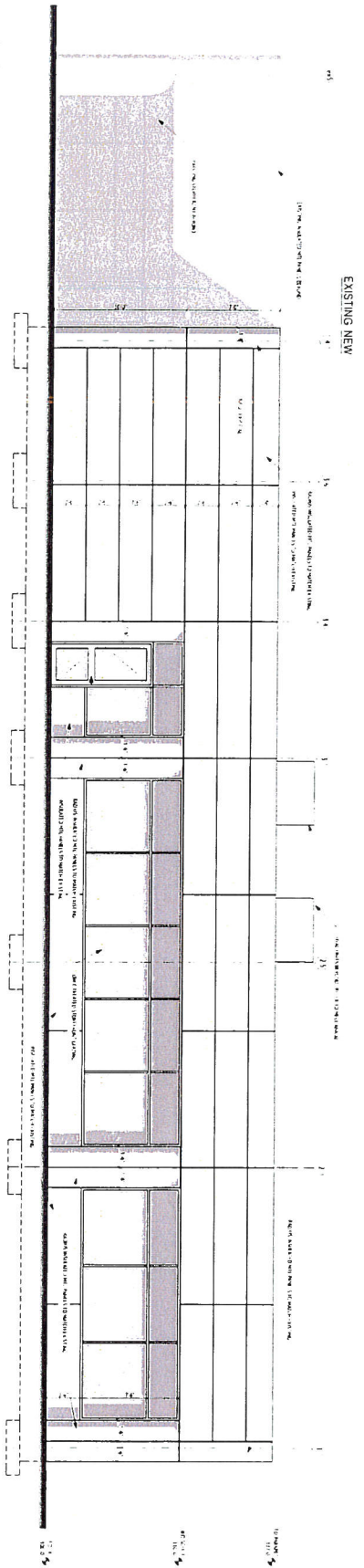
NOT FOR CONSTRUCTION

SHEET 101
A102
 FIRST FLOOR PLAN
 PROJECT: 04-011 KIMBERLY CLARK CORP.

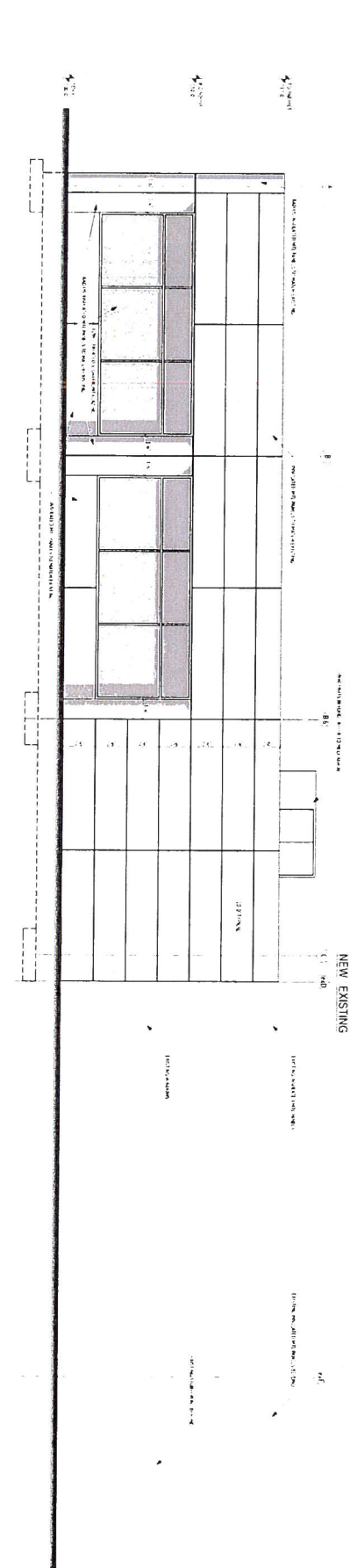
PROPOSED FITNESS ADDITION FOR
KIMBERLY CLARK CORPORATION
 1141 W 2150 N OGDEN 84404
 MOUNTAIN WEST ARCHITECTS, P.C. 1141 W 2150 N OGDEN UT 84404 (801) 877-2801 WWW.MOUNTAINWESTARCHITECTS.COM

MOUNTAIN WEST
 ARCHITECTS

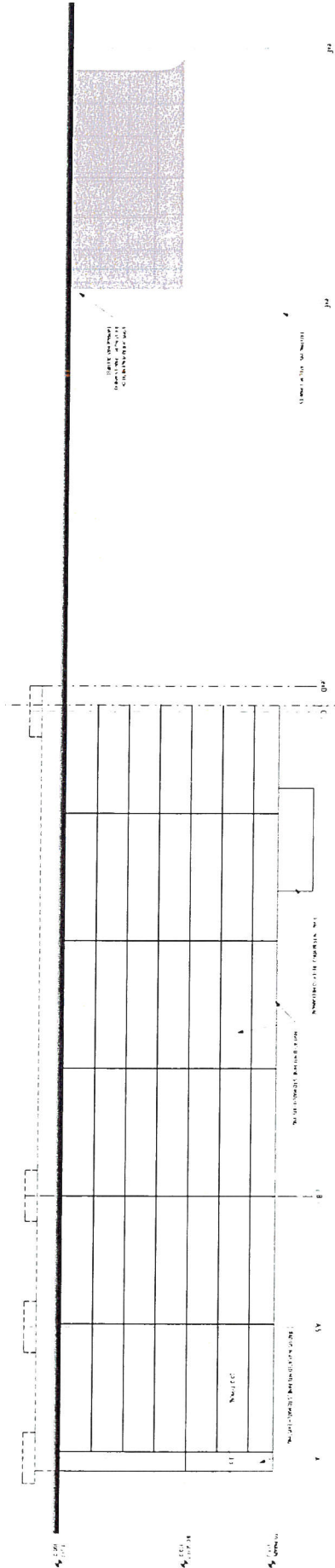
1 SOUTH ELEVATION
SCALE 1/4" = 1'-0"



2 EAST ELEVATION
SCALE 1/4" = 1'-0"



3 WEST ELEVATION
SCALE 1/4" = 1'-0"



NOT FOR CONSTRUCTION

A201
 EXTERIOR ELEVATIONS
 PROJECT: 04-011 KIMBERLY CLARK CPM

PROPOSED FITNESS ADDITION FOR
 KIMBERLY CLARK CORPORATION
 1141 W 2150 N OGDEN 84404
 MOUNTAIN WEST ARCHITECTS, LLC 1141 W 2150 N OGDEN UT 84404 PH: 801.471.1200 WWW.MOUNTAINWESTARCHITECTS.COM

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