



SEAL:

REV	DATE	DESCRIPTION

PROJECT: A Sanctuary Expansion for  
**Washington Heights Church**  
1770 E 6200 S  
Ogden, UT, 84405

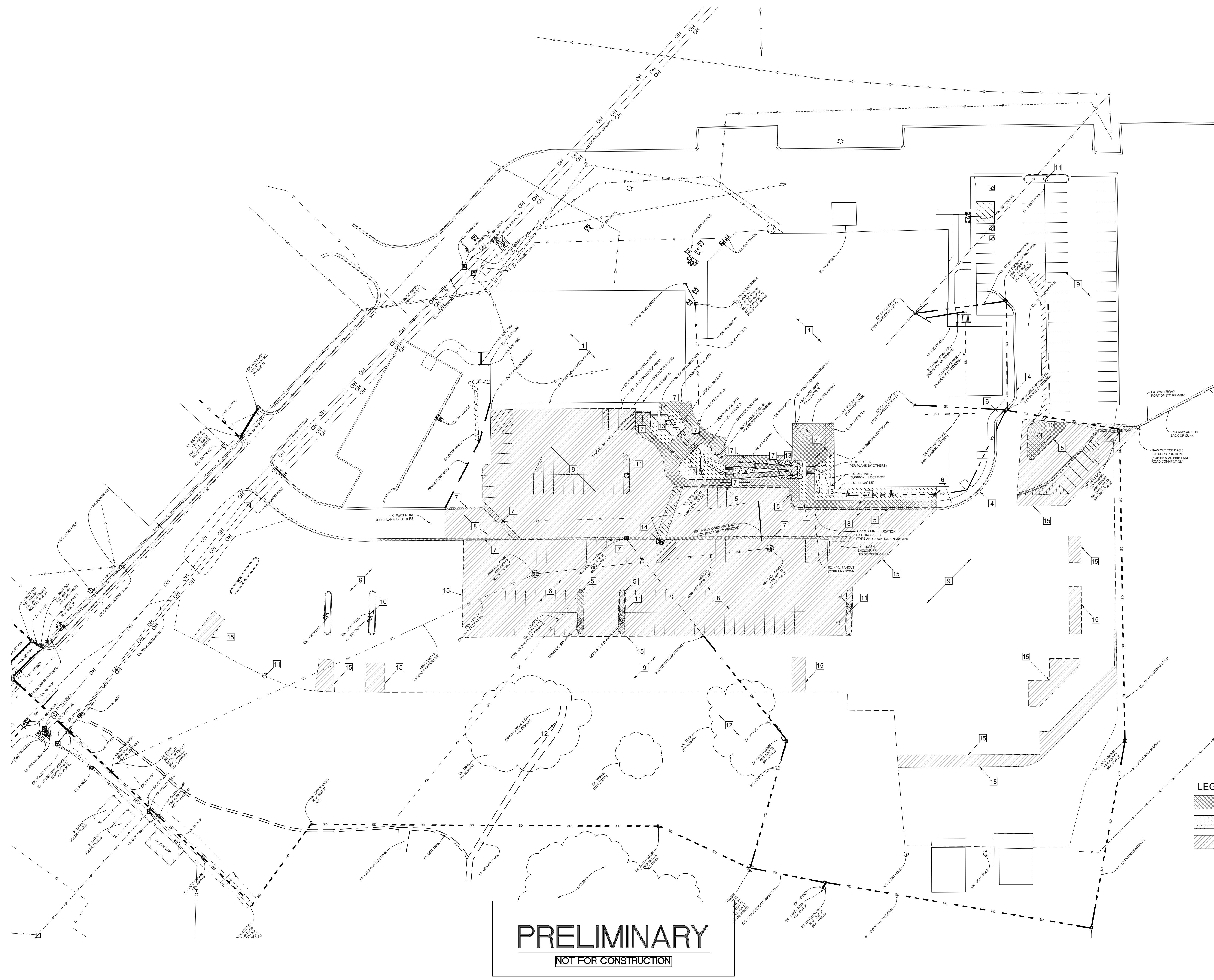
MOUNTAIN WEST ARCHITECTURE | 1542 25TH STREET - OGDEN, UTAH 84401 | PH: 801-388-6052 | www.mountainwestarchitecture.com

SHEET TITLE: **DEMOLITION PLAN**

PROJECT: AC-161

SHEET NUMBER: **CE1-01**

DO NOT SCALE DRAWING



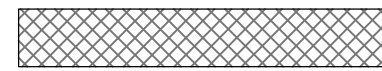

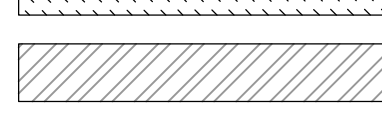
**DEMOLITION PLAN KEY NOTES**

- 1 EXISTING BUILDING TO REMAIN
- 2 EXISTING FENCE TO BE REMOVED
- 3 EXISTING FENCE TO BE REMAIN
- 4 EXISTING CURB AND GUTTER TO REMAIN
- 5 EXISTING CURB AND GUTTER TO BE REMOVED
- 6 EXISTING SIDEWALK TO REMAIN
- 7 EXISTING SIDEWALK / CONCRETE TO BE REMOVED
- 8 EXISTING ASPHALT PAVEMENT TO BE REMOVED
- 9 EXISTING ASPHALT PAVEMENT TO REMAIN
- 10 EXISTING LIGHT POLE TO REMAIN
- 11 EXISTING LIGHT POLE TO BE REMOVED
- 12 EXISTING LANDSCAPE AREA/TREES TO REMAIN
- 13 EXISTING LANDSCAPE AREA/PLAY FIELD SHALL BE REMOVED. EXISTING SPRINKLERS SHALL BE CAPPED AND EXISTING IRRIGATION BOXES TO BE REMOVED.
- 14 EXISTING FIRE HYDRANT ASSEMBLY TO BE RELOCATED
- 15 SAWCUT EXISTING ASPHALT

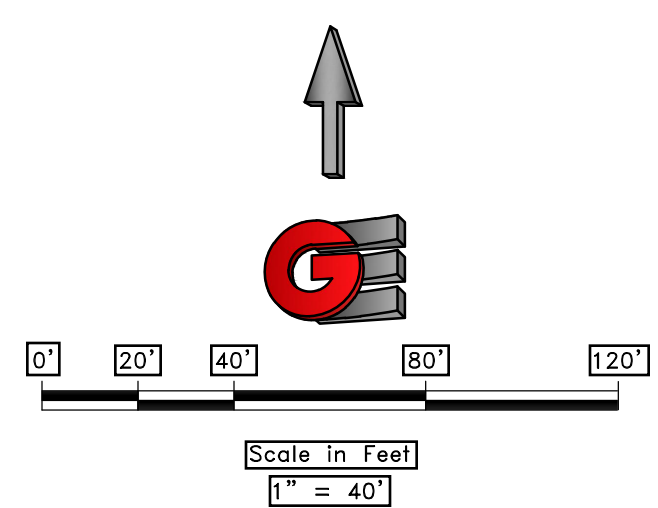
**DEMOLITION PLAN GENERAL NOTES:**

1. EXISTING ASPHALT OR CONCRETE SHALL BE SAWCUT PRIOR TO REMOVAL FOR REMOVAL ADJACENT TO ASPHALT OR CONCRETE THAT WILL REMAIN IN PLACE.
2. ALL UTILITIES THAT WILL REMAIN SHALL BE PROTECTED IN PLACE TO PREVENT DAMAGE OR DEBRIS FROM ENTERING BOXES OR MANHOLES.

**LEGEND**

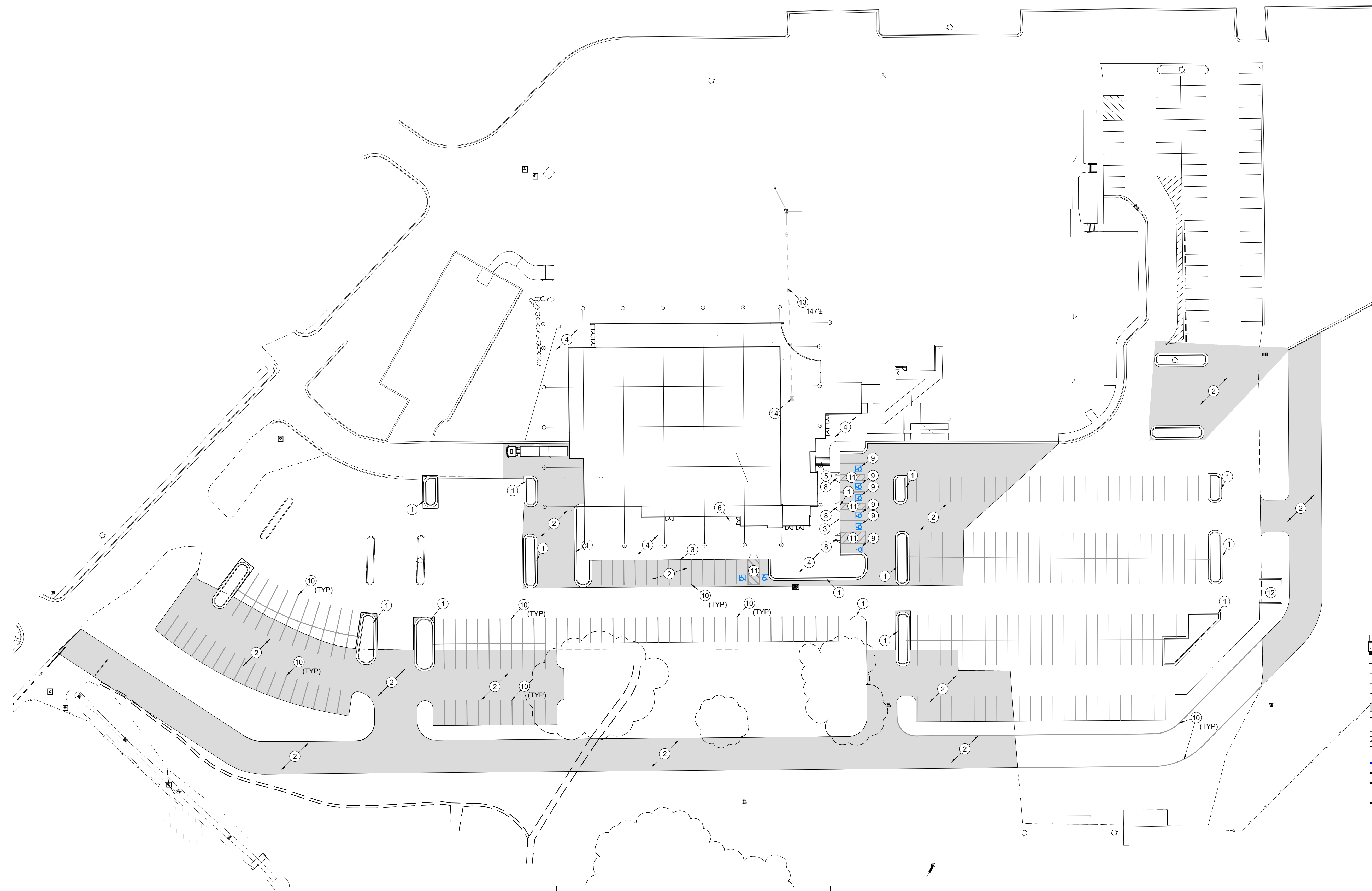
-  EXISTING SITE IMPROVEMENTS TO BE DEMOLISHED
-  EXISTING LANDSCAPE / FIELD AREA TO BE DEMOLISHED
-  EXISTING ASPHALT PAVING TO BE DEMOLISHED

**PRELIMINARY**  
NOT FOR CONSTRUCTION



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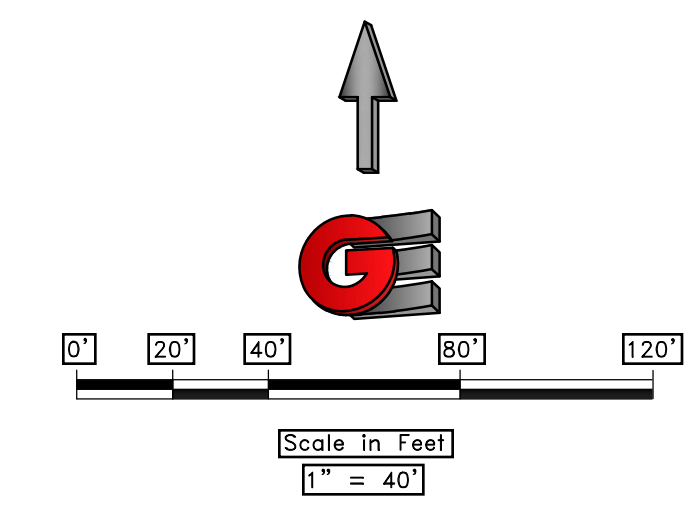
- SITE PLAN KEY NOTES**
- 1 24" STANDARD CURB AND GUTTER.
  - 2 ASPHALT PAVING - SECTION 3" ASPHALT OVER 5" ROAD BASE, 8" GRANULAR BORROW
  - 3 THICKENED EDGE CONCRETE SIDEWALK. (SEE DETAIL 16 ON SHEET CDT100)
  - 4 TYPICAL CONCRETE SIDEWALK. (SEE DETAIL 17 ON SHEET CDT100)
  - 5 CONCRETE STAIRS (SEE ARCHITECTURAL PLANS)
  - 6 CONCRETE RAMP (SEE ARCHITECTURAL PLANS)
  - 7 CONCRETE RETAINING WALL
  - 8 TYPICAL ADA RAMP (SEE DETAIL 8 ON SHEET CDT100)
  - 9 ADA PARKING SYMBOL.
  - 10 TYPICAL PARKING STRIPING TO BE 4" WHITE.
  - 11 TYPICAL NO PARKING STRIPING (SEE DETAIL 11 ON SHEET CDT100)
  - 12 DUMPSTER ENCLOSURE. (SEE ARCHITECTURAL PLANS)
  - 13 EXISTING STORM DRAIN LINE TO BE ROUTED UNDER BUILDING
  - 14 EXISTING STORM DRAIN STRUCTURE TO BE REROUTED UNDER BUILDING (SEE UTILITY PLANS/PLUMBING PLANS)



**PRELIMINARY**  
NOT FOR CONSTRUCTION

**LEGEND**  
(NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET)

SYMBOL	DESCRIPTION
--- (dashed)	BOUNDARY LINE
--- (dotted)	NEW CHAINLINK FENCE
--- (dash-dot)	EXISTING 1' CONTOUR AND ELEVATION
--- (long-dash)	EXISTING 5' CONTOUR AND ELEVATION
--- (short-dash)	DESIGN CONTOUR AND ELEVATION
--- (hatched)	STANDARD ASPHALT PAVING
--- (solid)	CONCRETE SIDEWALK
--- (dotted)	NEW 24" CURB AND GUTTER
--- (hatched)	NEW 24" OPEN FACE CURB AND GUTTER
--- (dashed)	EXISTING WATER LINE
--- (solid)	NEW CULINARY WATER LINE
--- (dashed)	EXISTING STORM DRAIN LINE
--- (solid)	NEW STORM DRAIN LINE
--- (dashed)	EXISTING SANITARY SEWER LINE
--- (solid)	NEW SANITARY SEWER LINE
--- (dashed)	NEW WATER VALVE
--- (solid)	STORM DRAIN CATCH BASIN
--- (solid)	STORM DRAIN JUNCTION BOX
--- (solid)	NYOPLAST INLINE DRAIN
--- (solid)	NEW SANITARY SEWER MANHOLE



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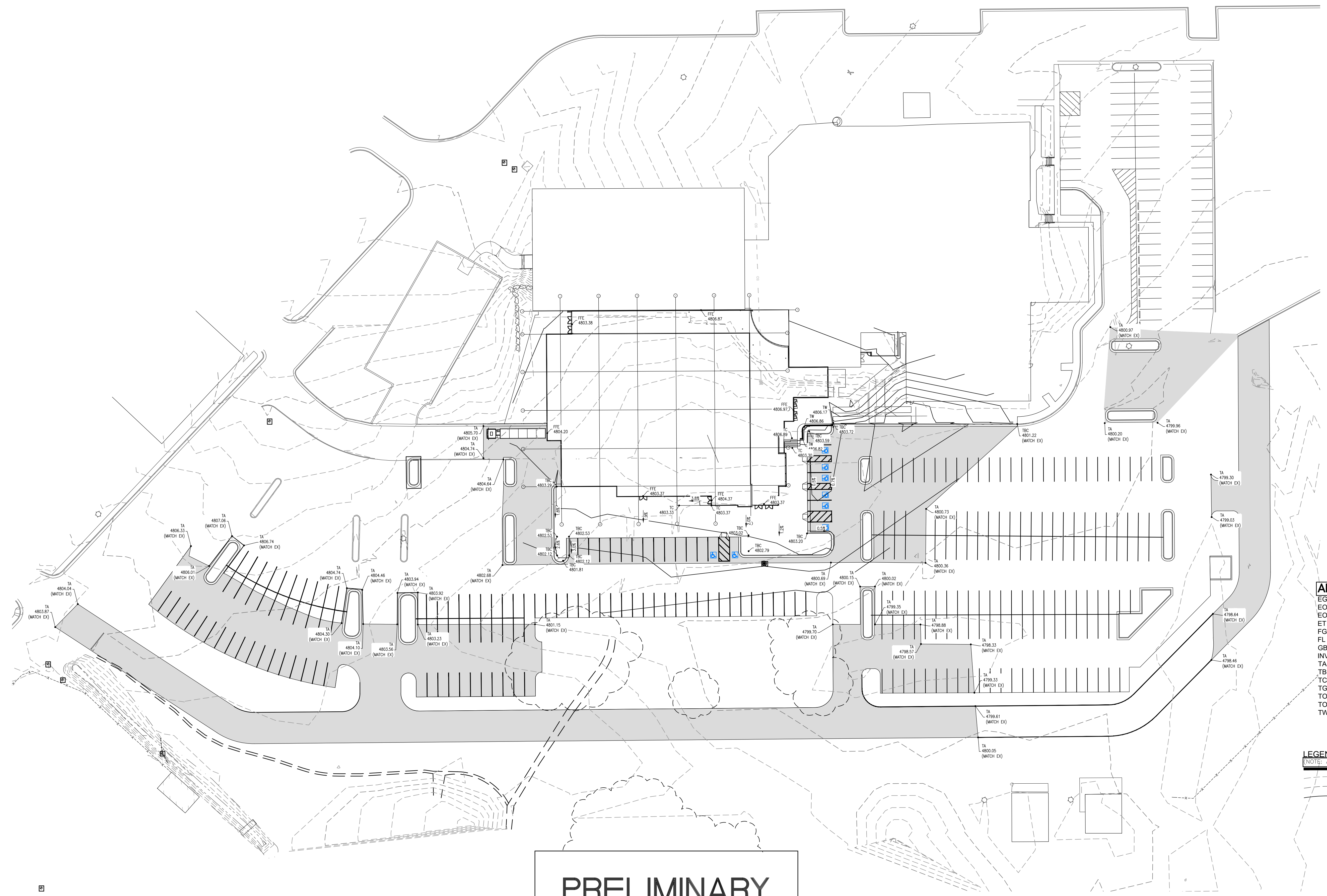
ISSUE DATE: 8/11/2023

SHEET TITLE: **SITE GRADING**

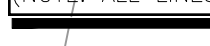





PROJECT: AC-161

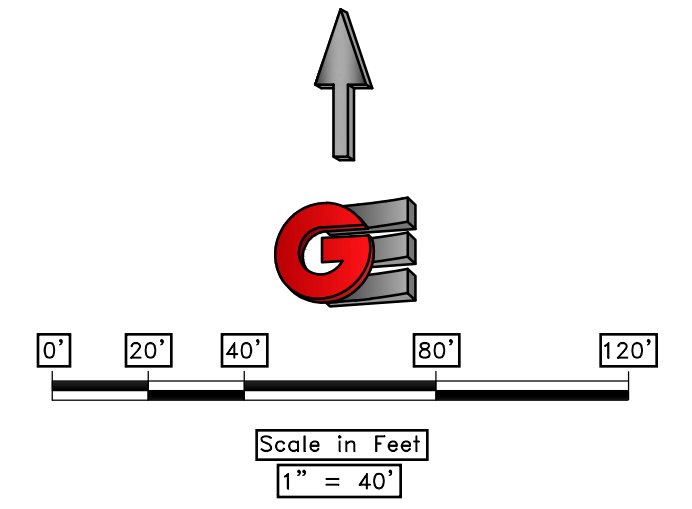
SHEET NUMBER: **CE3-01**

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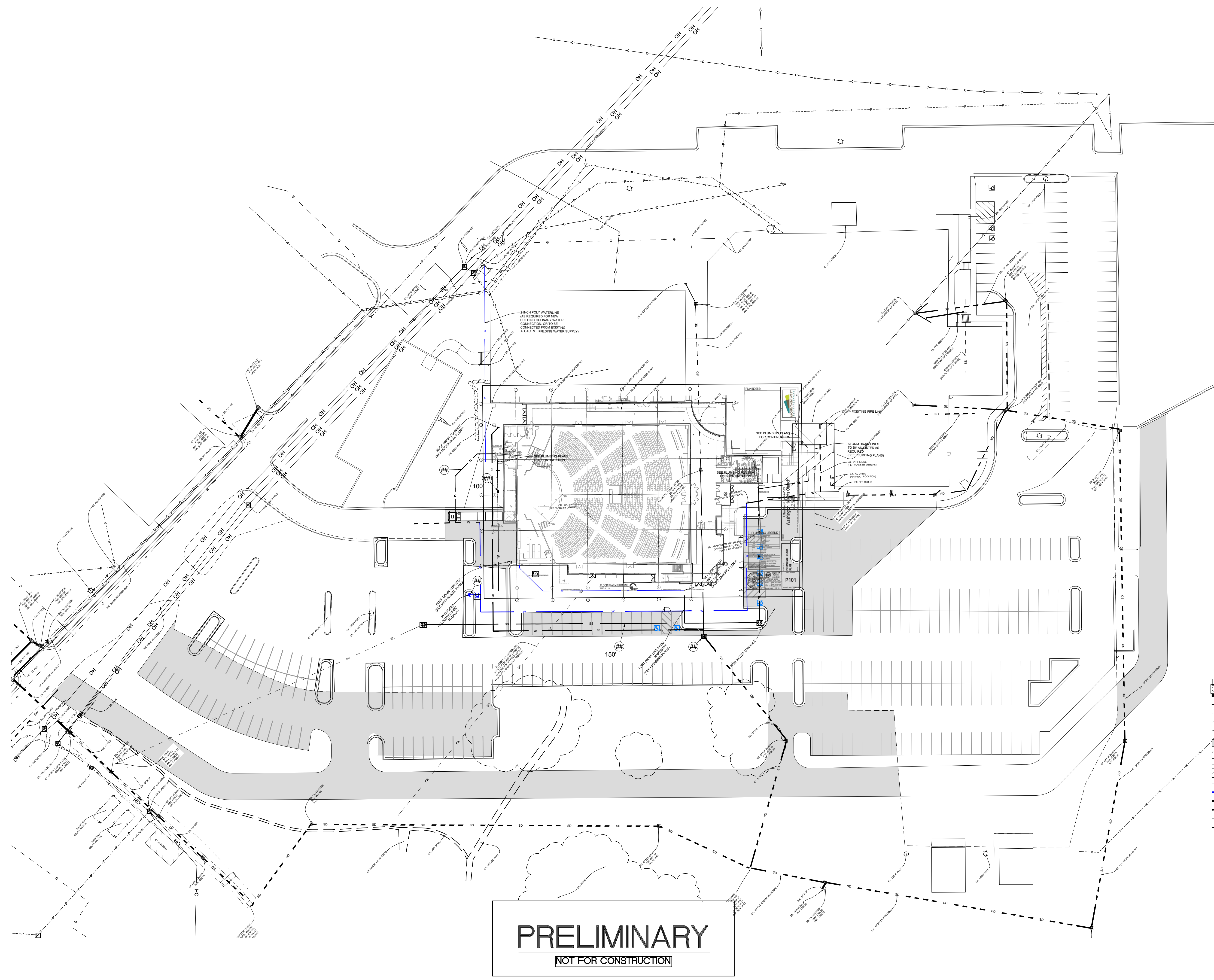


- ABBREVIATIONS:**
- EG - EXISTING GROUND
  - EOA - EDGE OF ASPHALT
  - ECC - EDGE OF CONCRETE
  - ET - EDGE OF TURF
  - FG - FINISH GRADE
  - FL - FLOWLINE
  - GB - GRADE BREAK
  - INV - INVERT
  - TA - TOP OF ASPHALT
  - TBC - TOP BACK OF CURB
  - TC - TOP OF CONCRETE
  - TG - TOP OF GRATE
  - TOE - TOP OF SLOPE
  - TOP - TOP OF SLOPE
  - TW - TOP OF WALL

- LEGEND**  
(NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET)
-  BOUNDARY LINE
  -  EXISTING 1' CONTOUR AND ELEVATION
  -  EXISTING 5' CONTOUR AND ELEVATION
  -  DESIGN CONTOUR AND ELEVATION
  -  NEW SPOT ELEVATION
  -  DRAINAGE DIRECTION LABEL



**PRELIMINARY**  
NOT FOR CONSTRUCTION

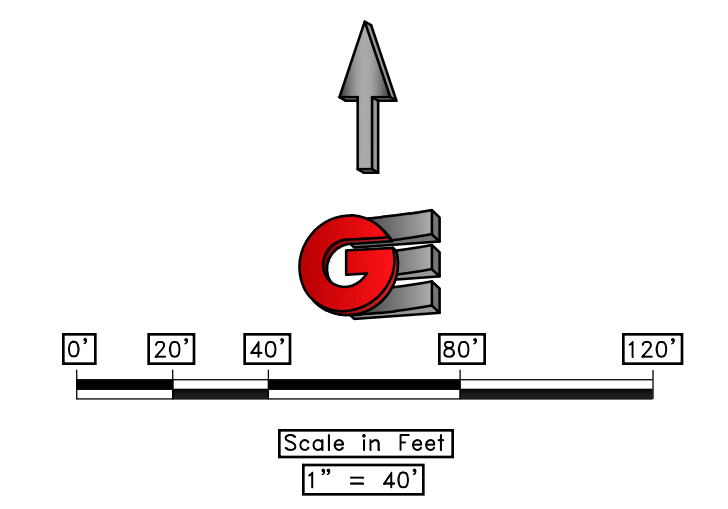


**PRELIMINARY**  
NOT FOR CONSTRUCTION

- SITE PLAN KEY NOTES**
- 1 24" STANDARD CURB AND GUTTER.
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  - 11 TYPICAL NO PARKING STRIPING (SEE DETAIL 11 ON SHEET CDT100)
  - 12 DUMPSTER ENCLOSURE. (SEE ARCHITECTURAL PLANS)
  - 13 EXISTING CULINARY WATER LINE TO BE REMOVED
  - 14 CONNECT NEW 6"Ø C-900 PVC WATER LINE TO EXISTING WATER MAIN
  - 15 RELOCATED FIRE HYDRANT ASSEMBLY
  - 16 NEW 4"Ø C-900 PVC FIRE LINE
  - 17 EXISTING SAN SEWER LINE TO BE REMOVED
  - 18 EXISTING STORM DRAIN CATCH BASIN TO BE REMOVED
  - 19 EXISTING STORM DRAIN LINE TO BE REMOVED
  - 20 NEW 4"Ø PVC SEWER LATERAL
  - 21 NEW 5'Ø STORM DRAIN MANHOLE

**LEGEND**  
(NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET)

	BOUNDARY LINE
	NEW CHAINLINK FENCE
	EXISTING 1' CONTOUR AND ELEVATION
	EXISTING 5' CONTOUR AND ELEVATION
	DESIGN CONTOUR AND ELEVATION
	STANDARD ASPHALT PAVING
	CONCRETE SIDEWALK
	NEW 24" CURB AND GUTTER
	NEW 24" OPEN FACE CURB AND GUTTER
	EXISTING WATER LINE
	NEW CULINARY WATER LINE
	EXISTING STORM DRAIN LINE
	NEW STORM DRAIN LINE
	EXISTING SANITARY SEWER LINE
	NEW SANITARY SEWER LINE
	NEW WATER VALVE
	STORM DRAIN CATCH BASIN
	STORM DRAIN JUNCTION BOX
	NYOPLAST INLINE DRAIN
	NEW SANITARY SEWER MANHOLE



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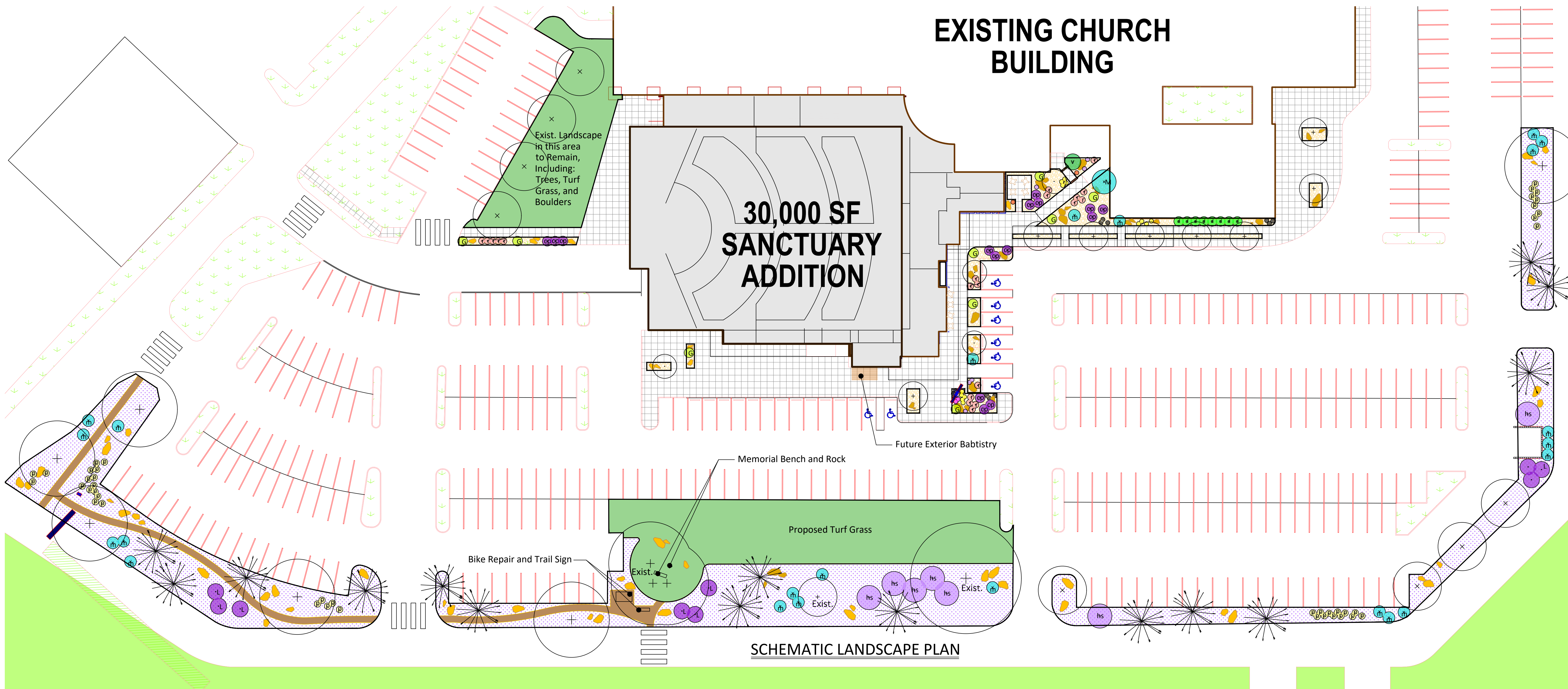
ISSUE DATE: 8/11/2023  
**CIVIL UTILITY PLAN**  
PROJECT: AC-161

SHEET NUMBER:

**CE4-01**

DO NOT SCALE DRAWING

# EXISTING CHURCH BUILDING



## PLANTING LEGEND

### TREES

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY. +/-	TYPE	REMARKS
	<i>Crataegus x lavallei</i>	Lavalle Hawthorne	2" Cal.	8	Deciduous	Waterwise
	<i>Gleditsia triacanthos inermis</i>	Honeylocust	2" Cal.	4	Deciduous	Waterwise
	<i>Malus sp. 'Spring Snow'</i>	'Spring Snow' Crabapple	2" Cal.	4	Deciduous	Waterwise
	<i>Pinus ponderosa</i>	Ponderosa Pine	6'	15	Evergreen	Waterwise
	<i>Populus deltoides</i>	Cottonless Cottonwood	2" Cal.	6	Deciduous	Waterwise

### SHRUBS/PERENNIALS

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY. +/-	TYPE	REMARKS
	<i>Cornus sericea</i>	Red Twig Dogwood	5 Gal.	8	Deciduous	Waterwise
	Perennials	(Various)	3 Gal.	32	Perennial	Waterwise
	<i>Lonicera japonica 'Purpurea'</i>	Honeysuckle	5 Gal.	7	Deciduous	Waterwise
	<i>Miscanthus sinensis 'Gracillimus'</i>	Maiden Grass	5 Gal.	9	Grass	Waterwise
	<i>Pinus mugo 'Pumilio'</i>	Dwarf Mugo Pine	5 Gal.	23	Evergreen	Waterwise
	<i>Pinus mugo 'Tannenbaum'</i>	Mugo Pine	5 Gal.	1	Evergreen	Waterwise
	<i>Potentilla fruticosa 'Goldfinger'</i>	Potentilla	5 Gal.	39	Deciduous	Waterwise
	<i>Prunus x cistena</i>	Cistena Plum	5 Gal.	15	Deciduous	Waterwise
	<i>Rosa 'WEKPhorn' Pink Home Run</i>	Pink Shrub Rose	5 Gal.	20	Deciduous	Waterwise
	<i>Syringa vulgaris</i>	Lilac	5 Gal.	9	Deciduous	Waterwise
	<i>Viburnum x Rhytidophylloides</i>	Leatherleaf Viburnum	5 Gal.	1	Deciduous	Waterwise

### MISCELLANEOUS

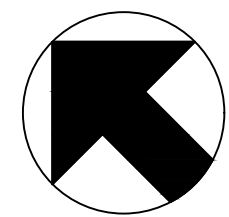
	3" depth min. 2" to 4" River Rock Mulch
	Great Basin Wildflower Blend
	Gravel Trail
	Ryerson Steel Edging - see specifications
	Boulders

At Washington Heights Church, the existing landscape is very beautiful and inviting. Upon analysis, it appears that the appeal comes from several factors, including: the location at the top of Washington Boulevard, the open expansiveness of the site, the beautiful architecture and outdoor spaces, the natural connection of the site with the surrounding nature, the generous use of boulders in the landscape, and of course, the very uplifting nature of a devoted church.

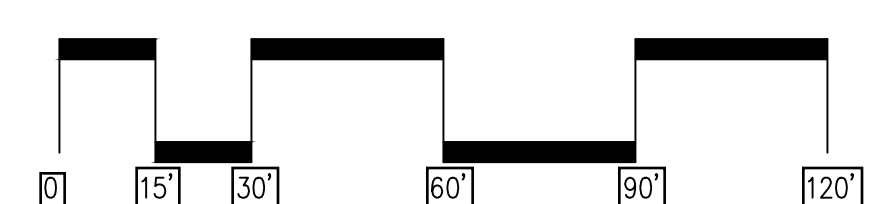
In designing the landscape for the addition, strong focus is given to keeping with these themes, and working to promote them further if possible. Specifically it entails:

1. Continuing the use of large boulders throughout the landscape. These boulders set a very powerful theme, and are conducive to a spiritual institution.
2. Bringing in a lot of flowering plants, for their beauty and aromatic features. Flowers are also always conducive to, and welcome at spiritual institutions.
3. Use of seed mixes. Weber County Zoning requirements only allow a maximum of 50% turf grass. This has been maximized in the design, and a wildflower seed mix has been utilized to provide a rich landscape for expansive outlying areas where drip irrigation would not be practical.
4. Evergreens have been carefully incorporated to provide year-round appeal in the landscape.
5. For the inner pedestrian areas, close to the buildings, a decorative gravel base has been incorporated, to match the existing, and to utilize drip irrigation. The plants in these areas have been chosen, again, for their flowering and other interesting features, such as the Leatherleaf Viburnum with its unique leaf texture, Hawthorne trees with their dichotomy of thorns and flowers, evergreens with their year round constancy, and perennials with their exuberant beauty.

NORTH



SCALE



**GARDNER ENGINEERING**  
 CIVIL • LAND PLANNING  
 MUNICIPAL • LAND SURVEYING  
 1800 W. 2100 S. WEST HAVEN, UT 84008  
 P. 801.476.0202 F. 801.476.0066  
 Design by: Jeff Scarborough, RLA

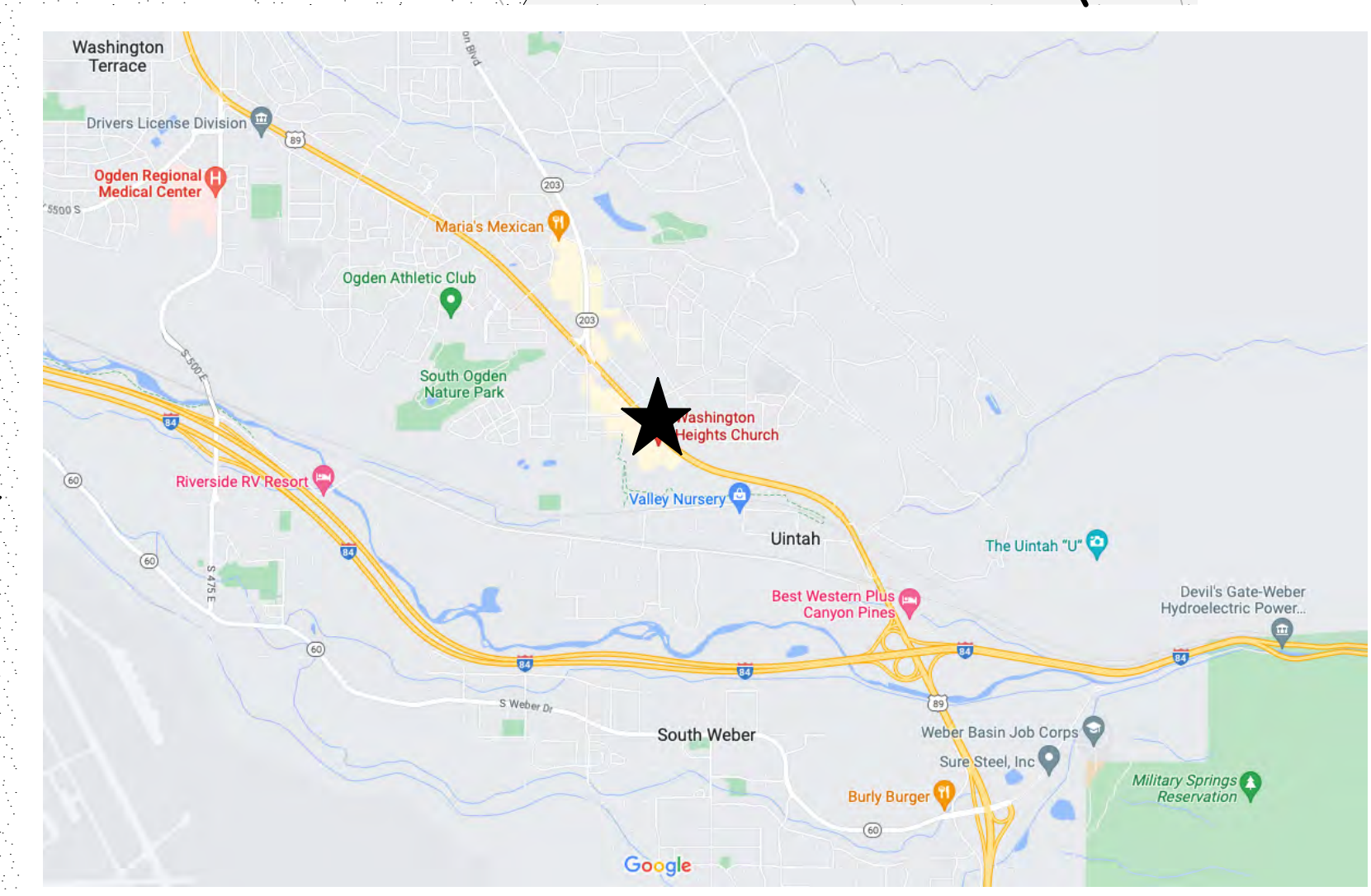
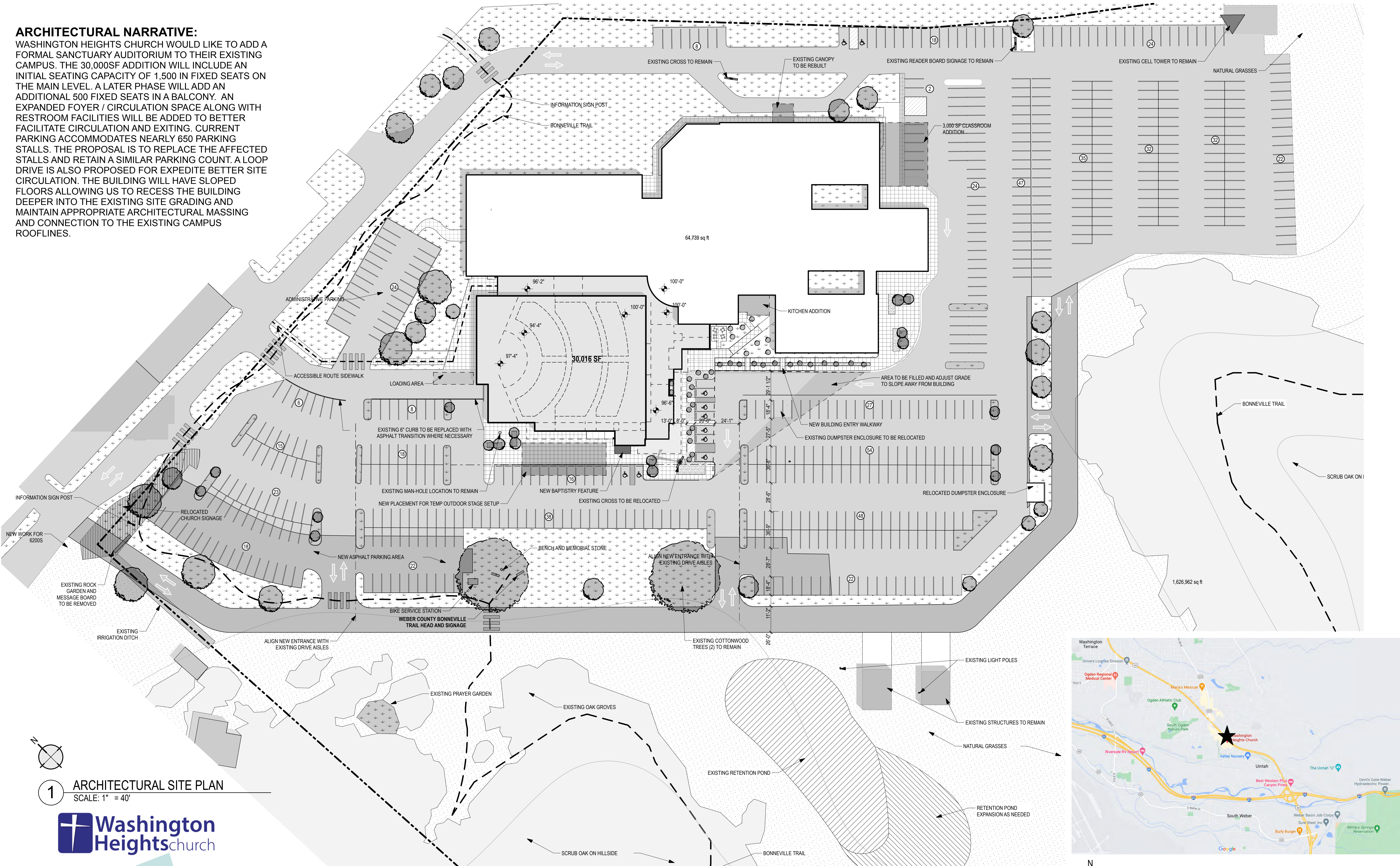
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SHEET TITLE:  
**SCH. LANDSCAPE PLAN**  
 DATE: 8-10-2023  
 SHEET NUMBER:  
**L-SCH**  
 DO NOT SCALE DRAWING

**ARCHITECTURAL NARRATIVE:**

WASHINGTON HEIGHTS CHURCH WOULD LIKE TO ADD A FORMAL SANCTUARY AUDITORIUM TO THEIR EXISTING CAMPUS. THE 30,000SF ADDITION WILL INCLUDE AN INITIAL SEATING CAPACITY OF 1,500 IN FIXED SEATS ON THE MAIN LEVEL. A LATER PHASE WILL ADD AN ADDITIONAL 500 FIXED SEATS IN A BALCONY. AN EXPANDED FOYER / CIRCULATION SPACE ALONG WITH RESTROOM FACILITIES WILL BE ADDED TO BETTER FACILITATE CIRCULATION AND EXITING. CURRENT PARKING ACCOMMODATES NEARLY 650 PARKING STALLS. THE PROPOSAL IS TO REPLACE THE AFFECTED STALLS AND RETAIN A SIMILAR PARKING COUNT. A LOOP DRIVE IS ALSO PROPOSED FOR EXPEDITE BETTER SITE CIRCULATION. THE BUILDING WILL HAVE SLOPED FLOORS ALLOWING US TO RECESS THE BUILDING DEEPER INTO THE EXISTING SITE GRADING AND MAINTAIN APPROPRIATE ARCHITECTURAL MASSING AND CONNECTION TO THE EXISTING CAMPUS ROOFLINES.



1 ARCHITECTURAL SITE PLAN  
SCALE: 1" = 40'



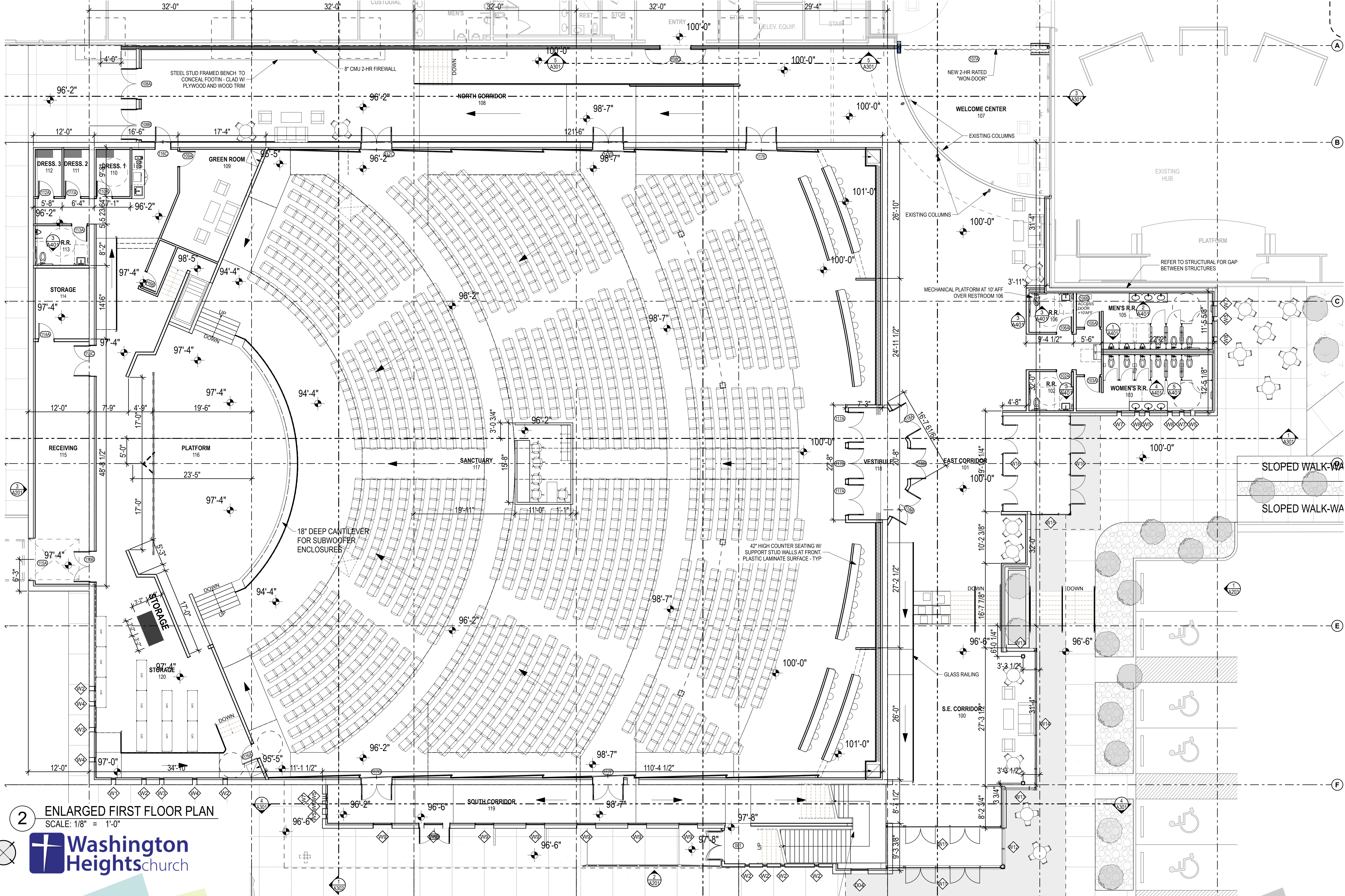
WHC  
**NEW SANCTUARY**

**ARCHITECTURAL SITE PLAN**  
1770 E 6200 S OGDEN, UT. 84405 (801.479.7030)

VICINITY PLAN



DATE: 8/18/23



2 ENLARGED FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



WHC  
NEW SANCTUARY

# ARCHITECTURAL FIRST FLOOR PLAN

1770 E 6200 S OGDEN, UT. 84405 (801.479.7030)

DATE: 8/18/23

MOUNTAIN WEST  
ARCHITECTURE



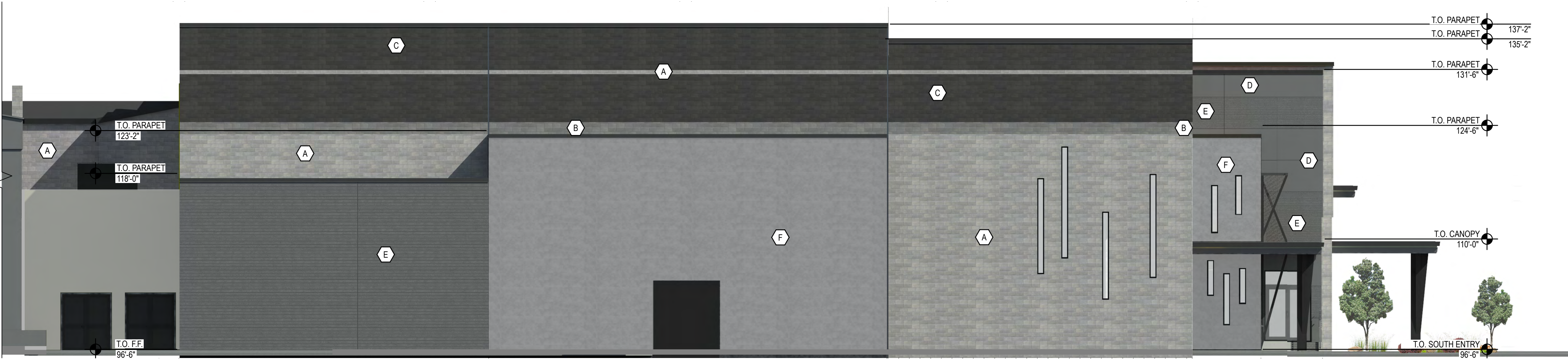




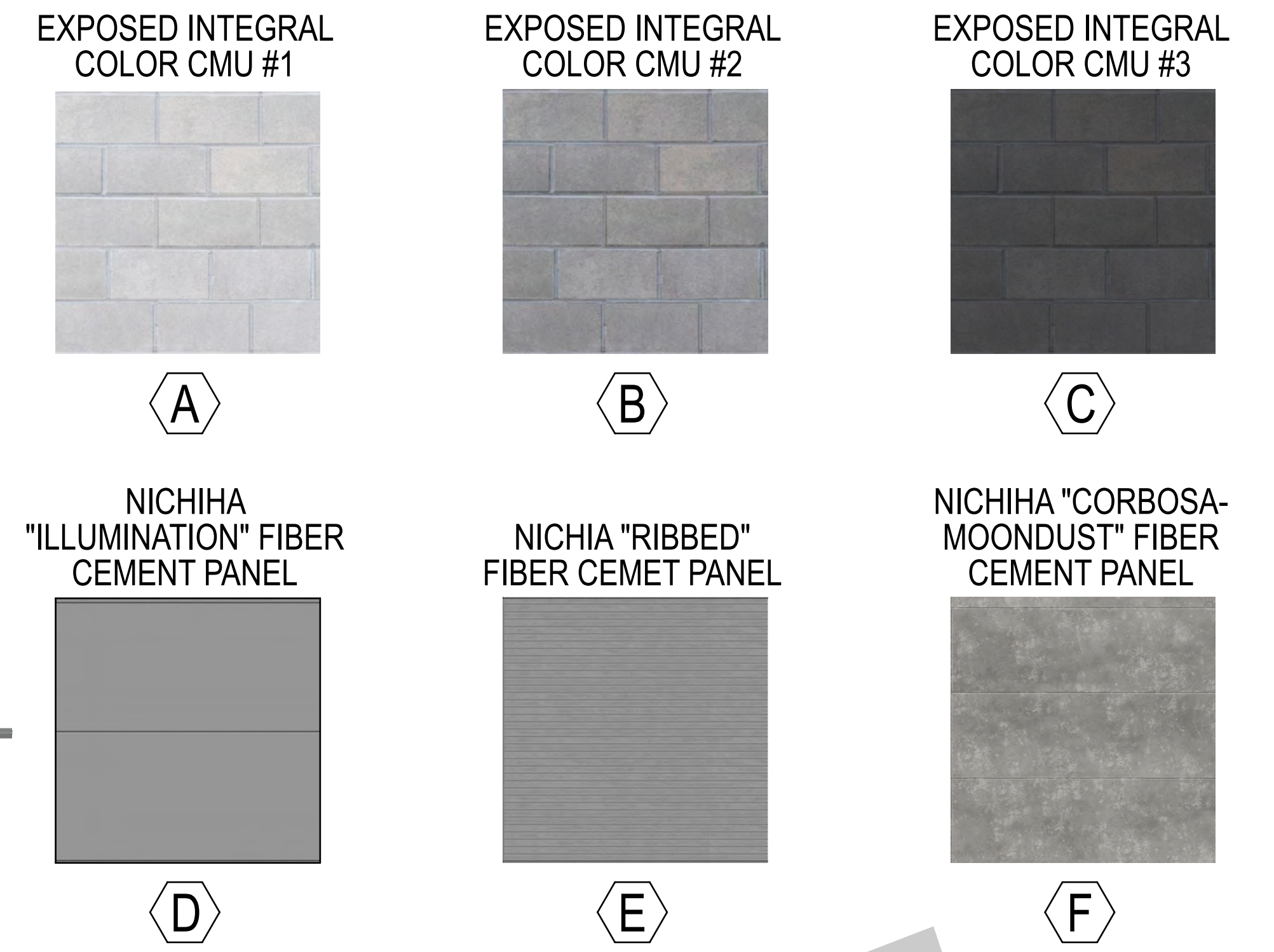
1 COLORED EAST ELEVATION  
SCALE: 1/8" = 1'-0"



2 COLORED SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 COLORED WEST ELEVATION  
SCALE: 1/8" = 1'-0"

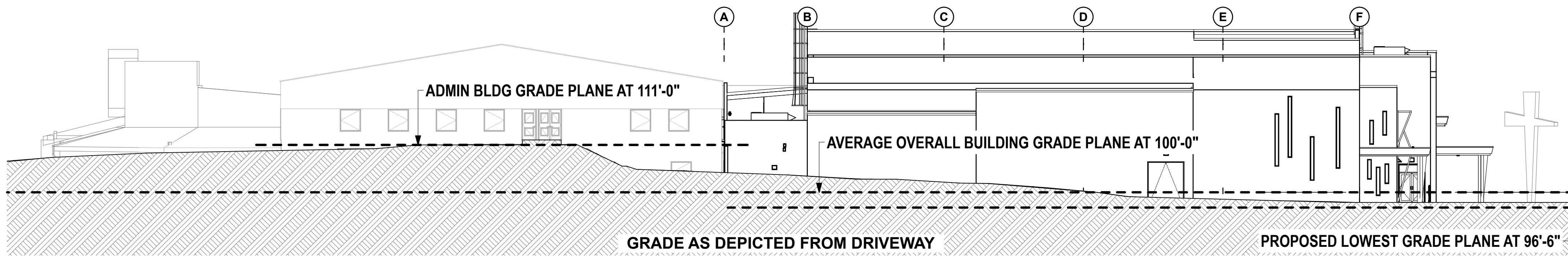


WHC  
NEW SANCTUARY

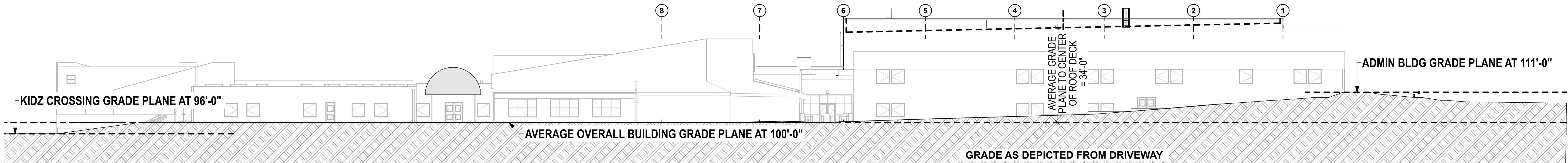
COLORED ELEVATIONS  
1770 E 6200 S OGDEN, UT. 84405 (801.479.7030)

DATE: 8/18/23

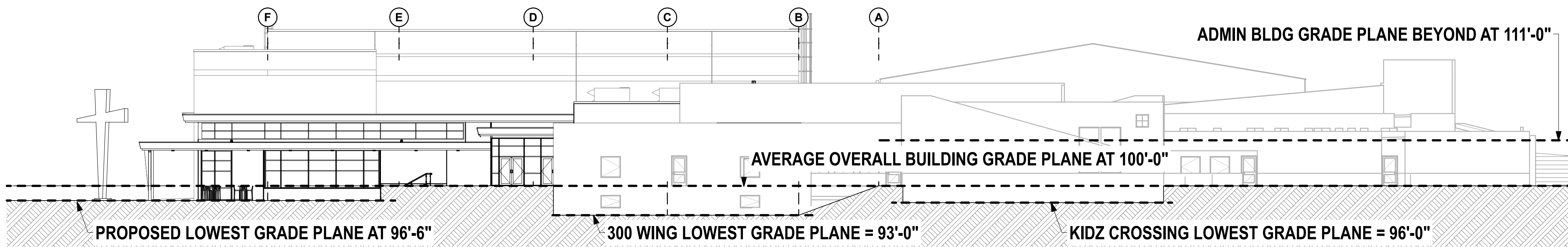




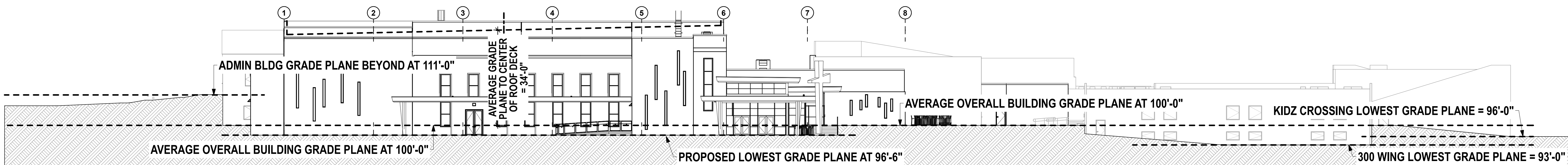
1 Building Elevation  
SCALE: 1/16" = 1'-0"



2 Building Elevation  
SCALE: 1/16" = 1'-0"

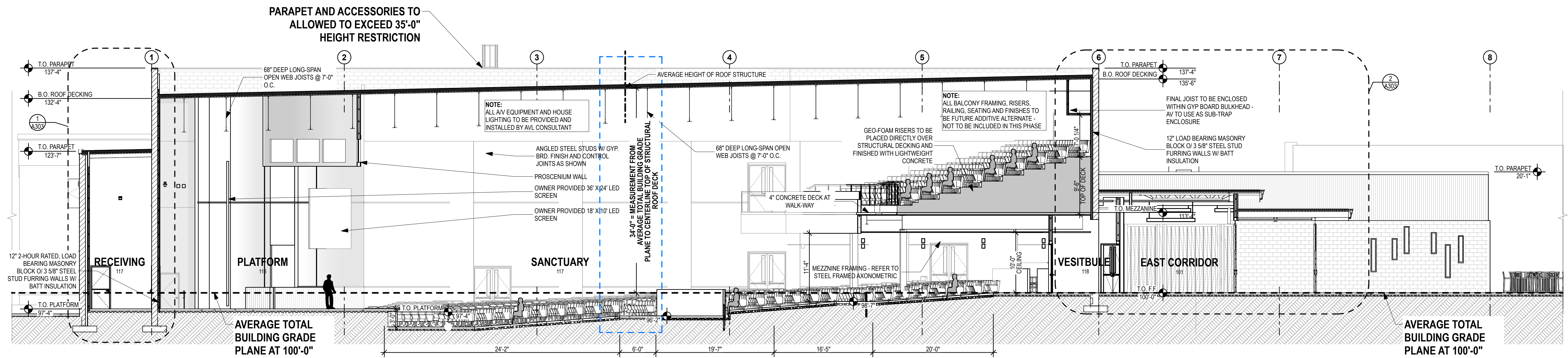


3 Building Elevation  
SCALE: 1/16" = 1'-0"



4 Building Elevation  
SCALE: 1/16" = 1'-0"





1 BUILDING SECTION @ SANCTUARY  
SCALE: 1/8" = 1'-0"



2 HIGHWAY 89 PERSPECTIVE MASSING  
SCALE: 1" = 1'-0"



WHC  
**NEW SANCTUARY**

## RENDERINGS

1770 E 6200 S OGDEN, UT. 84405 (801.479.7030)

DATE: 8/18/23

MOUNTAIN WEST  
ARCHITECTURE

7 / 1



WHC  
**NEW SANCTUARY**

## RENDERINGS

1770 E 6200 S OGDEN, UT. 84405 (801.479.7030)

DATE: 8/18/23

MOUNTAIN WEST  
ARCHITECTURE

8 / 1



WHC  
**NEW SANCTUARY**

**RENDERINGS**

1770 E 6200 S OGDEN, UT. 84405 (801.479.7030)

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MOUNTAIN WEST  
ARCHITECTURE