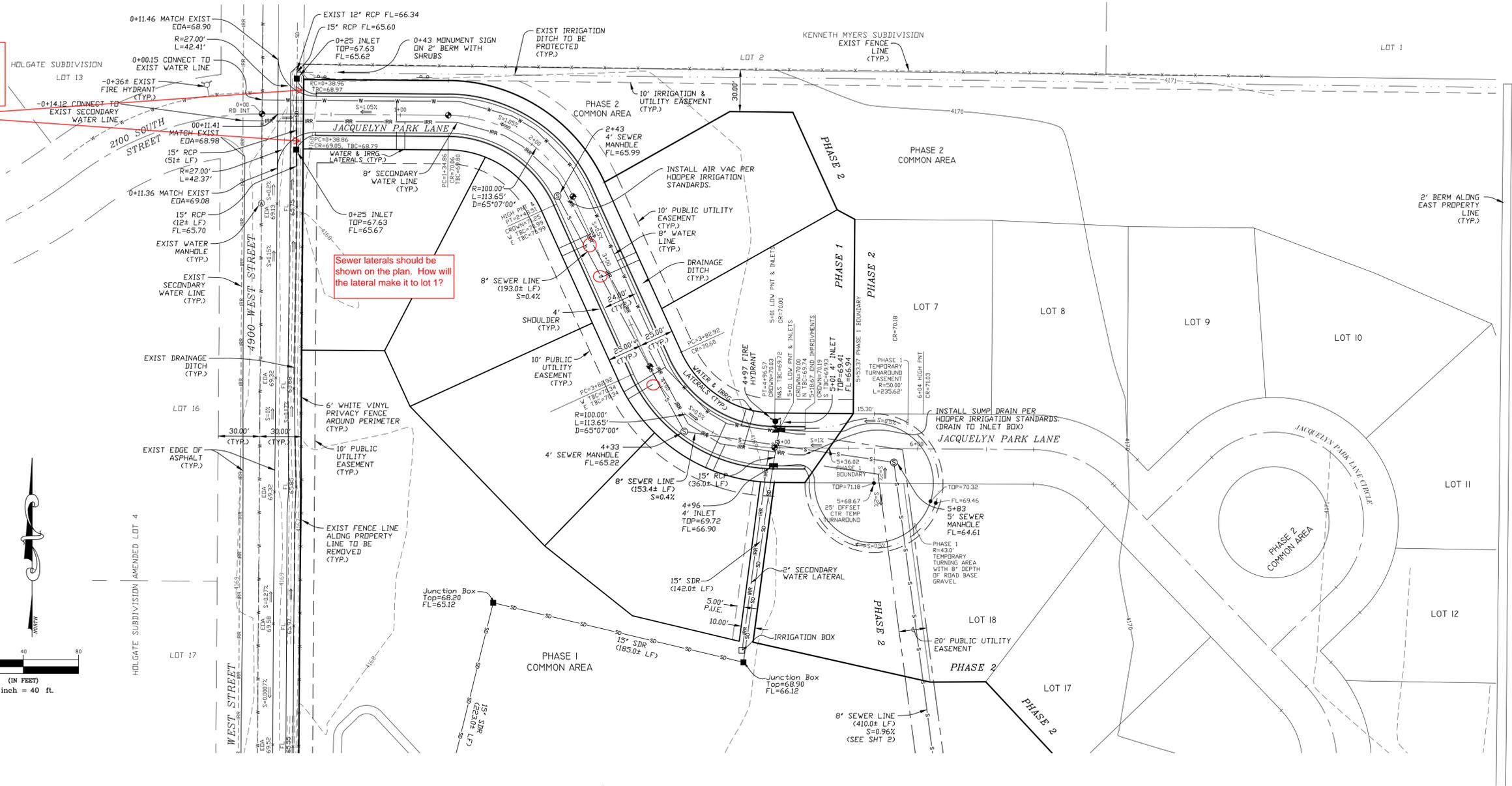


LEGEND

- CENTERLINE
- - - EXISTING DRAINAGE DITCH
- - - PROPOSED DRAINAGE DITCH(SWAL)
- - - EXISTING FENCE LINE
- - - PROPOSED FENCE LINE
- - - EXISTING WATER LINE
- - - PROPOSED WATER LINE
- - - EXISTING SANITARY SEWER
- - - PROPOSED SANITARY SEWER
- - - EXISTING STORM DRAIN
- - - PROPOSED STORM DRAIN
- - - EXISTING IRRIGATION LINE
- - - PROPOSED IRRIGATION LINE
- - - EXISTING POWER LINE
- - - EXISTING 1' CONTOUR
- - - EXISTING 5' CONTOUR
- - - EXISTING STORM DRAIN MANHOLE
- PROPOSED INLET
- PROPOSED STORM DRAIN MANHOLE
- EXISTING DRAINAGE FLOW
- PROPOSED DRAINAGE FLOW
- EXISTING SIGN
- PROPOSED SIGN
- EXISTING SEWER MANHOLE
- PROPOSED SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED VALVE
- PROPOSED STREET MONUMENT
- EXISTING TELEPHONE PEDESTAL
- PROPOSED LIGHT POLE (NOT TO EXCEED 15 FT IN HEIGHT)
- EXISTING UTILITY POLE
- EXISTING GROUND ELEVATION
- XXX.X PROPOSED GROUND ELEVATION
- EDA EDGE OF ASPHALT
- TA TOP OF ASPHALT
- TC TOP OF CURB
- FL FLOW LINE
- TD TOP OF DETENTION
- LF LINEAR FEET
- WESTERN RIVER BIRCH CLUMPS
- DECORATIVE GRASS
- BARBERRY SHRUB (5 GALLON)
- RED-LEAF PLUM SHRUB (5 GALLON)
- SUNRISE FORSYTHIA SHRUB (5 GALLON)
- SCOTCH PINE (2" CALIPER)
- FLOWERING PEAR (2" CALIPER)
- SPRING SNOW CRABAPPLE (2" CALIPER)
- AUTUMN BLAZE MAPLE (2" CALIPER)
- GRASS
- KENTUCKY BLUE BLEND
- ALL CONSTRUCTION SHALL CONFORM TO WEBER COUNTY STANDARDS.

With the flows that could potentially come through this area the swale will need to be armored to prevent erosion, or the curb and gutter extended.

Sewer laterals should be shown on the plan. How will the lateral make it to lot 1?



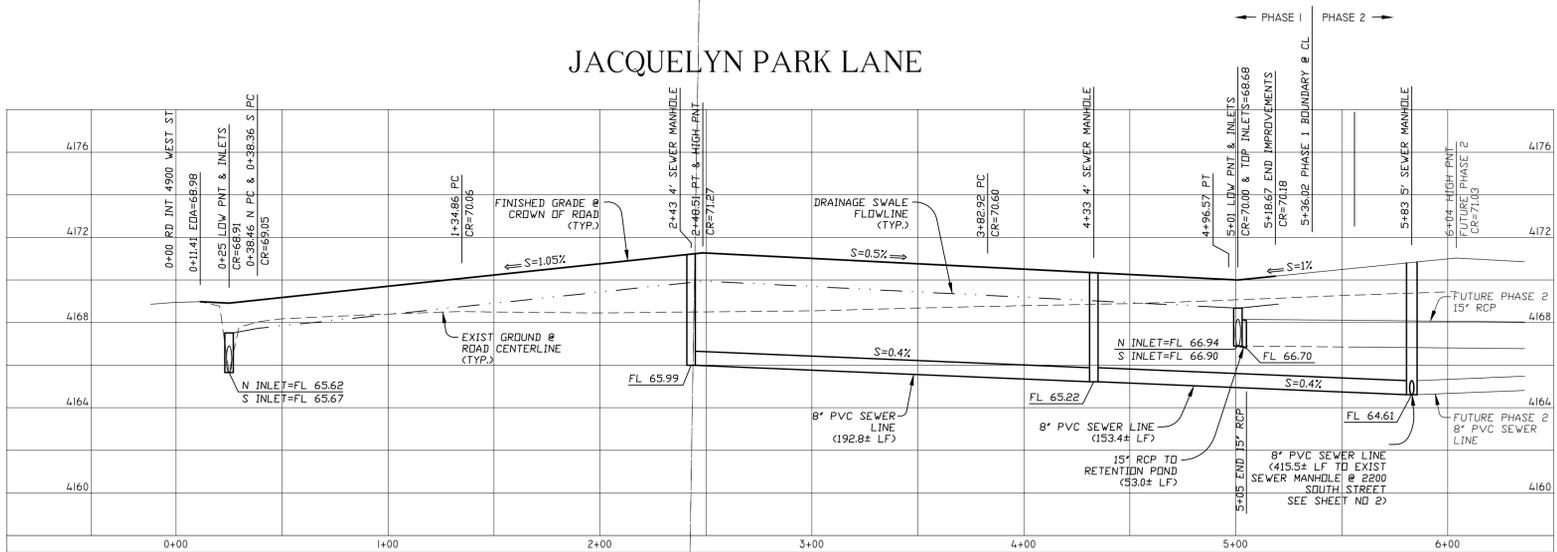
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3. ALL IRRIGATION PIPES SHALL BE PVC 900, AND ALL CONSTRUCTION SHALL CONFORM TO HOOPER IRRIGATION COMPANY STANDARDS.

STORM WATER POLLUTION PREVENTION

1. STORM WATER POLLUTION NOTES: IN MAINTAINING THE QUALITY OF WATER WITHIN THE STATE, THE FOLLOWING PROVISIONS WILL BE REQUIRED, AS A MINIMUM, FOR ANY CONSTRUCTION, CLEARING, GRUBBING OR OTHER DISTURBANCE OF THE NATIVE GROUND. OTHER REQUIREMENTS MEETING THE POLLUTION PREVENTION PLAN MAY BE IMPOSED BY THE GOVERNING AGENCY, AS NEEDED PER SITE CONDITIONS.
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3. A STAGING AREA FOR CONSTRUCTION EQUIPMENT AND MATERIALS WILL BE REQUIRED AT EVERY SITE. THE STAGING AREA SHALL BE SUFFICIENTLY REMOVED FROM ANY IRRIGATION, DRAINAGE OR ROADWAY AND GRADED TO PREVENT RUNOFF INTO ANY WATERWAY OR EXISTING ROAD.
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SCALES:
HORIZONTAL 1" = 40'
VERTICAL 1" = 4'



REVISIONS	
1.) 04-08-2014 L.A.	5.)
2.) 08-05-2014 L.A.	6.)
3.)	7.)
4.)	8.)

DRAWN BY: L.A.	DATE: 01-22-2014
CHECKED BY: D.B.	SCALE: AS SHOWN
JOB NO. 3010IMP-AUG2014	



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4646 S. 3500 W. #A-3, WEST HAVEN, UTAH 84401
PHONE 801-731-4075 FAX 801-731-8506
LANDMARKSURVEYUTAH.COM

IMPROVEMENT PLAN
DEVELOPER: CRAIG STANDING PH: 801-540-4989

JACQUELYN ESTATES CLUSTER SUBDIVISION PH 1
LOCATED IN THE N.W. 1/4 OF SECTION 29, T.6N., R.2W., S.L.B.&M.
WEBER COUNTY, UTAH

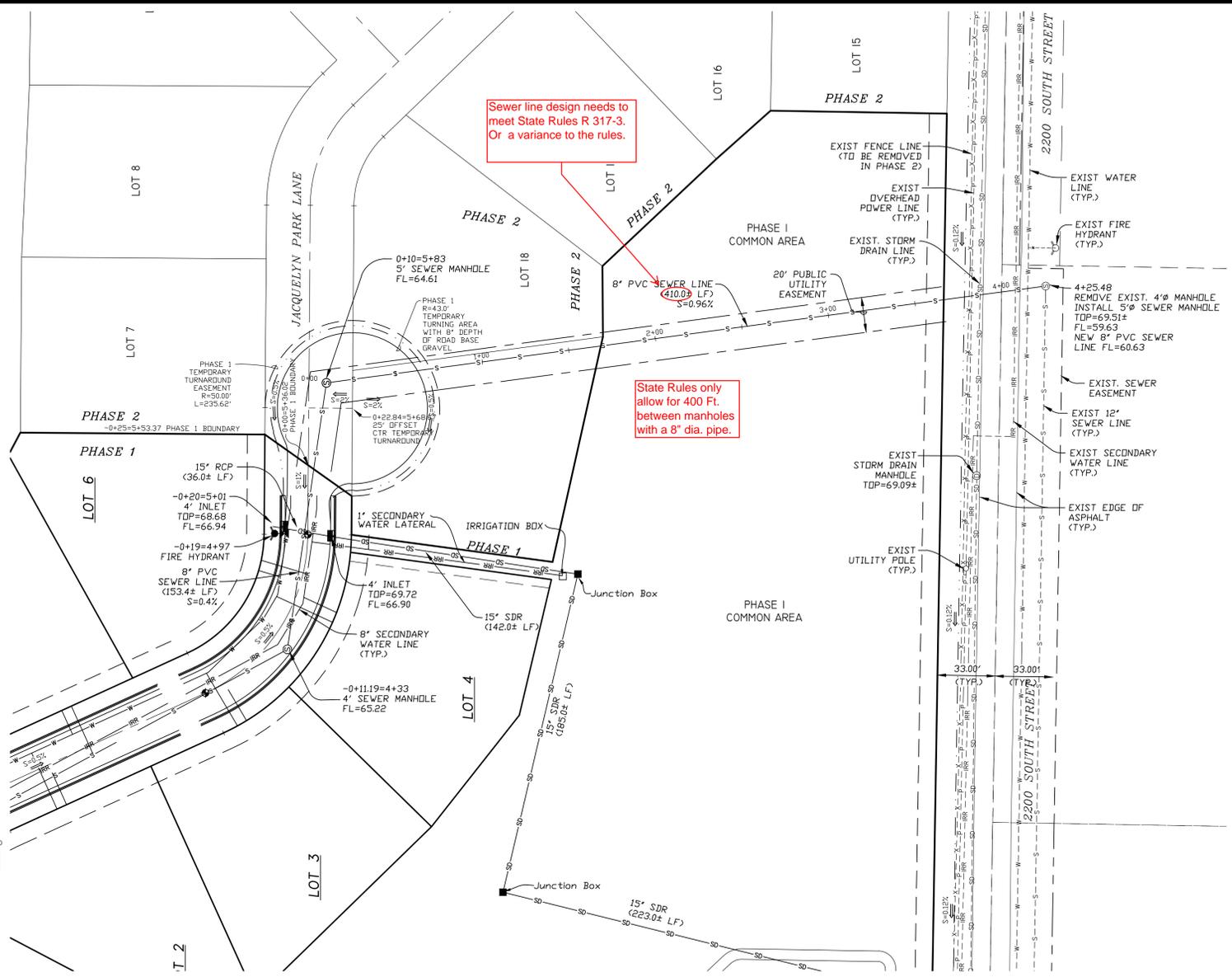
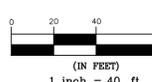
SHEET	1
SHEETS	4

LEGEND

- CENTERLINE
- - - EXISTING DRAINAGE DITCH
- - - PROPOSED DRAINAGE DITCH/SWALE
- - - EXISTING FENCE LINE
- - - PROPOSED FENCE LINE
- - - EXISTING WATER LINE
- - - PROPOSED WATER LINE
- - - EXISTING SANITARY SEWER
- - - PROPOSED SANITARY SEWER
- - - EXISTING STORM DRAIN
- - - PROPOSED STORM DRAIN
- - - EXISTING IRRIGATION LINE
- - - PROPOSED IRRIGATION LINE
- - - EXISTING POWER LINE
- - - EXISTING 1" CONTOUR
- - - EXISTING 5' CONTOUR
- ⊙ EXISTING STORM DRAIN MANHOLE
- ⊙ PROPOSED INLET
- ⊙ PROPOSED STORM DRAIN MANHOLE
- EXISTING DRAINAGE FLOW
- PROPOSED DRAINAGE FLOW
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- PROPOSED SIGN
- ⊙ EXISTING SEWER MANHOLE
- ⊙ PROPOSED SEWER MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING VALVE
- ⊙ PROPOSED FIRE HYDRANT
- ⊙ PROPOSED VALVE
- ⊙ PROPOSED STREET MONUMENT
- ⊙ EXISTING TELEPHONE PEDESTAL
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- TD TOP OF DETENTION
- LF LINEAR FEET

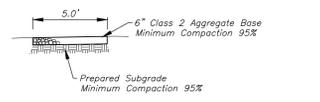
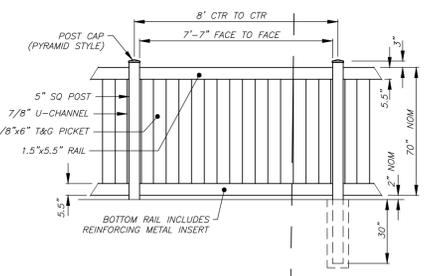
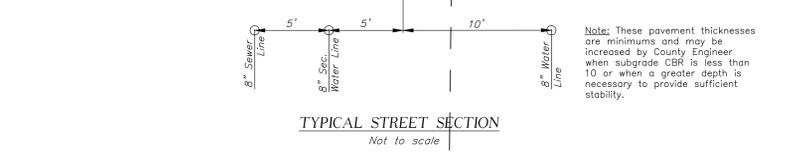
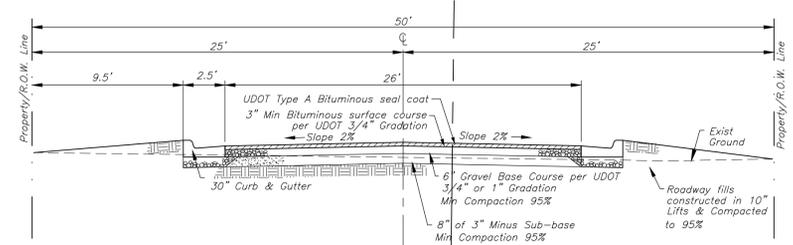
- ⊙ WESTERN RIVER BIRCH CLUMPS
- ⊙ DECORATIVE GRASS
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- ⊙ FLOWERING PEAR (2" CALIPER)
- ⊙ SPRING SNOW CRABAPPLE (2" CALIPER)
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- ⊙ GRASS KENTUCKY BLUE BLEND

ALL CONSTRUCTION SHALL CONFORM TO WEBER COUNTY STANDARDS.



Sewer line design needs to meet State Rules R 317-3. Or a variance to the rules.

State Rules only allow for 400 Ft. between manholes with a 8" dia. pipe.



GENERAL NOTES

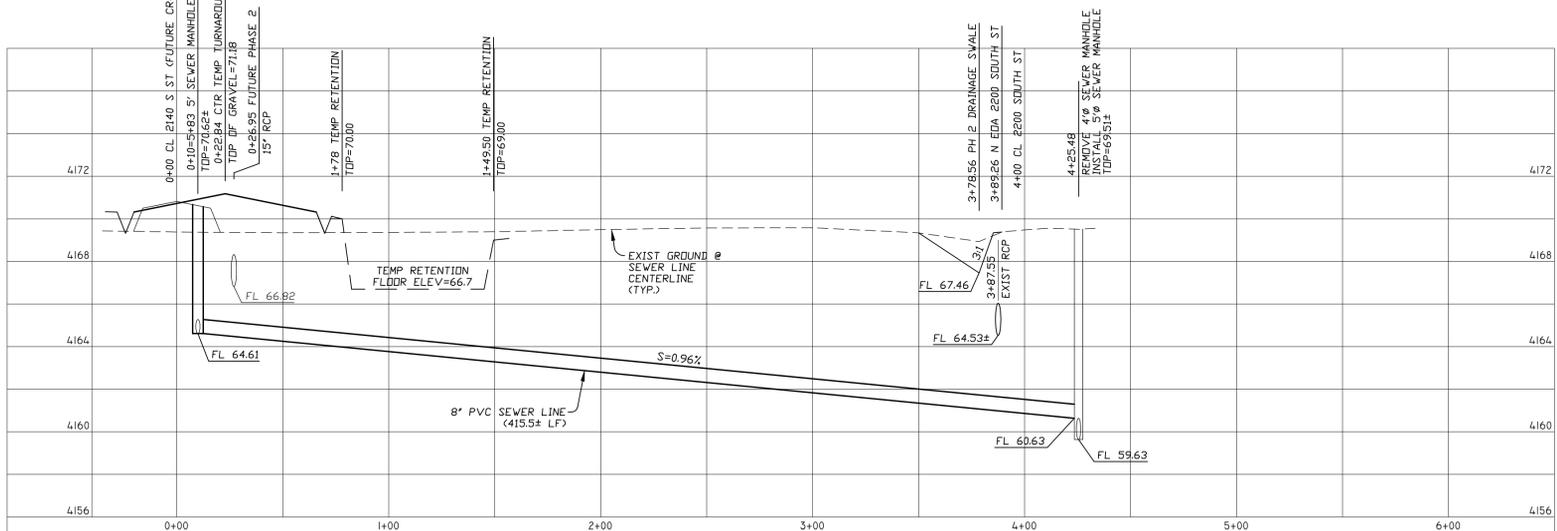
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NEW SEWER LINE FROM 2200 SOUTH ST TO JACQUELYN DRIVE



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IMPROVEMENT PLAN

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JACQUELYN ESTATES CLUSTER SUBDIVISION PH 1

LOCATED IN THE N.W. 1/4 OF SECTION 29, T.6N., R.2W., S.L.B.&M.
WEBER COUNTY, UTAH

SHEET

2

4

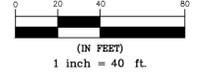
SHEETS

Grate needs to be designed so that it will not be sealed off with debris.

Need storm water calc's on this.

LEGEND

- CENTERLINE
- - - EXISTING DRAINAGE DITCH
- - - - - PROPOSED DRAINAGE DITCH/SWALE
- X-X- EXISTING FENCE LINE
- X-X- PROPOSED FENCE LINE
- W-W- EXISTING WATER LINE
- W-W- PROPOSED WATER LINE
- S-S- EXISTING SANITARY SEWER
- S-S- PROPOSED SANITARY SEWER
- SD-SD- EXISTING STORM DRAIN
- SD-SD- PROPOSED STORM DRAIN
- IRR- EXISTING IRRIGATION LINE
- IRR- PROPOSED IRRIGATION LINE
- P-P- EXISTING POWER LINE
- P-P- PROPOSED POWER LINE
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- ⊙ EXISTING STORM DRAIN MANHOLE
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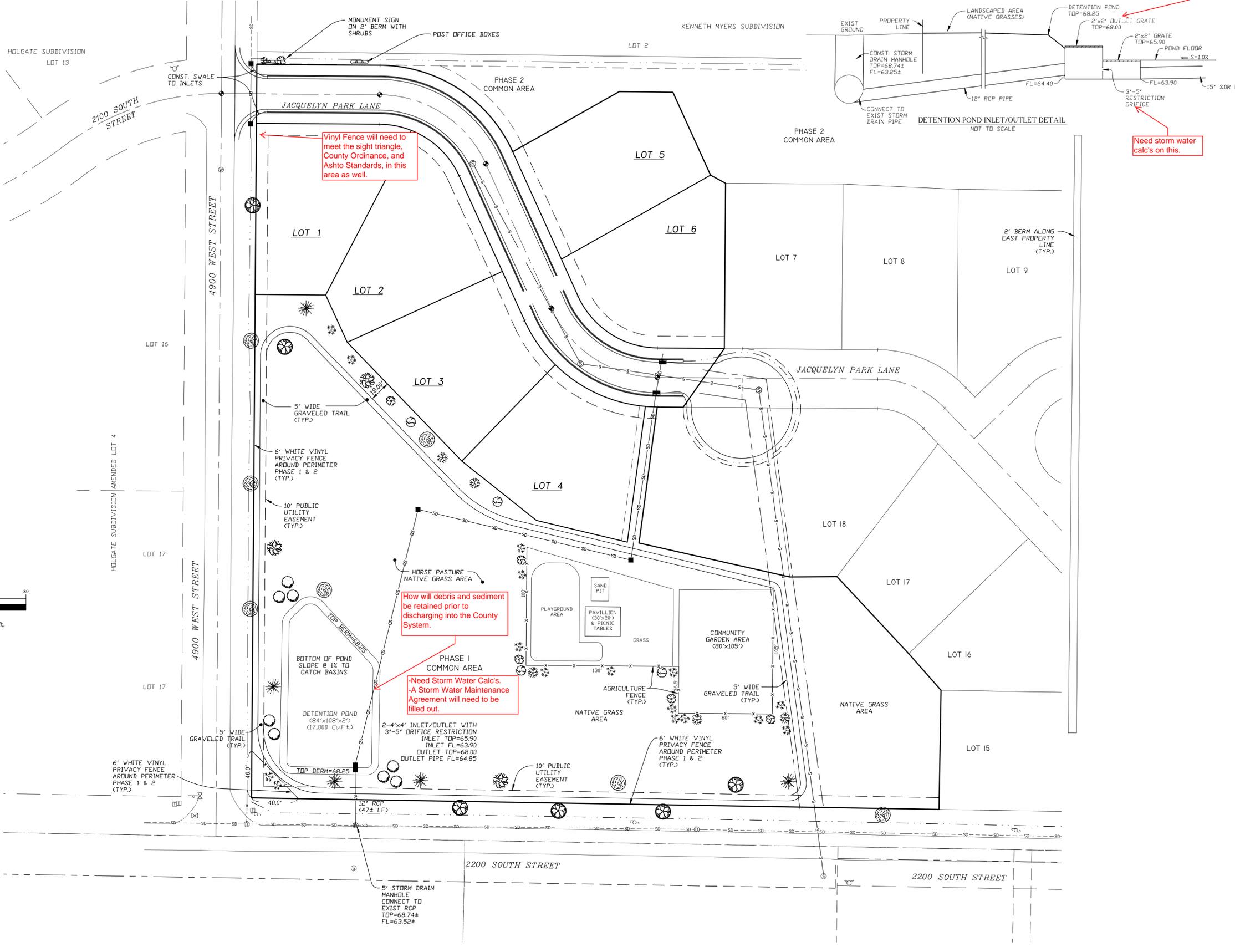


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LANDSCAPING PLAN

DEVELOPER: CRAIG STANDING PH: 801-540-4989

JACQUELYN ESTATES CLUSTER SUBDIVISION PH 1

LOCATED IN THE N.W. 1/4 OF SECTION 29, T.6N., R.2W., S.L.B.&M.
WEBER COUNTY, UTAH

SHEET	3
SHEETS	4

JACQUELYN ESTATES CLUSTER SUBDIVISION PHASE 1

A PART OF THE NORTHWEST QUARTER OF SECTION 29, T. 6 N., R. 2 W., S.L.B. & M.

WEBER COUNTY, UTAH

JANUARY 2015

N 1/4 COR OF SEC 29,
T6N, R2W, S18M
FOUND WEBER CO MONUMENT
DATED 1963, FAIR CONDITION

SURVEYORS CERTIFICATE

I, DALLAS K. BUTTARS, HOLDING PROFESSIONAL LAND SURVEYOR'S LICENSE NO. 167594, IN ACCORDANCE WITH TITLE 58, CHAPTER 22 OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THE PLAT IN ACCORDANCE WITH SECTION 17-29-17 AND HAVE VERIFIED ALL MEASUREMENTS AND PLACED MONUMENTS AS REPRESENTED ON THE PLAT. THIS SURVEY WAS PREPARED FROM RECORDS IN THE RECORDERS AND SURVEYORS OFFICE AND I FURTHER CERTIFY THAT ALL LOTS MEET CURRENT LOT WIDTH AND AREA REQUIREMENTS FOR WEBER COUNTY ZONING.

SIGNED THIS _____ DAY OF _____ 20____

P.L.S. #167594

OWNER'S DEDICATION

WE, THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THE PLAT AND NAME SAID TRACT OF LAND AS JACQUELYN ESTATES CLUSTER SUBDIVISION PHASE 1 AND DO HEREBY DEDICATE, GRANT AND CONVEY TO WEBER COUNTY, UTAH, ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS PHASE 2 COMMON AREA TO BE USED AS PUBLIC THROUGHWAY FOREVER, AND ALSO GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED ON THE PLAT AS PUBLIC UTILITY, STORM WATER DETENTIONS Ponds AND DRAINAGE EASEMENTS, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES, STORM DRAINAGE FACILITIES OR FOR THE PERPETUAL PRESERVATION OF WATER CHANNELS IN THEIR NATURAL STATE WHICH EVER IS APPLICABLE AS MAY BE AUTHORIZED BY WEBER COUNTY, UTAH, WITH NO BUILDINGS OR STRUCTURES BEING ERRECTED WITHIN SUCH EASEMENTS, AND HEREBY GRANT A TEMPORARY TURN AROUND EASEMENT AS SHOWN HEREIN TO BE USED BY THE PUBLIC UNTIL SUCH TIME THAT THE ROAD IS EXTENDED THE TEMPORARY TURN AROUND EASEMENT SHALL BE REVOKED AND NULLIFIED AT THE EVENT OF THE EXTENSION OF THE ROAD WITHOUT FURTHER WRITTEN DOCUMENT AND THE ENCUMBERED LAND WITHIN THE AFFECTED LOTS SHALL BE RELEASED FOR THE FULL AND EXCLUSIVE USE AND BENEFIT OF THE LOT OWNERS.

SIGNED THIS _____ DAY OF _____ 20____

PRESIDENT CJ HJMES

CORPORATE ACKNOWLEDGMENT

State of Utah)
County of _____)
On this _____ day of _____, 2____, _____ personally appeared before me _____ whose identity is _____ (name of document signer) personally known to me (or proven on the basis of satisfactory evidence) and who by me duly sworn/affirmed, did say that he/she is the _____ of _____ (Title or Office) (Name of Corporation) and that said document was signed by him/her in behalf of said Corporation by Authority of its Bylaws, or (Resolution of its Board of Directors), and said _____ (name of document signer) acknowledged to me that said Corporation executed the same.

Notary Public _____

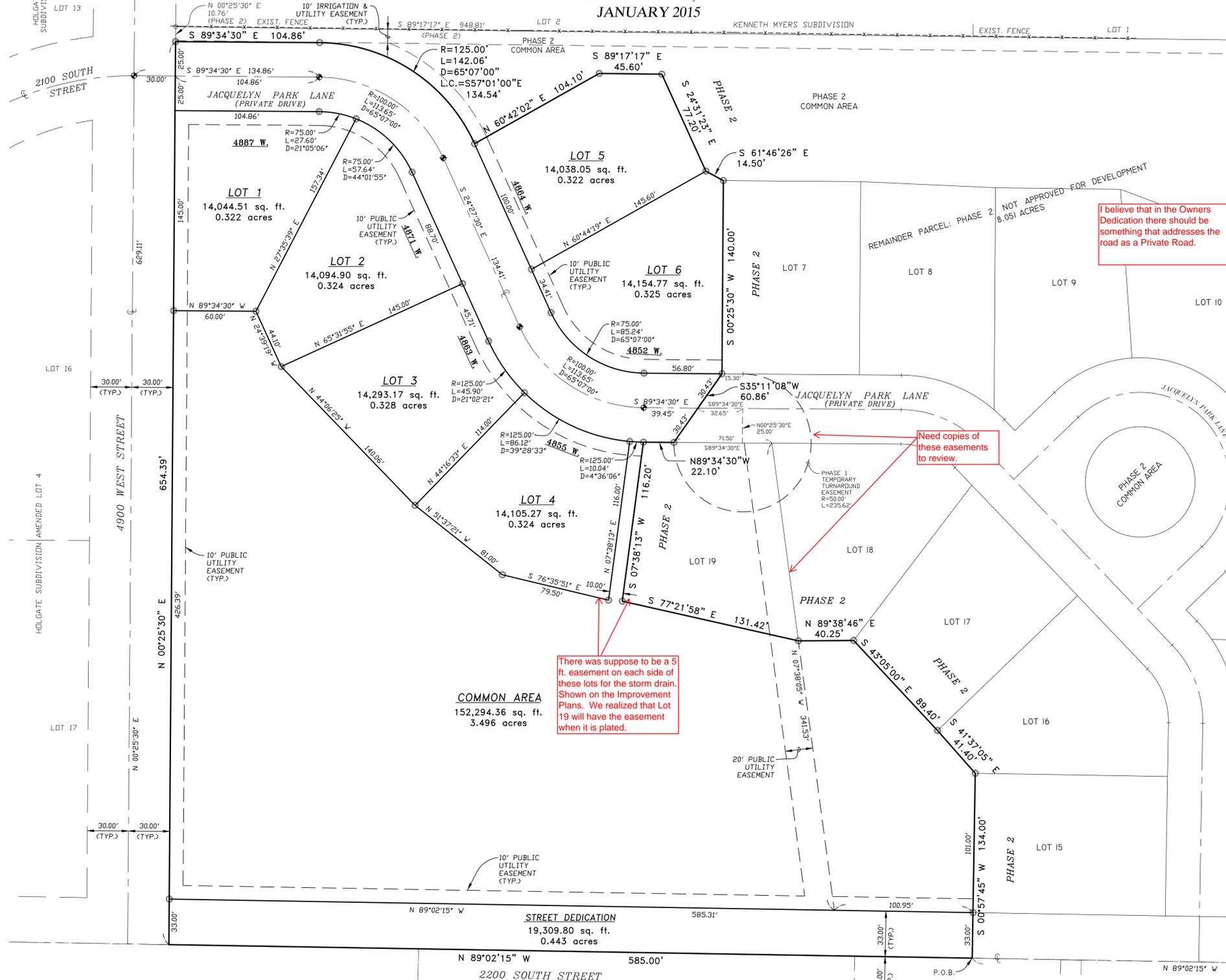
BOUNDARY DESCRIPTION

A PART OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE QUARTER SECTION LINE, SAID POINT ALSO BEING NORTH 89°02'15" WEST 142.78 FEET ALONG THE QUARTER SECTION LINE FROM THE CENTER OF SAID SECTION 29, AND RUNNING THENCE NORTH 89°02'15" WEST 585.00 FEET ALONG THE QUARTER SECTION LINE TO THE EAST R.O.W. LINE OF 4900 WEST STREET EXTENDED; THENCE NORTH 00°25'30" EAST 654.39 FEET ALONG SAID R.O.W. LINE OF 4900 WEST STREET; THENCE SOUTH 89°11'08" EAST 104.86 FEET; THENCE SOUTHEASTERLY 142.00 FEET ALONG THE ARC OF A 125.00 FOOT RADIUS CURVE TO THE RIGHT WITH A CENTRAL ANGLE OF 65°07'00" (L.C. = SOUTH 57°01'00" EAST 134.54 FEET); THENCE NORTH 60°42'02" EAST 104.10 FEET; THENCE SOUTH 89°17'17" EAST 45.60 FEET; THENCE NORTH 24°31'23" EAST 77.00 FEET; THENCE SOUTH 61°46'26" EAST 14.50 FEET; THENCE SOUTH 00°25'30" WEST 140.00 FEET; THENCE SOUTH 35°11'08" WEST 60.86 FEET; THENCE NORTH 89°34'30" WEST 22.10 FEET; THENCE SOUTH 07°38'13" WEST 116.20 FEET; THENCE SOUTH 77°21'58" EAST 131.42 FEET; THENCE SOUTH 43°05'00" EAST 89.40 FEET; THENCE SOUTH 41°37'05" EAST 41.40 FEET; THENCE SOUTH 00°57'45" WEST 134.00 FEET TO THE POINT OF BEGINNING. CONTAINS 281,635.82 SQFT = 6.465 ACRES.

NARRATIVE

THE PURPOSE OF THIS SURVEY WAS TO CREATE A SIX (6) LOT CLUSTER SUBDIVISION AS SHOWN. SURVEY WAS USED TO AID IN THIS PLAT. STEVE WEST SUBDIVISION, HOLGATE SUBDIVISION AND HOLGATE SUBDIVISION - AMENDED LOT 4, AS FOUND IN THE WEBER COUNTY RECORDERS OFFICE. BASIS OF BEARING IS UTAH STATE PLANE BEARING AS SHOWN.

CENTER OF SEC 29,
T6N, R2W, S18M
FOUND WEBER CO MONUMENT
DATED 1963, FAIR CONDITION

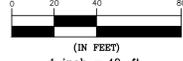


I believe that in the Owners Dedication there should be something that addresses the road as a Private Road.

Need copies of these easements to review.

There was suppose to be a 5 ft. easement on each side of these lots for the storm drain. Shown on the Improvement Plans. We realized that Lot 19 will have the easement when it is plated.

SCALE:



- = 5/8"Ø x 24" LENGTH REBAR WITH CAP STAMPED 167594
- = FOUND REBAR & CAP
- ◆ = SET STREET MONUMENT

WEBER COUNTY SURVEYOR

I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT FOR MATHEMATICAL CORRECTNESS, SECTION CORNER DATA, AND FOR HARMONY WITH LINES AND MONUMENTS ON RECORD IN COUNTY OFFICES. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.

SIGNED THIS _____ DAY OF _____ 20____

SIGNATURE

WEBER COUNTY ENGINEER

I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.

SIGNED THIS _____ DAY OF _____ 20____

SIGNATURE

WEBER COUNTY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND EFFECT.

SIGNED THIS _____ DAY OF _____ 20____

SIGNATURE

WEBER-MORGAN HEALTH DEPARTMENT

I HEREBY CERTIFY THAT THE SOILS, PERCOLATION RATES, AND SITE CONDITION FOR THIS SUBDIVISION HAVE BEEN INVESTIGATED BY THIS OFFICE AND ARE APPROVED FOR ON-SITE WASTEWATER DISPOSAL SYSTEMS.

SIGNED THIS _____ DAY OF _____ 20____

DIRECTOR, WEBER-MORGAN HEALTH DEPARTMENT

WEBER COUNTY PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION ON THE _____ DAY OF _____ 20____

CHAIRMAN, WEBER COUNTY COMMISSION

WEBER COUNTY COMMISSION ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS, AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH THIS _____ DAY OF _____ 20____

TITLE "CHAIRMAN, WEBER COUNTY COMMISSION"

ATTEST:

AGRICULTURAL NOTE

AGRICULTURE IS THE PREFERRED USE IN THE AGRICULTURE ZONES. AGRICULTURE OPERATIONS AS SPECIFIED IN THE ZONING ORDINANCE FOR A PARTICULAR ZONE ARE PERMITTED AT ANY TIME INCLUDING THE OPERATION OF FARM MACHINERY AND NO ALLOWED AGRICULTURE USE SHALL BE SUBJECT TO RESTRICTION ON THE BASIS THAT IT INTERFERES WITH ACTIVITIES OF FUTURE RESIDENTS OF THIS SUBDIVISION.

STREET DEDICATION
19,309.80 sq. ft.
0.443 acres

2200 SOUTH STREET

DEVELOPER:
CJ HJMES
PH: 801-540-4989

NOTE:
NO BASEMENTS ALLOWED IN THIS DEVELOPMENT.



LANDMARK SURVEYING, INC.
A COMPLETE LANDSURVEYING SERVICE
4646 S. 3500 W. #A-3, WEST HAVEN, UTAH 84401
PHONE 801-731-4075 FAX 801-731-8506
LANDMARKSURVEYINGUTAH.COM

CLIENT: CRAIG STANDING PH 801-540-4989
LOCATION: A PART OF THE NORTHWEST 1/4 OF SECTION 29, T.6N., R.2W., S.L.B.&M. WEBER COUNTY, UTAH
SURVEYED: JAN 2014

REVISIONS:	DRAWN BY: D.B. & L.A.
10-10-2014 L.A.	CHECKED BY: D.B.
11-26-2014 L.A.	DATE: AUG 05, 2014
	FILE: 3310FIN-OCT2014.DWG

WEBER COUNTY RECORDER

ENTRY # _____ FEE _____
FILED FOR RECORD & RECORDED
THIS _____ DAY OF _____ 20____
AT _____ IN BOOK _____ OF _____
PAGE _____
WEBER COUNTY RECORDER
BY _____ DEPUTY