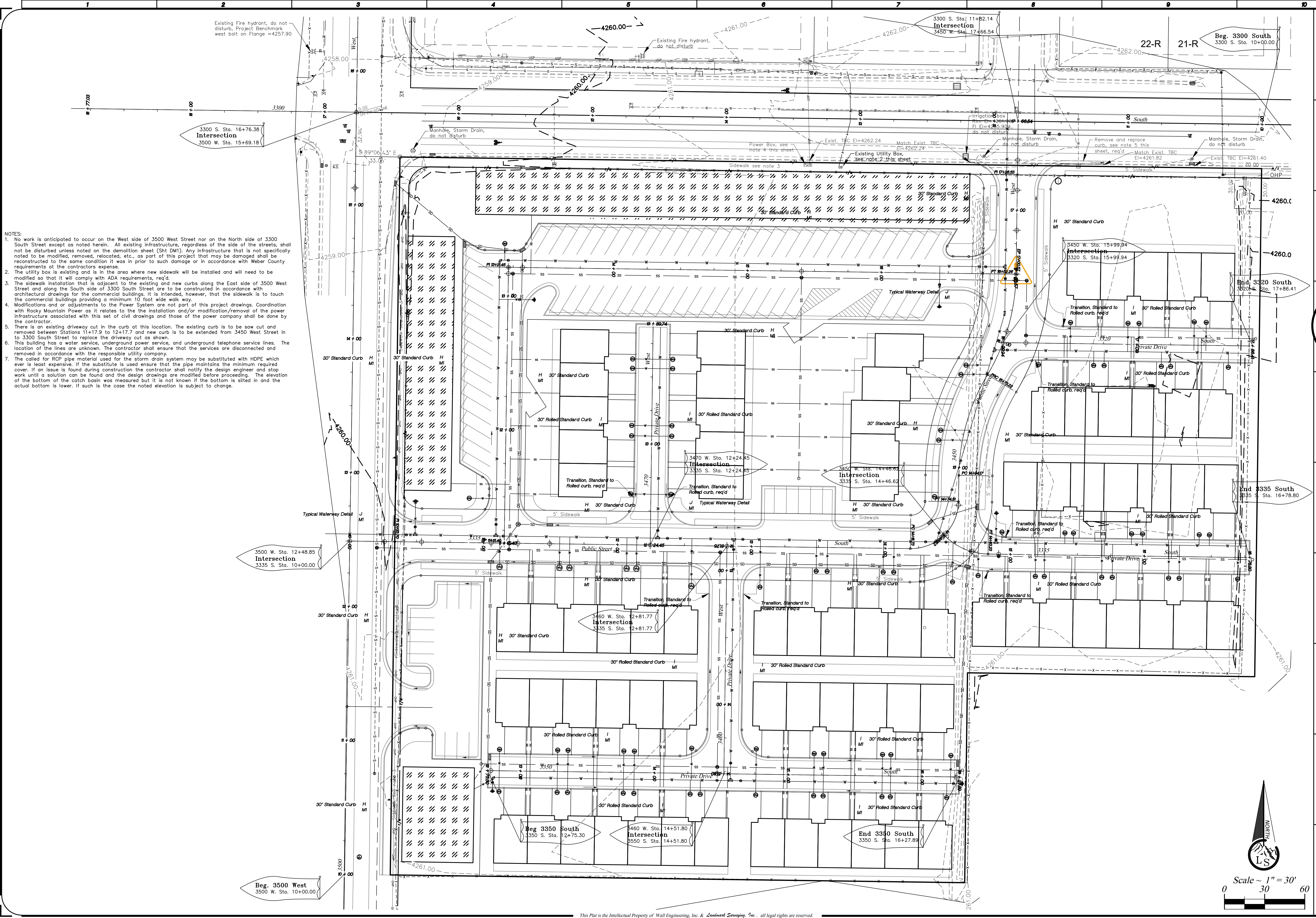
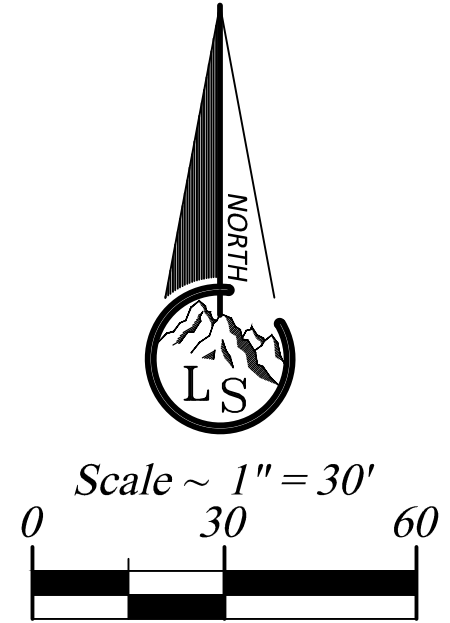


Project Name: 4393 Scadden-Kanesville Crossing Option 6 fence.dwg, Save Date: April 4, 2024 11:35 AM Sheet: G1 Grading Sht. 3 Print Date: 4/4/2024
This plot and associated documents are "PRELIMINARY, NOT FOR CONSTRUCTION, RECORDING PURPOSES, OR IMPLEMENTATION and are NOT FINAL" and subject to change without a valid signature and date across the Licensed Professional's seal in accordance with R156-22-601 of the Utah Administrative Code of the Utah Department of Commerce, Division of Occupational and Professional Licensing. Therefore, if this document is unsigned it is a preliminary document(s) and is not intended for and shall not be used in construction, nor to be recorded, nor to be implemented or used as a final product by the client or public agency or local entity. Some Local Entities require signed and dated drawings by the Licensed Professional in charge of the project. The client or public agency or local entity, without the express approval of the Local Entity either by signing a Local Entity Stamp herein these drawings remain preliminary-not final and/or remain a review document subject to change or modification.



- NOTES:
- No work is anticipated to occur on the West side of 3500 West Street nor on the North side of 3300 South Street except as noted herein. All existing infrastructure, regardless of the side of the streets, shall not be disturbed unless noted on the demolition sheet (Sht DM1). Any infrastructure that is not specifically noted to be modified, removed, relocated, etc., as part of this project that may be damaged shall be reconstructed to the same condition it was in prior to such damage or in accordance with Weber County requirements at the contractors expense.
 - The utility box is existing and is in the area where new sidewalk will be installed and will need to be modified so that it will comply with ADA requirements, req'd.
 - The sidewalk installation that is adjacent to the existing and new curbs along the East side of 3500 West Street and along the South side of 3300 South Street are to be constructed in accordance with architectural drawings for the commercial buildings. It is intended, however, that the sidewalk is to touch the commercial buildings providing a minimum 10 foot wide walk way.
 - Modifications and/or adjustments to the Power System are not part of this project drawings. Coordination with Rocky Mountain Power as it relates to the the installation and/or modification/removal of the power infrastructure associated with this set of civil drawings and those of the power company shall be done by the contractor.
 - There is an existing driveway cut in the curb at this location. The existing curb is to be saw cut and removed between Stations 11+17.9 to 12+17.7 and new curb is to be extended from 3450 West Street in to 3300 South Street to replace the driveway cut as shown.
 - This building has a water service, underground power service, and underground telephone service lines. The location of the lines are unknown. The contractor shall ensure that the services are disconnected and removed in accordance with the responsible utility company.
 - The called for RCP pipe material used for the storm drain system may be substituted with HDPE which ever is least expensive. If the substitute is used ensure that the pipe maintains the minimum required cover. If an issue is found during construction the contractor shall notify the design engineer and stop work until a solution can be found and the design drawings are modified before proceeding. The elevation of the bottom of the catch basin was measured but it is not known if the bottom is sited in and the actual bottom is lower. If such is the case the noted elevation is subject to change.



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DESIGNED BY: LW
DRAWN BY: EDR
DATE: April 4, 2024
PROJ: 4393

Location:
NW 1/4 Of Section 3, Township 5 North,
Range 2 West, Salt Lake Base And Meridian

WALL ENGINEERING, INC
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Kanesville Crossing
A Multiple Use Development, Unincorporated Weber County, Utah

Grading Plan View

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