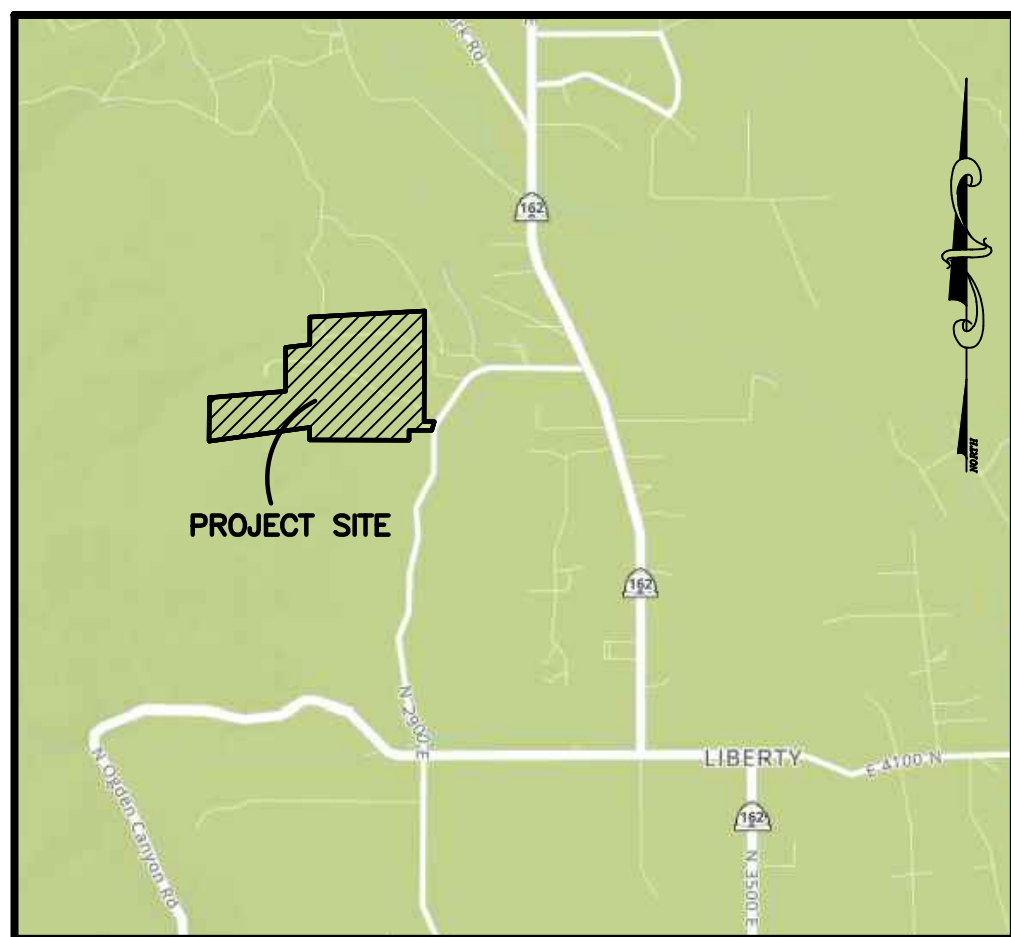


ARROWLEAF

PART OF THE NORTH AND EAST HALF OF SECTION 18, TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
WEBER COUNTY, UTAH
MAY, 2024



VICINITY MAP
SCALE: NONE

SOIL TEST PIT INFORMATION

EXPLORATION PIT #1 (UTM ZONE 12 NAD 83 42470 E 4577534 N)
0-11" LOAM, GRANULAR STRUCTURE
11-28" SANDY CLAY LOAM, BLOCKY STRUCTURE
28-40" CLAY LOAM, MASSIVE STRUCTURE, 5% GRAVEL
40-65" SANDY CLAY LOAM, MASSIVE STRUCTURE, 10% GRAVEL,
COMMON RED/GRAY MOTTLING
65-115" GRAVELLY SANDY CLAY LOAM, MASSIVE STRUCTURE, 40% GRAVEL

EXPLORATION PIT #2 (UTM ZONE 12 NAD 83 426401 E 4577573 N)
0-18" SANDY LOAM, GRANULAR STRUCTURE
18-64" CLAY LOAM, BLOCKY STRUCTURE, COMMON RED MOTTLING
FINE, DENSE, MOTTLES COMMON BELOW 19"
64-95" SANDY CLAY LOAM, MASSIVE STRUCTURE, 2-5% COBBLE-STONE,
MANY RED MOTTLES

EXPLORATION PIT #3 (UTM ZONE 12 NAD 83 426320 E 4577610 N)
0-18" LOAM, GRANULAR STRUCTURE, <5% GRAVEL
18-44" ANDY LOAM, GRANULAR STRUCTURE, <5% COBBLE
44-85" SAND LOAM MASSIVE STRUCTURE

EXPLORATION PIT #1 (4A) (UTM ZONE 12 NAD 83 426297 E 4577388 N)
0-26" LOAM, GRANULAR STRUCTURE, 5% GRAVEL
26-50" SANDY CLAY LOAM, GRANULAR STRUCTURE TO MASSIVE STRUCTURE,
COMMON RED MOTTLING
50-84" SANDY CLAY LOAM, MASSIVE STRUCTURE, COMMON RED MOTTLES
GROUND WATER ENCOUNTERED AT 90"

EXPLORATION PIT #5A (UTM ZONE 12 NAD 83 426421 E 4577388 N)
0-15" LOAM, GRANULAR STRUCTURE
15-28" LOAM (NEAR SANDY LOAM), BLOCKY STRUCTURE
28-49" LOAM (NEAR SANDY LOAM), MASSIVE STRUCTURE
49-80" GRAVELLY SANDY LOAM, MASSIVE STRUCTURE, 50% GRAVEL &
<5% COBBLE

EXPLORATION PIT #6 (UTM ZONE 12 NAD 83 426194 E 4577463 N)
0-19" GRAVELLY LOAM, GRANULAR STRUCTURE, 15-20% COBBLE STONE
19-55" SANDY LOAM, BLOCKY STRUCTURE, 10-15% GRAVEL, COMMON
RED MOTTLING @36" AND BELOW
55-109" CLAY LOAM, MASSIVE STRUCTURE, MANY RED/GRAY MOTTLES
GROUND WATER ENCOUNTERED AT 109"

EXPLORATION PIT #7 (UTM ZONE 12 NAD 83 426120 E 4577518 N)
0-17" SANDY LOAM, GRANULAR STRUCTURE
17-36" GRAVELLY SANDY LOAM, BLOCKY STRUCTURE, 40-50% GRAVEL
36-64" CLAY LOAM, MASSIVE STRUCTURE, COMMON RED MOTTLING
64-100" SANDY CLAY LOAM, MASSIVE STRUCTURE, 5-10% GRAVEL,
COMMON RED MOTTLING

EXPLORATION PIT #8 (UTM ZONE 12 NAD 83 426211 E 4577641 N)
0-20" GRAVELLY SANDY LOAM, GRANULAR STRUCTURE, 5% GRAVEL
21-123" GRAVELLY SANDY LOAM, MASSIVE STRUCTURE, 45%
GRAVEL-COBBLE

EXPLORATION PIT #9 (UTM ZONE 12 NAD 83 426073 E 4577608 N)
0-30" FINE SANDY LOAM, GRANULAR STRUCTURE, 5% GRAVEL
31-126" GRAVELLY FINE SANDY LOAM, MASSIVE STRUCTURE, 25% GRAVEL
COBBLE

DEVELOPER:

DAVID CHUGG
1648 FARR WEST DR.
OGDEN, UT. 84404

WEBER COUNTY PLANNING
DIRECTOR

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY
APPROVED BY THE WEBER COUNTY PLANNING DIRECTOR.
SIGNED THIS _____ DAY OF _____, 20____.

WEBER COUNTY PLANNING DIRECTOR

WEBER COUNTY ENGINEER

I HEREBY CERTIFY THAT THE REQUIRED PUBLIC
IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS
SUBDIVISION CONFORM WITH THE COUNTY STANDARDS AND
THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT
FOR THE INSTALLATION OF THESE IMPROVEMENTS.

WEBER COUNTY ENGINEER

BOUNDARY DESCRIPTION

PART OF THE NORTH AND EAST HALF OF SECTION 18, TOWNSHIP 7 NORTH, RANGE 1
EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. MORE PARTICULARLY DESCRIBED AS
FOLLOWS:

BEGINNING AT A POINT AT THE CENTER OF SAID SECTION 18 (SAID CENTER BEING
SOUTH 88°01'57" WEST 2659.58 FEET FROM THE EAST QUARTER CORNER OF SAID
SECTION 18); THENCE SOUTH 82°09'13" WEST 1175.70 FEET; THENCE
NORTH 00°20'46" EAST 503.44 FEET; THENCE NORTH 84°57'32" EAST 883.72 FEET;
THENCE NORTH 00°20'45" EAST 530.58 FEET; THENCE NORTH 82°08'00" EAST 283.85
FEET; THENCE NORTH 00°1'34" EAST 289.82 FEET; THENCE NORTH 86°56'27" EAST
1331.77 FEET; THENCE SOUTH 00°12'39" WEST 1281.11 FEET; THENCE
SOUTH 88°30'04" EAST 118.46 FEET; THENCE ALONG A NON-TANGENT CURVE TURNING
TO THE LEFT WITH A RADIUS OF 407.09 FEET, AN ARC LENGTH OF 11.63 FEET, A
DELTA ANGLE OF 15°42'42", A CHORD BEARING OF SOUTH 13°10'52" WEST, AND A
CHORD LENGTH OF 111.28 FEET; THENCE SOUTH 89°56'31" WEST 303.17 FEET; THENCE
ALONG A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 122.47 FEET,
AN ARC LENGTH OF 8.05 FEET, A DELTA ANGLE OF 03°45'59", A CHORD BEARING OF
SOUTH 01°52'37" WEST, AND A CHORD LENGTH OF 8.05 FEET; THENCE
SOUTH 00°20'41" WEST 71.85 FEET; THENCE NORTH 89°47'31" WEST 1118.64 FEET;
THENCE NORTH 00°10'28" EAST 117.80 FEET TO THE POINT OF BEGINNING.

CONTAINING 2,606,058 SQUARE FEET OR 59.827 ACRES.

WEBER COUNTY COMMISSION ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE
DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND
FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS
ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY
APPROVED AND ACCEPTED BY THE COMMISSIONERS OF
WEBER COUNTY, UTAH.
SIGNED THIS _____ DAY OF _____,
20____.

CHAIRMAN, WEBER COUNTY COMMISSION

ATTEST

TITLE

WEBER COUNTY SURVEYOR

I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S
OFFICE HAS REVIEWED THIS PLAT AND ALL CONDITIONS FOR
APPROVAL BY THIS OFFICE HAVE BEEN SATISFIED. THE
APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR
DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO
EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR
LIABILITIES ASSOCIATED THEREWITH

SIGNED THIS _____ DAY OF _____, 20____.

WEBER COUNTY SURVEYOR

WEBER COUNTY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER
DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT, AND
IN MY OPINION THEY CONFORM WITH THE COUNTY
ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND
AFFECT.
SIGNED THIS _____ DAY OF _____, 20____.

WEBER COUNTY ATTORNEY

LINE TABLE

#	BEARING	DISTANCE
L1	S89°56'31"W	25.07'
L2	N89°38'45"W	75.90'
L3	N24°01'12"E	43.80'
L4	S41°57'07"E	17.32'
L5	S68°21'46"E	40.21'
L6	N59°16'37"E	158.73'
L7	S30°43'23"E	10.00'
L8	S59°16'37"W	151.02'
L9	S65°59'18"E	50.21'
L10	N28°21'53"E	141.42'
L11	S61°38'07"E	141.42'
L12	S28°21'53"W	141.42'
L13	N61°38'07"W	141.42'
L14	S50°05'03"E	66.13'
L15	N74°27'11"W	90.69'
L16	S15°32'49"E	10.00'
L17	S74°27'11"W	83.81'
L18	S64°20'59"E	19.95'
L19	N25°39'56"E	141.42'
L20	S64°20'04"E	141.42'
L21	S25°39'56"W	141.42'
L22	N64°20'04"W	141.42'
L23	N50°05'03"W	101.22'
L24	N50°05'03"W	43.60'
L25	N50°15'16"W	56.89'
L26	N50°15'16"W	22.52'
L27	N50°15'16"W	34.37'
L28	S79°36'17"E	20.00'
L29	N10°23'43"E	104.16'
L30	S68°08'33"E	213.87'
L31	S28°34'23"W	132.57'
L32	N80°27'32"W	171.14'
L33	N14°29'16"W	104.04'
L34	S81°23'41"W	143.00'
L35	N09°56'53"W	83.50'
L36	N83°42'40"E	144.66'
L37	S08°54'33"E	77.63'
L38	S34°12'03"E	36.96'
L39	S55°47'57"W	10.00'
L40	N34°12'03"W	35.86'
L41	N65°19'55"E	30.00'
L42	N52°10'58"W	131.20'
L43	S52°10'58"E	70.74'
L44	S74°21'37"W	66.86'
L45	S46°02'09"W	267.44'
L46	SOUTH	261.17'
L47	S28°38'47"W	15.87'
L48	S57°51'18"W	22.42'
L49	EAST	50.81'
L50	SOUTH	70.50'
L51	WEST	70.50'
L52	NORTH	61.29'
L53	N62°37'32"W	72.35'

NARRATIVE

THE PURPOSE OF THIS PLAT IS TO DIVIDE THE BELOW DESCRIBED PROPERTY INTO LOTS AND PRIVATE
STREET AS SHOWN. ALL BOUNDARY CORNERS AND REAR LOT CORNERS WERE SET WITH A 5/8" X 24"
REBAR AND PLASTIC CAP STAMPED "REEVE & ASSOCIATES". THE BOUNDARY WAS DETERMINED FROM
FOUND SECTION CORNER MONUMENTS AS SHOWN.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS PLAT IS BETWEEN THE CENTER AND THE EAST QUARTER CORNER OF
SECTION 18, TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY,
SHOWN HEREON AS: N88°01'57"E

NOTES

- DUE TO THE TOPOGRAPHY AND THE LOCATION OF THIS SUBDIVISION ALL OWNERS WILL ACCEPT
RESPONSIBILITY FOR ANY STORM WATER RUNOFF FROM THE ROAD ADJACENT TO THIS PROPERTY
UNTIL CURB AND GUTTER IS INSTALLED.
- WELL LOCATIONS DELINEATED ON PLAT AND PER WELL APPROVAL DOCUMENTS WITH WEBER
COUNTY.
- A GEO HAZARDS STUDY SHALL BE REQUIRED AT THE TIME OF A BUILDING PERMIT OF EACH LOT.
- STRUCTURES ARE REQUIRED TO BE BUILT WITHIN THE BUILDABLE AREAS SHOWN ON EACH LOT.
- USE OF A STREET LABELED AS "PRIVATELY OPERATED AND MAINTAINED STREET" IS RESERVED
FOR THE EXCLUSIVE AND PRIVATE USE OF THE ADJOINING LOT OWNERS UNTIL AND UNLESS THE
GOVERNING BODY ASSUMES PUBLIC RESPONSIBILITY FOR THE STREET.
- THE HOME OWNERS ASSOCIATION WILL MAINTAIN COMMON AREAS (PARCELS A, B AND C).
- PROJECT IS IN ZONE X PER FEMA FLOOD MAP PANEL# 49057C0207F, EFFECTIVE 6/2/2015.

RECORD OF SURVEY

SURVEYOR'S CERTIFICATE

I, **TREVOR J. HATCH**, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN
THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL
ENGINEERS AND LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE
PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE
VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS
PLAT, AND THAT THIS PLAT OF **ARROWLEAF** IN **WEBER COUNTY**, UTAH, HAS BEEN DRAWN
CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF
THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA
OBTAINED FROM RECORDS IN THE **WEBER COUNTY** RECORDER'S OFFICE AND FROM SAID
SURVEY MADE BY ME ON THE GROUND. I FURTHER CERTIFY THAT THE REQUIREMENTS OF
ALL APPLICABLE STATUTES AND ORDINANCES OF **WEBER COUNTY** CONCERNING ZONING
REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 20____.

9031945

UTAH LICENSE NUMBER



OWNERS DEDICATION AND CERTIFICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET
APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THE PLAT AND
NAME SAID TRACT **ARROWLEAF**, AND DO HEREBY DEDICATE TO THE OWNERS OF ARROWLEAF
ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS PRIVATE ACCESS
AND DRAINAGE EASEMENTS, THE SAME TO BE USED AS PRIVATE ACCESS FOR THE INDIVIDUAL
LOT OWNERS, AS WELL AS EASEMENT FOR DRAINAGE TO BE OPERATED AND MAINTAINED BY
THE HOMEOWNERS ASSOCIATION OF ARROWLEAF; AND DO HEREBY DEDICATE 10-FOOT PRIVATE
DRAINAGE EASEMENTS TO BE OPERATED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION
OF ARROWLEAF; AND DO HEREBY GRANT AND DEDICATE TO THE OWNERS OF ARROWLEAF,
PARCEL 'A', PARCEL 'B', AND PARCEL 'C' TO BE OPERATED AND MAINTAINED BY THE
HOMEOWNERS ASSOCIATION OF ARROWLEAF; AND TO HEREBY GRANT AND DEDICATE A 20-FOOT
WIDE PRIVATE WATER EASEMENT AND PRIVATE ACCESS EASEMENT ACROSS A PORTION OF LOT
5 FOR THE PURPOSE OF CONVEYING WATER TO THE OWNERS OF ARROWLEAF, AND PROVIDING
PERPETUAL PRIVATE ACCESS TO THE ADJACENT PROPERTY OWNERS TO THE WEST (PARCEL
22--008--0083) AND (22--008--0018) AND TO THE SOUTH (22--008--0082), THEIR
SUCCESSORS AND/OR ASSIGNS; AND DO HEREBY GRANT AND DEDICATE A 12-FOOT WIDE
PRIVATE ACCESS/WATER EASEMENT AND PRIVATE TANK EASEMENT ACROSS A PORTION OF LOT
5 FOR ACCESS TO WATER TANK; AND DO HEREBY GRANT AND DEDICATE RIGHT AND EASEMENT
OVER, UPON AND UNDER THE LANDS DESIGNATED HEREON AS PUBLIC UTILITY EASEMENTS, THE
SAME TO BE USED FOR THE INSTALLATION MAINTENANCE AND OPERATION OF PUBLIC UTILITY
SERVICE LINES, STORM DRAINAGE FACILITIES, IRRIGATION CANALS, WITH NO BUILDINGS OR
STRUCTURES BEING ERCTED WITHIN SUCH EASEMENTS.

SIGNED THIS _____ DAY OF _____, 20____.

ARROWLEAF PUD LLC

NAME/TITLE

ACKNOWLEDGMENT

STATE OF UTAH _____ }ss.
COUNTY OF _____ }

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED
BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____ (AND)
_____, SIGNER(S) OF THE ABOVE OWNER'S DEDICATION AND CERTIFICATION,
WHO BEING BY ME DULY SWORN, DID ACKNOWLEDGE TO ME _____ SIGNED IT
FREELY, VOLUNTARILY, AND FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES

NOTARY PUBLIC

ACKNOWLEDGMENT

STATE OF UTAH _____ }ss.
COUNTY OF _____ }

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED
BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____ (AND)
_____, BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE
_____, AND _____ OF SAID CORPORATION AND THAT THEY
SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND
IN BEHALF OF SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES

NOTARY PUBLIC

Project Info.

Surveyor:

T. HATCH

Designer:

E. ROCHE

Begin Date:

3-6-24

Name:

ARROWLEAF

Number:

7895-01

Revision:

5-23-24

Scale:

1"=100'

Checked:



Reeve & Associates, Inc.

5160 S 1500 W, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve-associates.com

Weber County Recorder

Entry No. _____ Fee Paid _____

And Recorded, _____

At _____ in Book _____

Of The Official Records, Page _____

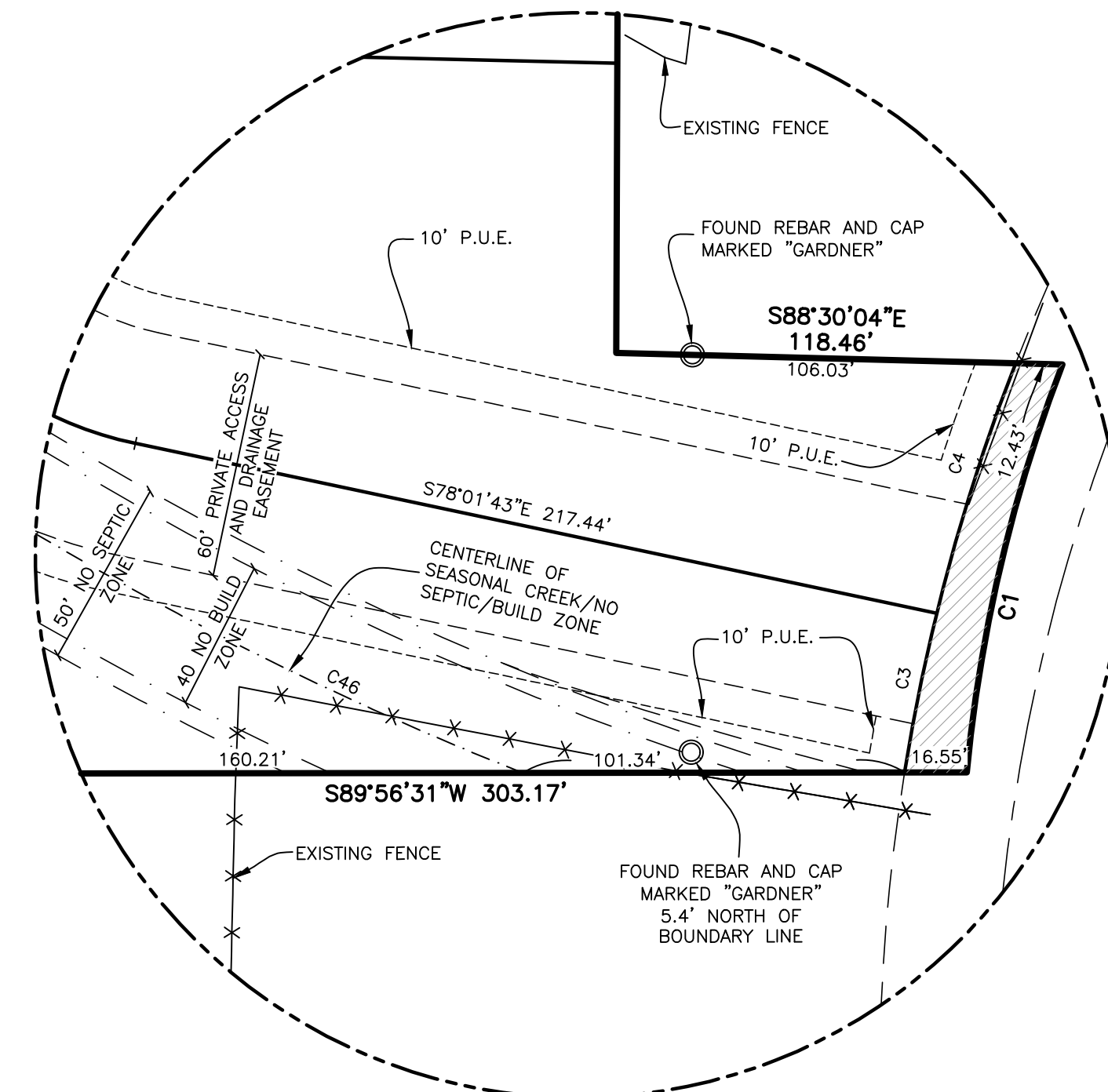
Recorded For: _____

Weber County Recorder

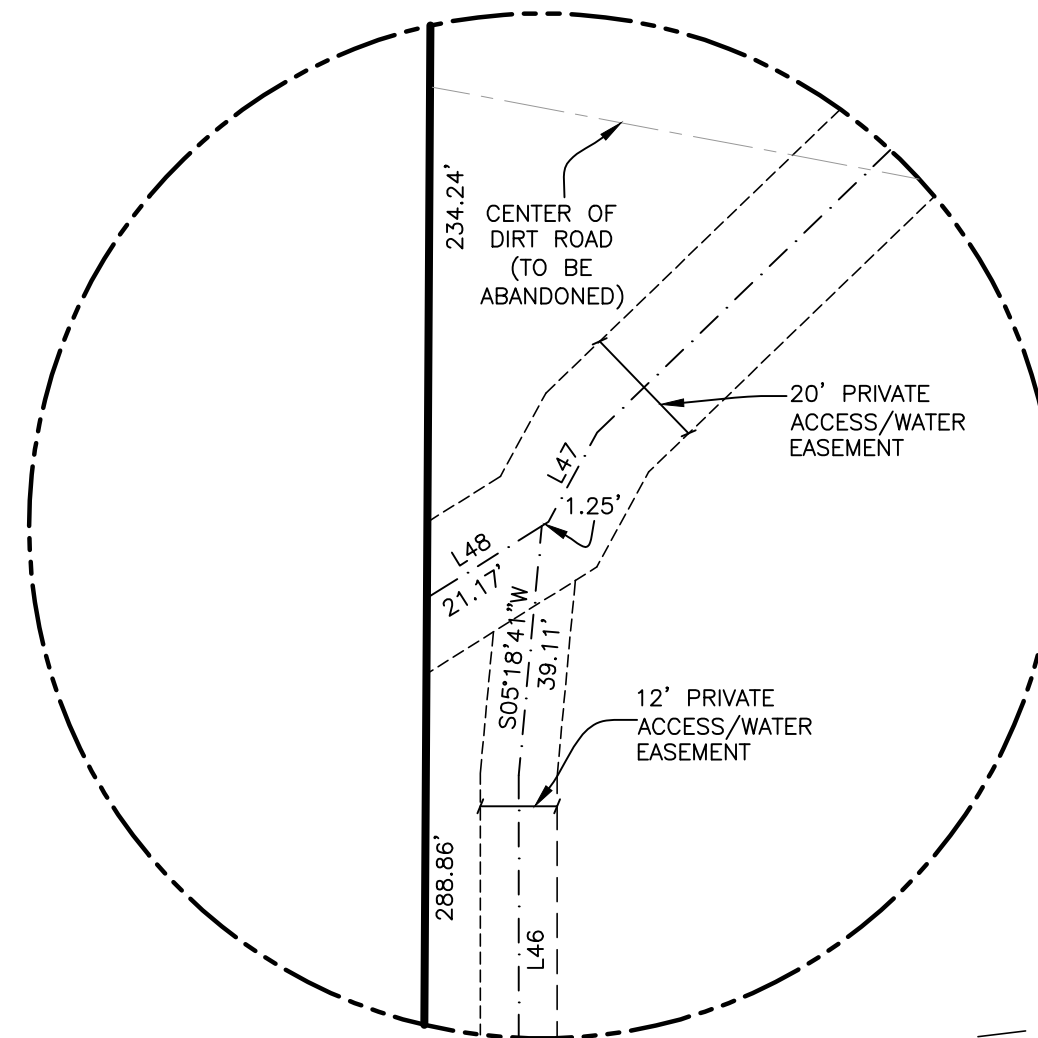
Deputy.

ARROWLEAF

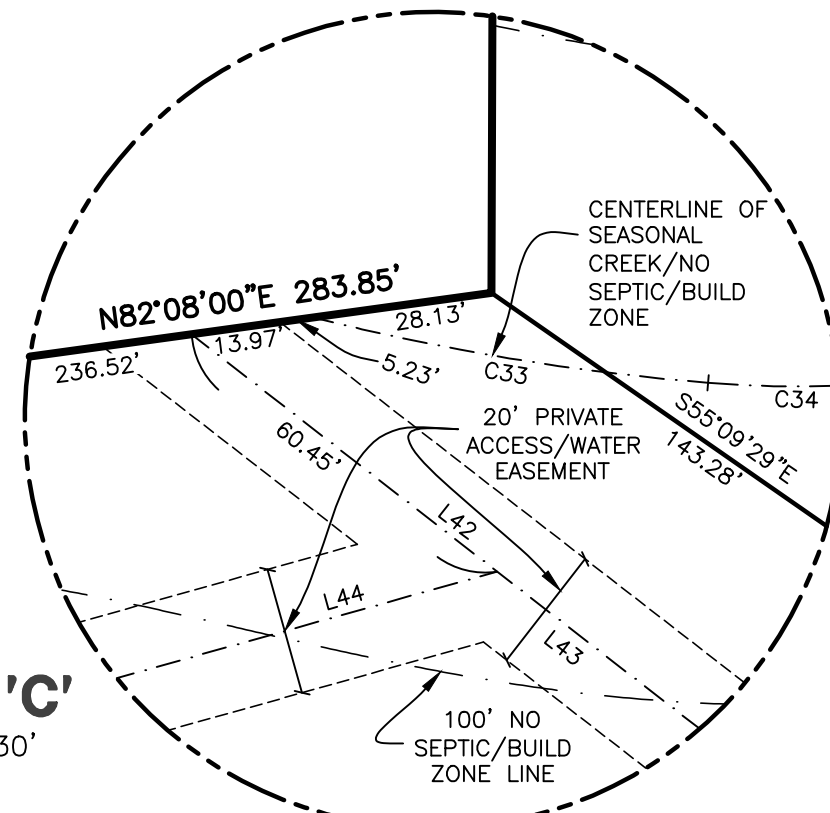
PART OF THE NORTH AND EAST HALF OF SECTION 18, TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
WEBER COUNTY, UTAH
MAY, 2024



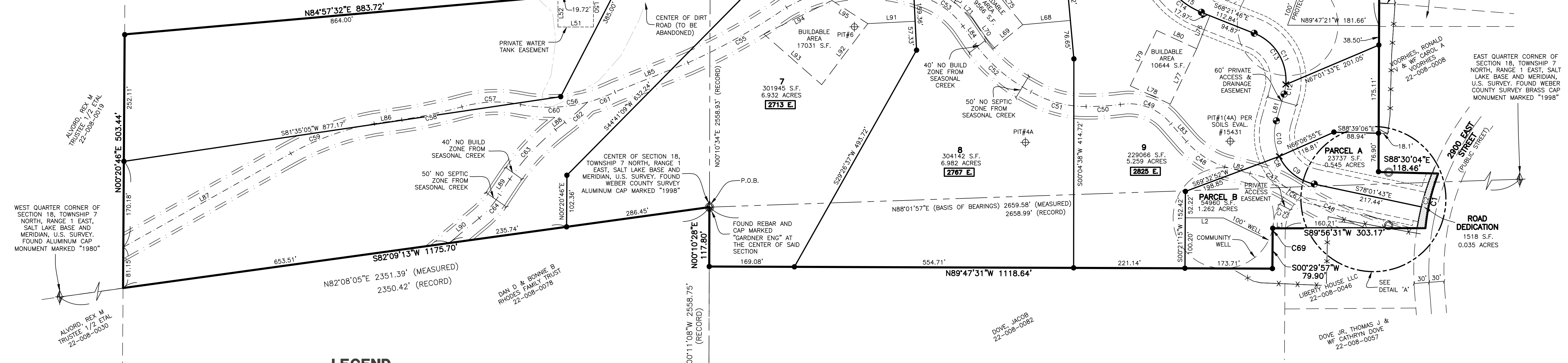
DETAIL 'A'
SCALE: 1" = 40'



DETAIL 'B'
SCALE: 1" = 30'



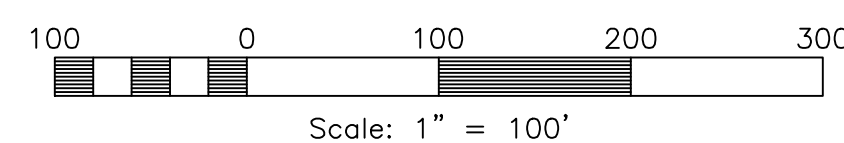
DETAIL 'C'
SCALE: 1" = 30'



LEGEND

- SECTION CORNER
- TEST PIT LOCATION
- SET 5/8" X 24" REBAR AND PLASTIC CAP STAMPED "REEVE & ASSOCIATES"
- SET NAIL AND WASHER
- CENTERLINE MONUMENT
- BOUNDARY LINE
- LOT LINE
- ADJOINING PROPERTY
- EASEMENTS
- NO BUILD/NO SEPTIC ZONE FROM SEASONAL CREEK
- SECTION TIE LINE
- ROAD CENTERLINE
- EASEMENT CENTERLINE
- FENCELINE
- PUBLIC UTILITY EASEMENT
- ROAD DEDICATION
- BUILDABLE AREA

SOUTH QUARTER CORNER OF SECTION 18, TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. (CALCULATED)



Project Info.

Surveyor: T. HATCH

Designer: E. ROCHE

Begin Date: 3-6-24

Name: ARROWLEAF

Number: 7895-01

Revision: 5-23-24 E.R.

Scale: 1"=100'

Checked:

Weber County Recorder

Entry No. _____ Fee Paid _____

And Recorded, _____

At _____ In Book _____

Of The Official Records, Page _____

Recorded For: _____

Weber County Recorder

Deputy.