



**BENCHMARK**  
 NORTHWEST CORNER OF SECTION 27  
 TOWNSHIP 7 NORTH, RANGE 2 WEST  
 SALT LAKE BASE AND MERIDIAN  
 ELEV = 4231.00'

# THE ORCHARDS AT JDC RANCH PHASE 2

2800 WEST 2600 NORTH STREET  
 WEBER COUNTY, UTAH

FOR REVIEW  
 NOT FOR CONSTRUCTION

DATE PRINTED  
 March 1, 2024



**LAYTON**  
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 Phone: 435.896.2983

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FOR:  
 NILSON HOMES  
 1740 COMBE RD, SUITE 2  
 SOUTH OGDEN, UT 84403

CONTACT:  
 STEVE ANDERSON  
 PHONE: 801.392.8100

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NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

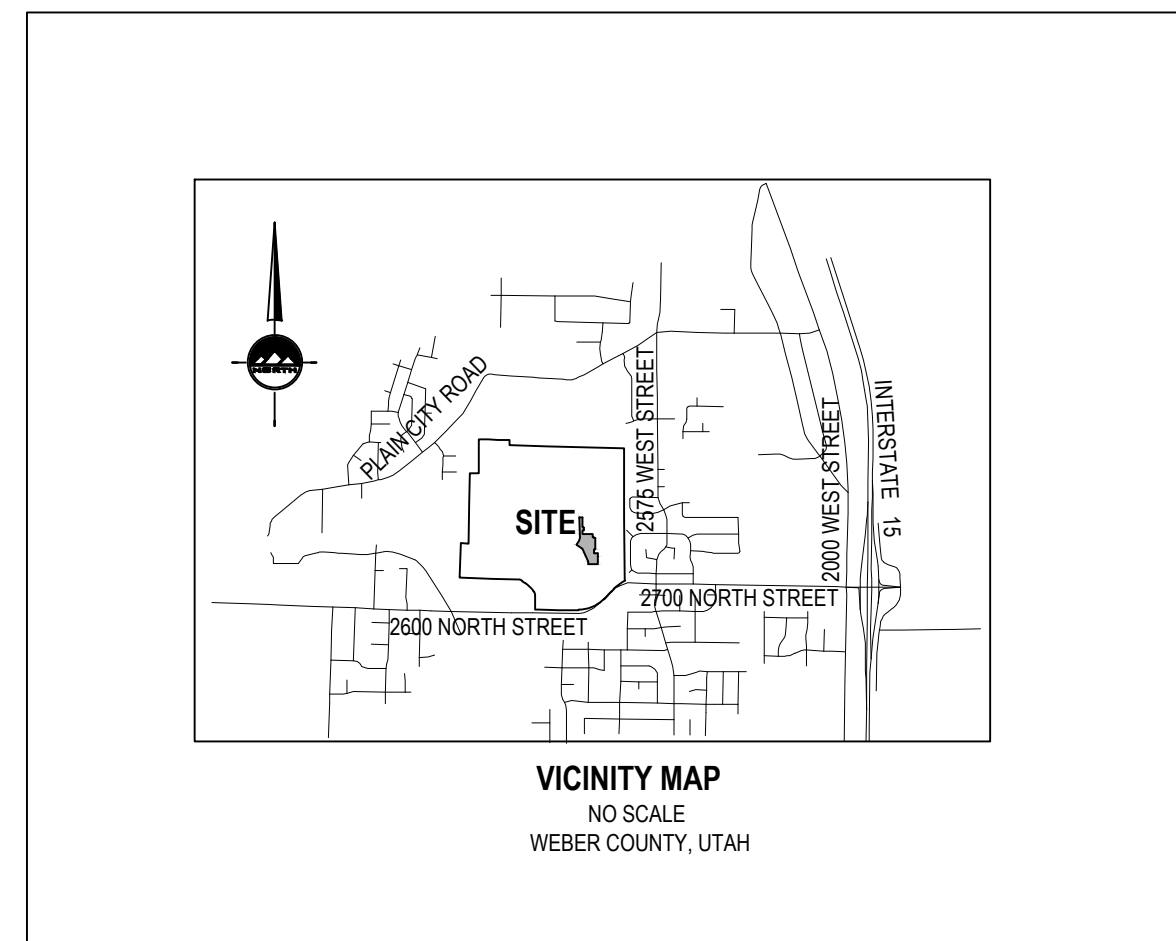
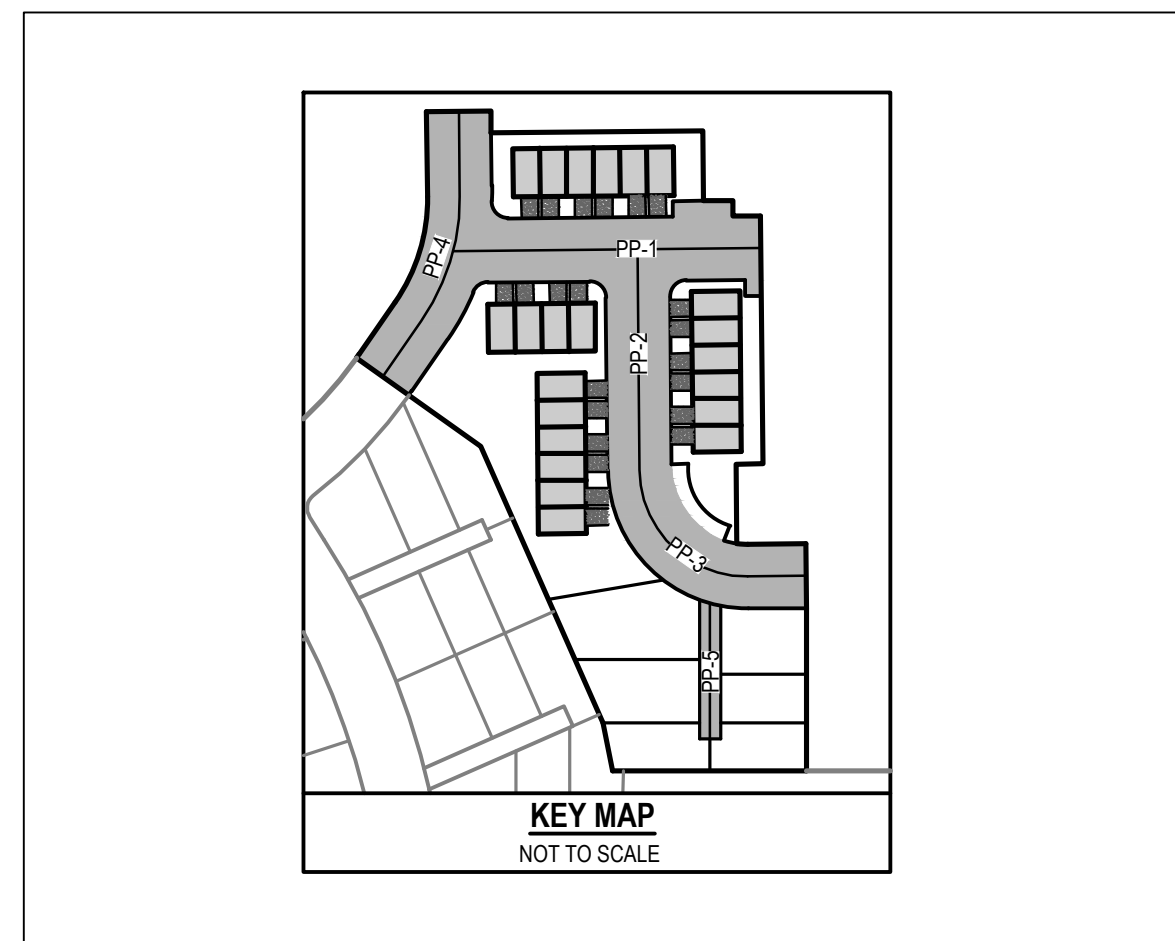
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

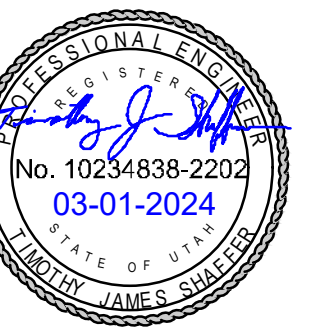


**GENERAL NOTES**

- ALL WORK SHALL CONFORM TO WEBER COUNTY STANDARDS & SPECIFICATIONS.
- CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

Include  
 Culinary  
 and  
 Secondary  
 water  
 Districts.

THE ORCHARDS AT JDC RANCH  
 PHASE 2  
 2800 WEST 2600 NORTH STREET  
 WEBER COUNTY, UTAH



NO. DATE REASON FOR REVIEW

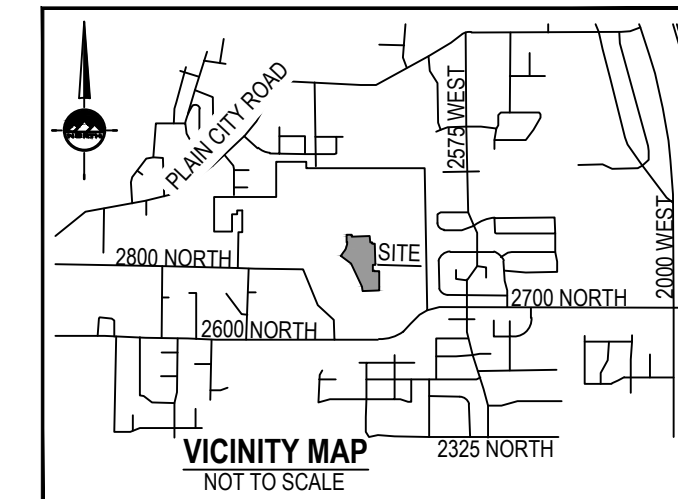
COVER

PROJECT NUMBER 9872 PRINT DATE 2024-03-01  
 PROJECT MANAGER CP DESIGNED BY TS



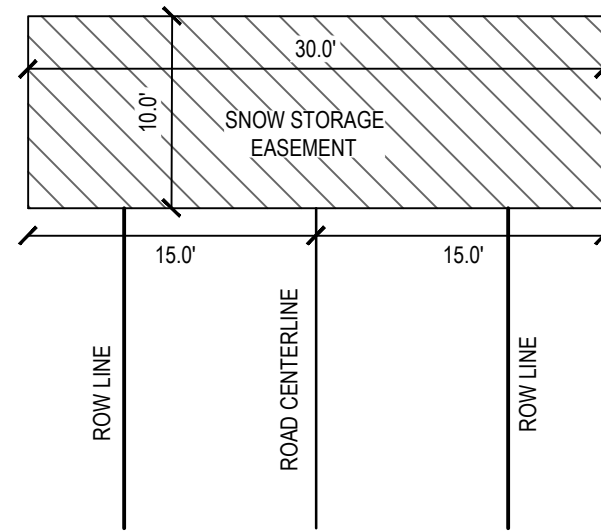
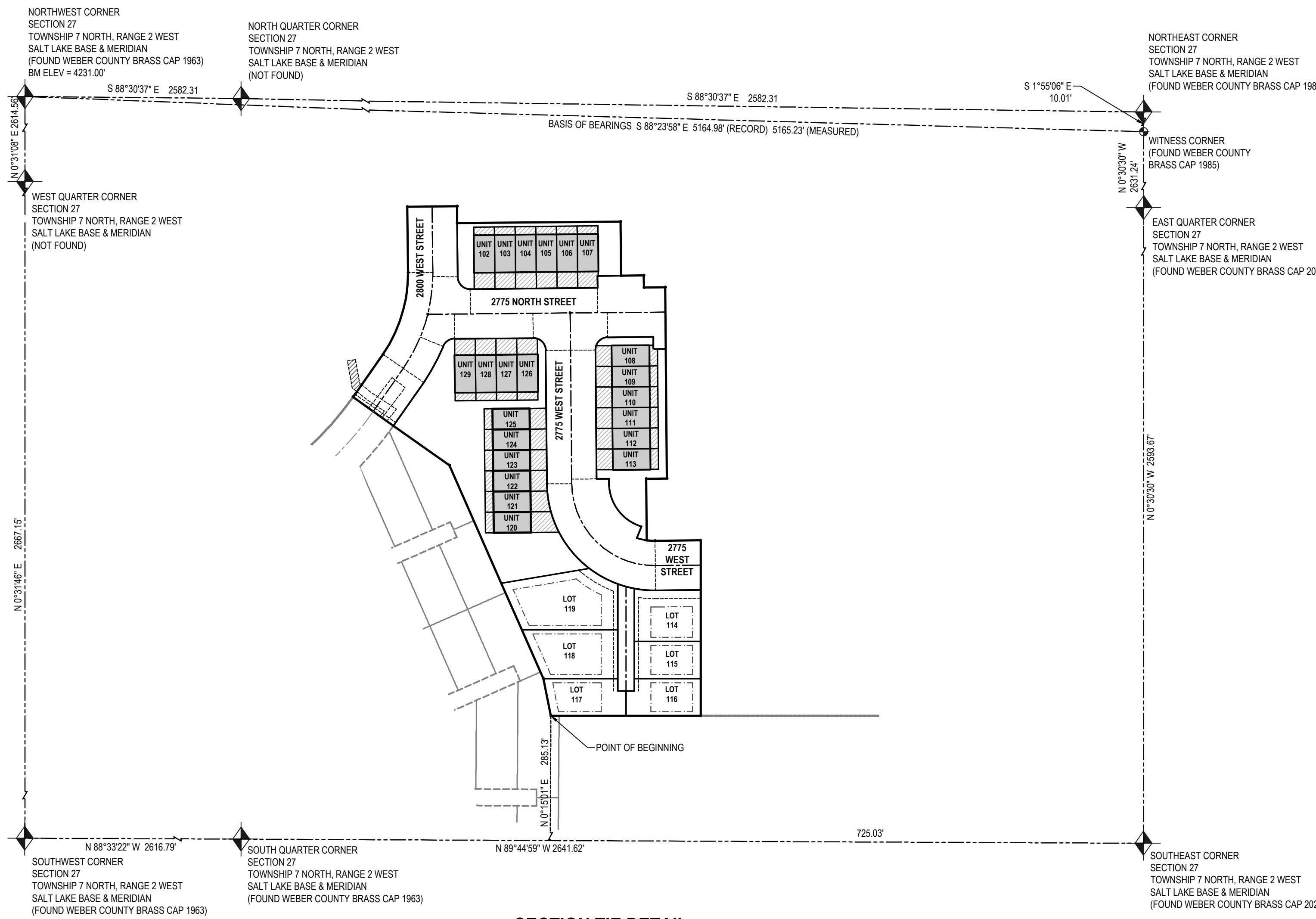
# THE ORCHARDS AT JDC RANCH PHASE 2

LOCATED IN THE SOUTHEAST QUARTER SECTION 27  
TOWNSHIP 7 NORTH, RANGE 2 WEST  
SALT LAKE BASE AND MERIDIAN  
WEBER COUNTY, UTAH  
JANUARY 2024



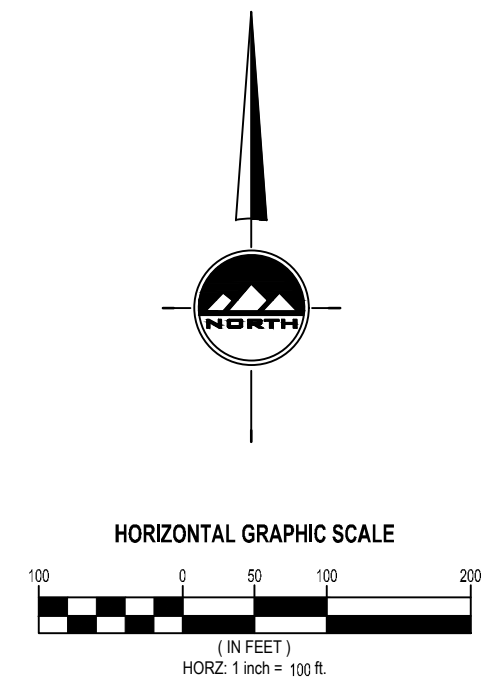
## GENERAL NOTES:

- PROPERTY IS WITHIN RESIDENTIAL OVERLAY ZONE.
  - FRONT YARD SETBACK IS 20'
  - REAR YARD SETBACK IS 10'
  - SIDE YARD SETBACK IS 5'
  - ADJACENT TO RIGHT OF WAY IS 10'
- ALL PUBLIC UTILITY AND DRAINAGE EASEMENTS (PU&DE) ARE 10' FRONT FROM PUBLIC RIGHT OF WAY, 5' FROM PRIVATE DRIVEWAY.
- PARCELS A,B & C ARE TO BE OWNED AND MAINTAINED BY THE ORCHARDS PHASE 2 HOME OWNER'S ASSOCIATION.
- UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE P.U.E. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE P.U.E. AT THE LOT OWNER'S EXPENSE. OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE P.U.E. OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE P.U.E. WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE P.U.E.
- 5/8" x 24" REBAR AND CAP WILL BE PLACED AT ALL REAR LOT CORNERS AND FRONT CORNERS WILL BE MARKED WITH A NAIL OR RIVET AT THE EXTENSION IN THE CURB.
- PROTECT ALL EXISTING SECTION CORNERS AND STREET MONUMENTS. COORDINATE ALL SURVEY STREET MONUMENT INSTALLATION, GRADE ADJUSTMENT, AND ALL REQUIRED FEES AND PERMITS WITH THE COUNTY SURVEYOR PRIOR TO DISRUPTION OF ANY EXISTING MONUMENTS.
- THE LOWEST FLOOR ELEVATION WILL NOT BE LOWER THAN ELEVATION 42. FT. What is this elevation?
- PERPETUAL EASEMENT GRANTED TO THE UNITED STATES OF AMERICA TO CONSTRUCT, RECONSTRUCT, OPERATE AND MAINTAIN AN UNDERGROUND PIPELINE OR PIPELINES AND APPURTENANT STRUCTURES.
- EARTH CUTS OR FILLS, TREES, SHRUBS, AND/OR PERMANENT OR TEMPORARY STRUCTURES OF ANY KIND ARE STRICTLY PROHIBITED WITHIN SAID EASEMENT WITHOUT PRIOR WRITTEN PERMISSION FROM THE WEBER BASIN WATER CONSERVATION DISTRICT AND THE UNITED STATES BUREAU OF RECLAMATION.



1 SNOW STORAGE EASEMENT TYPICAL DETAIL  
SCALE: NONE

**DEVELOPER**  
NILSON HOMES  
1740 COMBE RD, SUITE 2  
SOUTH OGDEN, UTAH 84403  
801-392-8100



**RECORD OF SURVEY**  
ROS NO.: S-  
COUNTY SURVEYOR REVIEWER DATE

**SURVEYOR'S CERTIFICATE**  
I, **TRENT R. WILLIAMS**, do hereby certify that I am a Licensed Professional Land Surveyor in the State of Utah and that I hold License No. **8834279**. In accordance with Title 58, Chapter 22 of the Professional Engineers and Land Surveyors Act, I further certify that by authority of the Owners, I have completed a survey of the property described on this subdivision plat in accordance with Section 17-23-1 and have verified all measurements and that the monuments shown on this plat are located as indicated and are sufficient to accurately establish the boundaries of the herein described tract of real property and that it has been drawn correctly and is a true and correct representation of the herein described lands included in said subdivision based on data compiled from The County Recorder's office. I further certify that all lots meet frontage width and area requirements of applicable zoning ordinances.

**SURVEY NARRATIVE**  
Purpose of Survey is to split existing parcels into lots and streets.

**BOUNDARY DESCRIPTION**  
A parcel of land, situated in the Southeast Quarter of Section 27, Township 7 North, Range 2 West, Salt Lake Base and Meridian, said parcel also located in Weber County, Utah. Being more particularly described as follows:  
Beginning at a point on the north line of a property corner for The Orchards at JDC Ranch - Phase 1 Subdivision, said point being North 89°44'59" West 725.03 feet along the Section Line and North 00°15'01" East 285.13 feet from the Southeast Corner of said Section 27 and running thence along the perimeter of said subdivision the following three (3) courses and distances:

- North 11°13'32" West 45.88 feet;
  - North 23°48'56" West 281.85 feet;
  - North 54°38'01" West 142.63 feet;
- thence northeasterly 4.08 feet along the arc of a 170.00-foot radius tangent curve to the left (center bears North 54°38'01" West and the long chord bears North 35°04'13" East 14.08 feet with a central angle of 0°13'33");  
thence North 34°47'07" East 59.02 feet;  
thence northeasterly 104.77 feet along the arc of a 170.00-foot radius tangent curve to the left (center bears North 55°13'34" West and the long chord bears North 17°07'01" East 103.13 feet with a central angle of 36°16'50");  
thence North 00°32'24" West 79.84 feet;  
thence North 89°27'36" East 60.00 feet;  
thence South 00°32'24" East 20.39 feet;  
thence North 89°27'36" East 197.50 feet;  
thence South 00°32'24" East 65.50 feet;  
thence North 89°27'36" East 27.50 feet;  
thence South 00°32'24" East 14.50 feet;  
thence North 89°27'36" East 25.60 feet;  
thence South 00°32'24" East 231.44 feet;  
thence South 00°32'24" East 74.28 feet;  
thence easterly 10.03 feet along the arc of a 70.00-foot radius non-tangent curve to the left (center bears North 07°40'24" East and the long chord bears South 86°26'00" East 10.03 feet with a central angle of 08°12'48");  
thence North 89°27'36" East 55.10 feet;  
thence South 212.10 feet to a point along the North property line of The Orchards at JDC Ranch - Phase 1 subdivision;  
thence along said subdivision West 181.08 feet to the Point of Beginning.

Contains: 159,482 square feet or 3.661 acres, 6 Lots, 22 Units and 3 Open Spaces

**OWNER'S DEDICATION**  
We(I) the undersigned owners of the above described tract of land, do hereby set apart and subdivide the same into lots and streets (private streets/private right-of-way) as shown hereon and name said tract, and do hereby dedicate, grant and convey to Weber County, Utah, or its designee, all those parts or portions of said tract of land designated as parks the same to be used as public open space:

## THE ORCHARDS AT JDC RANCH PHASE 2

Dedicate to public use all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares.

Dedicate and reserve unto themselves, their heirs, their grantees and assigns, a right-of-way to be used in common with all others within said subdivision (and those adjoining subdivisions that may be subdivided by the undersigned owners, their successors, or assigns) on, over and across all those portions or parts of said tract of land designated on this plat as private streets (private rights-of-way) as access to the individual lots, to be maintained by a home owners association whose membership consists of said owners, their grantees, successors, or assigns.

Grant and convey to the subdivision home owners association, all those part or portions of said tract of land designated as common areas to be used for recreational and open space purposes for the benefit of each home owners association member in common with all others in the subdivision and grant and dedicate to the county a perpetual open space right and easement on and over the common areas to guarantee to Weber County that the common areas remain open and undeveloped except for approved recreational, parking and open space purposes.

Grant and dedicate a perpetual right and easement over, upon and under the lands designated hereon as public utility, and drainage easements with no buildings or structures being erected within such easements.

Grant and dedicate unto all owners of lots upon which private land drains are constructed or which are otherwise dependent upon such land drains, an easement over such land drains for the purpose of perpetual maintenance and operation.

In witness whereof We(I) have hereto set our hands(s) this \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_.

By: **DAVID LOWRY**

### LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH  
County of Weber J.S.S.  
On the \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_, personally appeared before me, the undersigned Notary Public, in and for said County of \_\_\_\_\_ in the State of Utah, who after being duly sworn, acknowledged to me that He is the Manager, of West Park Community LLC a Limited Liability Company and that He signed the Owner's Dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein mentioned and acknowledged to me that said Limited Liability Company executed the same.

MY COMMISSION EXPIRES: \_\_\_\_\_  
RESIDING IN \_\_\_\_\_ COUNTY.

## THE ORCHARDS AT JDC RANCH PHASE 2

LOCATED IN THE SOUTHEAST QUARTER SECTION 27  
TOWNSHIP 7 NORTH, RANGE 2 WEST  
SALT LAKE BASE AND MERIDIAN  
WEBER COUNTY, UTAH

**WEBER COUNTY RECORDER**  
ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_ FILED FOR RECORD AND RECORDED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ AT \_\_\_\_\_ IN BOOK \_\_\_\_\_ OF OFFICIAL RECORDS PAGE \_\_\_\_\_  
WEBER COUNTY RECORDER  
BY \_\_\_\_\_ DEPUTY RECORDER

### COUNTY COMMISSION ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
CHAIRMAN, WEBER COUNTY COMMISSION  
ATTEST: \_\_\_\_\_  
TITLE: \_\_\_\_\_

### COUNTY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND EFFECT.  
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
SIGNATURE \_\_\_\_\_

### COUNTY ENGINEER

I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.  
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
SIGNATURE \_\_\_\_\_

### COUNTY PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT HAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
CHAIRMAN, WEBER COUNTY PLANNING COMMISSION

### SHEET 1 OF 2

PROJECT NUMBER: 9872  
MANAGER: C PRESTON  
DRAWN BY: A SHELBY  
CHECKED BY: T WILLIAMS  
DATE: 3/1/2024

**EN SIGN**  
LAYTON  
919 North 400 West  
Layton UT 84041  
Phone: 801.547.1100  
Fax: 801.593.6315  
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SALT LAKE CITY  
Phone: 801.255.0529  
TOCALLE  
Phone: 435.963.3390  
CEDAR CITY  
Phone: 435.965.1443  
RICHFIELD  
Phone: 435.986.2983

**WEBER COUNTY SURVEYOR**  
I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT AND ALL CONDITIONS FOR APPROVAL BY THIS OFFICE HAVE BEEN SATISFIED. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.  
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
WEBER COUNTY SURVEYOR  
RECORD OF SURVEY #  
WCO-106-1-8(6)(1)(A)-(10) WCO 45-4-2(a)



# THE ORCHARDS AT JDC RANCH PHASE 2

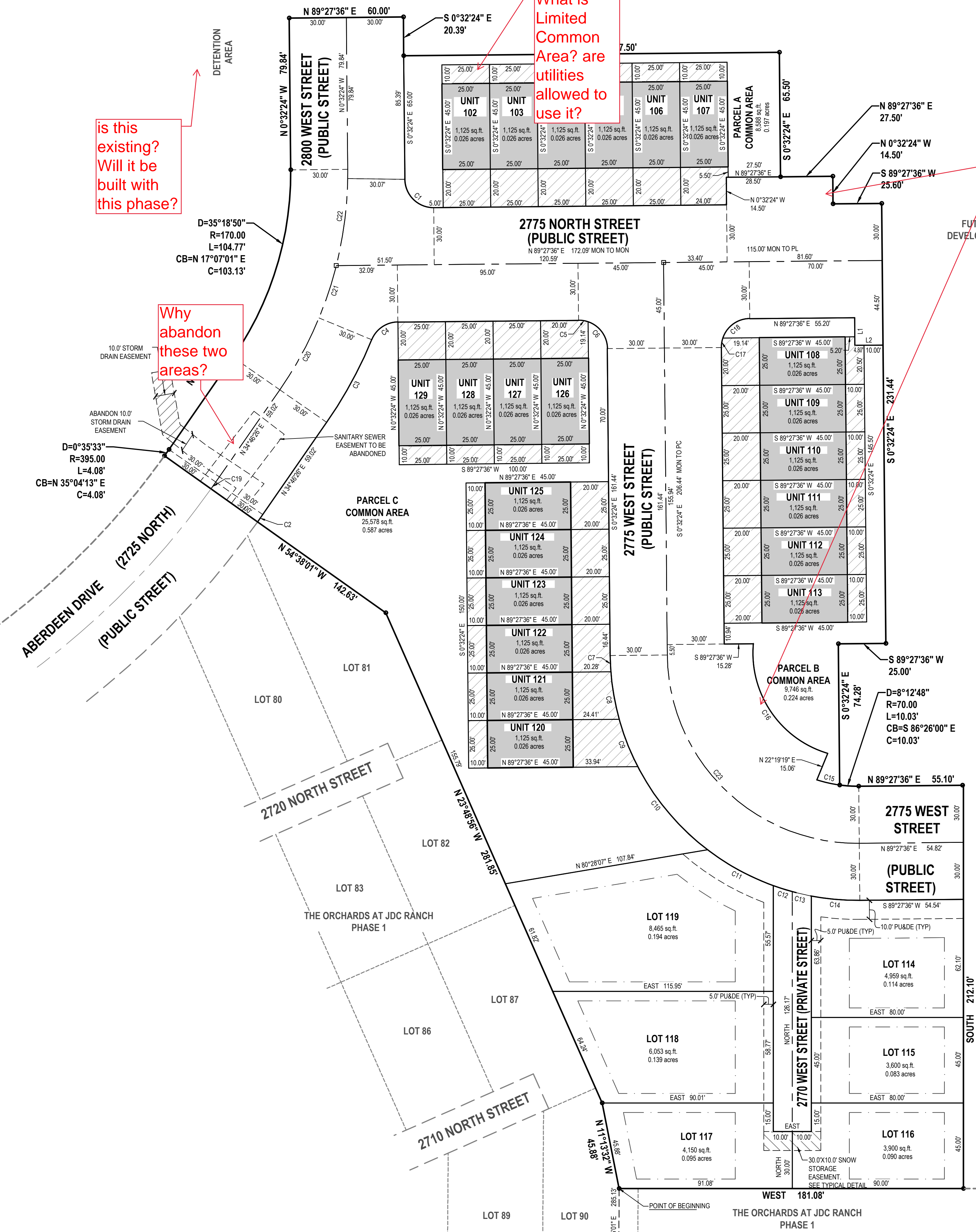
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SALT LAKE BASE AND MERIDIAN  
WEBER COUNTY, UTAH  
JANUARY 2024

is this existing?  
Will it be built with this phase?

What is Limited Common Area? are utilities allowed to use it?

The parking areas should not be part of the ROW. They should be part of common area.

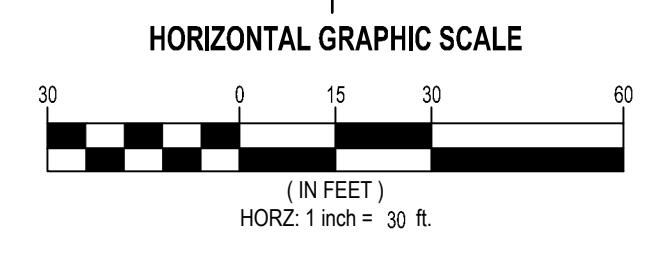
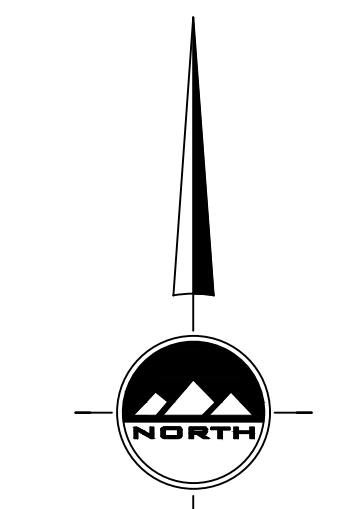
Why abandon these two areas?



LINE	BEARING	LENGTH
L1	S0°32'24"E	14.50'
L2	N89°27'36"E	14.80'

CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	15.00'	23.56'	90°00'00"	S45°32'24"E	21.21'
C2	455.00'	4.71'	0°35'33"	N35°04'13"E	4.71'
C3	230.00'	49.60'	12°21'28"	N28°35'43"E	49.51'
C4	15.00'	17.55'	67°02'35"	S55°56'18"W	16.57'
C5	15.00'	5.10'	19°28'16"	N80°48'16"W	5.07'
C6	15.00'	18.46'	70°31'44"	N35°48'16"W	17.32'
C7	130.00'	8.57'	3°46'32"	S2°25'40"E	8.56'
C8	130.00'	25.38'	11°11'08"	S9°54'29"E	25.34'
C9	130.00'	26.80'	11°48'46"	S21°24'25"E	26.75'
C10	130.00'	57.57'	25°22'29"	S40°00'02"E	57.10'
C11	130.00'	39.52'	17°25'00"	S61°23'47"E	39.37'
C12	130.00'	10.49'	4°37'29"	S72°25'01"E	10.49'
C13	130.00'	10.27'	4°31'29"	S76°59'30"E	10.28'
C14	130.00'	25.61'	11°17'10"	S84°53'49"E	25.57'
C15	70.00'	12.39'	10°08'32"	S77°15'20"E	12.38'
C16	55.00'	75.47'	78°36'59"	N34°06'32"W	69.68'
C17	15.00'	5.10'	19°28'16"	S9°11'44"W	5.07'
C18	15.00'	18.46'	70°31'44"	S54°11'44"W	17.32'
C19	425.00'	4.39'	0°35'33"	N35°04'13"E	4.39'
C20	200.00'	43.13'	12°21'28"	S28°35'43"W	43.05'
C21	200.00'	29.02'	8°18'50"	S18°15'36"W	29.00'
C22	200.00'	51.11'	14°38'35"	S6°45'53"W	50.97'
C23	100.00'	157.08'	90°00'00"	S45°32'24"E	141.42'

- END
- SECTION CORNER
- WITNESS MONUMENT
- PROPOSED STREET MONUMENT
- SET 5/8" X 24" REBAR WITH YELLOW PLASTIC CAP, OR NAIL STAMPED "ENGIN ENG. & LAND SURV."
- SECTION LINE
- SECTION TIE LINE
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- ADJACENT ROAD CENTERLINE
- RIGHT OF WAY
- ADJACENT RIGHT OF WAY
- EASEMENT
- LOT LINE
- ADJACENT LOT LINE
- TANGENT LINE
- SNOW STORAGE EASEMENT
- LIMITED COMMON AREA
- COMMON AREA
- PL PROPERTY LINE
- MON MONUMENT
- CL CENTERLINE
- PC PROPERTY CURVE
- PU&DE PUBLIC UTILITY & DRAINAGE EASEMENT



## THE ORCHARDS AT JDC RANCH PHASE 2

LOCATED IN THE SOUTHEAST QUARTER SECTION 27  
TOWNSHIP 7 NORTH, RANGE 2 WEST  
SALT LAKE BASE AND MERIDIAN  
WEBER COUNTY, UTAH

WEBER COUNTY RECORDER	
ENTRY NO. _____	FEE _____
PAYD _____	FILED FOR RECORD ON _____
RECORDED THIS _____ DAY OF _____, 20____	
AT _____ IN BOOK _____ OF OFFICIAL RECORDS	
PAGE _____	
WEBER COUNTY RECORDER	
BY _____ DEPUTY RECORDER	

**SHEET 1 OF 2**  
PROJECT NUMBER: 9872  
MANAGER: C. PRESTON  
DRAWN BY: A. SHELBY  
CHECKED BY: T. WILLIAMS  
DATE: 3/1/2024



DEVELOPER  
NILSON HOMES  
1740 COMBE RD, SUITE 2  
SOUTH OGDEN, UTAH 84403  
801-392-8100

SALT LAKE CITY  
Phone: 801.255.0529  
TOGILE  
Phone: 435.843.3590  
CEDAR CITY  
Phone: 435.881.1843  
RICHFIELD  
Phone: 435.898.2963  
WWW.ENSGN.COM



GENERAL NOTES

- 1. ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE DESIGN ENGINEER, LOCAL AGENCY JURISDICTION, APWA (CURRENT EDITION), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
2. CONTRACTOR TO STRICTLY FOLLOW THE MOST CURRENT COPY OF THE SOILS REPORT FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH SOILS REPORT.
3. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
4. CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY, STATE, OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
8. THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
9. ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
10. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
11. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
12. ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
13. NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
14. NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
16. EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND/OR UTILITY MAPPING PROVIDED TO THE ENGINEER, AND THEREFORE UTILITIES MAY NOT BE LOCATED CORRECTLY, EITHER HORIZONTALLY OR VERTICALLY, AND MAY NOT BE ALL INCLUSIVE. CONTRACTOR IS REQUIRED TO FOLLOW THE PROCEDURE OUTLINED BELOW.
16.1. CONTRACTOR IS REQUIRED TO LOCATE AND POT-HOLE ALL EXISTING UTILITY LINES (BOTH HORIZONTALLY AND VERTICALLY) THAT AFFECT THE PROJECT CONSTRUCTION, EITHER ON-SITE OR OFF-SITE, AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE DESIGN OF THE SITE AS SHOWN ON THE APPROVED PLANS PRIOR TO ANY CONSTRUCTION. IF IT IS DETERMINED THAT CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) THE ENGINEER MUST BE NOTIFIED IMMEDIATELY TO CORRECT THE CONFLICTS BEFORE ANY WORK CAN BEGIN. IF THE CONTRACTOR FAILS TO FOLLOW THIS ABSOLUTE REQUIREMENT AND CONFLICTS ARISE DURING CONSTRUCTION THE CONTRACTOR WILL BEAR THE SOLE RESPONSIBILITY TO FIX THE CONFLICTS.
16.2. CONTRACTOR IS REQUIRED TO VERIFY THAT PROPER COVER AND PROTECTION OF EXISTING UTILITY LINES IS MAINTAINED OR ATTAINED WITHIN THE DESIGN ONCE VERIFICATION OF THE EXISTING UTILITIES IS COMPLETED AS OUTLINED IN 16.1 ABOVE.
16.3. IN ADDITION TO 16.1 AND 16.2 ABOVE, THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY "POTHOLING" A MINIMUM OF 300 FEET AHEAD OF PROPOSED PIPELINE CONSTRUCTION TO AVOID POTENTIAL CONFLICTS WITH DESIGNED PIPELINE ALIGNMENT AND GRADE AND EXISTING UTILITIES.
16.4. IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) AS DETERMINED UNDER 16.1, 16.2 OR 16.3 THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY TO RESOLVE THE CONFLICT.
16.5. IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO IDENTIFY AND/OR "POTHOLE" EXISTING UTILITIES AS REQUIRED IN 16.1, 16.2 AND 16.3 ABOVE, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
17. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
18. CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
19. AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
20. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
21. CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT REQUIRED BY THE OWNER.
22. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
23. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
24. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
25. WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
26. CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF HEATLY MARKED RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
27. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
28. ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
29. ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL TREES FROM DAMAGE.
30. ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE GOVERNING AGENCY PRIOR TO THE PLACEMENT.
31. CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
32. A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE AS WELL AS A STORM WATER POLLUTION PREVENTION PLAN.

UTILITY NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, CITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER.
2. CONTRACTOR SHALL COORDINATE LOCATION OF NEW 'DRY UTILITIES' WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE, AND POWER.
3. EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS BASED ON ON-SITE SURVEY. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1400-562-4114 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
4. CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT CONTRACTOR'S EXPENSE.
5. TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS (CURRENT EDITION), SECTION 33 05 20 - BACKFILLING TRENCHES, OR AS REQUIRED BY THE GEOTECHNICAL REPORT IF NATIVE MATERIALS ARE USED. NO NATIVE MATERIALS ARE ALLOWED IN THE PIPE ZONE. THE MAXIMUM LIFT FOR BACKFILLING EXCAVATIONS IS DETERMINED BY THE GEOTECHNICAL RECOMMENDATIONS.
6. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES AND FOR THE PROTECTION OF WORKERS.
7. THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
8. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIGHER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.
9. ALL WATER LINE AND SEWER LINE INSTALLATION AND TESTING TO BE IN ACCORDANCE WITH LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
10. ALL MANHOLES, HYDRANTS, VALVES, CLEANOUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER APWA (CURRENT EDITION) STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS, AND VALVES PER APWA STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED.
11. CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION.
12. SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
13. CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
14. EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DEWATERED CONDITIONS.
15. CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
16. ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, EDGE TO EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, CONSTRUCT PER GOVERNING AGENCY'S MINIMUM SEPARATION STANDARDS.
17. CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
18. ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
19. CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.
20. ALL CULINARY WATER INFRASTRUCTURE WORK IS TO BE DONE IN ACCORDANCE WITH BONA VISTA STANDARDS.

TRAFFIC CONTROL AND SAFETY NOTES

- 1. TRAFFIC CONTROL AND STRIPPING TO CONFORM TO THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
2. BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT M.U.T.C.D.
3. NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AGENCY, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
4. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
5. DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE GOVERNING AGENCY FOR REVIEW AND APPROVAL.
6. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE GOVERNING AGENCY.
7. TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
8. ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
9. THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.

DEMOLITION NOTES

- 1. EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND MAY NOT BE LOCATED CORRECTLY AND IS NOT ALL INCLUSIVE. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES WITHIN THE PROJECT LIMITS BEFORE BEGINNING DEMOLITION/CONSTRUCTION.
2. THERE MAY BE BURIED UTILITIES WITHIN THE LIMITS OF DISTURBANCE THAT ARE NOT SHOWN ON THE PLANS DUE TO LACK OF MAPPING OR RECORD INFORMATION. CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN UNEXPECTED UTILITIES ARE DISCOVERED.
3. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LOCATING AND PROTECTING FROM DAMAGE ALL EXISTING UTILITIES AND IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. THE FACILITIES AND IMPROVEMENTS ARE BELIEVED TO BE CORRECTLY SHOWN BUT THE CONTRACTOR IS REQUIRED TO SATISFY HIMSELF AS TO THE COMPLETENESS AND ACCURACY OF THE LOCATIONS. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY, OR INDIRECTLY, FROM HIS OPERATIONS, WHETHER OR NOT SAID FACILITIES ARE SHOWN ON THESE PLANS.

GRADING AND DRAINAGE NOTES

- 1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL RELATED ADDENDUMS.
2. THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
3. THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING GRADING FILL OR BASE COURSE. THE AREA SHOULD BE PROOF-ROLLED TO IDENTIFY ANY SOFT AREAS. WHERE SOFT AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE SOIL AND REPLACE WITH COMPACTED FILL.
4. ALL DEBRIS PILES AND BERMS SHOULD BE REMOVED AND HAULED AWAY FROM SITE OR USED AS GENERAL FILL IN LANDSCAPED AREAS.
5. THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAD TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT, AND STRICTLY ADHERE TO THE SITE PREPARATION AND GRADING REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.
6. THE CONTRACTOR SHALL GRADE THE PROJECT SITE TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING ASPHALT, CURB AND GUTTER, AND ADJOINING SITE IMPROVEMENTS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THOSE STREETS.
8. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT AND TAKE ALL NECESSARY PRECAUTIONS AND RECOMMENDED PROCEDURES TO ASSURE SOUND GRADING PRACTICES.
9. THE CONTRACTOR SHALL TAKE APPROPRIATE GRADING MEASURES TO DIRECT STORM SURFACE RUNOFF TOWARDS CATCH BASINS.
10. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON ON-SITE SURVEY. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND SLOPES SHOWN.
12. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
13. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT. ALL CONTRACTOR ACTIVITIES 1 ACRE OR MORE IN SIZE ARE REQUIRED TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN.
14. ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
15. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GOVERNING AGENCY.
16. THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY-OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.

ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes APWA, AR, ASTM, AWWA, BOS, BVC, C, CB, CF, CL, CO, COMM, CONC, CONT, DIA, DIP, ELEC, ELEV, EOA, EVC, EW, EXIST, FF, FG, FH, FL, GB, GF, GFC, GV, HP, IRR, K, LD, LF, LP, MEX, MH, MJ, NG, NIC, NO, OC, OCEW, OHP, PC, PCC, PI, PIV, PL, PRC, PRO, PVC, PVI, PVT, R, RD, ROW, S, SAN SWR, SD, SEC, SS, STA, SW, TBC, TOG, TOA, TOC, TOF, TOW, TOS, TYP, VC, WIV, W.

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

LEGEND

Legend table with 3 columns: Symbol, Description, and Line Style/Color. Includes symbols for Section Corner, Existing Monument, Proposed Monument, Existing Rebar and Cap, Set Ensign Rebar and Cap, Existing Water Meter, Proposed Water Meter, Existing Water Manhole, Proposed Water Manhole, Existing Water Box, Proposed Water Box, Existing Water Valve, Proposed Water Valve, Existing Fire Hydrant, Proposed Fire Hydrant, Proposed Fire Department Connection, Existing Secondary Water Valve, Proposed Secondary Water Valve, Existing Irrigation Box, Existing Irrigation Valve, Proposed Irrigation Valve, Existing Sanitary Sewer Manhole, Proposed Sanitary Sewer Manhole, Existing Sanitary Clean Out, Existing Storm Drain Clean Out Box, Proposed Storm Drain Clean Out Box, Existing Storm Drain Inlet Box, Existing Storm Drain Catch Basin, Proposed Storm Drain Catch Basin, Existing Storm Drain Combo Box, Proposed Storm Drain Combo Box, Existing Storm Drain Clean Out, Proposed Storm Drain Clean Out, Existing Storm Drain Culvert, Proposed Storm Drain Culvert, Temporary Sag Inlet Protection, Temporary In-Line Inlet Protection, Roof Drain, Existing Electrical Manhole, Existing Electrical Box, Existing Transformer, Existing Utility Pole, Existing Light, Proposed Light, Existing Gas Meter, Existing Gas Manhole, Existing Gas Valve, Existing Telephone Manhole, Existing Telephone Box, Existing Traffic Signal Box, Existing Cable Box, Existing Bollard, Proposed Bollard, Existing Sign, Proposed Sign, Existing Spot Elevation, Proposed Spot Elevation, Existing Flow Direction, Existing Tree, Dense Vegetation.

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.



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THE ORCHARDS AT JDC RANCH
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WEBER COUNTY, UTAH



NO. DATE REVISION FOR REVIEW

GENERAL NOTES

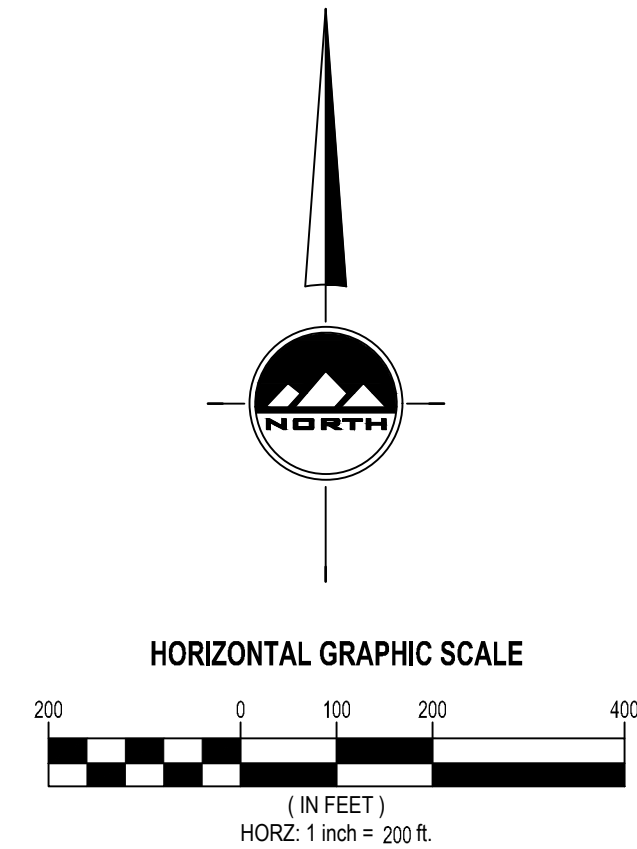
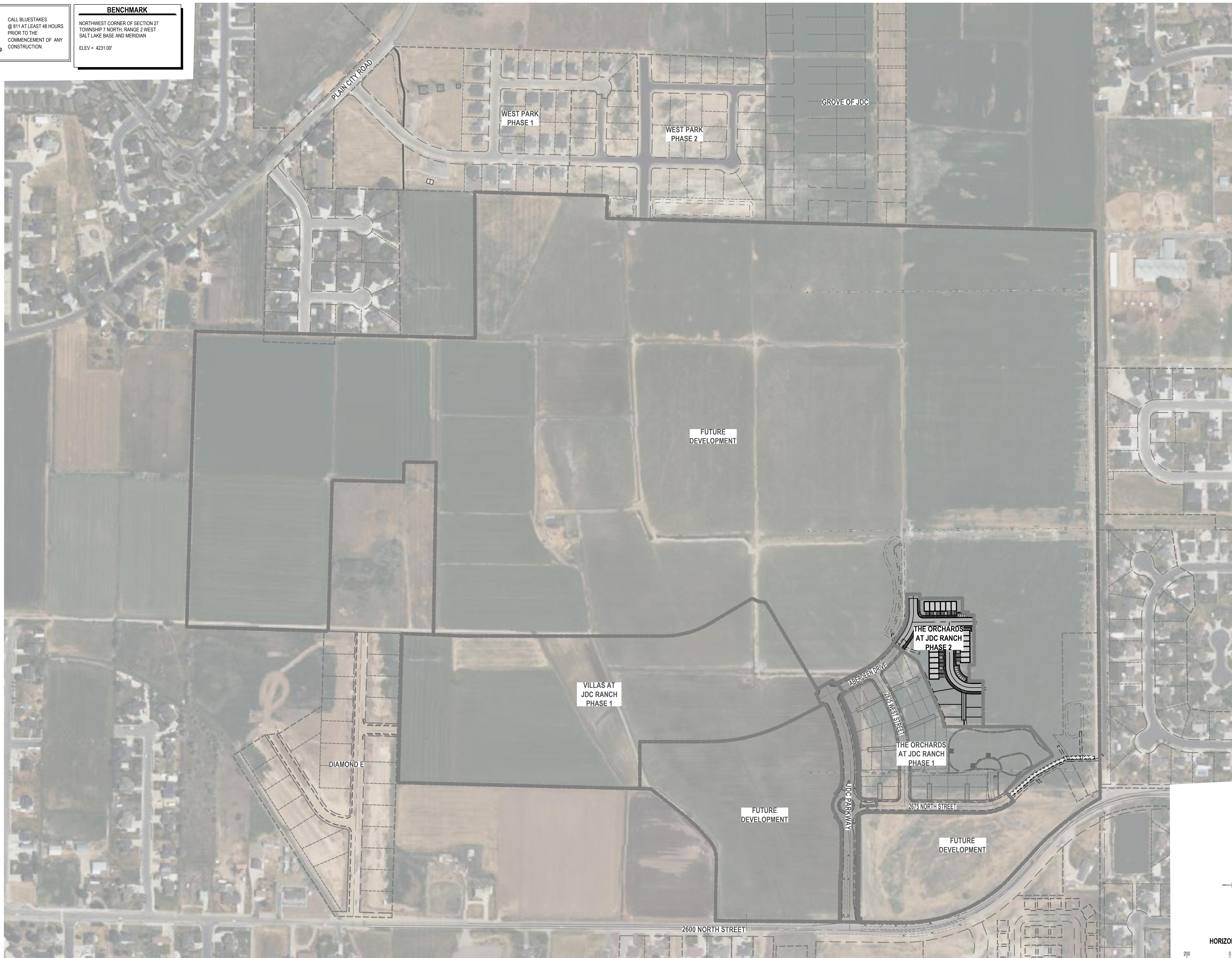
PROJECT NUMBER 9872
PRINT DATE 2024-03-01
PROJECT MANAGER CP
DESIGNED BY TS

C-001



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**BENCHMARK**  
 NORTHWEST CORNER OF SECTION 27  
 TOWNSHIP 7 NORTH, RANGE 2 WEST  
 SALT LAKE BASE AND MERIDIAN  
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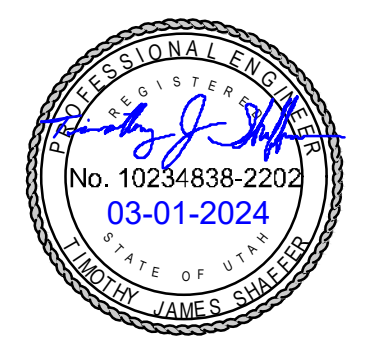
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 2800 WEST 2600 NORTH STREET  
 WEBER COUNTY, UTAH**



NO. DATE REVISION FOR REVIEW

**OVERALL DEVELOPMENT  
 SITE PLAN**

PROJECT NUMBER 9872 PRINT DATE 2024-03-01  
 PROJECT MANAGER CP DESIGNED BY TS

**C-002**



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@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

**BENCHMARK**  
NORTHWEST CORNER OF SECTION 27  
TOWNSHIP 7 NORTH, RANGE 2 WEST  
SALT LAKE BASE AND MERIDIAN  
ELEV = 4231.00'

**SCOPE OF WORK:**  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

1. INSTALL FIRE HYDRANT AND VALVE PER BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS.
2. INSTALL HANDICAP ACCESSIBLE RAMP PER APWA PLAN 235.2
3. INSTALL 30" TYPE 'F' MOUNTABLE CURB AND GUTTER PER APWA STANDARDS AND SPECIFICATIONS PLAN 205.2
4. INSTALL CONCRETE SIDEWALK PER APWA PLAN 231. WIDTH PER PLAN
5. MATCH EXISTING IMPROVEMENTS
6. EXISTING STREET LIGHT
7. INSTALL STREET LIGHT PER WEBER COUNTY STANDARDS AND SPECIFICATIONS. COORDINATE ALL PROPOSED STREET LIGHT LOCATIONS WITH WEBER COUNTY AND THE STREET LIGHT INSTALLATION WITH ROCKY MOUNTAIN POWER
8. EXISTING FIRE HYDRANT
9. INSTALL DRIVE APPROACH PER APWA PLAN 221.1
10. INSTALL ASPHALT DRIVEWAY PER DETAIL 8/C-500
11. EXISTING CURB AND GUTTER
12. EXISTING SIDEWALK
13. INSTALL 24" MODIFIED TYPE 'F' MOUNTABLE CURB AND GUTTER PER DETAIL 9/C-500
14. INSTALL 24" MODIFIED TYPE 'F' REVERSE MOUNTABLE CURB AND GUTTER PER DETAIL 10/C-500
15. TRANSITION FROM 24" MODIFIED TYPE 'F' MOUNTABLE CURB AND GUTTER TO 24" MODIFIED TYPE 'F' REVERSE PAN MOUNTABLE CURB AND GUTTER
16. INSTALL 30" TYPE 'F' REVERSE PAN CURB AND GUTTER PER DETAIL 12/C-500
17. TRANSITION FROM 30" TYPE 'F' COLLECTION CURB AND GUTTER TO 30" TYPE 'F' REVERSE PAN CURB AND GUTTER
18. INSTALL 3" WATERWAY PER DETAIL 11/C-500
19. INSTALL 30" APWA TYPE 'A' CURB AND GUTTER
20. TRANSITION FROM 30" APWA TYPE 'A' CURB AND GUTTER TO 30" APWA TYPE 'F' CURB AND GUTTER

**GENERAL NOTES**

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

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**CEDAR CITY**  
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**RICHFIELD**  
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**WWW.ENSIGNENG.COM**

FOR:  
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1740 COMBE RD, SUITE 2  
SOUTH OGDEN, UT 84403

CONTACT:  
STEVE ANDERSON  
PHONE: 801.392.8100

**THE ORCHARDS AT JDC RANCH  
PHASE 2  
2800 WEST 2600 NORTH STREET  
WEBER COUNTY, UTAH**

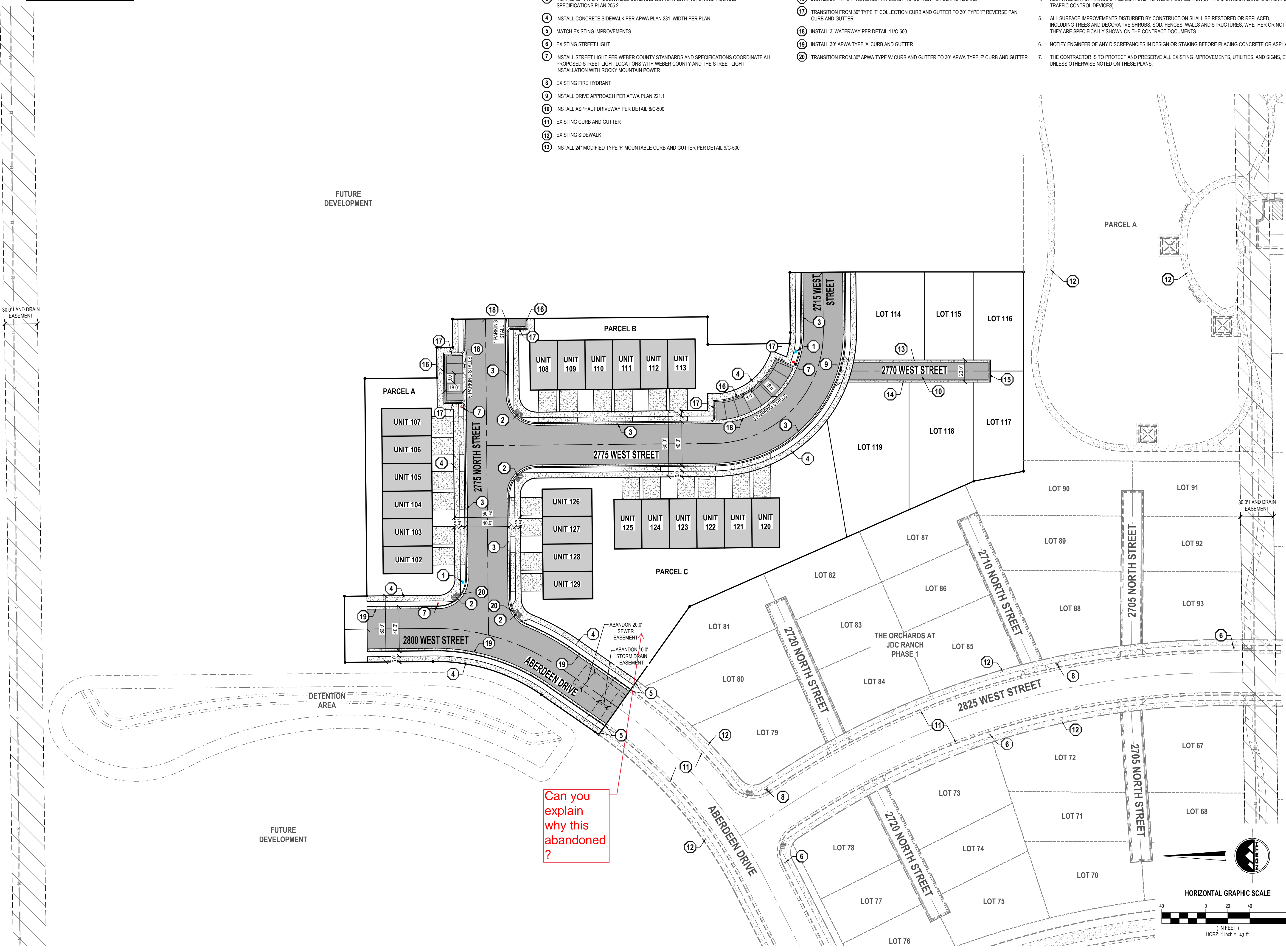


NO. DATE REVISION FOR REVIEW

**SITE PLAN**

PROJECT NUMBER 9872  
PRINT DATE 2024-03-01  
PROJECT MANAGER CP  
DESIGNED BY TS

**C-100**



Can you explain why this abandoned?



**811**  
Know what's below.  
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**BENCHMARK**  
NORTHWEST CORNER OF SECTION 27  
TOWNSHIP 7 NORTH, RANGE 2 WEST  
SALT LAKE BASE AND MERIDIAN  
ELEV = 4231.00'

- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
  3. ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
  4. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
  5. LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
  6. SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
  7. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
  8. ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
  9. ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
  10. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  11. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
  12. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

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**THE ORCHARDS AT JDC RANCH  
PHASE 2  
2800 WEST 2600 NORTH STREET  
WEBER COUNTY, UTAH**



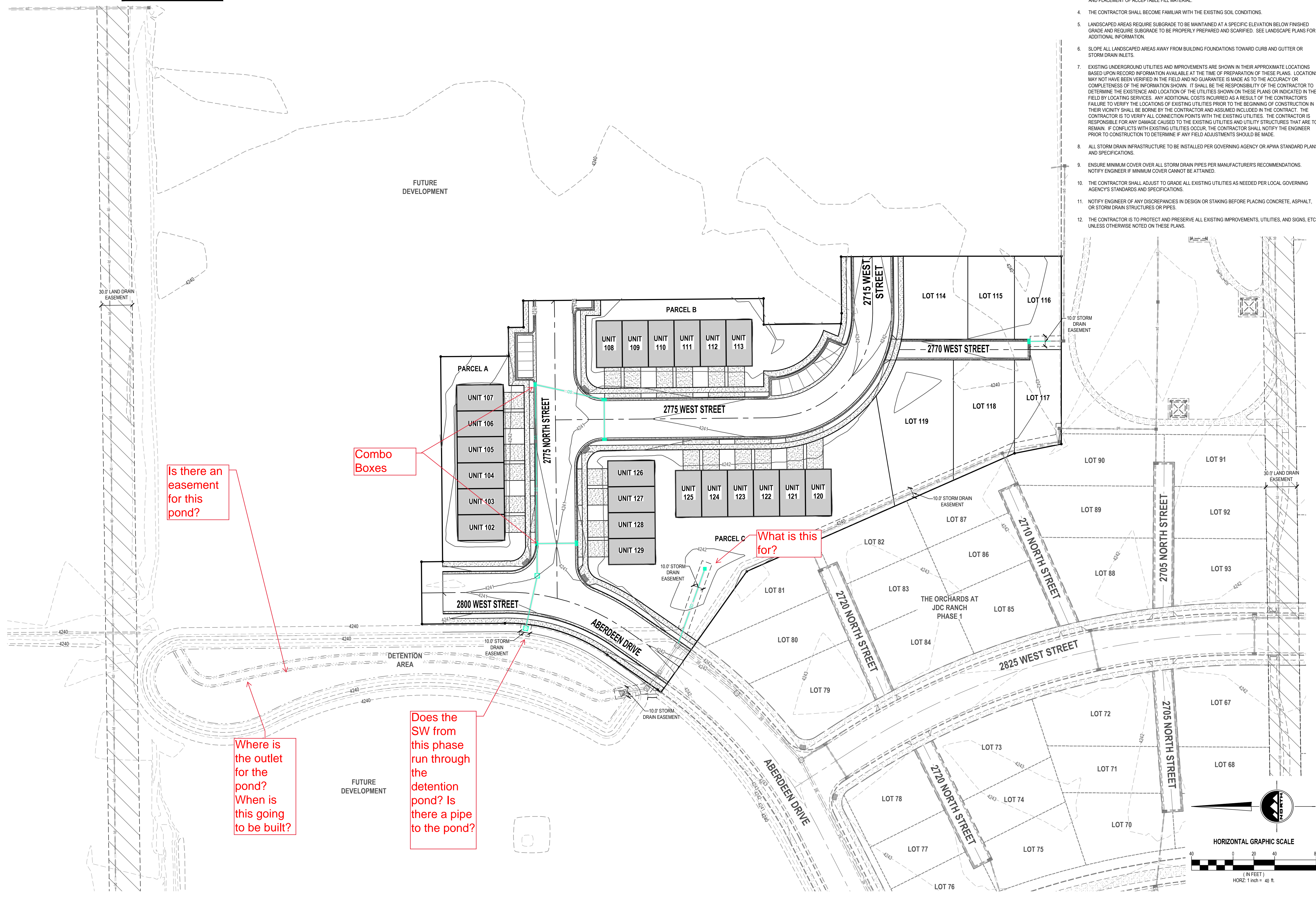
NO. DATE REVISION FOR REVIEW

**OVERALL GRADING AND DRAINAGE PLAN**

PROJECT NUMBER 9872  
PROJECT MANAGER CP

PRINT DATE 2024-03-01  
DESIGNED BY TS

**C-200**



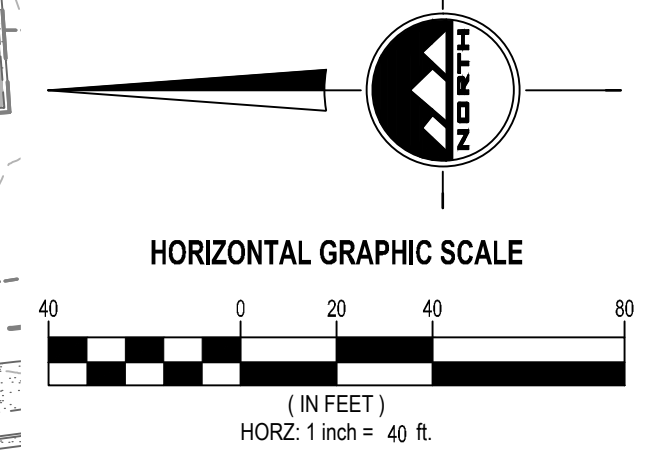
Is there an easement for this pond?

Combo Boxes

What is this for?

Where is the outlet for the pond?  
When is this going to be built?

Does the SW from this phase run through the detention pond? Is there a pipe to the pond?



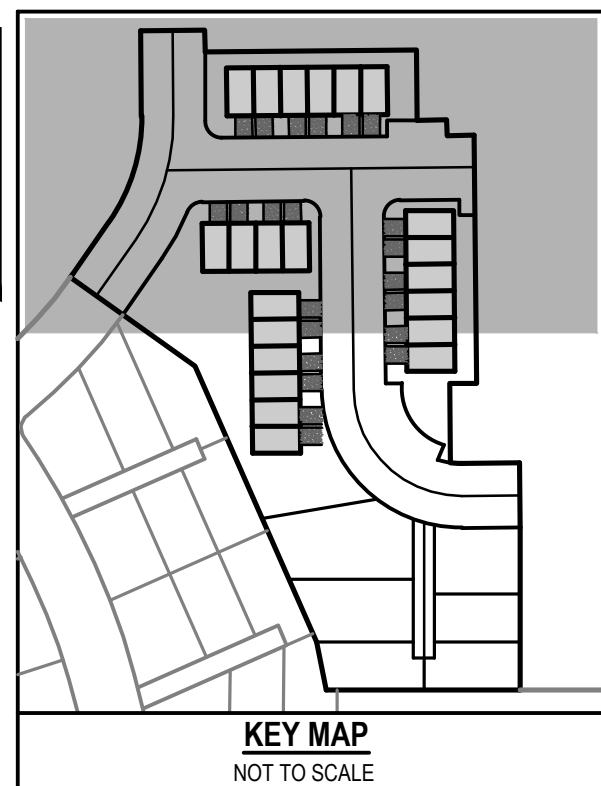




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**BENCHMARK**

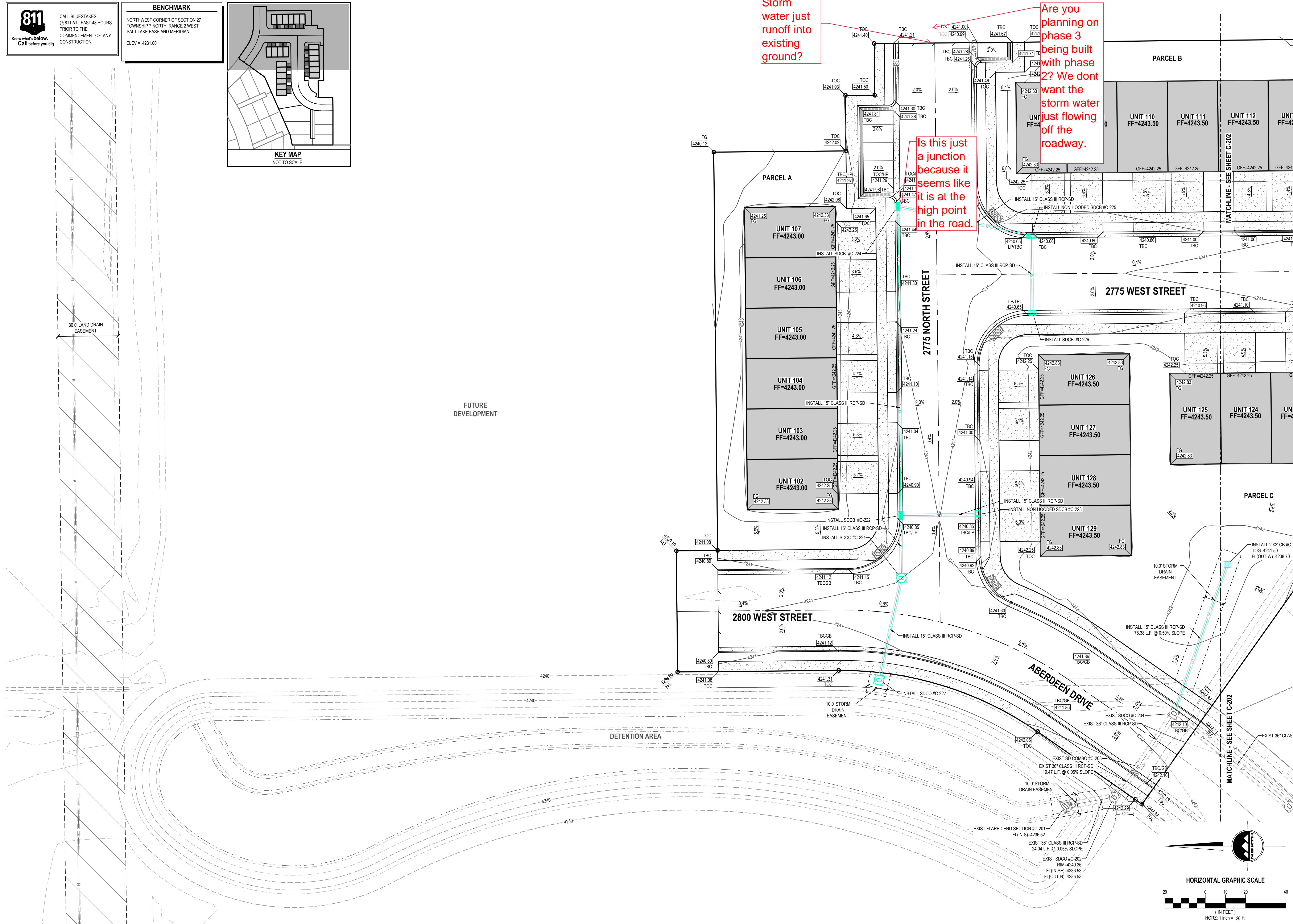
NORTHWEST CORNER OF SECTION 27  
TOWNSHIP 7 NORTH, RANGE 2 WEST  
SALT LAKE BASE AND MERIDIAN  
ELEV = 4231.00'



Does the Storm water just runoff into existing ground?

Are you planning on phase 3 being built with phase 2? We dont want the storm water just flowing off the roadway.

Is this just a junction because it seems like it is at the high point in the road.



**THE ORCHARDS AT JDC RANCH  
PHASE 2  
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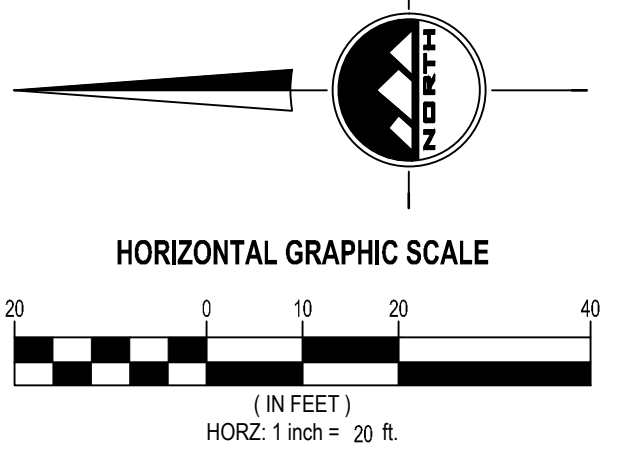
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**GRADING AND DRAINAGE PLAN**

PROJECT NUMBER 9872  
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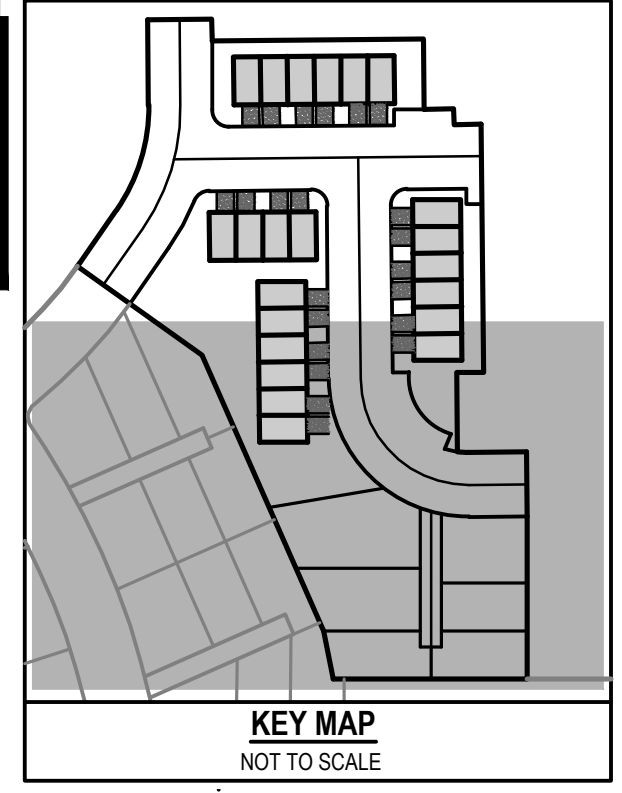
**C-201**





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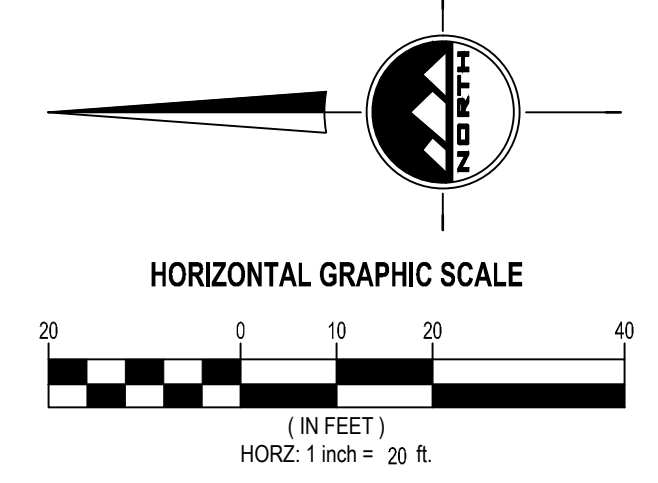


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**GRADING AND DRAINAGE PLAN**

PROJECT NUMBER 9872  
PROJECT MANAGER CP  
PRINT DATE 2024-03-01  
DESIGNED BY TS

**C-202**





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**SCOPE OF WORK:**  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

1. INSTALL 3/4" TYPE K COPPER SERVICE CONNECTION PER BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS.
2. INSTALL 4" SANITARY SEWER SERVICE LATERAL @ 2.00% MINIMUM SLOPE PER PLAIN CITY STANDARDS AND SPECIFICATIONS.
3. INSTALL 1-1/2" PVC DUAL TURNOUT SECONDARY WATER SERVICE LINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS.
4. INSTALL 1" SECONDARY WATER SERVICE LINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS.
5. INSTALL 8" C900 DR18 PVC CULINARY WATERLINE PER BONA VISTA WATER IMPROVEMENT STANDARDS AND SPECIFICATIONS.
6. INSTALL 8" C900 DR18 PVC "PURPLE" SECONDARY WATERLINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS.
7. FIELD LOCATE AND CONNECT TO EXISTING CULINARY WATERLINE PER BONA VISTA WATER IMPROVEMENT STANDARDS AND SPECIFICATIONS.
8. FIELD LOCATE AND CONNECT TO EXISTING SECONDARY WATERLINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS.
9. INSTALL FIRE HYDRANT AND VALVE PER BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS.
10. INSTALL STREET LIGHT PER WEBER COUNTY STANDARDS AND SPECIFICATIONS COORDINATE ALL PROPOSED STREET LIGHT LOCATIONS WITH WEBER COUNTY AND THE STREET LIGHT INSTALLATION WITH ROCKY MOUNTAIN POWER.
11. PLUG AND BLOCK FOR FUTURE CONNECTION
12. INSTALL 2" POLY SECONDARY WATER SERVICE LINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS (TYP)
13. EXISTING FIRE HYDRANT
14. EXISTING STREET LIGHT
15. EXISTING 8" C900 DR18 PVC CULINARY WATERLINE
16. EXISTING 8" C900 DR18 PVC "PURPLE" SECONDARY WATERLINE
17. INSTALL 2" PERMANENT #2 POST BLOW-OFF VALVE PER BONA VISTA STANDARD DETAIL BV-05 AND SPECIFICATIONS
18. INSTALL 4" C900 DR18 PVC PRIVATE CULINARY WATERMAIN PER BONA VISTA STANDARDS AND SPECIFICATIONS. WATERLINE IS PRIVATE AFTER THE VALVE ONTO THE PRIVATE STREET.
19. INSTALL 2" TEMPORARY VANGUARD BLOW-OFF VALVE PER BONA VISTA STANDARD DETAIL BV-05 AND SPECIFICATIONS

- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
  3. ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
  4. ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
  5. DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  6. PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
  7. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
  8. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  9. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

**ENSIGN**  
THE STANDARD IN ENGINEERING

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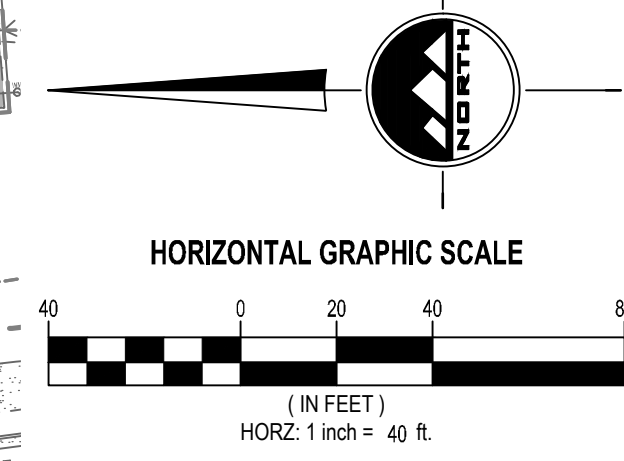
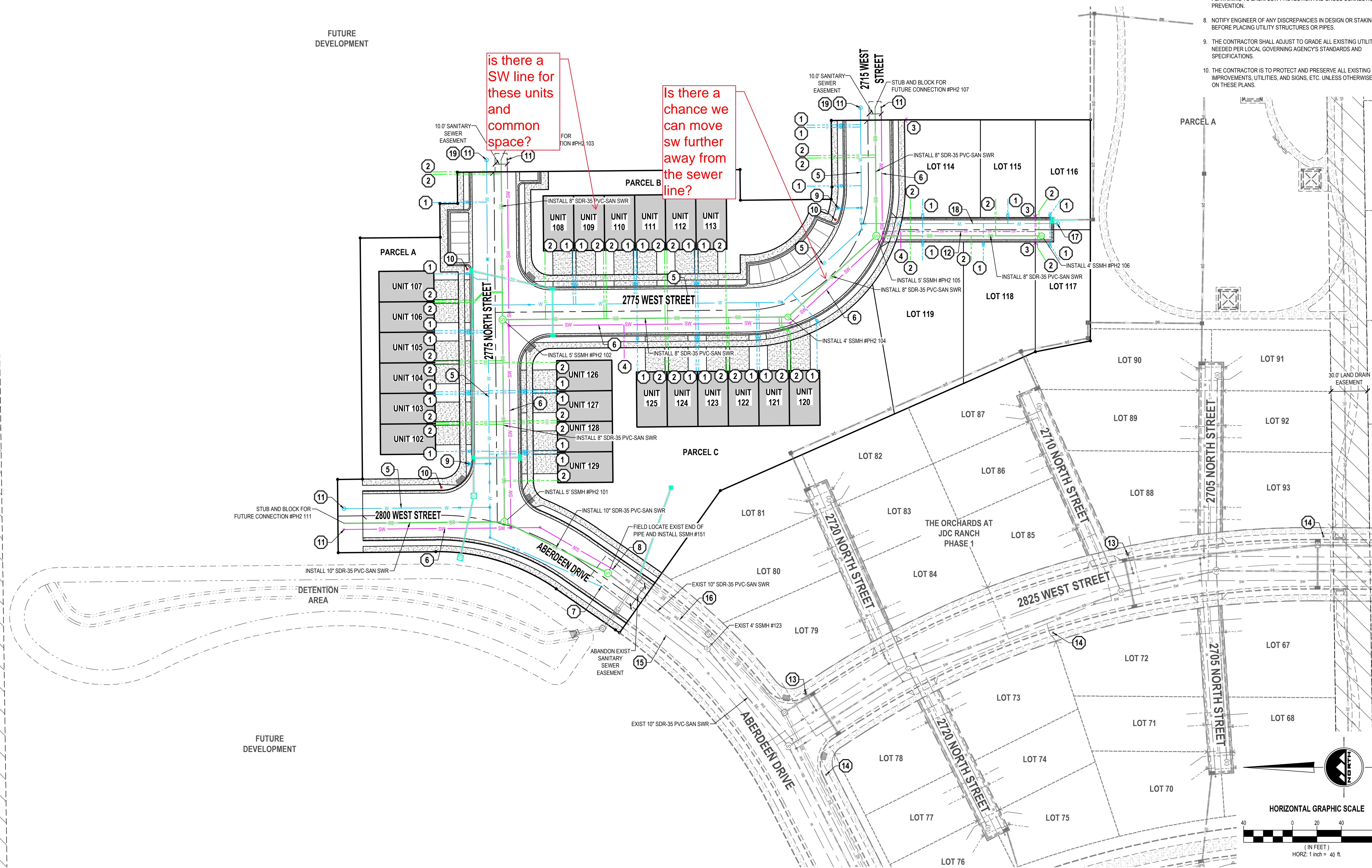


NO. DATE REVISION FOR REVIEW

**UTILITY PLAN**

PROJECT NUMBER 9872  
PRINT DATE 2024-03-01  
PROJECT MANAGER CP  
DESIGNED BY TS

**C-300**







**BENCHMARK**  
 NORTHWEST CORNER OF SECTION 27  
 TOWNSHIP 7 NORTH, RANGE 2 WEST  
 SALT LAKE BASE AND MERIDIAN  
 ELEV = 4231.00'

- SCOPE OF WORK:**  
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 INLET PROTECTION PER DETAIL 1/C-500.
  - 2 VEHICLE WASHDOWN AND STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 2/C-500.
  - 3 SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
  - 4 CONCRETE CLEANOUT LINED BASIN OR DUMPSTER.
  - 5 LIMITS OF DISTURBANCE.
  - 6 INSTALL TEMPORARY SILT FENCE PER DETAIL 5/C-500.

REVISION SCHEDULE			
NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE
1			
2			
3			
4			
5			
6			
7			
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12			

- GENERAL NOTES**
1. THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
  2. DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
  3. RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
  4. DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
  5. VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMP'S TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
  6. NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
  7. A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

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 THE STANDARD IN ENGINEERING

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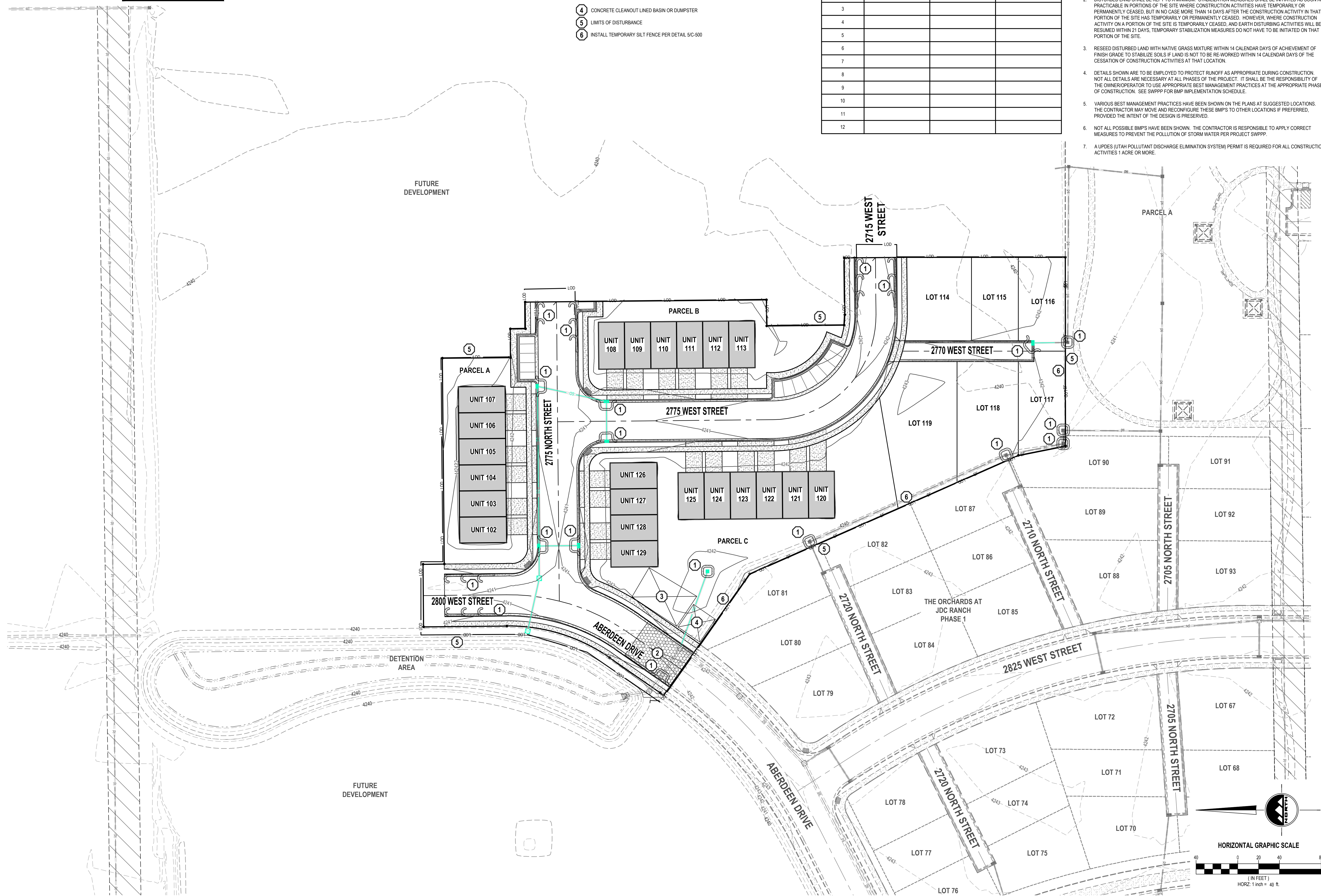
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**THE ORCHARDS AT JDC RANCH**  
**PHASE 2**  
 2800 WEST 2600 NORTH STREET  
 WEBER COUNTY, UTAH

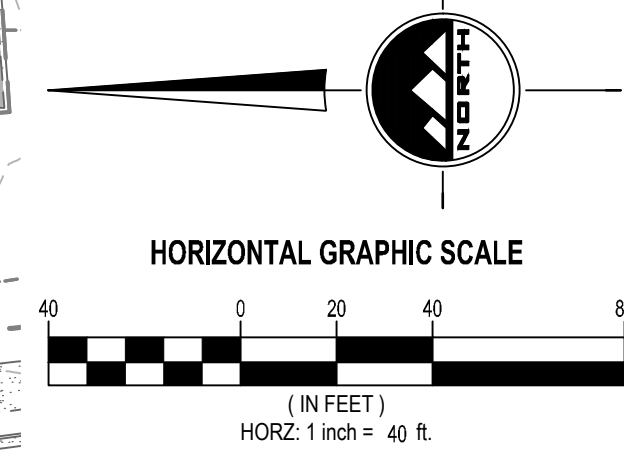


NO. DATE REVISION FOR REVIEW

**EROSION CONTROL PLAN**

PROJECT NUMBER 9872  
 PRINT DATE 2024-03-01  
 PROJECT MANAGER CP  
 DESIGNED BY TS

**C-400**





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Phone: 801.255.0529

**TOOELE**  
Phone: 435.843.3590

**CEDAR CITY**  
Phone: 435.865.1453

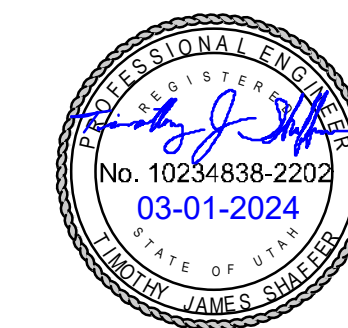
**RICHFIELD**  
Phone: 435.896.2983

[WWW.ENSIGNENG.COM](http://WWW.ENSIGNENG.COM)

FOR:  
NILSON HOMES  
1740 COMBE RD, SUITE 2  
SOUTH OGDEN, UT 84403

CONTACT:  
STEVE ANDERSON  
PHONE: 801.392.8100

**THE ORCHARDS AT JDC RANCH  
PHASE 2  
2800 WEST 2600 NORTH STREET  
WEBER COUNTY, UTAH**

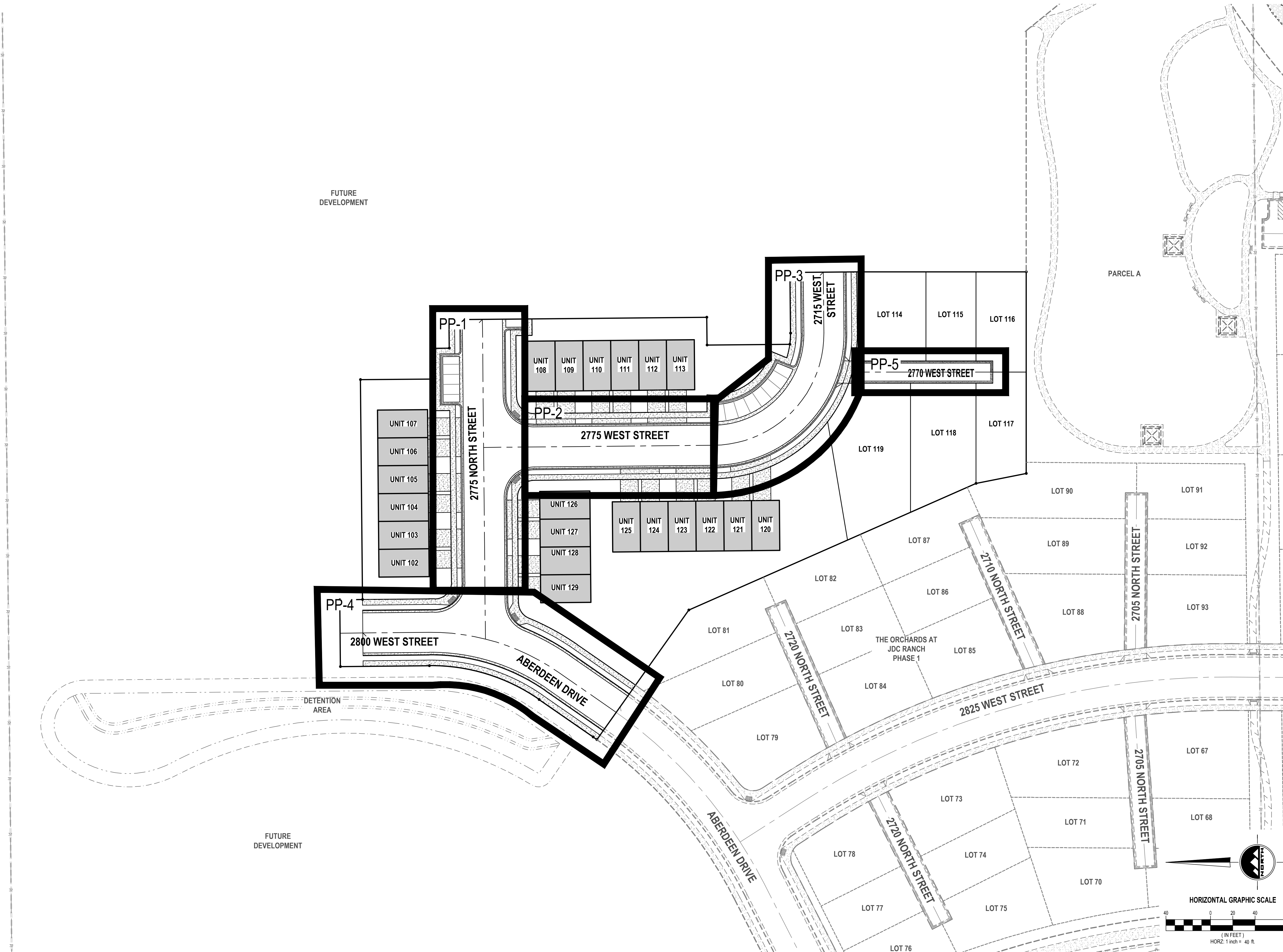


NO. DATE REASON FOR REVIEW

**PLAN AND PROFILE  
KEY MAP**

PROJECT NUMBER 9872  
PROJECT MANAGER CP  
PRINT DATE 2024-03-01  
DESIGNED BY TS

**PP-0**





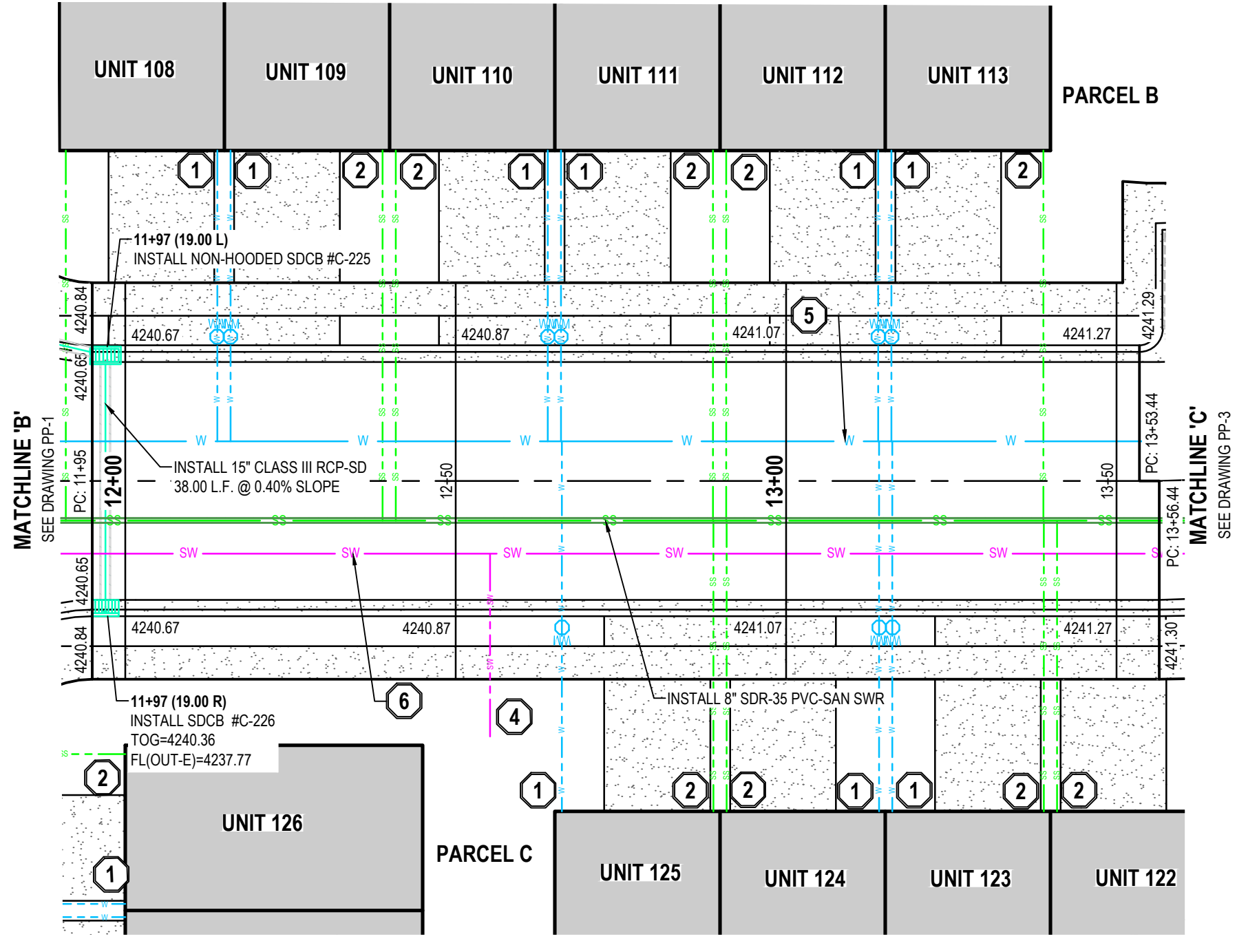




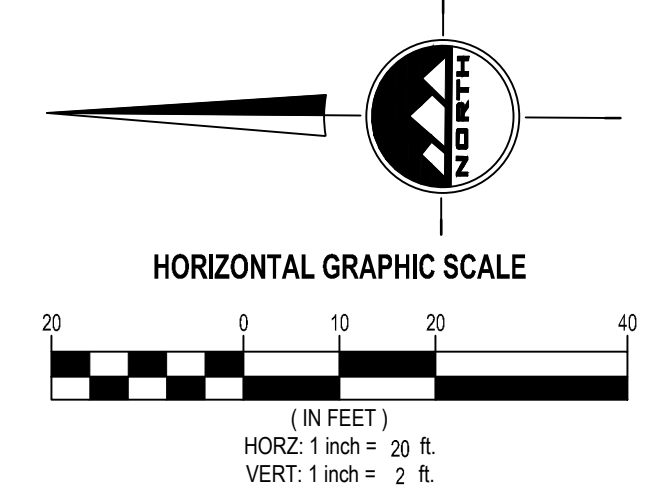
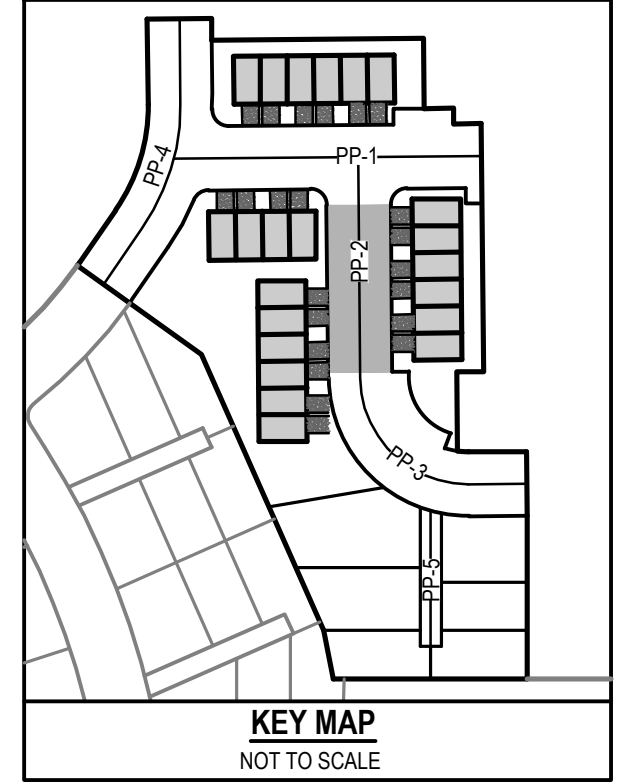
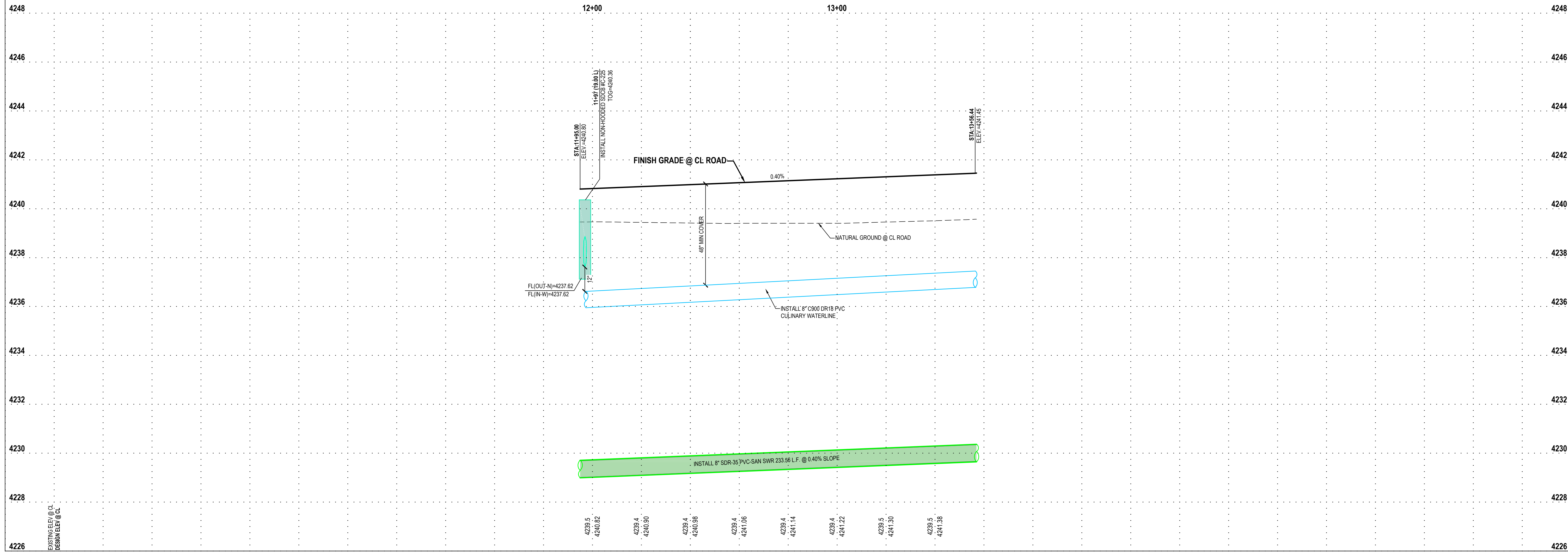


**BENCHMARK**  
 NORTHWEST CORNER OF SECTION 27  
 TOWNSHIP 7 NORTH, RANGE 2 WEST  
 SALT LAKE BASE AND MERIDIAN  
 ELEV = 4231.00'

- SCOPE OF WORK:**  
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- INSTALL 3/4" TYPE K COPPER SERVICE CONNECTION PER BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS
  - INSTALL 4" SANITARY SEWER SERVICE LATERAL @ 2.00% MINIMUM SLOPE PER PLAIN CITY STANDARDS AND SPECIFICATIONS.
  - INSTALL 1-1/2" PVC DUAL TURNOUT SECONDARY WATER SERVICE LINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS.
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  - INSTALL 8" C900 DR18 PVC CULINARY WATERLINE PER BONA VISTA WATER IMPROVEMENT STANDARDS AND SPECIFICATIONS
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  - INSTALL STREET LIGHT PER PLAIN CITY STANDARDS AND SPECIFICATIONS COORDINATE ALL PROPOSED STREET LIGHT LOCATIONS WITH PLAIN CITY AND THE STREET LIGHT INSTALLATION WITH ROCKY MOUNTAIN POWER.
  - PLUG AND BLOCK FOR FUTURE CONNECTION
  - INSTALL 2" POLY SECONDARY WATER SERVICE LINE PER PINEVIEW WATER SYSTEMS STANDARDS AND SPECIFICATIONS (TYP)
  - EXISTING FIRE HYDRANT
  - EXISTING STREET LIGHT
  - EXISTING 8" C900 DR18 PVC CULINARY WATERLINE
  - EXISTING 8" C900 DR18 PVC "PURPLE" SECONDARY WATERLINE
  - INSTALL 2" PERMANENT #2 POST BLOW-OFF VALVE PER BONA VISTA STANDARD DETAIL BV-05 AND SPECIFICATIONS
  - INSTALL 4" C900 DR18 PVC PRIVATE CULINARY WATERMAIN PER BONA VISTA STANDARDS AND SPECIFICATIONS. WATERLINE IS PRIVATE AFTER THE VALVE ONTO THE PRIVATE STREET.
  - INSTALL 2" TEMPORARY VANGUARD BLOW-OFF VALVE PER BONA VISTA STANDARD DETAIL BV-05 AND SPECIFICATIONS



**2775 WEST STREET**



**ENSIGN**  
 THE STANDARD IN ENGINEERING

LAYTON  
 919 North 400 West  
 Layton, UT 84041  
 Phone: 801.547.1100

SANDY  
 Phone: 801.255.0529

TOOELE  
 Phone: 435.843.3590

CEDAR CITY  
 Phone: 435.865.1453

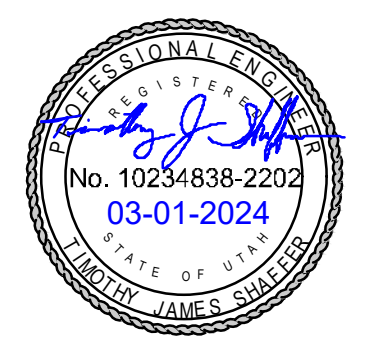
RICHFIELD  
 Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:  
 NILSON HOMES  
 1740 COMBE RD, SUITE 2  
 SOUTH OGDEN, UT 84403

CONTACT:  
 STEVE ANDERSON  
 PHONE: 801.392.8100

**THE ORCHARDS AT JDC RANCH**  
**PHASE 2**  
 2800 WEST 2600 NORTH STREET  
 WEBER COUNTY, UTAH



NO.	DATE	REVISION
		FOR REVIEW

**2775 WEST STREET**  
**PLAN AND PROFILE**

PROJECT NUMBER: 9872  
 PRINT DATE: 2024-03-01  
 PROJECT MANAGER: CP  
 DESIGNED BY: TS

**PP-2**

EXISTING ELEV @ CL  
 BENCHMARK ELEV @ CL





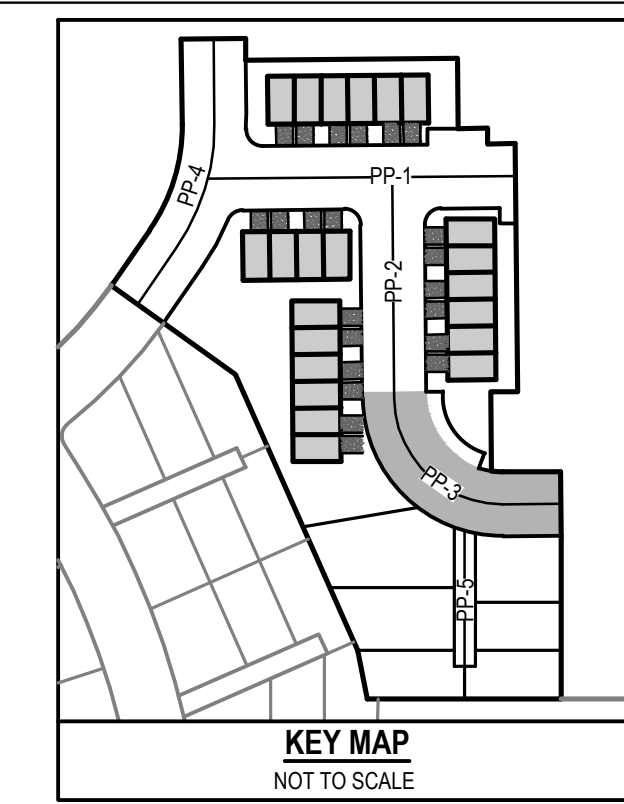
**BENCHMARK**

NORTHWEST CORNER OF SECTION 27  
TOWNSHIP 7 NORTH, RANGE 2 WEST  
SALT LAKE BASE AND MERIDIAN  
ELEV = 4231.00'

**SCOPE OF WORK:**

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

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- 11 PLUG AND BLOCK FOR FUTURE CONNECTION
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**ENSIGN**  
THE STANDARD IN ENGINEERING

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919 North 400 West  
Layton, UT 84041  
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SANDY  
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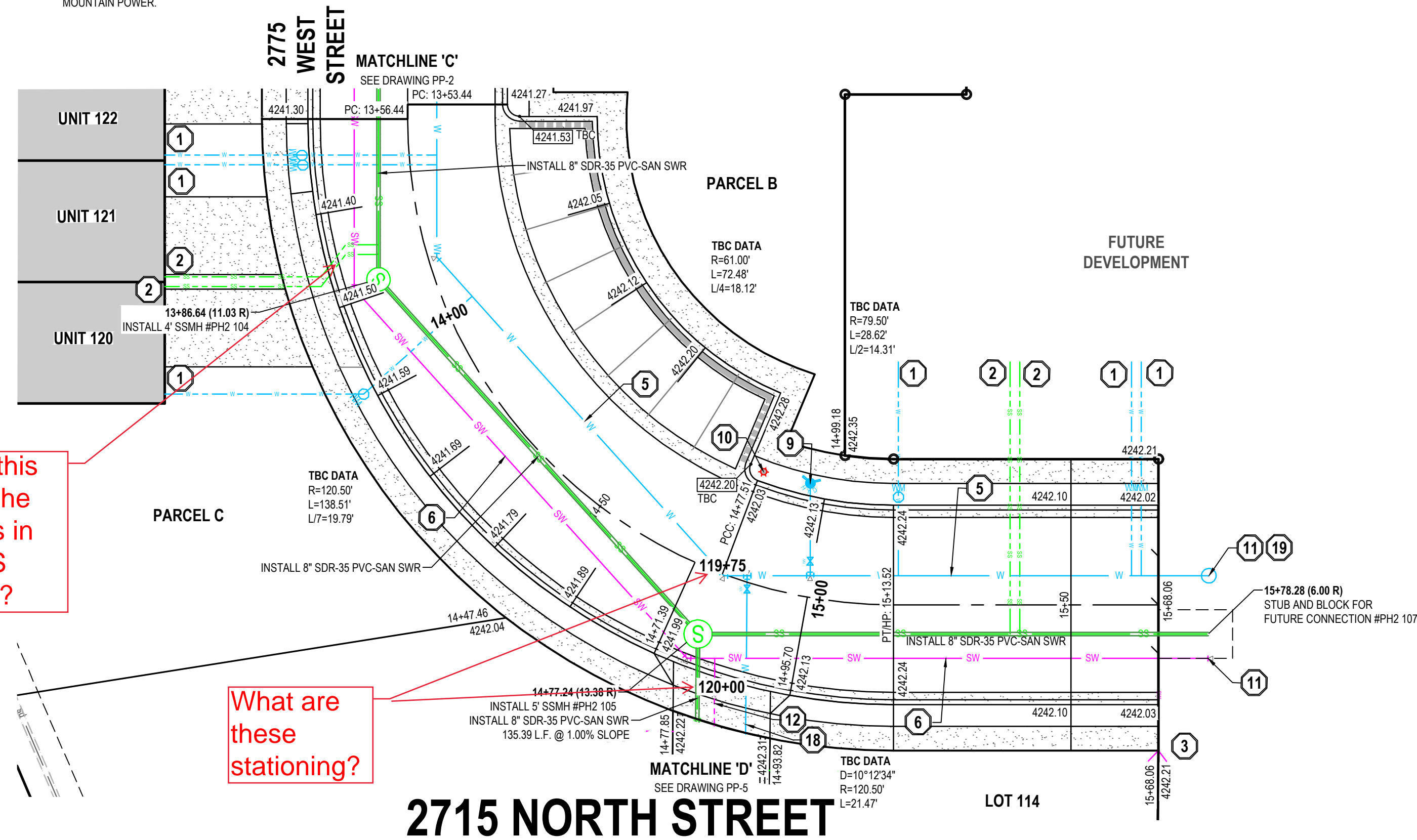
CEDAR CITY  
Phone: 435.865.1453

RICHFIELD  
Phone: 435.896.2983

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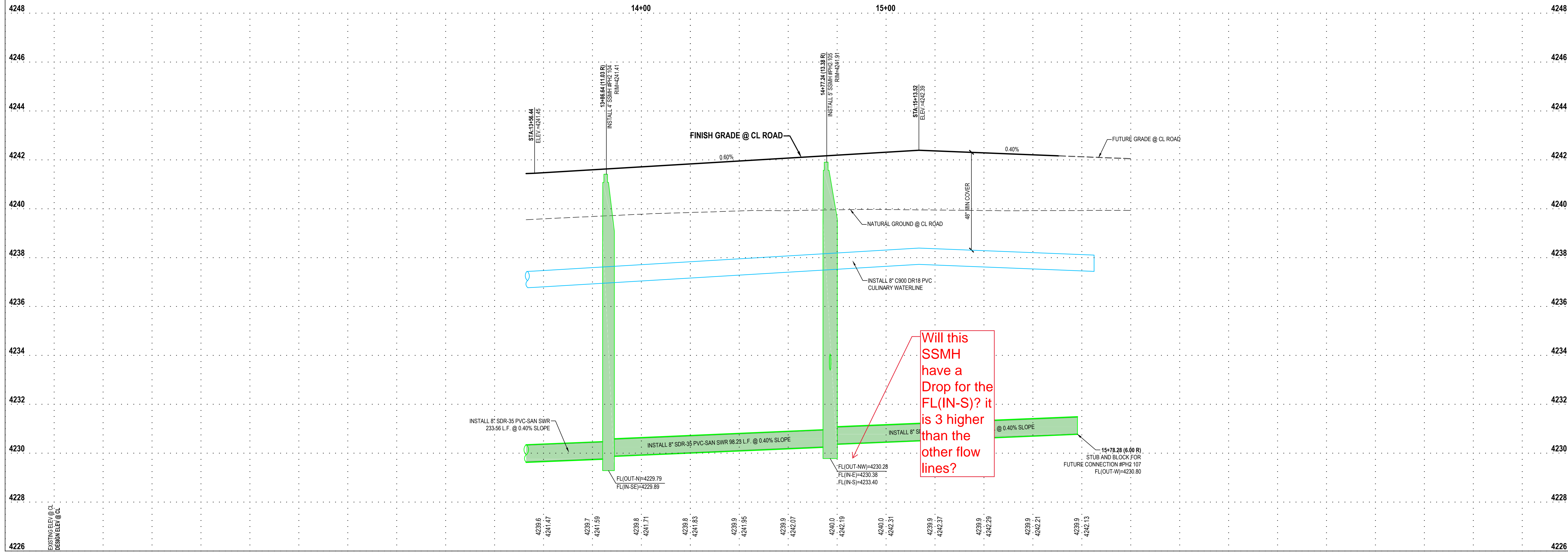
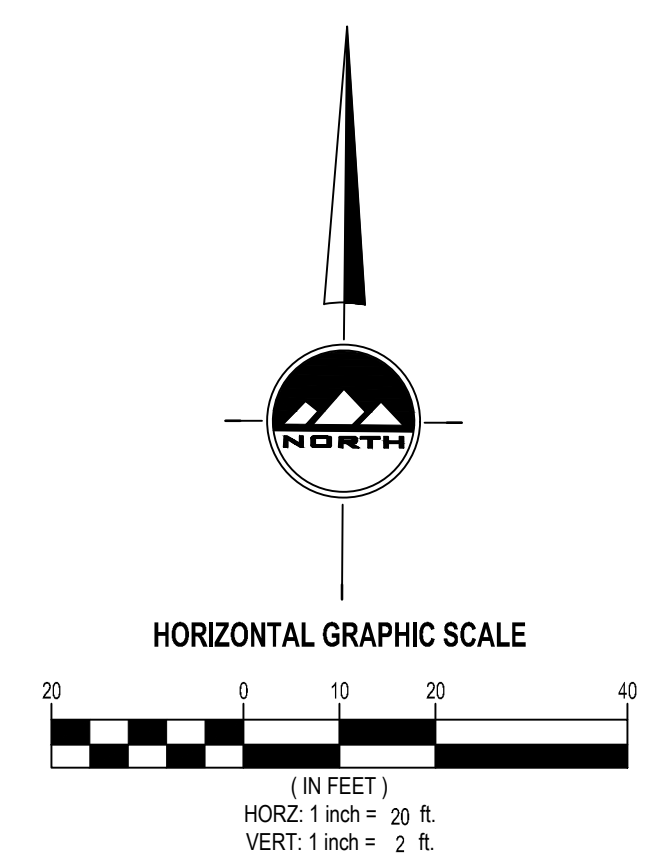
FOR:  
NILSON HOMES  
1740 COMBE RD, SUITE 2  
SOUTH OGDEN, UT 84403

CONTACT:  
STEVE ANDERSON  
PHONE: 801.392.8100



Does this need the angles in the SS lateral?

What are these stationing?



Will this SSMH have a Drop for the FL(IN-S)? it is 3 higher than the other flow lines?

**THE ORCHARDS AT JDC RANCH**  
**PHASE 2**  
2800 WEST 2600 NORTH STREET  
WEBER COUNTY, UTAH



NO.	DATE	REVISION
		FOR REVIEW

**2715 NORTH STREET**  
**PLAN AND PROFILE**

PROJECT NUMBER: 9872  
PRINT DATE: 2024-03-01  
PROJECT MANAGER: CP  
DESIGNED BY: TS

**PP-3**

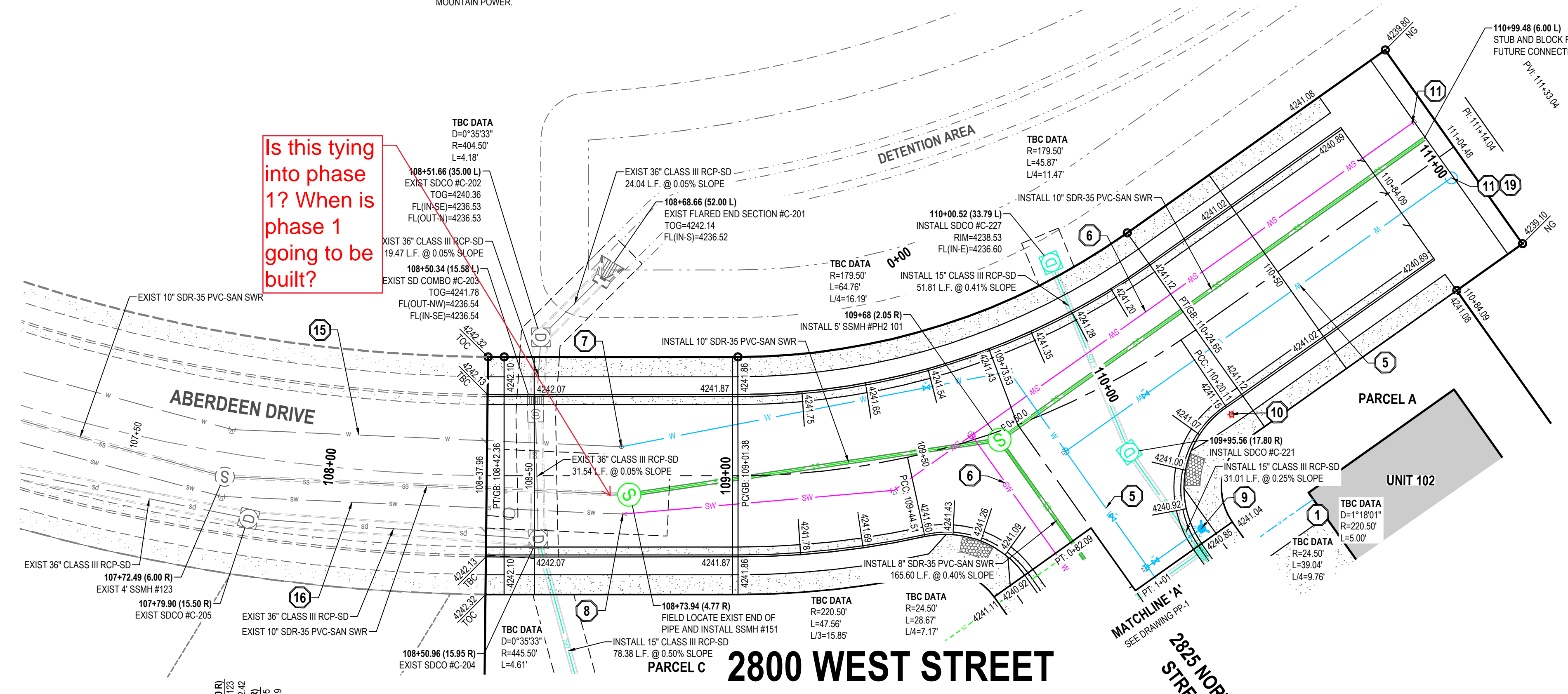


**811**  
Know what's below.  
Call before you dig.

CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

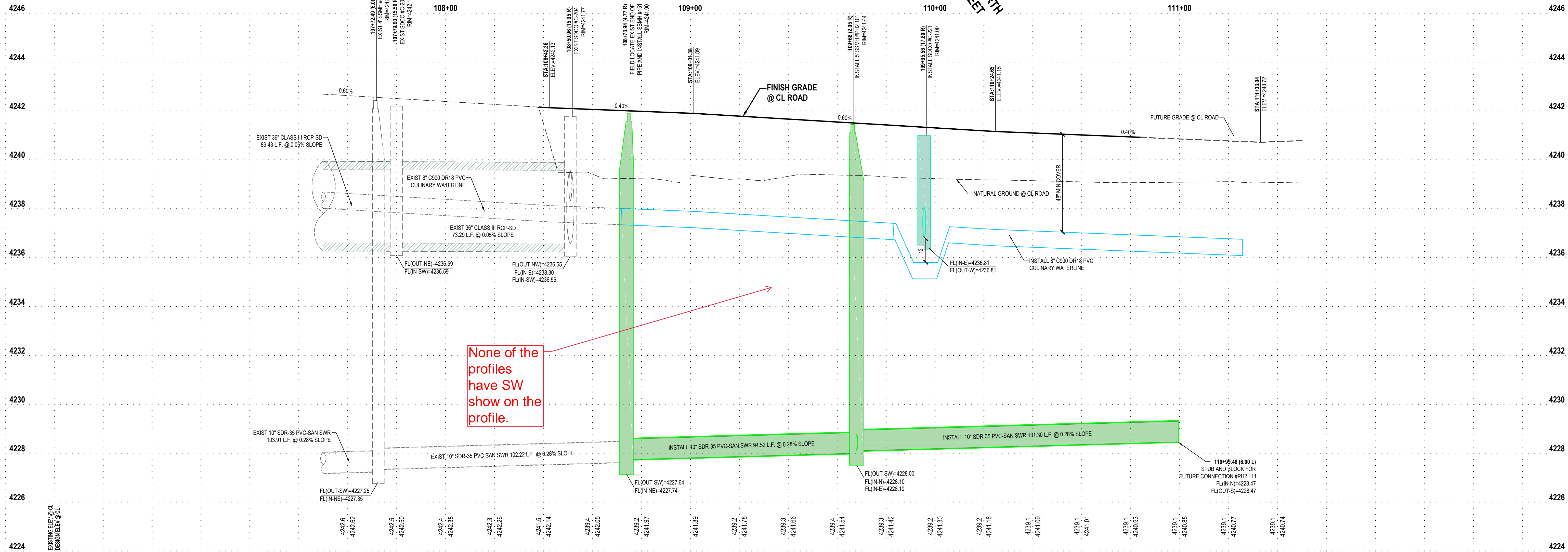
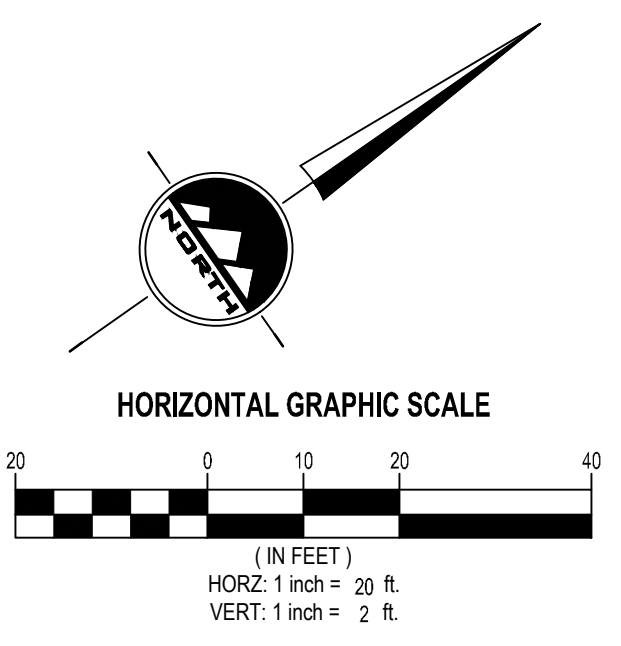
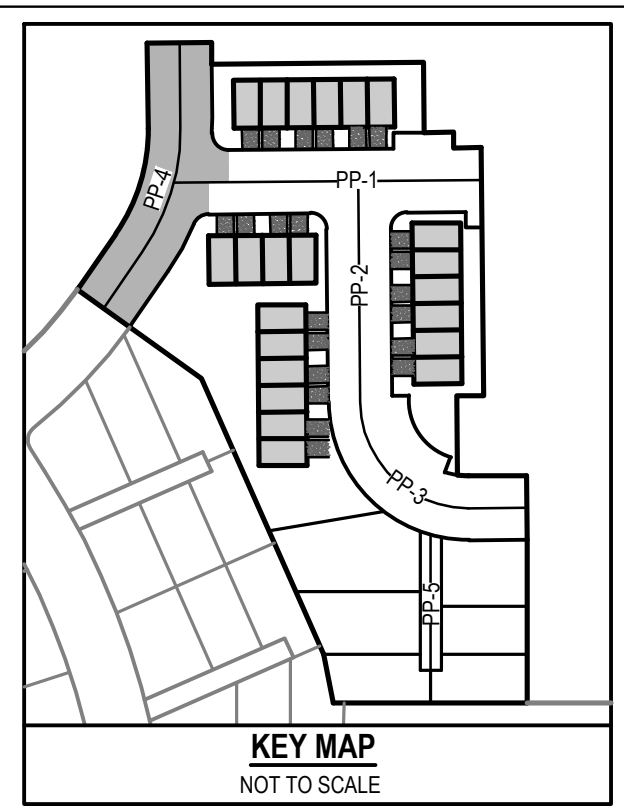
**BENCHMARK**  
NORTHWEST CORNER OF SECTION 27  
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Is this tying into phase 1? When is phase 1 going to be built?

None of the profiles have SW show on the profile.



**ENSIGN**  
THE STANDARD IN ENGINEERING

**LAYTON**  
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Phone: 801.547.1100

**SANDY**  
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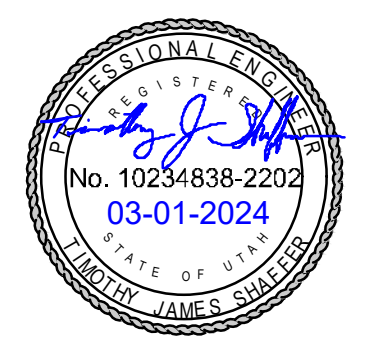
**RICHFIELD**  
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SOUTH OGDEN, UT 84403

CONTACT:  
STEVE ANDERSON  
PHONE: 801.392.8100

**THE ORCHARDS AT JDC RANCH**  
**PHASE 2**  
**2800 WEST 2600 NORTH STREET**  
**WEBER COUNTY, UTAH**



NO.	DATE	REVISION
		FOR REVIEW

**2800 WEST STREET**  
**ABERDEEN DRIVE**  
**PLAN AND PROFILE**

PROJECT NUMBER: 9872  
PRINT DATE: 2024-03-01  
PROJECT MANAGER: CP  
DESIGNED BY: TS

**PP-4**

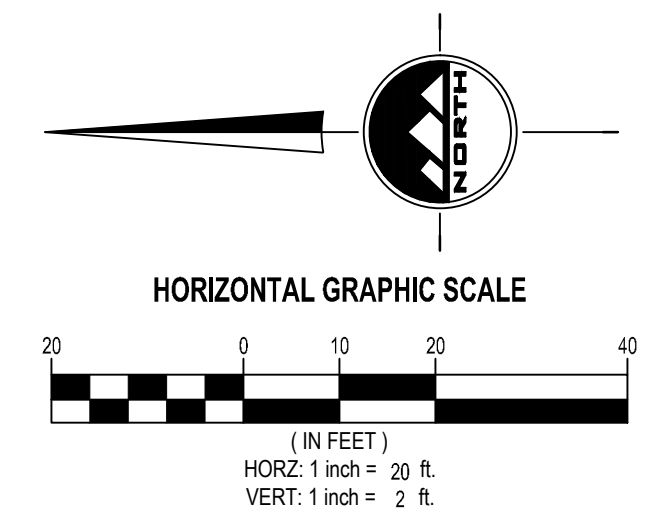
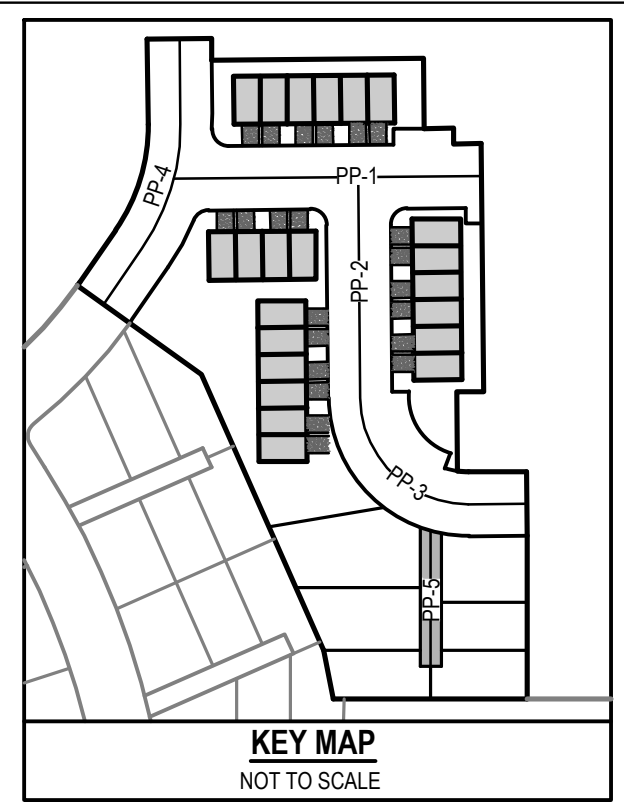
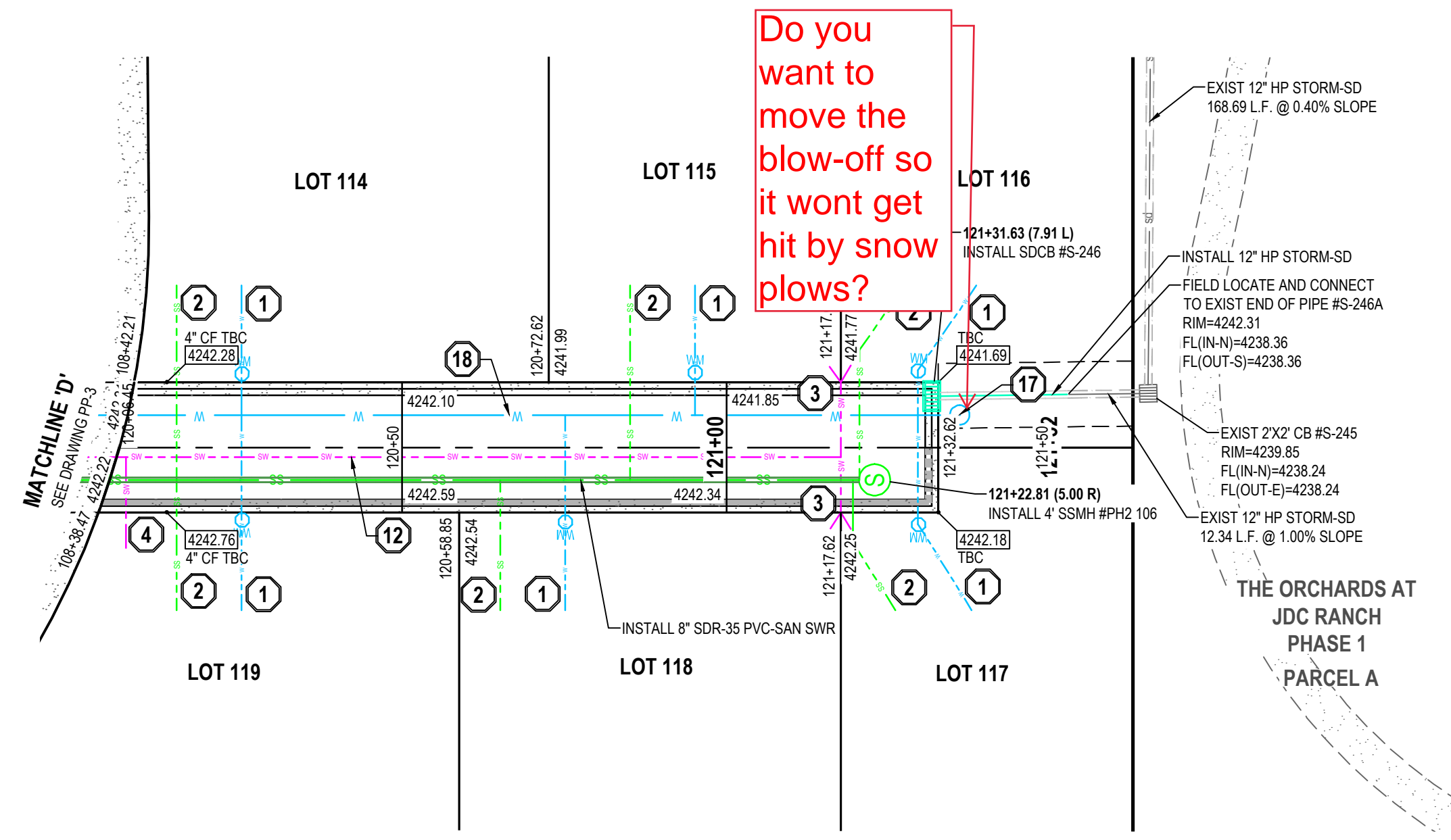


**811**  
Know what's below.  
Call before you dig.

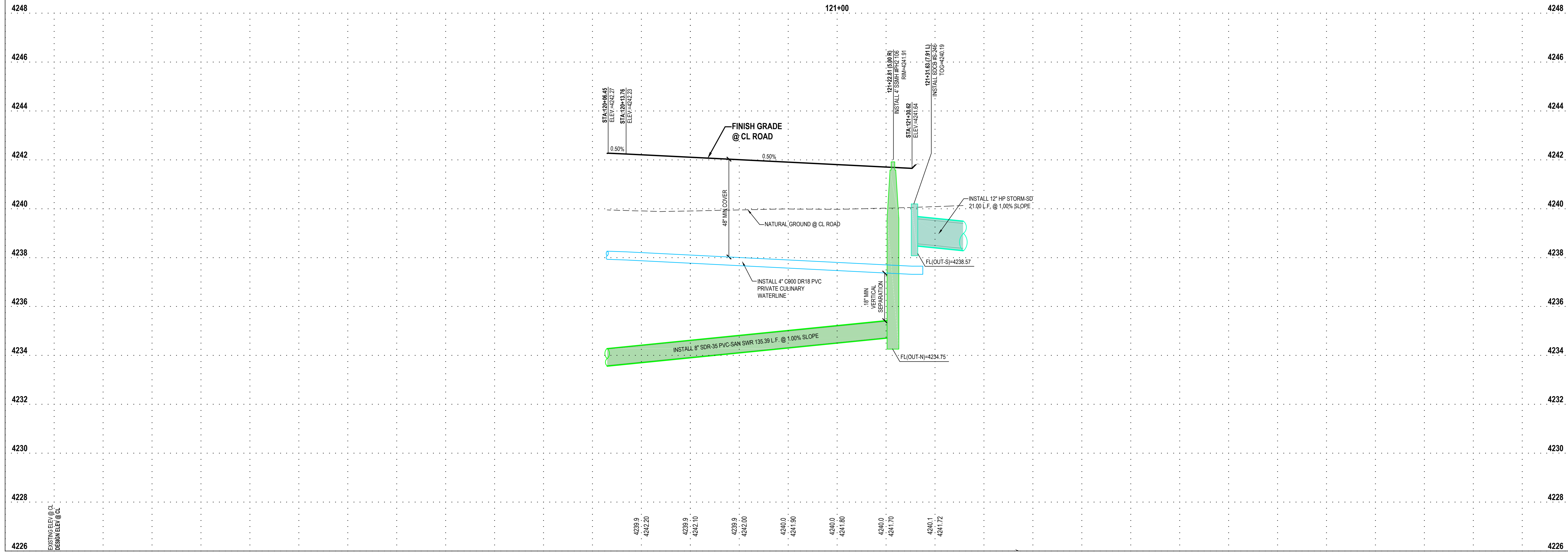
CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
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**BENCHMARK**  
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**2770 WEST STREET**



**ENSIGN**  
THE STANDARD IN ENGINEERING

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**THE ORCHARDS AT JDC RANCH  
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NO. DATE REASON FOR REVIEW

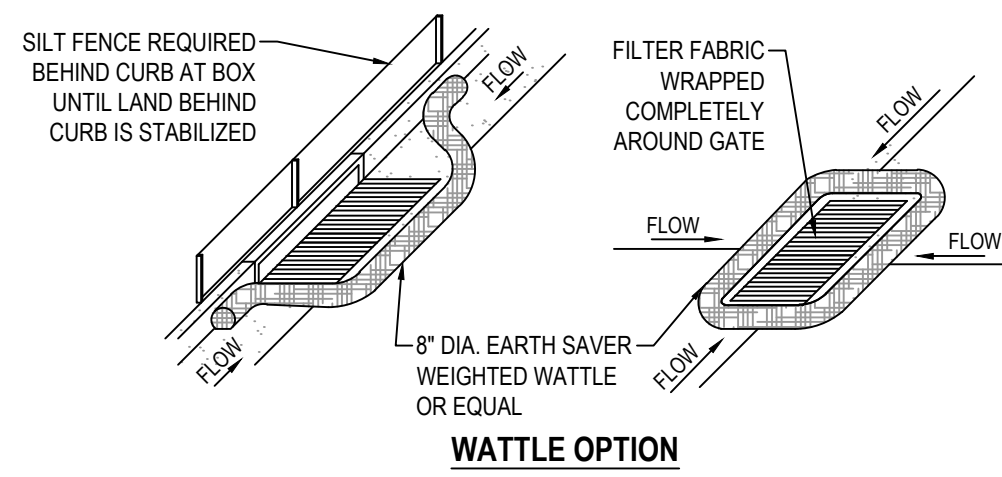
**2770 WEST STREET  
PLAN AND PROFILE**

PROJECT NUMBER 9872 PRINT DATE 2024-03-01  
PROJECT MANAGER CP DESIGNED BY TS

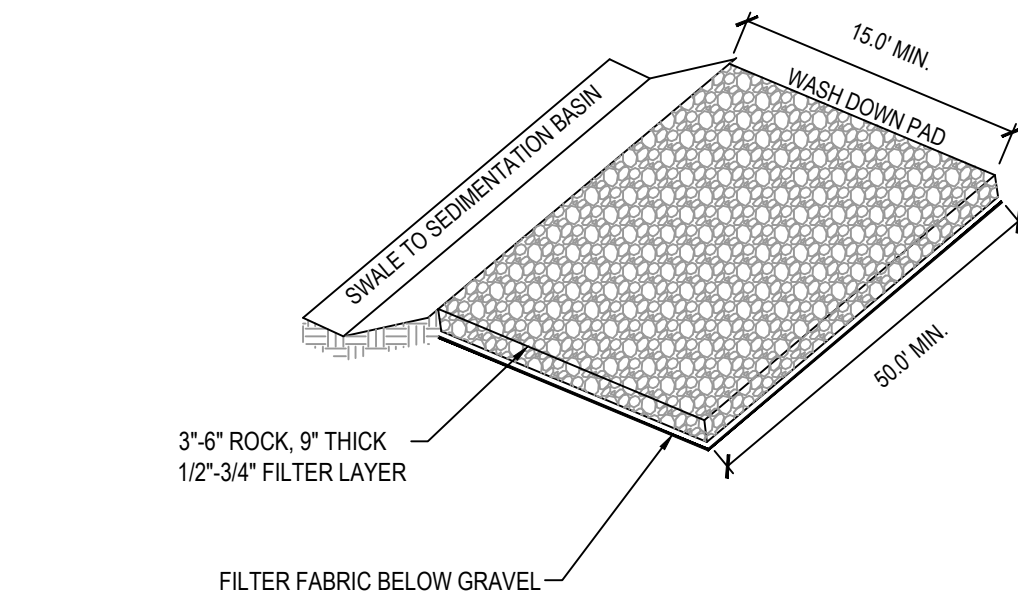
**PP-5**

ENGINER ELEV @ CL  
DESIGNER ELEV @ CL

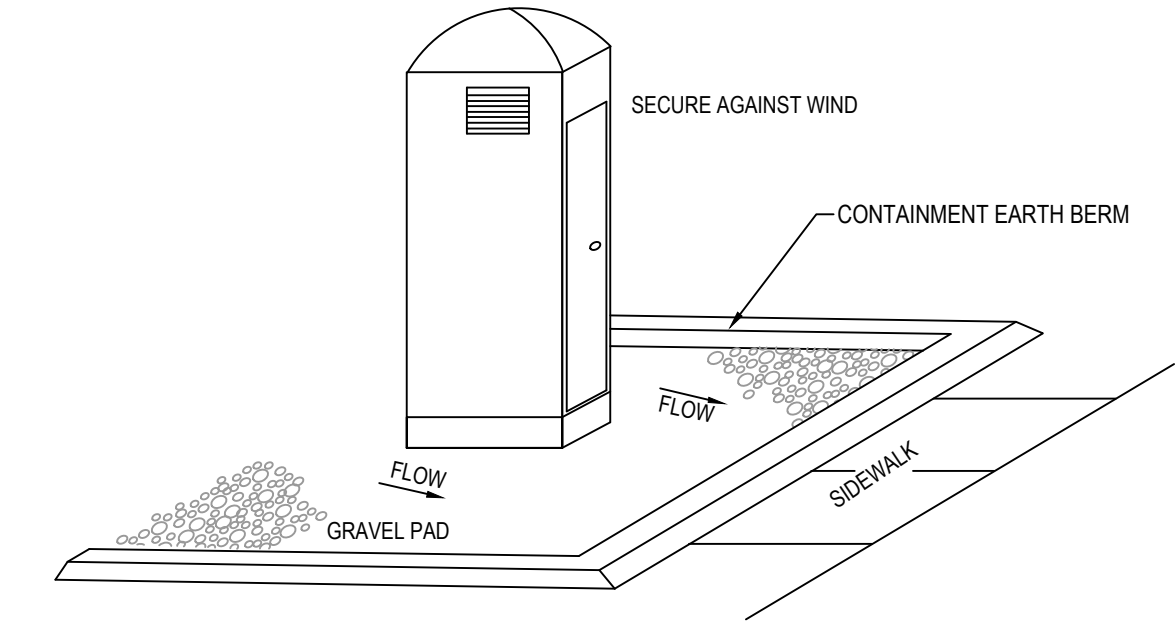
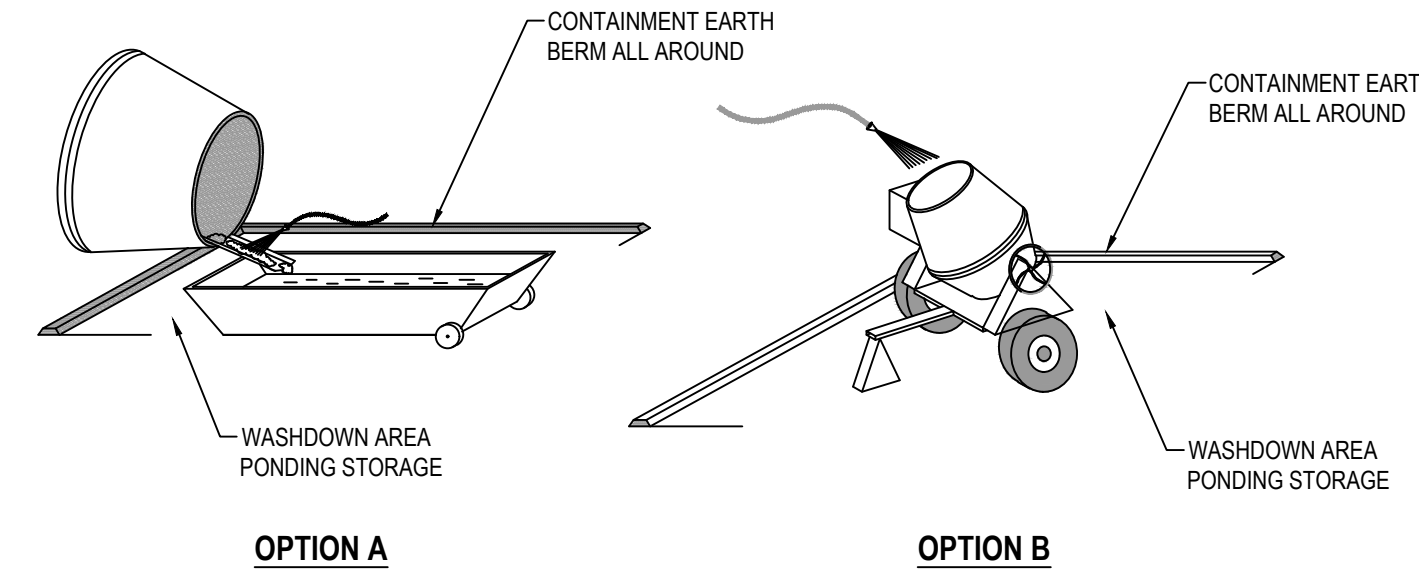




- NOTES:
- PLACE WATTLES OR GRAVEL BAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT-LADEN WATER FROM GETTING BETWEEN CURB AND WATTLEBAG.
  - PLACE WATTLES OR GRAVEL BAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE.
  - INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BIWEEKLY, OR PER SWPPP REQUIREMENTS, WHICHEVER IS MORE STRINGENT, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED.
  - REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 50% OF GRAVEL BAG OR WATTLE HEIGHT.
  - CONTRACTOR MAY SUBMIT AN ALTERNATIVE METHOD OF INLET PROTECTION. THE ALTERNATIVE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE ENGINEER OF RECORD.
  - BEFORE PLACEMENT OF CURB, STABILIZATION OF LAND BEHIND CURB, AND/OR PAVING, MAINTAIN TOP OF INLET AT 6" ABOVE GRADE, AND SURROUND WITH SILT FENCE FOR SEDIMENTATION AROUND BOX. MAINTAIN SILT FENCE BEHIND BOX UNTIL LAND BEHIND CURB IS STABILIZED.



- NOTE:
- PLACE SIGN ADJACENT TO ENTRANCE - CONSTRUCTION TRAFFIC ONLY - ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT SITE AT THIS LOCATION

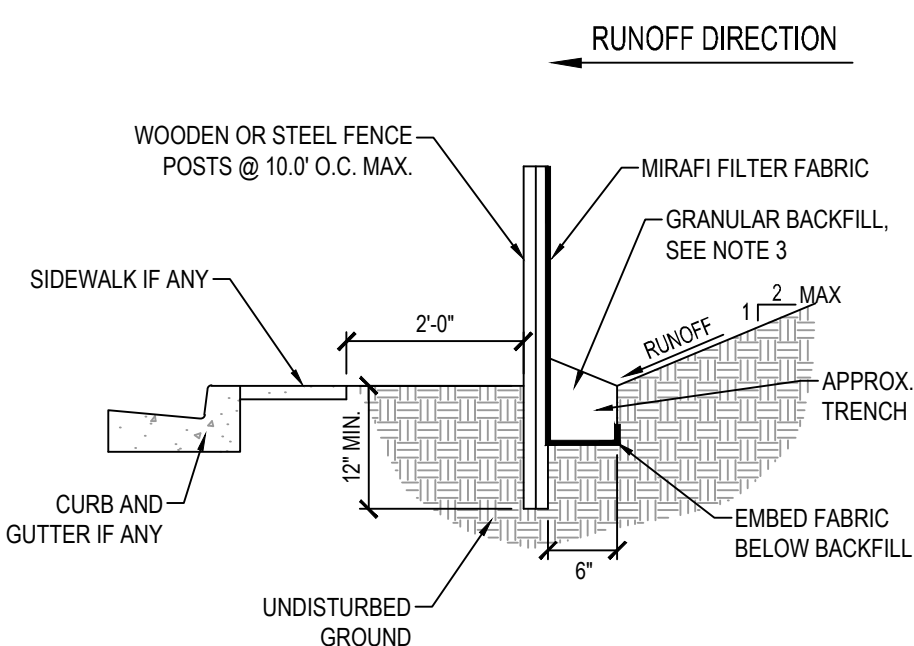


1 SAG INLET PROTECTION SCALE: NONE

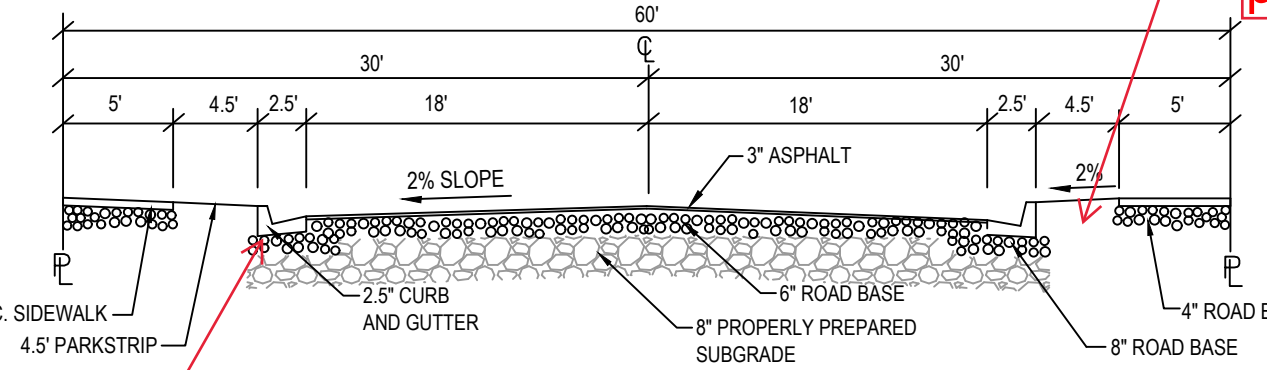
2 STABILIZED CONSTRUCTION ENTRANCE SCALE: NONE

3 CONCRETE WASTE MANAGEMENT SCALE: NONE

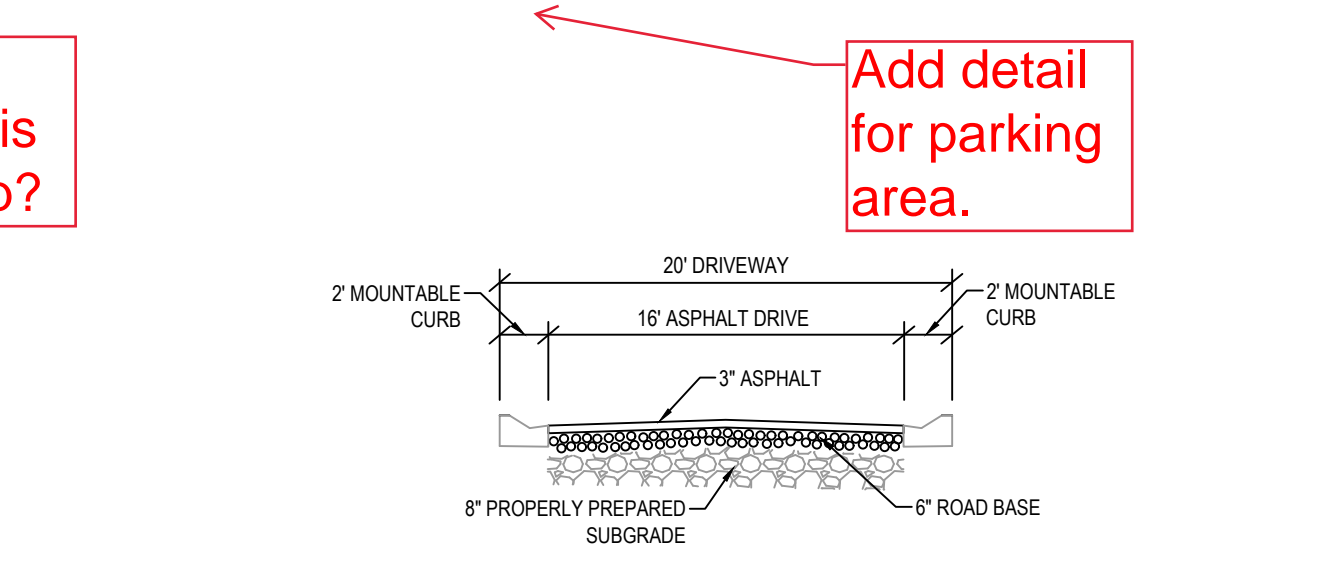
4 PORTABLE TOILET SCALE: NONE



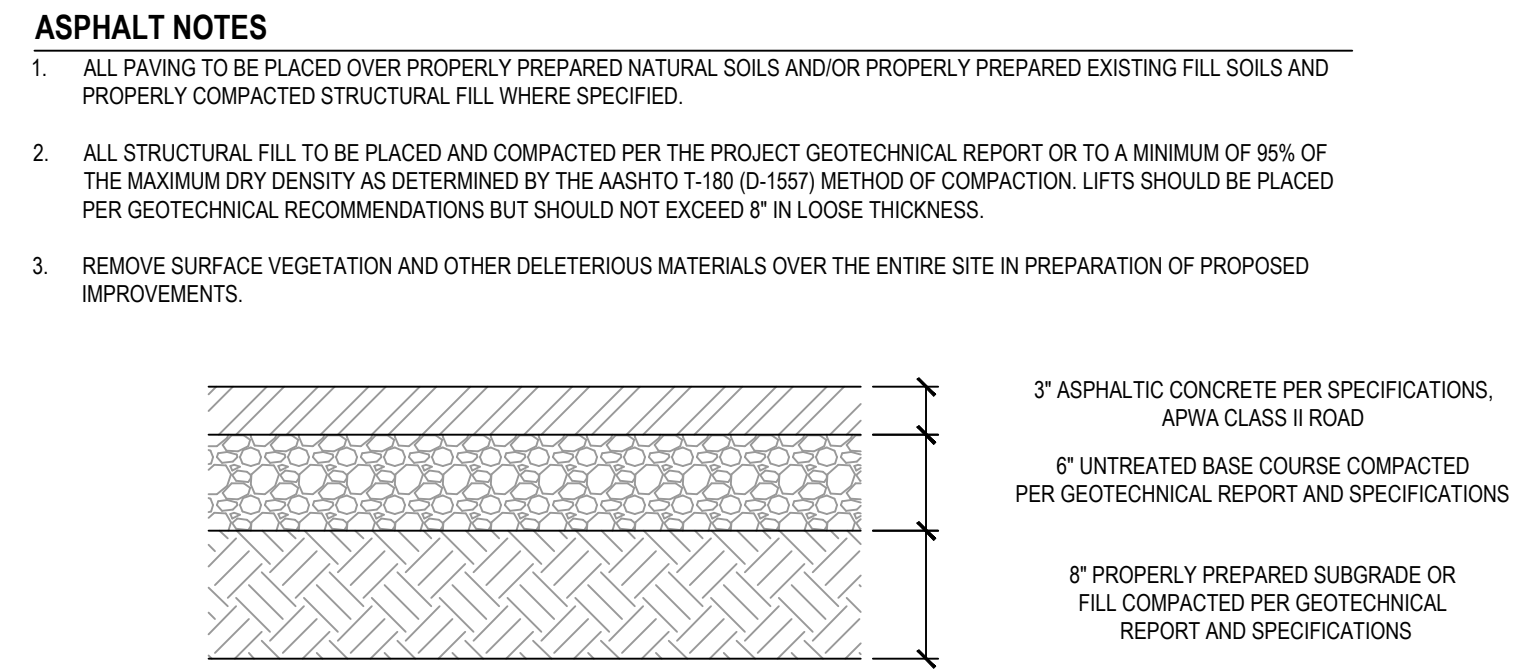
- NOTES:
- EXCAVATE 6"x6" TRENCH ALONG LIMITS OF DISTURBANCE AS SHOWN ON CONSTRUCTION DRAWINGS.
  - POSTS SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
  - LAY TOE-IN FABRIC FLAP IN BOTTOM OF TRENCH. BACKFILL TRENCH WITH FREE DRAINING GRANULAR MATERIAL. COMPACT TRENCH TO SATISFACTION OF THE ENGINEER OF RECORD.
  - SILT FENCE GEOTEXTILE SHALL MEET ASHTO M288-92 REQUIREMENTS.
  - REMOVE & DISPOSE OF SEDIMENT WHEN ACCUMULATION IS 50% OF EXPOSED FENCE HEIGHT.
  - 10' MAX. SPACING BETWEEN STAKES. SILT FENCES SHALL BE INSTALLED ALONG CONTOURS, NOT UP AND DOWN SLOPES, WITH 10' OVERLAP AT BREAKS.



6 CRITICAL 60' STREET CROSS SECTION SCALE: NONE



7 2770 WEST ALLEY SECTION SCALE: NONE



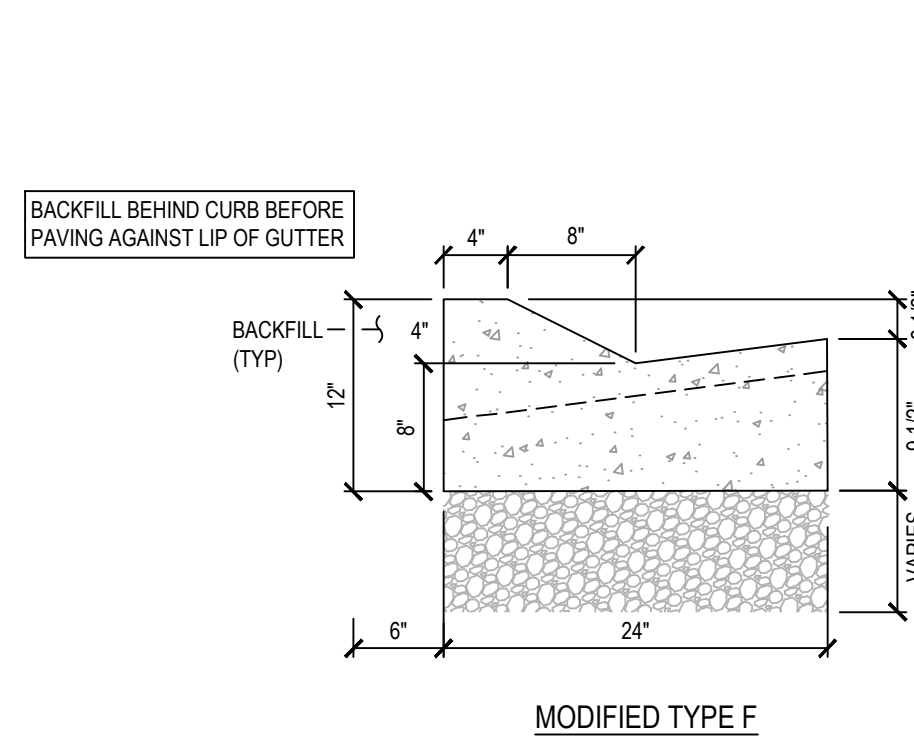
8 STANDARD ASPHALT SECTION SCALE: NONE

5 TEMPORARY SILT FENCE SCALE: NONE

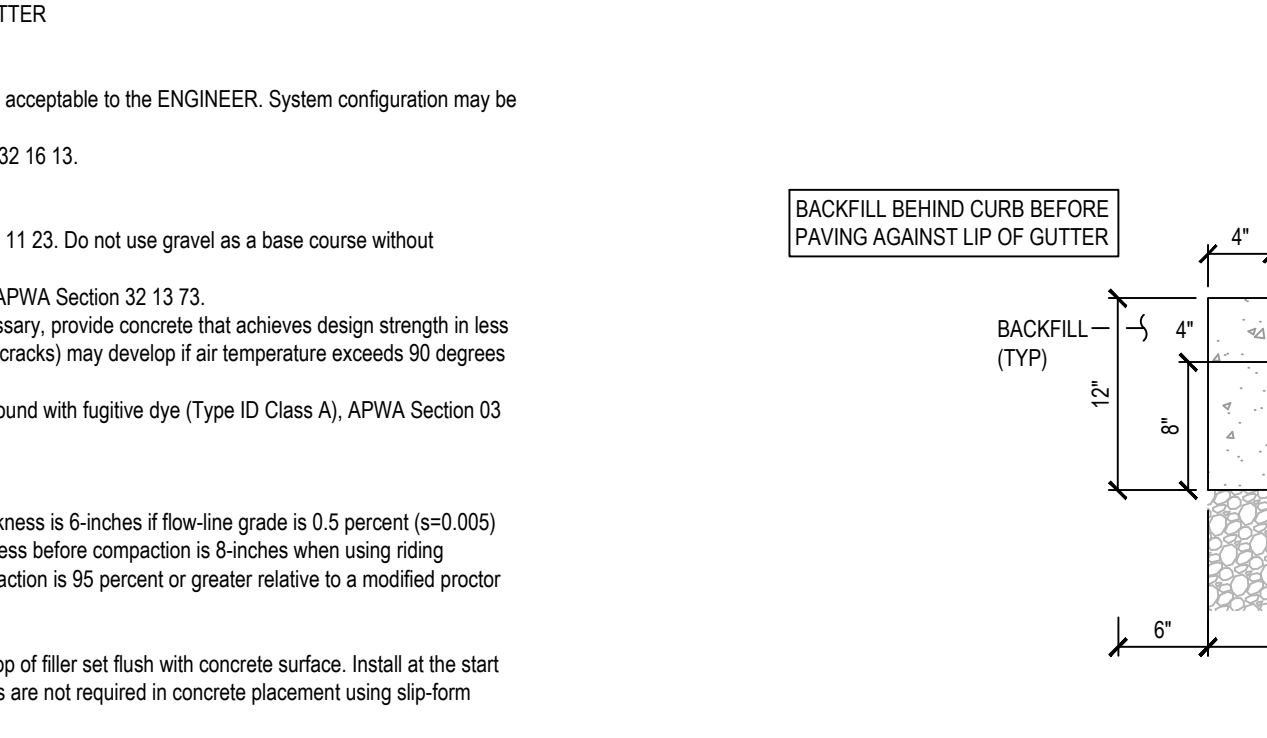
6 CRITICAL 60' STREET CROSS SECTION SCALE: NONE

7 2770 WEST ALLEY SECTION SCALE: NONE

8 STANDARD ASPHALT SECTION SCALE: NONE



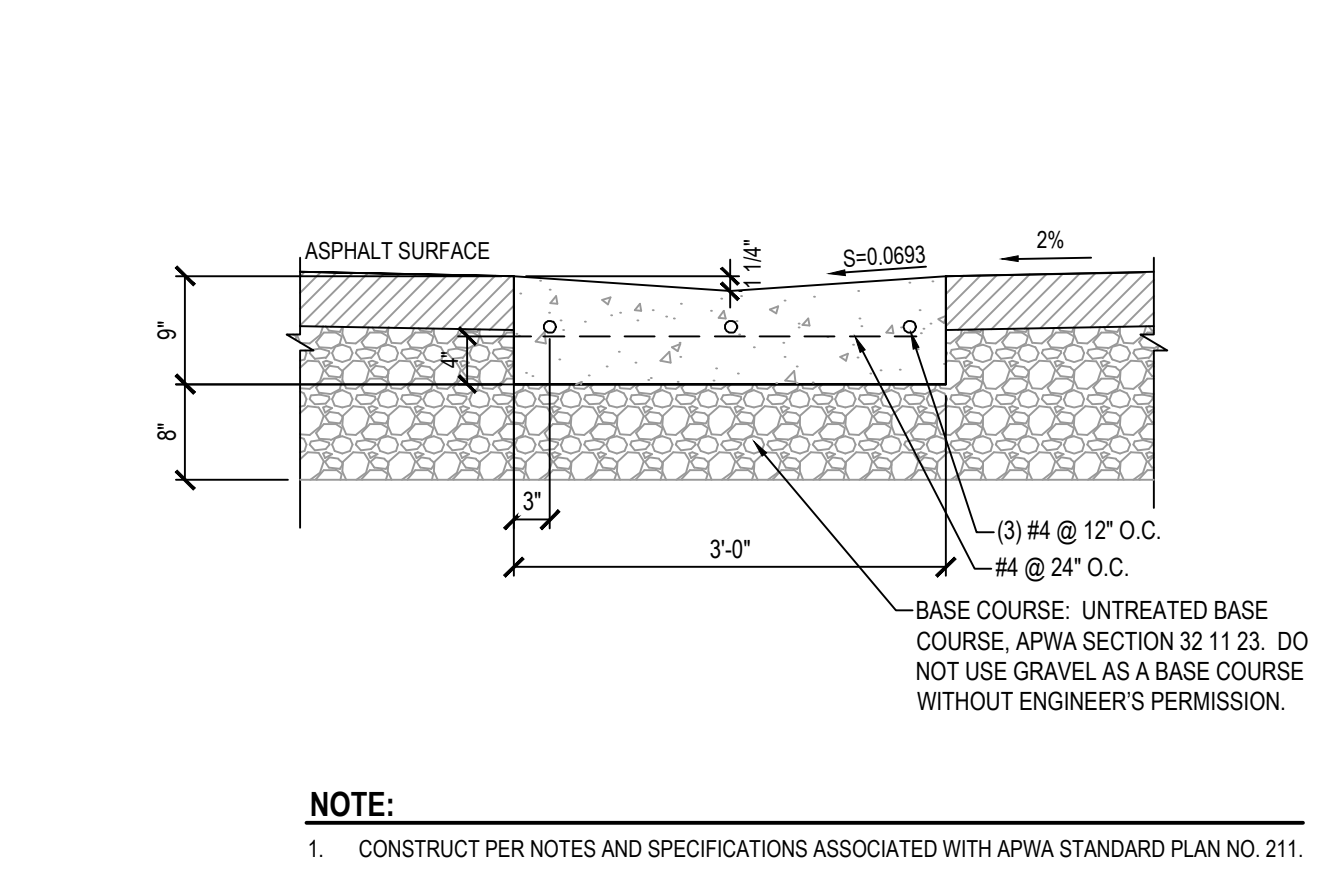
- CURB AND GUTTER
- GENERAL
    - Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER'S discretion.
    - Additional requirements are specified in APWA Section 32 16 13.
  - PRODUCTS
    - Base Course: Untreated base course, APWA section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
    - Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
    - Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
    - Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
  - EXECUTION
    - Base Course Placement: APWA Section 32 05 10. Thickness is 6-inches if flow-line grade is 0.5 percent (s=0.005) or greater. If slope is less, provide 8-inches. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
    - Concrete Placement: APWA Section 03 30 10.
      - Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install at the start or end of a street intersection curb return. Expansion joints are not required in concrete placement using slip-form construction.
      - Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Match joint location in adjacent Portland-cement concrete roadway pavement.
      - Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
    - Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.



10 MODIFIED 24" REVERSE PAN TYPE 'F' CURB AND GUTTER SCALE: NONE

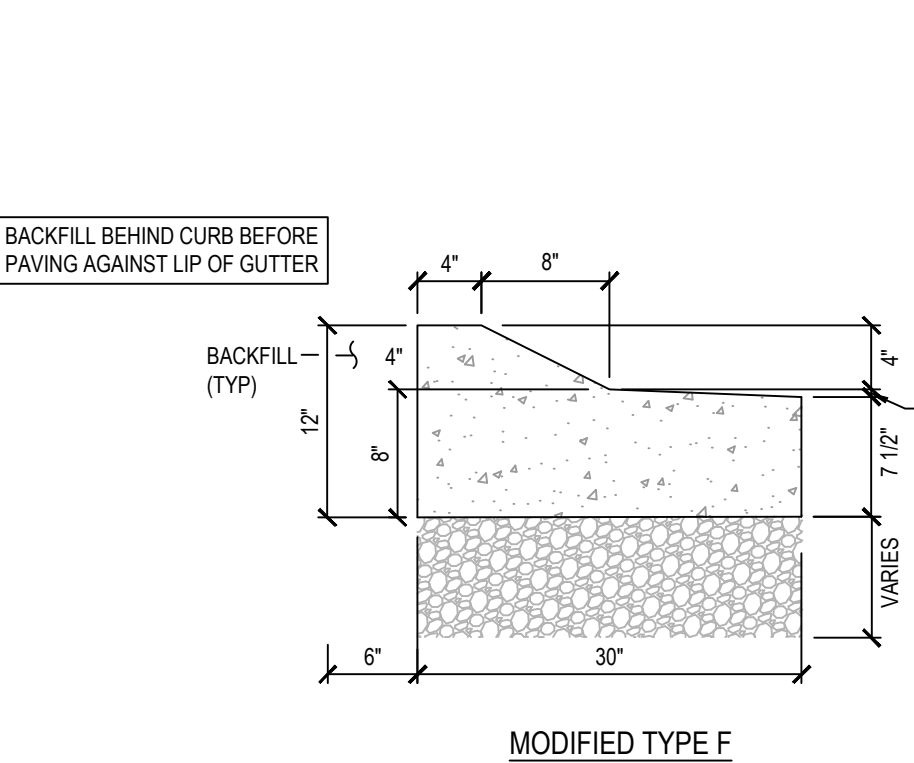
- CURB AND GUTTER
- GENERAL
    - Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER'S discretion.
    - Additional requirements are specified in APWA Section 32 16 13.
  - PRODUCTS
    - Base Course: Untreated base course, APWA section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
    - Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
    - Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
    - Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
  - EXECUTION
    - Base Course Placement: APWA Section 32 05 10. Thickness is 6-inches if flow-line grade is 0.5 percent (s=0.005) or greater. If slope is less, provide 8-inches. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
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      - Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
    - Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.

10 MODIFIED 24" REVERSE PAN TYPE 'F' CURB AND GUTTER SCALE: NONE



11 3' WATERWAY SCALE: NONE

9 MODIFIED 24" TYPE 'F' CURB AND GUTTER SCALE: NONE



- CURB AND GUTTER
- GENERAL
    - Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER'S discretion.
    - Additional requirements are specified in APWA Section 32 16 13.
  - PRODUCTS
    - Base Course: Untreated base course, APWA section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
    - Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
    - Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
    - Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
  - EXECUTION
    - Base Course Placement: APWA Section 32 05 10. Thickness is 6-inches if flow-line grade is 0.5 percent (s=0.005) or greater. If slope is less, provide 8-inches. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
    - Concrete Placement: APWA Section 03 30 10.
      - Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install at the start or end of a street intersection curb return. Expansion joints are not required in concrete placement using slip-form construction.
      - Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Match joint location in adjacent Portland-cement concrete roadway pavement.
      - Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
    - Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.

12 30" REVERSE PAN TYPE 'F' CURB AND GUTTER SCALE: NONE

THE ORCHARDS AT JDC RANCH  
PHASE 2  
2800 WEST 2600 NORTH STREET  
WEBER COUNTY, UTAH



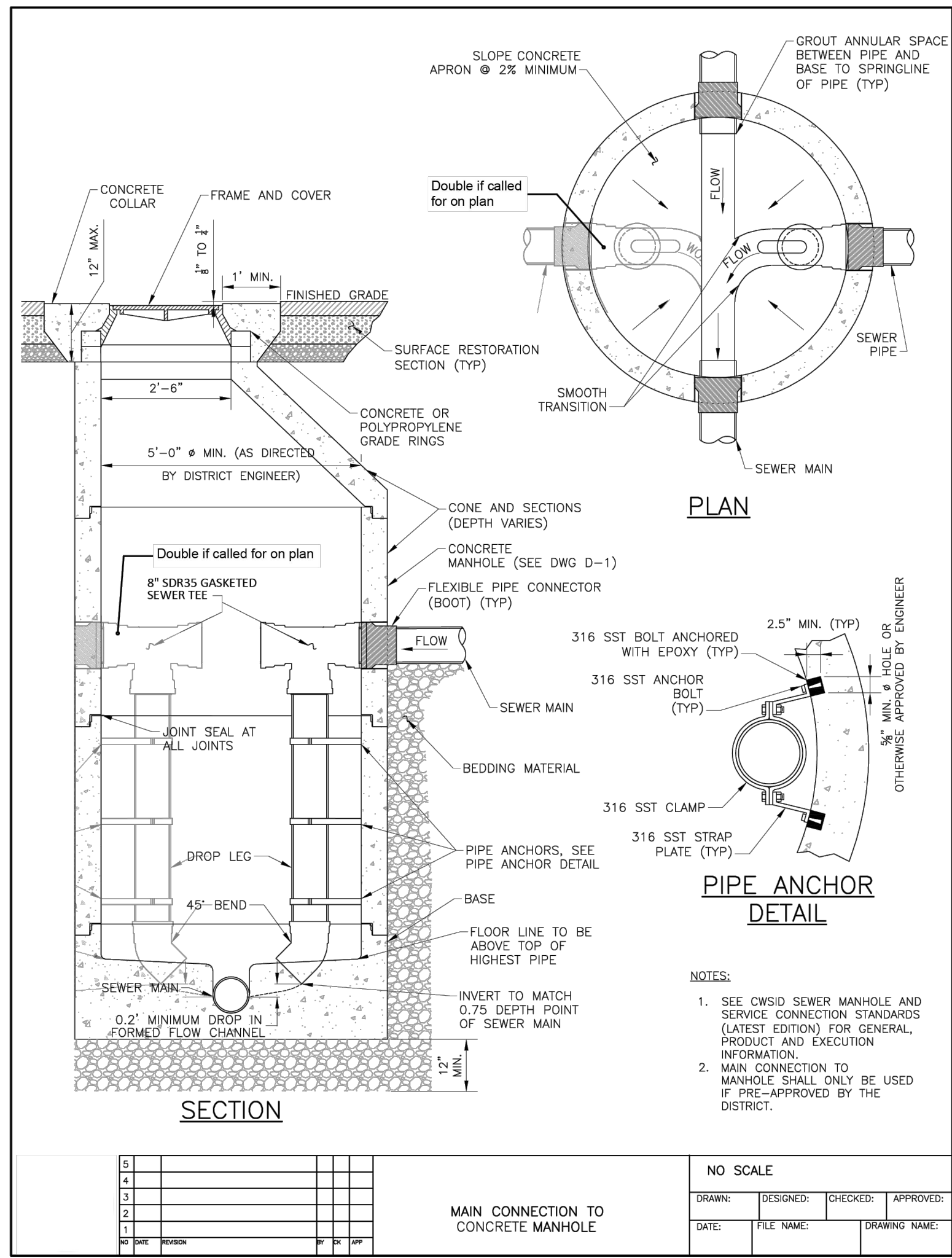
NO. DATE REVIEW FOR REVIEW

DETAILS

PROJECT NUMBER 9872  
PRINT DATE 2024-03-01  
PROJECT MANAGER CP  
DESIGNED BY TS

C-500





1 DROP MANHOLE SCALE: NONE

**ENSIGN**  
THE STANDARD IN ENGINEERING

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**SANDY**  
Phone: 801.255.0529

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**CEDAR CITY**  
Phone: 435.865.1453

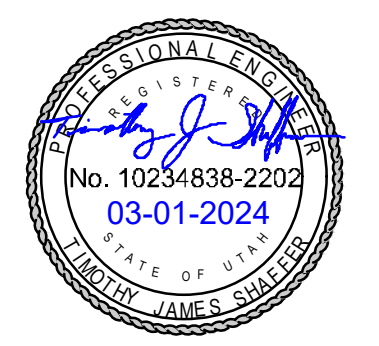
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FOR:  
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CONTACT:  
STEVE ANDERSON  
PHONE: 801.392.8100

**THE ORCHARDS AT JDC RANCH**  
**PHASE 2**  
**2800 WEST 2600 NORTH STREET**  
**WEBER COUNTY, UTAH**



NO.	DATE	REVISION FOR REVIEW

**DETAILS**

PROJECT NUMBER	PRINT DATE
9872	2024-03-01
PROJECT MANAGER	DESIGNED BY
CP	TS

**C-501**