

MARTIN ESTATES SUBDIVISION FIRST AMENDMENT

WEBER COUNTY, UTAH

A PART OF THE SOUTHEAST QUARTER OF SECTION 15,
TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN
JULY 2024

WEBER COUNTY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT, AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND AFFECT SIGNED THIS _____ DAY OF _____, 20____.

WEBER COUNTY ATTORNEY

WEBER-MORGAN HEALTH DEPARTMENT

I HEREBY CERTIFY THAT THE SOILS, PERCOLATION RATES, AND SITE CONDITIONS FOR THIS SUBDIVISION HAVE BEEN INVESTIGATED BY THIS OFFICE AND ARE APPROVED FOR ON-SITE WASTEWATER DISPOSAL SYSTEMS. SIGNED THIS _____ DAY OF _____, 20____.

WEBER-MORGAN HEALTH DEPARTMENT

WEBER COUNTY PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION. SIGNED THIS _____ DAY OF _____, 20____.

CHAIRMAN, WEBER COUNTY PLANNING COMMISSION

WEBER BASIN WATER APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED BY WEBER BASIN WATER. SIGNED THIS _____ DAY OF _____, 20____.

WEBER BASIN WATER

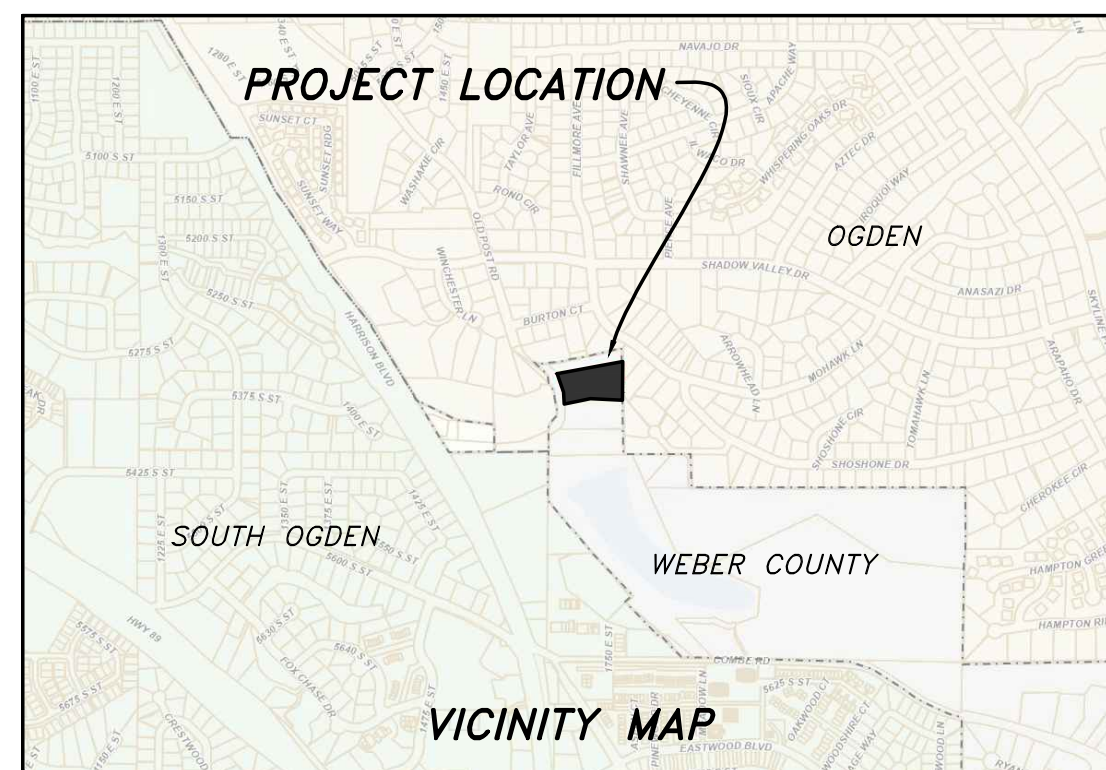
WEBER COUNTY SURVEYOR

I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT AND ALL CONDITIONS FOR APPROVAL BY THIS OFFICE HAVE BEEN SATISFIED. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THERewith. SIGNED THIS _____ DAY OF _____, 20____.

WEBER COUNTY SURVEYOR

2582

RECORD OF SURVEY NO.



SOUTH QUARTER CORNER OF SEC. 15,
T. 5 N., R. 1 W., SLB&M
WEBER CO. BRASS CAP MONUMENT
2023

DEVELOPER:
SHANNON RILEY
5366 OLD POST ROAD
OGDEN, UT 84404
801-540-1514

HAI HANSEN & ASSOCIATES, INC.
Consulting Engineers and Land Surveyors
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THE PURPOSE OF THIS SURVEY WAS TO ESTABLISH AND SET THE PROPERTY CORNERS OF THE AMENDED SUBDIVISION AS SHOWN AND DESCRIBED HEREON. THE SURVEY WAS ORDERED BY SHANNON RILEY. THE CONTROL USED TO ESTABLISH THE PROPERTY CORNERS WAS THE OFFICIAL PLAT OF MARTIN ESTATES SUBDIVISION, ENTRY NO. 1528915 ALONG WITH THE EXISTING WEBER COUNTY SURVEY MONUMENTATION SURROUNDING SECTION 15, T5N, R1W, SLB&M.

THE BASIS OF BEARING IS THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION WHICH BEARS NORTH 0°35'07" EAST, UTAH NORTH, STATE PLANE, CALCULATED N.A.D.83 BEARING.

PARCEL LINE DATA		
SEGMENT	DIRECTION	LENGTH
L1	N89°10'36"W	28.04'
L2	N10°13'18"W	68.01'
L3	N10°13'18"W	17.83'
L4	N35°22'51"W	28.82'
L5	N68°02'40"E	34.58'
L6	N53°20'14"E	44.22'

PARCEL CURVE DATA					
SEGMENT	LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING
C1	30.05'	233.00'	7°23'24"	30.03'	N06°31'36"W
C2	58.40'	133.00'	25°09'33"	57.93'	N22°48'05"W
C3	122.51'	237.70'	29°28'58"	120.97'	N64°04'36"E
C4	97.56'	252.70'	22°07'16"	96.96'	N67°48'53"E

NOTES:

- 1 - ALL PUBLIC UTILITY EASEMENTS (P.U.E.) ARE 10.0 FOOT WIDE UNLESS OTHERWISE NOTED.

NARRATIVE

MANNION TRUST
07-007-0049

STATE OF UTAH)
COUNTY OF WEBER)

ON THIS _____ DAY OF _____, 2024, JADE L. HENSLEY AND JORDAN J. HENSLEY TOGETHER AS JOINT TENANTS, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID COUNTY OF WEBER, IN THE STATE OF UTAH, THE SIGNERS OF THE ATTACHED OWNERS DEDICATION, TWO IN NUMBERS, WHO DULY ACKNOWLEDGED TO ME THEY SIGNED IT FREELY AND VOLUNTARILY AND FOR THE PURPOSE THEREIN MENTIONED.

STATE OF UTAH NOTARY PUBLIC _____

COMMISSION NUMBER _____

NOTARY PRINTED NAME _____

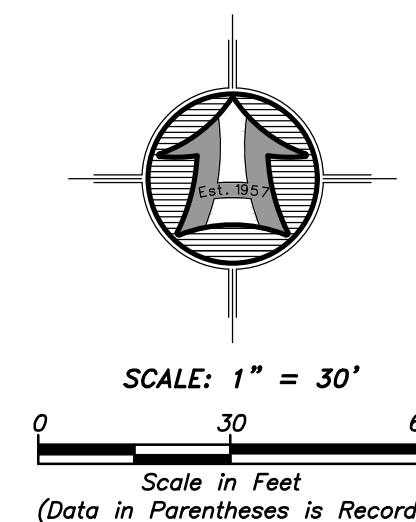
MY COMMISSION EXPIRES _____

WEBER COUNTY ENGINEER

I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH THE COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.

SIGNED THIS _____ DAY OF _____, 20____.

WEBER COUNTY ENGINEER



LEGEND	
	SUBJECT PROPERTY LINE
	INTERNAL LOT LINE
	ADJOINING PROPERTY LINE
	CENTERLINE
	EASEMENT
	FOUND REBAR SET BY OTHERS
	SET 5/8"x24" REBAR WITH CAP SECTION CORNER

WEBER COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____
RECORDED _____ FILED FOR RECORD AND
IN BOOK _____ OF OFFICIAL
RECORDS, PAGE _____, RECORDED
FOR _____
COUNTY RECORDER
BY: _____ DEPUTY

SURVEYOR'S CERTIFICATE

I, ROGER C. SLADE, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS ACT; AND I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS; AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND HAVE HEREBY AMENDED AND SUBDIVIDED SAID TRACT INTO TWO (2) LOTS, KNOWN HEREAFTER AS MARTIN ESTATES SUBDIVISION FIRST AMENDMENT IN WEBER COUNTY, UTAH, AND HAS BEEN CORRECTLY DRAWN TO THE DESIGNATED SCALE AND IS TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE WEBER COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME OR UNDER MY SUPERVISION ON THE GROUND, I FURTHER HEREBY CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF WEBER COUNTY CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 2024.

ROGER C. SLADE, P.L.S.
UTAH LAND SURVEYOR LICENCE NO. 11386802

SUBDIVISION BOUNDARY DESCRIPTION

ALL OF LOTS 1 AND 2, MARTIN ESTATES SUBDIVISION, RECORDED AS ENTRY NO. 1626915 IN THE WEBER COUNTY RECORDER'S OFFICE SITUATED IN THE SOUTHEAST QUARTER OF SECTION 15, TOWNSHIP 5 NORTH, RANGE 1 WEST OF THE SALT LAKE BASE AND MERIDIAN. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1 BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF OLD POST ROAD LOCATED 1801.91 FEET NORTH 00°35'07" EAST ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER AND 45.64 FEET SOUTH 89°24'53" EAST FROM THE SOUTH QUARTER CORNER OF SAID SECTION 15;

RUNNING THENCE ALONG THE BOUNDARY OF SAID LOTS 1 AND 2 THE FOLLOWING NINE (9) COURSES: (1) NORTH 80°47'37" EAST 411.80 FEET; (2) SOUTH 00°28'23" EAST 235.74 FEET; (3) NORTH 89°05'29" WEST 177.91 FEET; (4) SOUTH 80°21'26" WEST 146.81 FEET; (5) NORTH 89°10'36" WEST 28.04 FEET TO SAID EASTERLY RIGHT-OF-WAY LINE; (6) NORTHERLY ON A NON-TANGENT CURVE TO THE LEFT ALONG THE ARC OF A 233.00 FOOT RADIUS CURVE, A DISTANCE OF 30.05 FEET, CHORD BEARS NORTH 06°31'36" WEST 30.05 FEET, HAVING A CENTRAL ANGLE OF 07°23'24" ALONG SAID EASTERLY RIGHT-OF-WAY LINE; (7) NORTH 10°13'18" WEST 85.84 FEET ALONG SAID EASTERLY RIGHT-OF-WAY LINE; (8) NORTHWESTERLY TO THE LEFT ALONG THE ARC OF A 133.00 FOOT RADIUS CURVE, A DISTANCE OF 58.40 FEET, CHORD BEARS NORTH 22°48'05" WEST 57.93 FEET, HAVING A CENTRAL ANGLE OF 25°09'33" ALONG SAID EASTERLY RIGHT-OF-WAY LINE; AND (9) NORTH 35°22'51" WEST 28.82 FEET ALONG SAID EASTERLY RIGHT-OF-WAY LINE TO THE POINT OF BEGINNING. CONTAINING 1.79 ACRES.

OWNER'S DEDICATION AND CERTIFICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN HEREON AND NAME SAID TRACT MARTIN ESTATES SUBDIVISION FIRST AMENDMENT; AND DO HEREBY GRANT AND DEDICATE TO WEBER COUNTY A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED HEREOF AS PUBLIC UTILITY, STORM WATER DETENTION PONDS DRAINAGE EASEMENTS AND CANAL MAINTENANCE EASEMENT, THE SAME TO BE USED FOR THE INSTALLATION MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINE, STORM DRAINAGE FACILITIES, IRRIGATION CANALS OR FOR THE PERPETUAL PRESERVATION OF WATER CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY THE GOVERNING AUTHORITY, WITH NO BUILDINGS OR STRUCTURES BEING ERRECTED WITHIN SUCH EASEMENTS. WE ALSO GRANT AND DEDICATE TO THE OWNER OF LOT 3 AN ACCESS EASEMENT FOR INGRESS AND EGRESS AS SHOWN HEREON.

SIGNED THIS _____ DAY OF _____, 2024.

SHANNON LEIGH RILEY

JADE L. HENSLEY

JORDAN J. HENSLEY

ACKNOWLEDGMENT

STATE OF UTAH)
COUNTY OF WEBER)

ON THIS _____ DAY OF _____, 2024, SHANNON LEIGH RILEY, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID COUNTY OF WEBER, IN THE STATE OF UTAH, THE SIGNER OF THE ATTACHED OWNERS DEDICATION, ONE IN NUMBER, WHO DULY ACKNOWLEDGED TO ME SHE SIGNED IT FREELY AND VOLUNTARILY AND FOR THE PURPOSE THEREIN MENTIONED.

STATE OF UTAH NOTARY PUBLIC _____

COMMISSION NUMBER _____

NOTARY PRINTED NAME _____

MY COMMISSION EXPIRES _____