



OGDEN VALLEY PLANNING COMMISSION

PLANNING MEETING AGENDA

August 07, 2018
5:00 p.m.

Pledge of Allegiance
Roll Call

1. Minutes: Approval of the June 05, 2018, June 27, 2018, and July 17, 2018 Meeting Minutes
2. Petitions, Applications and Public Hearings
- 2.1. Administrative Items
 - a. New Business
 1. UVB060718 Consideration and action on an administrative application for preliminary approval of Bobcat Ridge, a four phased 48 lot development located in the Design Recreational Resort (DRR-1) Zone located within the approved Powder Mountain Resort. (SMHG LLC, Applicant, Don Guerra, Authorized Agent)
 2. DR2018-04 Consideration and action on a request for design review approval for the Eden Maverik Remodel located in the Commercial Valley (CV-2) Zone. This project is located at approximately 5100 E 2500 N, Eden UT. (Maverik Inc., Applicant)
3. Public Comment for Items not on the Agenda:
4. Remarks from Planning Commissioners:
5. Planning Director Report:
6. Remarks from Legal Counsel:
7. Adjourn to a work session:

WS-1. Discussion: Modification to the Flag lot access strip, private right-of-way, and access easement standards to amend the *Lot/parcel standards* by adding provisions regulating minimum yard setback requirements.

The regular meeting will be held in the Weber County Commission Chambers, in the Weber Center, 1st Floor, 2380 Washington Blvd., Ogden, Utah. Work Session will be held in the Breakout Room. A pre-meeting will be held in Room 108 beginning at 4:30 p.m. to discuss agenda items. No decisions are made in this meeting.



In compliance with the Americans with Disabilities Act, persons needing auxiliary services for these meetings should call the Weber County Planning Commission at 801-399-8791



Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a request for the preliminary subdivision approval of Bobcat Ridge, a four phased 48 lot development located within the approved Powder Mountain Resort.

Application Type: Administrative

Agenda Date: Tuesday, August 07, 2018

Applicant: SMHG, LLC

Authorized Agent: Don Guerra

File Number: UVB0607

Property Information

Approximate Address: Powder Mountain

Project Area: 42.369 Acres

Zoning: DRR-1

Existing Land Use: Resort

Proposed Land Use: Resort

Parcel ID: 23-012-0161

Township, Range, Section: T7N, R2E, Sections 8

Adjacent Land Use

North: Ski Resort/Resort Development	South: Ski Resort/Resort Development
East: Ski Resort/Resort Development	West: Ski Resort/Resort Development

Adjacent Land Use

Report Presenter: Ronda Kippen
 rkippen@co.weber.ut.us
 801-399-8768

Report Reviewer: Steve Burton

Applicable Ordinances

- Title 101, Chapter 1, General Provisions, Section 7, Definitions
- Title 104, Chapter 29 Ogden Valley Destination and Recreation Resort Zone (DRR-1)
- Title 104, Zones, Chapter 28, Ogden Valley Sensitive Lands Overlay Districts
- Title 106, Subdivisions, Chapter 1-8 as applicable
- Title 108, Natural Hazards Areas

Development History

- Summit Mountain Holding Group, LLC petitioned Weber County to rezone approximately 6,198 acres from the CVR-1, FV-3 and F-40 zones to the DRR-1 zone to enable them to proceed with their development in a manner that would be consistent with the proposed Master Plan that was presented to Weber County as part of the rezone application. The petition to rezone the development to the DRR-1 zone was heard and approved on January 13, 2015 by the Weber County Commission after receiving a unanimous recommendation for approval from the Ogden Valley Planning Commission on October 28, 2014. Weber County entered into Zoning Development Agreement Contract # C2015-6 and the contract was recorded on January 14, 2015 as Entry# 2717835.
- An amendment to reduce the overlaying PRUD footprint from the original 594.23 acres to approximately 14 acres after holding a public meeting with the Ogden Valley Planning Commission on July 5, 2016 and receiving a unanimous approval from the Weber County Commission on July 19, 2016. The areas to remain under the existing Summit at Powder Mountain Phase 1 PRUD will be three of the previously approved and platted development areas and one future development area. The approved and platted developments to remain under the PRUD are the Summit Eden Ridge Nest PRUD, a 15 unit "Nest" development and the Village Nests at Powder Mountain, a 20-unit condominium development and the Horizon Neighborhood at Powder Mountain PRUD, a 26 unit "Nest" development. The future phase of the PRUD

will be Spring Park at Powder Mountain, which has received conceptual approval as Lot 76 in the existing PRUD for a 12 unit "Nest" development and a lodge.

Background and Summary

The Planning Division recommends preliminary subdivision approval of Bobcat Ridge, consisting of four phases with a total of 48 lots (see Exhibit A for the preliminary plat). The Bobcat Ridge development is the next subdivision in a series of subdivisions that will be coming before the planning commission for review and approval. Bobcat Ridge will be located at the end of a public right of way known as Summit Pass and will be accessed by a private right of way known as White Pine Drive. The street system throughout the subdivision will be private right of ways and these private right of ways will serve as public utility easements for the required infrastructure for the development. The four phased development will have lots that range in size from 14,998 square feet (0.344 acres) to 66,883 square feet (1.535 acres) and all lots will gain access from the private right of way/street system within the development. The applicant has submitted the required information as outlined in the Uniform Land Use Code of Weber County (LUC) §106-1-5 and LUC Chapter 108 Section 5 for consideration and approval of the proposed subdivision.

As part of the preliminary subdivision requirements, the subdivision review process and approval procedure, the proposal has been reviewed against the current preliminary subdivision ordinance and the standards of the DRR-1 zone. The proposed subdivision and lot configuration are in conformance with the current zoning and the Zoning Development Agreement Conceptual Land Use Plan (see Exhibit B for the ZDA Concept Plan) as well as the applicable subdivision requirements as required in the LUC. The proposed development has also been reviewed by all reviewing agencies. Based on these reviews, the application has met or will conditionally meet all of the requirements for preliminary approval. The following is staff's analysis of the proposed preliminary subdivision.

Analysis

General Plan: The proposal conforms to the Ogden Valley General Plan by encouraging development within the existing resort-related commercial areas.

Zoning: The subject property is located in the Ogden Valley Destination and Recreation Resort Zone more particularly described as the DRR-1 zone. The purpose and intent of the DRR-1 zone is identified in the LUC §104-29-1 as:

"The purpose of this chapter is to provide flexible development standards to resorts that are dedicated to preserving open space and creating extraordinary recreational resort experiences while promoting the goals and objectives of the Ogden Valley general plan. It is intended to benefit the residents of the county and the resorts through its ability to preserve the valley's rural character, by utilizing a mechanism that allows landowners to voluntarily transfer development rights to areas that are more suitable for growth when compared to sensitive land areas such as wildlife habitats, hazardous hillsides or prime agricultural parcels. Resorts that lie within an approved destination and recreation resort zone shall, by and large, enhance and diversify quality public recreational opportunities, contribute to the surrounding community's well-being and overall, instill a sense of stewardship for the land."

As part of the subdivision process, the proposal has been reviewed against the current subdivision ordinance in LUC Chapter 106 and the standards in the DRR-1 zone in LUC Chapter 104 Title 29. The proposal has been reviewed against the adopted zoning and subdivision ordinances to ensure that the regulations and standards have been adhered to. It appears that the proposed subdivision, with the recommended conditions, is in conformance with county code. The following is a brief synopsis of the review criteria and conformance with the LUC.

Lot area, frontage/width and yard regulations:

The DRR-1 Zone does not have a minimum lot area or a minimum lot width requirement per LUC §104-29-2(h) for a single family residential structures. The proposed development will create 48 lots with access and frontage along a private right of ways identified as White Pine Drive, Meadow Drive, Bobcat Drive and Aspen Drive. The proposed lots range in size from 14,998 square feet (0.344 acres) to 66,883 square feet (1.535 acres). The lots range in width from 52.76 feet to 312.88 feet. The following development standards will be reviewed upon submittal for land use approval for a single family dwelling unit:

- Front yard setback: 0 feet
- Side yard setback: 5 feet
- Rear yard setback: 10 feet
- Average building height: 35 feet

Based on the proposed lot configuration, the proposed lots meet the minimum lot area and minimum lot width requirement per LUC §104-29-2(h).

Natural Hazards Areas: The proposed subdivision is located in a Zone "D" as determined by FEMA to be an area of undetermined flood hazards. Areas designated as Zone "D" are typically areas in which no analysis of flood hazards has been conducted.

Geotechnical and geologic hazard investigations have taken place by IGES for the proposed subdivision in accordance with the Natural Hazard Areas as outlined in LUC Chapter 108 Title 22. The site specific investigation for the proposed Lots 1 through 48 are in the IGES report Project # 01628-028 dated July 26, 2018. This report is currently in a draft form and a final report will be required as part of the final subdivision submittal. A condition of approval has been added to ensure this requirement is met. The draft report states that "The recommendations made in this report are based on the assumption that an adequate program of tests and observations will be made during the construction. IGES staff or other qualified personnel should be on site to verify compliance with these recommendations." Specific recommendations have been made for the development of the Bobcat Ridge site and it is being made a condition of approval that IGES staff is onsite to verify compliance with the recommendations and a verification letter shall be provided by the engineering geologist prior to final approval stating that the design adequately meets the recommendations in the geologic report.

Wetlands have been identified on the property and "Wetland Delineation Map" have been prepared by Bio-West. The County Engineer will accept the maps for preliminary approval; however, a "Wetland Delineation Report" will be required to be submitted for review as part of the final subdivision submittal per the County Engineer. A condition of approval has been added to ensure this requirement is met.

A slope analysis must be completed to ensure that all lots have an average slope of less than 25% as part of the documents submitted for final subdivision. If any lots have any average slope of 25% or more, an "R" designation must be placed on the lot and the applicable plat note must be placed on the final plat, to ensure a "Hillside Review" is done prior to applying for a building permit.

A condition of approval that a "Natural Hazards Disclosure" document will be required to be recorded to provide adequate notice of any geotechnical and geological recommendations for future property owners.

Culinary water and sanitary sewage disposal: Culinary water and sewer service are provided by Powder Mountain Water and Sewer Improvement District. A "Capacity Assessment Letter" and a construct permit from the Utah State Department of Environmental Quality Division of Drinking Water for expansion of the water system and water lines serving the subdivision are required prior to the subdivision receiving final approval from the County Commission.

Review Agencies: The Weber County Surveyor's Office and Weber County Engineering Division have reviewed the proposal and the applicant is addressing the areas of concern. The Weber Fire District have reviewed and approved the proposal.

Additional design standards and requirements: There may be additional site preparation in conjunction with each approved building permit. The proposed subdivision does require the creation of a new street system. A temporary turn around easement must be located at the end of all temporary stubbed streets. Staff recommends adding language to be placed on the final plat that will vacate the easements upon recording the future phases. The applicant will be required to provide a cash escrow to be held by Weber County for the applicable improvements within the subdivision. With the exception of the recommended conditions identified in this staff report additional standards and requirements are unnecessary at this time.

Tax clearance: The 2017 property taxes are delinquent. The 2018 property taxes will be due in full on November 30, 2018. The 2017 taxes will need to be paid in full prior to recording the subdivision mylar.

Public Notice: The required noticing for the preliminary subdivision plat approval has been mailed to all property owners of record within 500 feet of the subject property regarding the proposed subdivision per noticing requirements outlined in LUC §106-1-6(b).

Staff Recommendation

Staff recommends preliminary subdivision approval of Bobcat Ridge, a four phased 48 lot development located within the approved Powder Mountain Resort. This recommendation for approval is subject to all applicable review agency requirements and is based on the following conditions:

1. The geologic and geotechnical report must be the final report and submitted with the final subdivision.
2. A geologist and geotechnical engineer are onsite during development to ensure that their recommendations are adhered to. A verification letter shall be provided by the engineering geologist prior to final approval stating that the design adequately meets the recommendations in the geologic report.
3. A cost estimate for the subdivision improvements shall be a part of the final subdivision submittal.

4. A draft copy of any CC&R's will be provided to the County for review by the applicable agencies prior to final approval.
5. A "Capacity Assessment Letter" and a construct permit from the Utah State Department of Environmental Quality Division of Drinking Water for expansion of the water system and water lines serving the subdivision are required prior to the subdivision receiving final approval from the Planning Commission and County Commission.
6. A slope analysis must be completed to ensure that all lots have an average slope of less than 25% as part of the documents submitted for final subdivision.
7. A note as well as a "R" notation for any applicable lots that may be restricted due to slopes exceeding 25% will be added to the applicable lots on all final subdivision plats.
8. A note on the final subdivision plat and a separate "Natural Hazards Disclosure" document will be required to be recorded to provide notice of any recommendations to future property owners regarding the geotechnical and geologic report prepared by IGES dated July 26, 2018, identified as Project #01628-028.
9. A "Wetland Delineation Report" will be required to be submitted for review as part of the final subdivision submittal.
10. A temporary turn around easement must be located at the end of all temporary stubbed streets.
11. The 2017 property taxes must be paid in full prior to recording the subdivision mylar.

This recommendation is based on the following findings:

1. The proposed subdivision conforms to the Ogden Valley General Plan.
2. With the recommended conditions, the proposed subdivision complies with all previous approvals and the applicable County ordinances.
3. The proposed subdivision will not be detrimental to the public health, safety, or welfare.
4. The proposed subdivision will not deteriorate the environment of the general area so as to negatively impact surrounding properties and uses.
5. The proposed master planned development is in conformance with the approved Zoning Development Master Plan.

Exhibits

- A. Bobcat Ridge Preliminary Plat
- B. Zoning Development Agreement Conceptual Map

Location Map



Exhibit B- Zoning Development Agreement Conceptual Map

Overall Master Plan



The Overall Master Plan depicts conceptual development patterns and connectivity within the proposed Rezoning boundary. These areas identify the general development massing, open spaces, recreational components and pedestrian and roadway circulation proposed.

Each development area identified is represented in greater detail within the Rezoning Application.

- DEVELOPMENT AREAS
- A - Mid-Mountain
 - B - The Ridge
 - C - Earl's Village
 - D - Summit Village
 - E - Gertsen
 - F - The Meadow



Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a request for design review approval for the Eden Maverik Remodel. The project is located at approximately 5100 E 2500 N, Eden.

Type of Decision: Administrative

Agenda Date: August 7, 2018

Applicant: Maverik Inc

File Number: DR# 2018-04

Property Information

Approximate Address: 5100 E 2500 N, Eden

Project Area: 1.33 Acres

Zoning: Commercial Valley (CV-2) Zone

Existing Land Use: Commercial

Proposed Land Use: Commercial

Parcel ID: 22-046-0083

Township, Range, Section: Township 7 North, Range 1 East, Section 34

Adjacent Land Use

North:	Commercial	South:	Commercial
East:	Agricultural	West:	Commercial

Staff Information

Report Presenter: Steve Burton
sburton@co.weber.ut.us
801-399-8766

Report Reviewer: RK

Applicable Ordinances

- Weber County LUC Title 104, Chapter 21 - Commercial Valley (CV-2) Zone
- Weber County LUC Title 108, Chapter 1 - Design Review
- Weber County LUC Title 108, Chapter 2 - Ogden Valley Architectural, Landscape and Screening Design Standards
- Weber County LUC Title 108, Chapter 8 - Parking and Loading Space, Vehicle Traffic and Access Regulations
- Weber County LUC Title 108, Chapter 16 - Ogden Valley Outdoor Lighting
- Weber County LUC Title 110, Chapter 2 - Ogden Valley Signs

Summary and Background

The applicant is requesting design review approval of the Eden Maverik remodel located at approximately 5100 E 2500 N, Eden. The remodel requires that the entire site be brought into compliance with the Weber County Land Use Code, including the Ogden Valley Architectural, Landscape and Screening Design Standards, as well as the Ogden Valley Outdoor Lighting Standards. With the recommended conditions, the proposal is in compliance with the applicable chapters of the land use code. The following is a brief analysis of the review of this proposal.

Analysis

Design Review: The CV-2 Zone requires a design review (as outlined in LUC §108-1) to ensure that the general design, layout, and appearance of commercial sites and buildings is orderly and harmonious with the surrounding neighborhood. Due to the size of the project area the application is being considered by the Ogden Valley Planning Commission, as required by LUC §108-2-3.

As part of a design review, the Planning Commission shall consider applicable codes and impose conditions that mitigate deficiencies if necessary. Consideration is given to the following:

- *Traffic safety and traffic congestion:*

- The proposal includes 16 parking spaces, meeting the parking space requirement for a retail store (one space per 200 square feet of floor space in building). The remodel will not change Maverik's existing access along S.R. 158. The proposal meets the landscaping requirement of 15 feet in between parking areas and the property line. Traffic safety concerns and congestion are not anticipated.

- **Outdoor advertising:**

- The project will include two monument signs (see Exhibit C). The monument signs will be 8' in height by 10'-5 1/2" in length. The base of the signs will be a steel structure with stone on all sides. The proposed monument signs are required to comply with the Ogden Valley Outdoor Lighting requirements and cannot be internally illuminated.
- The project will also include two wall signs (Exhibit C). The base of the wall signs will be black steel with a powder coated finish and the lettering will be red. The proposed wall signs meet the size requirement of five percent of the square footage of the front of the building. The lettering on the wall signs is proposed to be illuminated from the rear of the lettering to create a halo effect. The proposed illumination is permitted, provided that the following requirements are met:
 1. It shall not exceed six inches beyond the sign area;
 2. It shall be shielded so as not to project light onto any other surface.

No direct artificial light, as defined in section 101-1-7, shall be projected from the sign area or beyond the sign area, including by means of diffusion or refraction through a translucent or transparent surface.

- **Landscaping:**

- The proposed landscaping plan indicates that the project will provide the 20% landscaping requirement as outlined in LUC§ 108-2-5. The proposed landscaping will include turf grass and gravel mulch with shrubs as well as deciduous and evergreen trees. The landscaping plan also shows that the required 15' planting strips are being provided in between driving areas and the property line. The planting strips will include berming with shrubs, perennials, and 2" caliper trees. 8' planting strips are also being provided along the rear and side lot lines as required by the land use code. As required by LUC §108-2-6(b)(3), the total combined height of earthen berms and plant materials within the 15' planting strip, excluding trees, shall not exceed 48 inches.
- All landscaping must be escrowed for or installed prior to issuance of a certificate of occupancy for the new building.

- **Building and site layout:**

- The site plan indicates that the building and other structures will be in compliance with the required CV-2 yard setbacks listed below:
 - Front: 20 ft
 - Side: None, except 10 ft where a building is adjacent to a forest, agricultural, or residential zone boundary
 - Side facing street on corner lot: 20 ft unless the complete street requirements are met
 - Rear: None, except 10 ft where a building is adjacent to a forest, agricultural, or residential zone boundary

The applicant has provided building elevations showing the color and materials that will make up the building (Exhibit E). The exterior will be made up of tan and brown hardiboard and a stone wainscot.

The roof of the building will be a classic green that is common in the area. The color of the gas canopies will be cream to match the building. LUC §108-2-4 states that external surfaces shall be predominately natural, muted earth tones.

The trash enclosure is proposed to be screened on three sides by split faced CMU, which will be colored similar to the main building. The trash enclosure will have solid metal doors which shall be non-reflective and painted to match the building.

As part of the improvements, the applicant is required to construct a 10' wide bike path along the street frontage (see Exhibit B). The applicant has agreed to provide a pathway connection across Highway 162 and S.R. 158, as shown on the site plan, and as approved by Weber County and UDOT.

The applicant has also agreed to install a 36" 2 rail fence along the street frontage, as shown on the site plan.

- *Utility easements, drainage, and other engineering questions:*
 - The proposal must meet all review agency requirements, including the requirements outlined in reviews from the Engineering Division, Fire District, and the Weber Morgan Health Department.
- *Prior development concept plan approvals associated with any rezoning agreement, planned commercial or manufacturing rezoning, or planned residential unit development approval:*
 - The property is not associated with a development agreement.

Conformance to the General Plan

The proposal conforms to the Ogden Valley General Plan by ensuring that new commercial development remain within existing commercial areas (see 2016 Ogden Valley General Plan, 5. Commercial Development, Commercial Locations).

Staff Recommendation

The Planning Division recommends approval of file# DR 2018-04, subject to all review agency requirements and the following conditions:

1. All outdoor lighting including signage lighting must be in compliance with the Ogden Valley Outdoor Lighting Standards as described in Title 108, Chapter 16 of the Weber County Land Use Code. The applicant will be required to demonstrate compliance prior to issuance of a certificate of occupancy for the proposed structures.
2. Construction of the pathway and the continuation of the pathway shall be completed as shown on the site plan and as approved by Weber County and UDOT.
3. As required by LUC §108-2-6(b)(3), the total combined height of earthen berms and plant materials within the 15' planting strip, excluding trees, shall not exceed 48 inches. This standard will require that the applicant maintain the landscaping on a regular basis to ensure that landscaping within the 15' strips remains under 48 inches.
4. The trash enclosure must be non reflective and must match the color of the building.
5. All windows and metal must be non reflective, as required by LUC §108-2-4.
6. The landscaping must be installed or escrowed for prior to issuance of a certificate of occupancy for the new building.

The recommendation is based on the following findings:

1. With the recommended conditions, the proposed project complies with applicable County codes.
2. With the recommended conditions, the proposed project conforms to the Ogden Valley General Plan.
3. With the recommended conditions, the proposed project will not negatively affect public health, safety, or welfare.
4. With the recommended conditions, the proposed project will not deteriorate the environment of the general area so as to negatively impact surrounding properties and uses.

Exhibits

- A. Construction plans
- B. Site Plan
- C. Signage Plan (Not yet approved)
- D. Landscaping plan
- E. Building Elevations (Not yet approved)
- F. Lighting Plan (Not yet approved)

Vicinity Map



Project Narrative/Notes/Revisions

- 1) 04/13/18 RH - COMPLETED DESIGN FOR FIRST SUBMITTAL TO MAVERIK, INC.
- 2) 04/19/18 RH - REVISED PLAN SET TO INCLUDE SIDEWALK IN UDOT R.O.W.
- 3) 06/13/18 RH - REVISED PLAN SET PER COUNTY/MAVERIK.
- 4) 07/25/18 JM - NEW LAYOUT PER MAVERIK/COUNTY.

Exhibit A
Page 1 of 23

MAVERIK, INC.

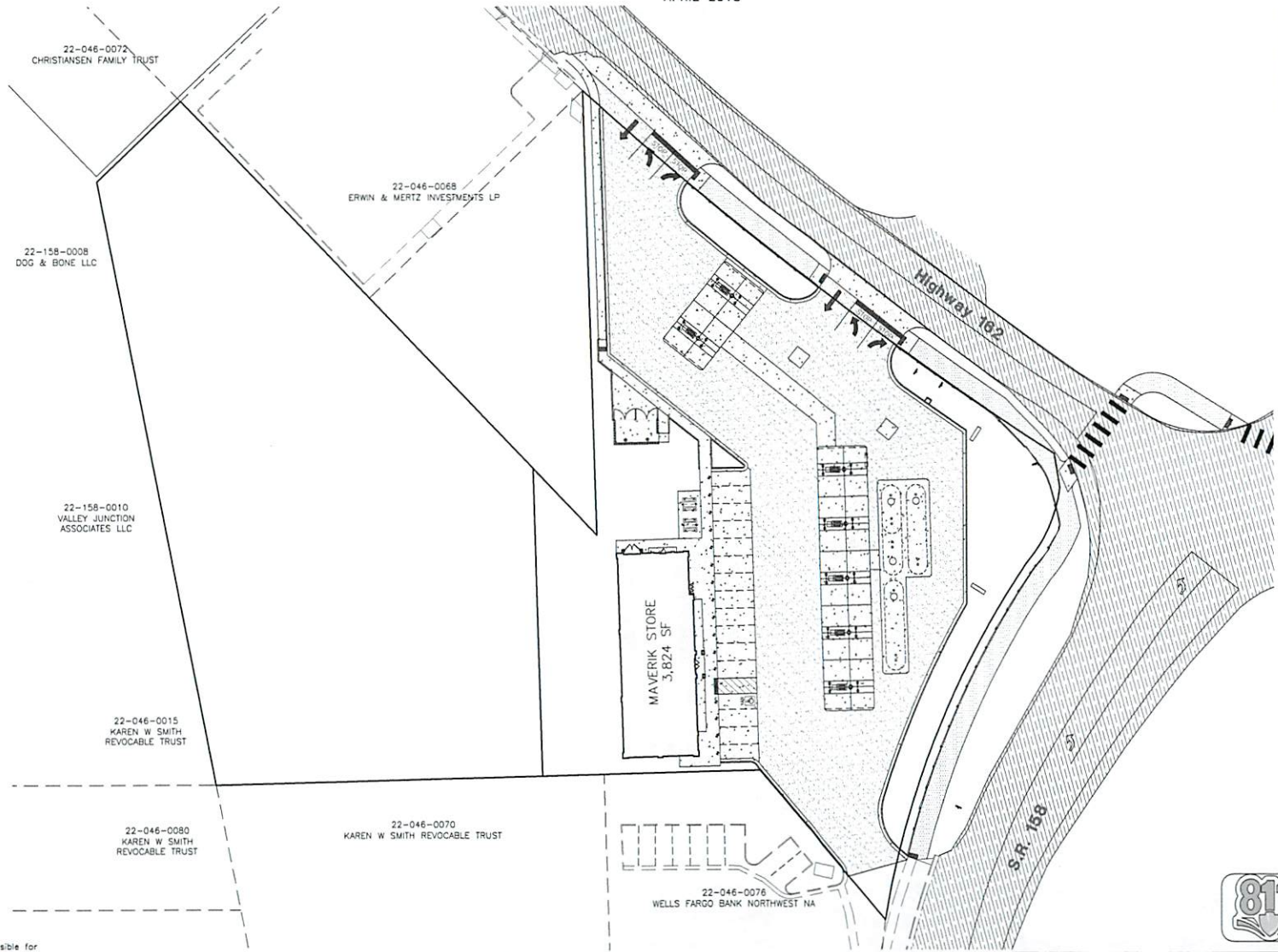
5100 EAST & 2500 NORTH

Site Plans

EDEN, WEBER COUNTY, UTAH
APRIL 2018



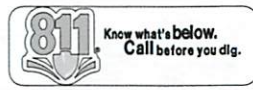
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NOT TO SCALE



Sheet Index

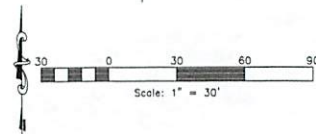
- Sheet C1 - Cover/Title
- Sheet C2 - Notes & General
- Sheet C3 - Parcel Information
- Sheet C4 - Existing Conditions
- Sheet C5 - Demolition
- Sheet C6 - Proposed Improvements
- Sheet C7 - Grading
- Sheet C8 - Utility
- Sheet C8.1 - Utility
- Sheet C9 - Civil Design
- Sheet C9.1 - Civil Design
- Sheet C9.2 - Civil Design
- Sheet C10 - Drainage
- Sheet C10.1 - Drainage
- Sheet C11 - Underdrains
- Sheet C12 - Stormwater
- Sheet C13 - Stormwater
- Sheet L1 - Landscaping
- Sheet L2 - Landscaping
- Sheet L3 - Irrigation
- Sheet L4 - Irrigation

Site Information	
APN#	5100 EDEN, WI
PROPERTY ZONE	.....
PARKING STALLS REQ	.....
PARKING STALLS PROVIDED	.....
BICYCLE STALLS PROVIDED	.....
TOTAL PARCEL AREA	.....
DRAINFIELD AREA	.....
MAVERIK PARCEL AREA	.....
BUILDING AREA	.....
HARD SURFACED AREA	.....
LANDSCAPE AREA	.....



Survey Control Note:

The Contractor or Surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Reeve & Associates, Inc. survey data or construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or any electronic data provided. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than five (5) existing hard improvement elevations included on these plans or on electronic data provided. If any discrepancies are encountered, the surveyor shall immediately notify Reeve & Associates, Inc. and resolve the discrepancies before proceeding with any construction staking.



Engineer's Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

Elevation Datum

SITE BENCHMARK #1:
BRASS CAP MONUMENT
NORTHING = 22717.10
EASTING = 15343.94
ELEVATION = 4978.61'

Elevation Datum

SITE BENCHMARK #2:
BRASS CAP MONUMENT
NORTHING = 22738.34
EASTING = 12676.23
ELEVATION = 4963.72'

Developer Contact:

Troy Jorgensen - Maverik, Inc.
185 South State, Suite 800
Salt Lake City, Ut. 84111
PH: (801) 936-5557

Project Contact:

Project Manager: Nate Reeve
Project Engineer: Thomas Hunt

135 EAST CENTER STREET, NORTH SALT LAKE, UTAH 84054

PHONE: (801) 936-1343

General Notes:

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: TERRING UTILITY MUNICIPALITY, GOVERNING CITY OR COUNTY (IF UN-INCORPORATED), INDIVIDUAL INDUSTRY MANUFACTURERS, AMERICAN PUBLIC WORKS ASSOCIATION (APWA), AND THE DESIGN ENGINEER. ORDER LISTED IS CONSTRUCTION PRIORITY. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION. CONTRACTOR TO STRICTLY FOLLOW GEOTECHNICAL RECOMMENDATIONS FOR THIS PROJECT. ALL GRADING LUBING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH JAVATLOW/BACKFILL, SITE GRUBBING, RETAINING WALLS AND FOOTINGS MUST BE COORDINATED ECTIC WITH THE PROJECT GEOTECHNICAL ENGINEER.
- FLY CONTROL, STRIPING & SIGNAGE TO CONFORM TO CURRENT GOVERNING AGENCIES INSPECTION ENGINEER'S MANUAL AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- AREA OUTSIDE OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- RESULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING EVENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- OR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY THE PERMITTING AUTHORITY.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- ANY WORK IN THE RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD, INCLUDING OBTAINING REQUIRED INSPECTIONS.
- ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH BY THE GEOTECHNICAL ENGINEER.
- CATCH SLOPES SHALL BE GRADED AS SPECIFIED ON GRADING PLANS.
- CONTRACTOR SHALL MAINTAIN ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAGMEN, AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED AND SHALL BE BONDBLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT OF THE BID AND THE TYPE OF WORK CONTAINED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES. CONTRACTOR SHALL PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS HE MAY PREFER OF THE LOCATIONS OF THE PROPOSED WORK AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK. IF, DURING THE COURSE OF HIS EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO HIM TO BE IN CONFLICT WITH THE SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, HE SHALL IMMEDIATELY CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING HIS BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, HE HAS RELIED AND IS RELYING ON HIS OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE AND (3) ALL OTHER DATA AND MATTERS NECESSARY TO THE FULFILLMENT OF THE WORK AND ON HIS OWN KNOWLEDGE OF EXISTING UTILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT HE HAS NOT RELIED SOLELY UPON OWNER- OR ENGINEER-FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING HIS BID.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
- CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL ADVISE THE OWNER AND THE ENGINEER OF ANY DAMAGE TO UTILITIES AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- EXISTING IMPROVEMENTS SHALL BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPEATED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWINGS SHALL BE CHANGED AND DEVIATIONS REQUIRED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVENT AND THAT ONLY WATERPROOFING AND WORKMANSHIP OF THE HIGHEST QUALITY ARE TO BE USED.
- CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. PRIOR TO CONSTRUCTION, THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND PURPOSE OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS IN THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE GRINDING OR SANDBLASTING.
- CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4 FEET OR MORE FOR EXCAVATIONS 4 FEET OR MORE DEEPER. THE CONTRACTOR SHALL COMPLY WITH LOCAL, STATE AND NATIONAL SAFETY CODES, ORDINANCES OR REGULATIONS FOR EXCAVATION AND TRENCHES.
- ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.

Exhibit A
Page 2 of 23

Utility Notes:

- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE SERVICE, GAS SERVICE, CABLE, POWER, INTERNET.
- IF UTILITIES HAVE BEEN SHOWN ON THE PLANS USING A COMBINATION OF ON-SITE SURVEYS (BY OTHERS), PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD, THEIR MAIN AND SERVICE LINES 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CONTRACTOR SHALL DETERMINE IF CONFLICTS EXIST PRIOR TO BEGINNING ANY EXCAVATION. NOTIFY ENGINEER OF ANY CONFLICTS. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING UTILITIES TO WHICH NEW UTILITIES WILL BE CONNECTED. PRIOR TO COMMENCING ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE REQUIRED PROCEDURES.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT HIS EXPENSE.
- ALL VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE.
- CONTRACTOR SHALL CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE.
- CONTRACTOR SHALL GROUT AT CONNECTION OF PIPE TO BOX WITH NON-SHRINKING GROUT, INCLUDING PIPE VOIDS LEFT BY CUTTING PROCESS, TO A SMOOTH FINISH.
- CONTRACTOR SHALL GROUT WITH NON-SHRINK GROUT BETWEEN GRADE RINGS AND BETWEEN BOTTOM OF INLET JOINTS AND TOP OF CONCRETE BOX.
- SILT AND DEBRIS IS TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND THE TRENCH SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DE-WATERED CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- MAINTAIN A MINIMUM 18" VERTICAL SEPARATION DISTANCE BETWEEN ALL UTILITY CROSSINGS.
- CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL BOLTED FITTINGS MUST BE GREASED AND WRAPPED.
- UNLESS SPECIFICALLY NOTED OTHERWISE, MAINTAIN AT LEAST 2 FEET OF COVER OVER ALL STORM DRAIN LINES AT ALL TIMES (INCLUDING DURING CONSTRUCTION).
- ALL WATER LINES SHALL BE INSTALLED A MINIMUM OF 60" BELOW FINISHED GRADE.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, PIPE EDGE TO PIPE EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CANNOT BE MAINTAINED, THE SEWER LINE AND WATER LINE SHALL BE LAID IN SEPARATE TRENCHES AND THE BOTTOM OF THE WATER LINE SHALL BE AT LEAST 18" ABOVE THE TOP OF THE SEWER LINE.
- CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- UNRECORDED UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.

Erosion Control General Notes:

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.

WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT OPEN FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH THE GOVERNING AGENCIES.

Maintenance:

ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.

THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.

SEDIMENT TRACKED ON PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. UNDESIRABLE MATERIALS SHALL BE REMOVED FROM THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.

EXPOSED SLOPES:

- ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:
- SPRINKLING DISTURBED AREAS WITH A TACKIFIER W/ HYDROSEED
 - TRACKING STRAW PERPENDICULAR TO SLOPES
 - INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

Notice to Contractor:

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON PLANS ARE BASED UPON RECORDS OF THE VARIOUS UTILITY COMPANIES AND/OR MUNICIPALITIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

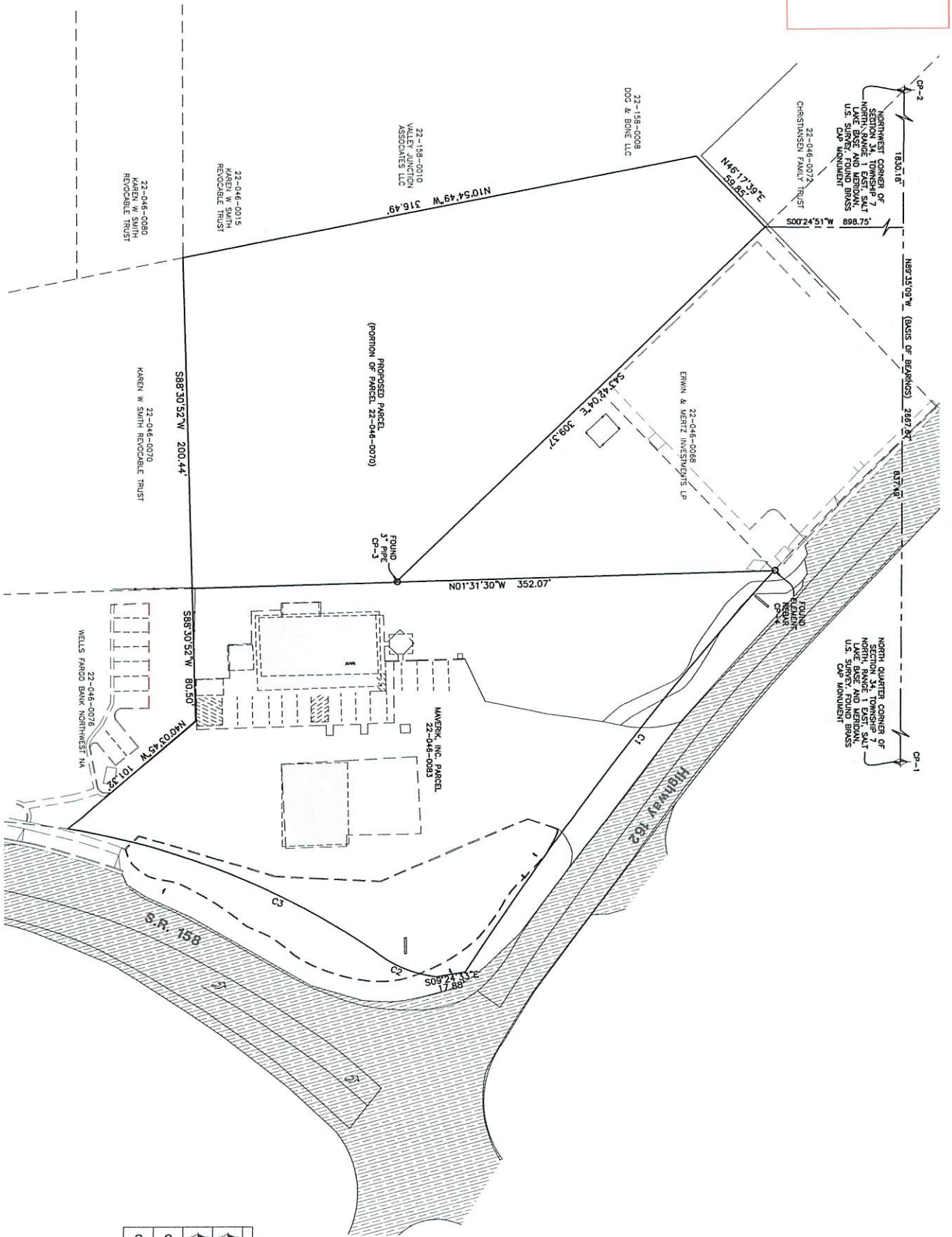
THE CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

Legend

---	PROPOSED CULINARY WATER LINE	BLDG	BUILDING
---	EXISTING CULINARY WATER LINE	C&G	CURB & GUTTER
---	PROPOSED SANITARY SEWER LINE	CB	CATCH BASIN
---	EXISTING SANITARY SEWER LINE	C.F.	CUBIC FEET
---	PROPOSED STORM DRAIN LINE	FFE	FINISHED FLOOR
---	EXISTING STORM DRAIN LINE	FG	FINISH
---	PROPOSED ROOF DRAIN LINE	FH	FIRE HYDRANT
---	PROPOSED GAS LINE	FL	FLOW LINE
---	EXISTING GAS LINE	GB	GRADE BENCH MARK
---	EXISTING CABLE TV LINE	INV	INVERT
---	EXISTING UNDERGROUND POWER LINE	L.F.	LINEAR FEET
---	EXISTING OVERHEAD POWER LINE	NG	NATURAL
---	EXISTING FIBER OPTIC LINE	PP	POWER/UTILITY
---	EXISTING TELEPHONE LINE	RM	RIM OF MANHOLE
---	EXISTING UTILITY LINE	R.O.W.	RIGHT-OF-WAY
---	EXISTING FENCE LINE	TBC	TOP BACK
---	EXISTING RAILROAD TRACKS	TOA	TOP OF ASPHALT
○	PROPOSED FIRE HYDRANT	TOC	TOP OF CURB
○	EXISTING FIRE HYDRANT	TOI	TOP OF PAVEMENT
○	PROPOSED MANHOLE	TSW	TOP OF SIDEWALK
○	EXISTING MANHOLE	WM	WATER MAIN
○ C.O.	EXISTING CLEAN-OUT		EXISTING /
⌵	PROPOSED GATE VALVE		EXISTING /
⌵	EXISTING GATE VALVE		EXISTING /
⊠	PROPOSED WATER METER		PROPOSED
⊠	EXISTING WATER METER		PROPOSED
⊠	PROPOSED CATCH BASIN		PROPOSED
⊠	EXISTING CATCH BASIN		PROPOSED OR ALTER
⊠	PLUG & BLOCK		PROPOSED OR ALTER
⊠	STREET LIGHT		PROPOSED OR ALTER
⊠	SIGN		PROPOSED OR ALTER

UDOT Notes:

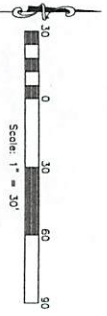
- UDOT RESERVES THE RIGHT, AT ITS OPTION, TO INSTALL A RAISED MEDIAN ISLAND OR I ACCESS TO A RIGHT-IN OR RIGHTOUT AT ANY TIME.
- WORK ON THE UDOT RIGHT-OF-WAY IS SEASONALLY RESTRICTED FROM OCTOBER 15 TO MARCH 15. WORK IS NOT ALLOWED ON THE RIGHT-OF-WAY DURING THE AM/PM PEAK HOURS (6:00 - 9:00 AM AND 3:30 - 6:00 PM). ADDITIONAL WORK RESTRICTIONS OR M BE IMPOSED AT THE TIME OF THE ENCROACHMENT PERMIT.
- REPLACE ALL PAVEMENT MARKINGS IN KIND (TAPE WITH TAPE AND PAINT WITH PAINT). PAINT LINES WITH PERMANENT PAINT APPLICATION PER UDOT SPECIFICATION 02765. PAINT AT LEAST 6 MONTHS LIFE AS DETERMINED BY UDOT'S PERMITS OFFICER.
- ALL NEW PAVEMENT WORK, ARROWS AND SYMBOLS MARKING WITHIN THE RIGHT-OF-WAY SHALL BE PRE-FORMED THERMO PLASTIC, ALL LETTERS, ARROWS, AND SYMBOLS SHALL CONFORM TO THE "STANDARD ALPHABET FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" ADOPTED BY HIGHWAY ADMINISTRATION.
- ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (SHEETING) WITH A B3 SLIP BASE. INSTALL ALL SIGNS PER UDOT SIGN SERIES STANDARD. BEFORE COMMENCING WORK ON THE STATE HIGHWAY, THE GENERAL CONTRACTOR IS TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE REGION'S PERMITS OFFICE. WITHIN THE STATE RIGHT-OF-WAY.
- NO ROAD CUTS ALLOWED ON THIS JOB.
- FOR ALL UTILITY TAPS (ROAD CUTS), USE FLOWABLE FILL PER UDOTS CURRENT MIX DESIGN (50-150 PSI) UDOT SPEC. 03575.
- ALL UTILITIES WITHIN THE PAVED SURFACE MUST BE BORED.
- FOR EXCAVATIONS OUTSIDE OF THE ROADWAY, BACK FILL WITH UDOT APPROVED GRANULAR ROAD BASE, COMPACT PER UDOT SPEC. 2056 AND 2721.
- OWNER, DEVELOPER, AND/OR THE CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT ALL TESTING WITHIN THE UDOT RIGHT-OF-WAY.
- OWNER, DEVELOPER, AND THE CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGE TO THE RIGHT-OF-WAY THAT MAY BE DIRECTLY OR INDIRECTLY CAUSED BY THE DEVELOPMENT.
- TRAFFIC SIGNAL INSTALLATION OR MODIFICATION REQUIRES A SEPARATE WARRANTY BOND WHICH HAS BEEN COMPLETED AND ACCEPTED. THE PERMITTEE IS RESPONSIBLE FOR HIRING AN INDEPENDENT INSPECTION COMPANY TO PERFORM INSPECTION SERVICES FOR ALL SIGNS COMPLETED. FOR A LIST OF THE UDOT APPROVED CONTRACTORS AND CONSULTANTS CC APPROPRIATE REGIONS TRAFFIC SIGNALS ENGINEER.
- PARTIAL CONCRETE PANEL REPLACEMENT IS NOT ALLOWED. WHEN PANELS ARE REMOVED, PANEL IS REQUIRED TO BE REPLACED PER UDOT STANDARDS, SPECIFICATIONS, AND STA DRAWINGS.
- DOUBLE SAW CUT THE CONCRETE TO PREVENT THE SPALLING OF OTHER CONCRETE PANELS OVER CUTS. OVER CUTS AND SPALLS WILL REQUIRE FULL PANEL REPLACEMENT.
- ALL ABOVE GROUND FEATURES INCLUDING UTILITIES (POLES, FIRE HYDRANTS, BOXES, E) RELOCATED OUT OF THE AASHTO CLEAR ZONE OR A MINIMUM OF 18" BEHIND CURB.

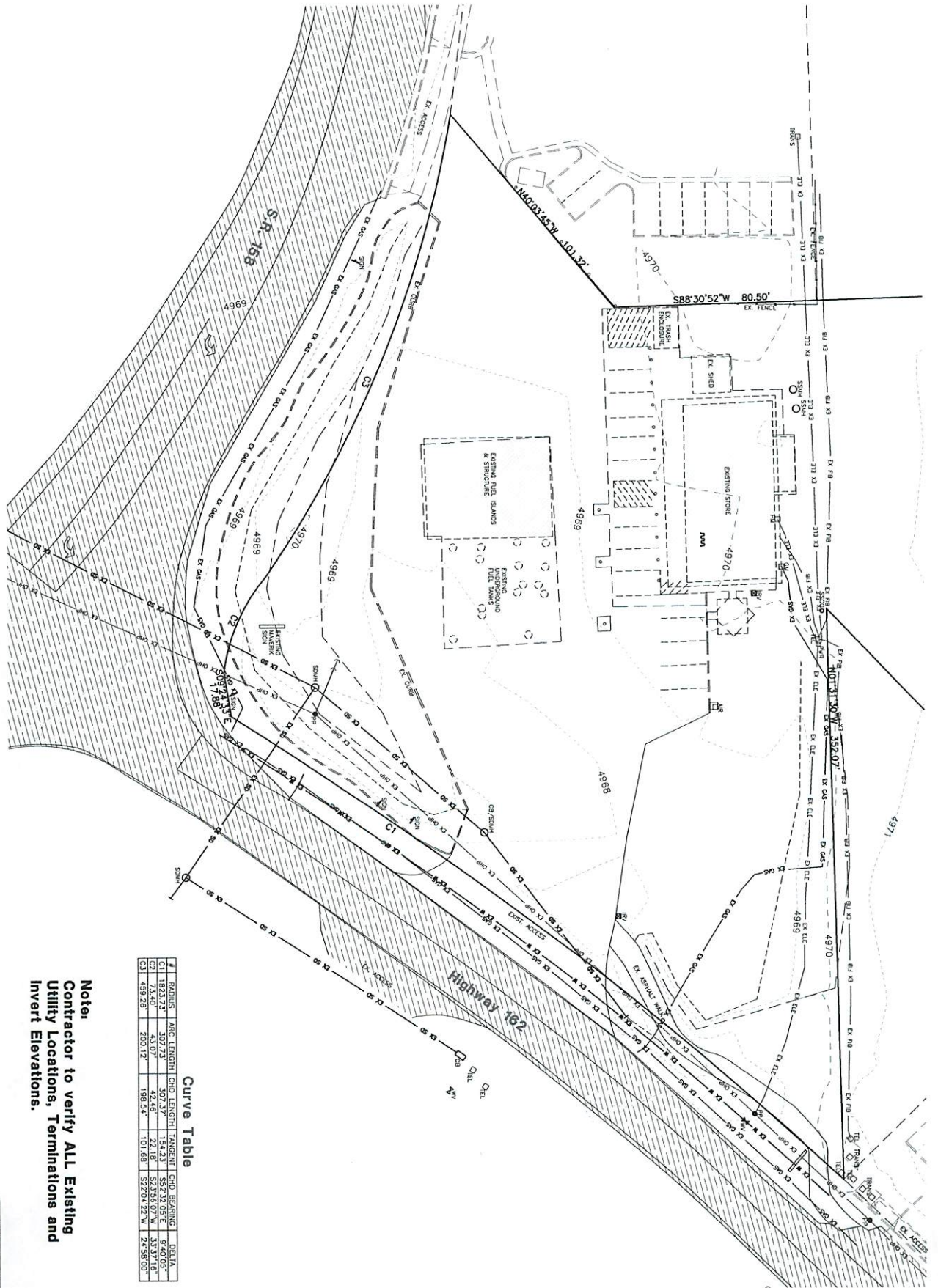


POINT	DESCRIPTION
CP-1	BRASS CAP
CP-2	BRASS CAP
CP-3	REBAR
CP-4	3" PIPE

Curve Table

#	PIVOT	ARC LENGTH	CHD. LENGTH	TANGENT	CHD. BEARING	DELTA
C1	182.373	507.73	507.37	154.23	S52°32'05"E	9°40'05"
C2	73.40	43.07	42.46	22.18	S23°56'07"W	33°37'16"
C3	459.26	200.12	198.54	101.88	S22°04'22"W	2°45'58"00"



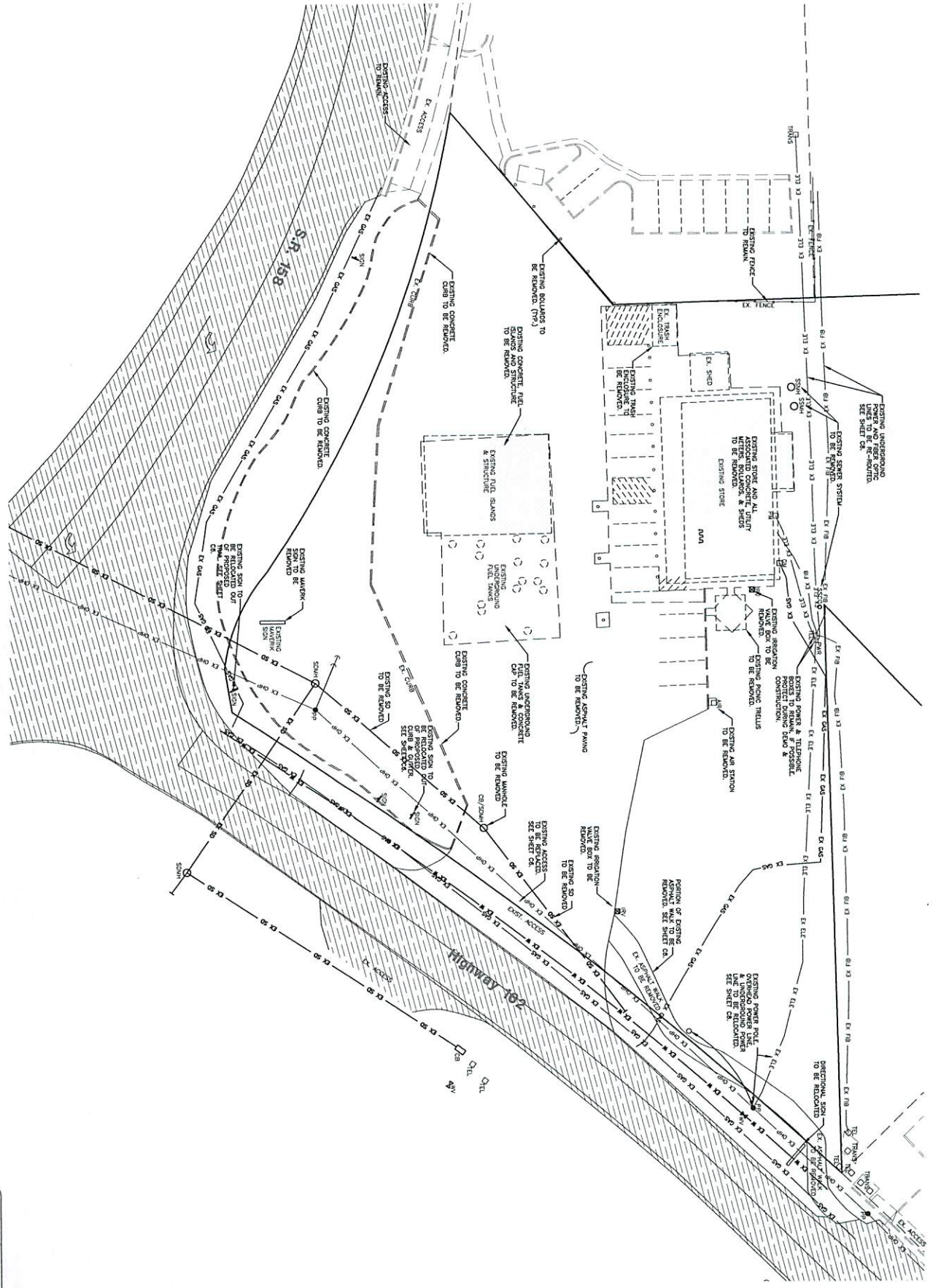


Curve Table

#	RADIUS	ARC LENGTH	CHD LENGTH	TANGENT	CHD BEARING	DELTA
C1	1823.72	307.73	307.37	154.23	S52°22'05"E	9°40'05"
C2	753.00	43.07	42.46	27.18	S52°22'05"E	5°32'08"
C3	459.80	250.12	180.54	101.69	S28°04'24"W	2°58'00"

Note:
Contractor to verify ALL Existing
Utility Locations, Terminations and
Invert Elevations.

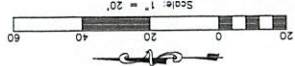




Note:
Contractor to verify ALL Existing
Utility Locations, Terminations and
Invert Elevations.

Elevation Datum
SITE BENCHMARK #1:
BRASS CAP MONUMENT
EASTING = 2271710
NORTHING = 4976224
ELEVATION = 4976.61'

Elevation Datum
SITE BENCHMARK #2:
BRASS CAP MONUMENT
EASTING = 1267629
NORTHING = 4976.61'
ELEVATION = 4976.72'



#	RADIUS	ARC LENGTH	CHD LENGTH	TANGENT	CHD BEARING	DELTA
C1	1823.73	307.73	307.73	207.37	154.23	S52.3709°E 9°40'05"
C2	73.40	43.07	42.46	22.18	S23.5607°W 33°37'18"	
C3	459.26	200.12	198.94	101.68	S22°04'22"W 24°58'00"	

Curve Table

Elevation Datum
 SITE BENCHMARK #1:
 BRASS CAP MONUMENT
 NORTHING = 22717.10
 EASTING = 15343.84
 ELEVATION = 4926.61'

Elevation Datum
 SITE BENCHMARK #2:
 BRASS CAP MONUMENT
 NORTHING = 12676.28
 EASTING = 12676.28
 ELEVATION = 4983.72'

Site Information

AP# 22-046-0085
 5100 EAST 2500 NORTH
 EBM, WEBER COUNTY, UTAH

PROPERTY ZONE: CV-2, AV-3

PARKING STALLS PROVIDED: 15 + 1 A.O.A.

BICYCLE STALLS PROVIDED: 3

TOTAL PARCEL AREA: 114,143 s.f.

DRAINFIELD AREA: 51,595 s.f.

MAVERIK PARCEL AREA: 62,548 s.f.

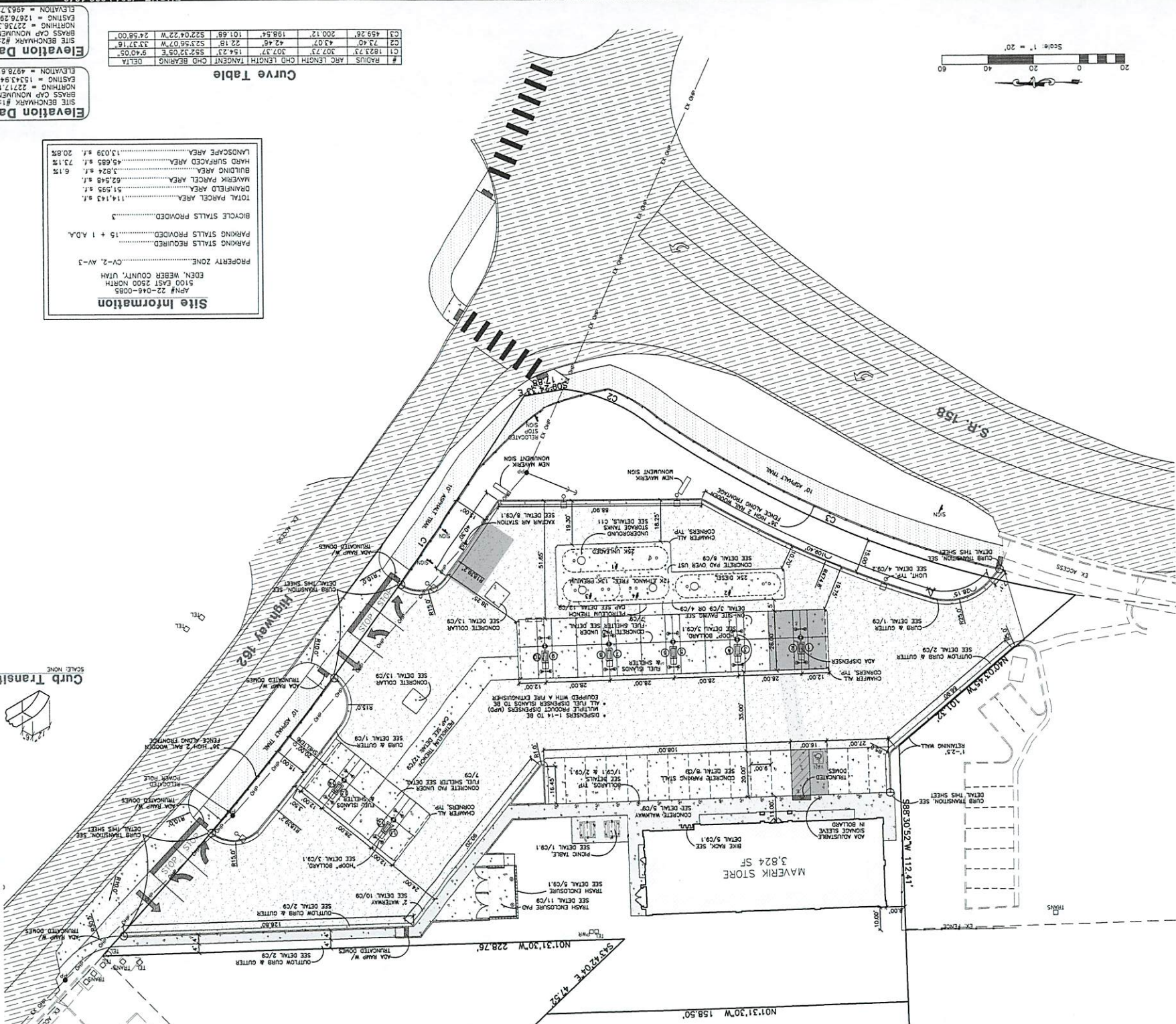
BUILDING AREA: 3,824 s.f.

73.1%

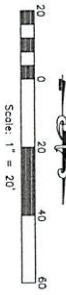
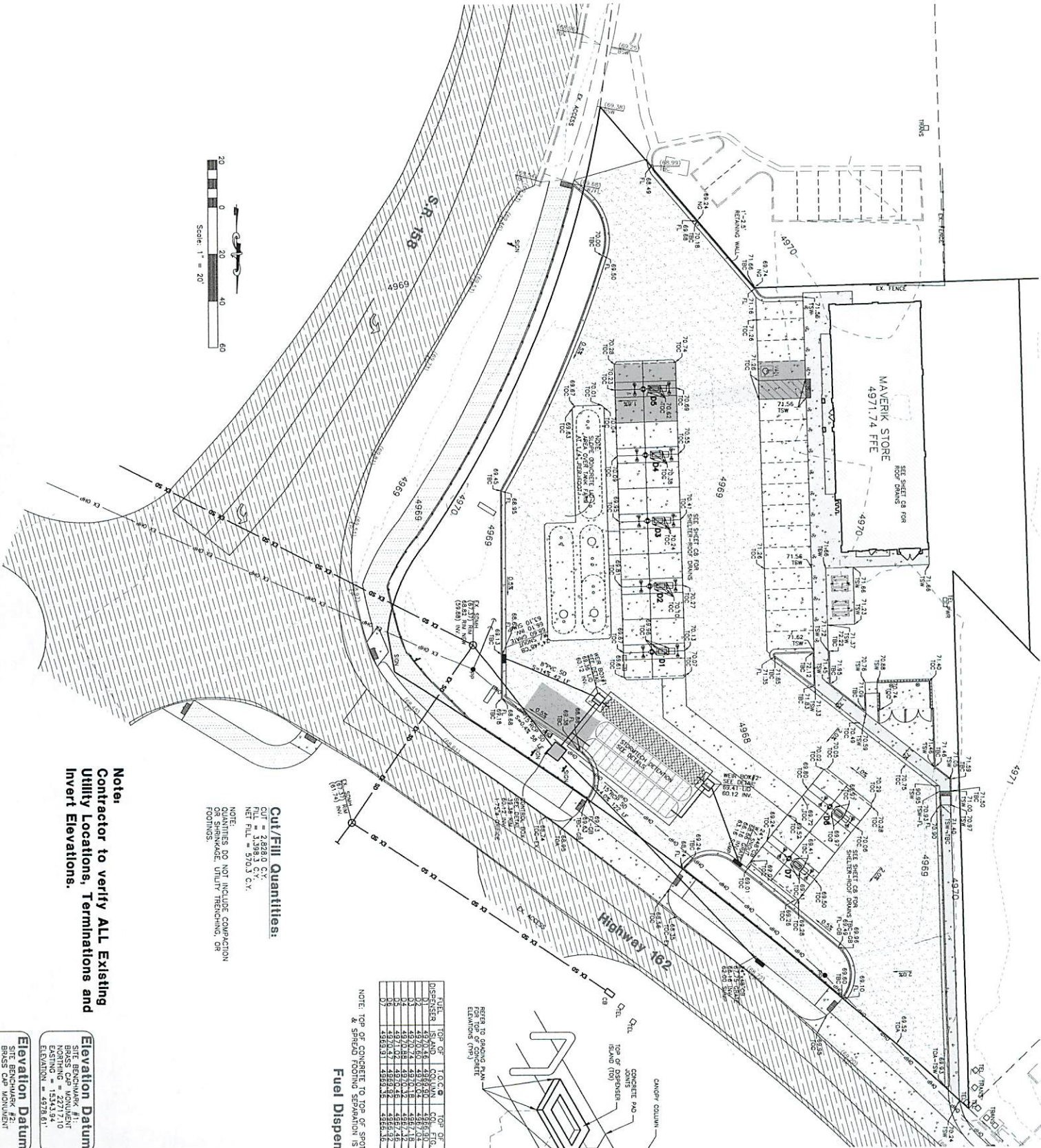
HARD SURFACED AREA: 45,685 s.f.

LANDSCAPE AREA: 13,039 s.f.

20.8%



- NOTES
- 1) F.A.
 - 2) M.T.S.
 - 3) S.T.S.



Cut/Fill Quantities:
 CUT = 2,890.0 C.Y.
 FILL = 1,398.3 C.Y.
 NET FILL = 570.3 C.Y.

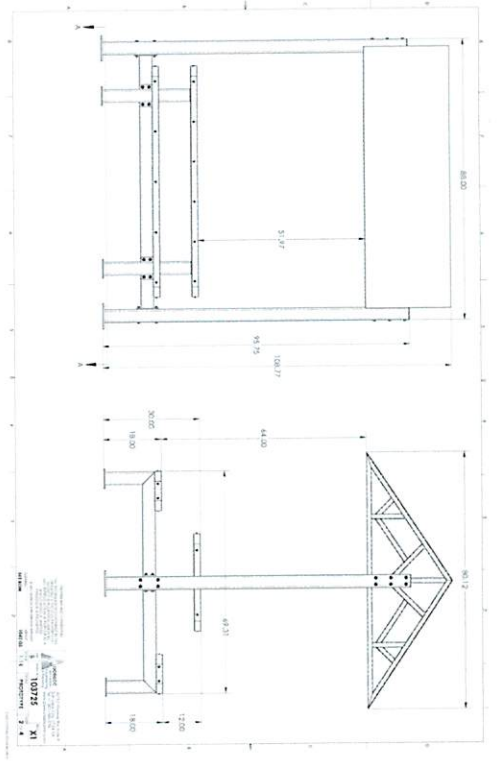
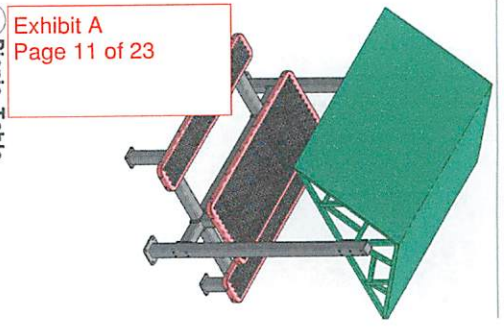
NOTE:
 QUANTITIES DO NOT INCLUDE COMPACTION
 OF SUBGRADE, UTILITY TRENCHING, OR
 FOOTINGS

NOTE: TOP OF CONCRETE TO TOP OF SPOT
& SPREAD FOOTING SEPARATION IS

Fuel Dispens

ITEM	TOP OF	F.O.C.	TOP OF
DISPENSER ISLAND	CONCRETE	JUNCTION	CONCRETE
D1	4971.60	4970.82	4971.01
D2	4970.74	4970.18	4970.71
D3	4971.07	4970.45	4971.45
D4	4971.07	4970.45	4971.45
D5	4971.07	4970.45	4971.45
D6	4971.07	4970.45	4971.45
D7	4971.07	4970.45	4971.45
D8	4971.07	4970.45	4971.45

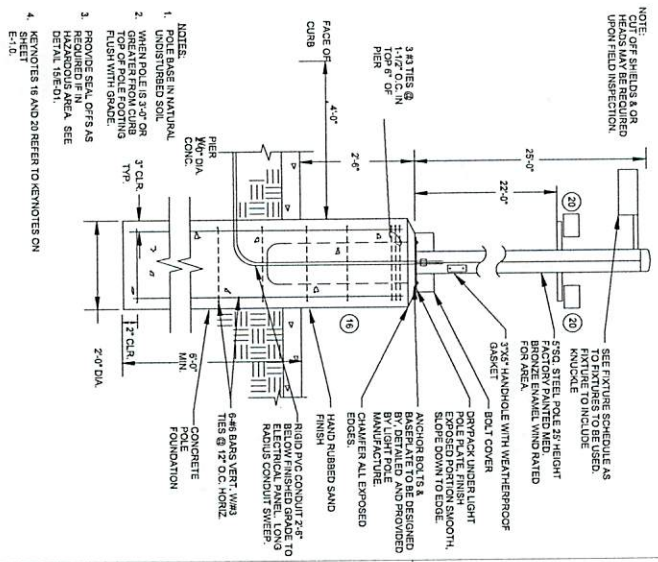
Note:
 Contractor to verify ALL Existing
 Utility Locations, Terminations and
 Invert Elevations.



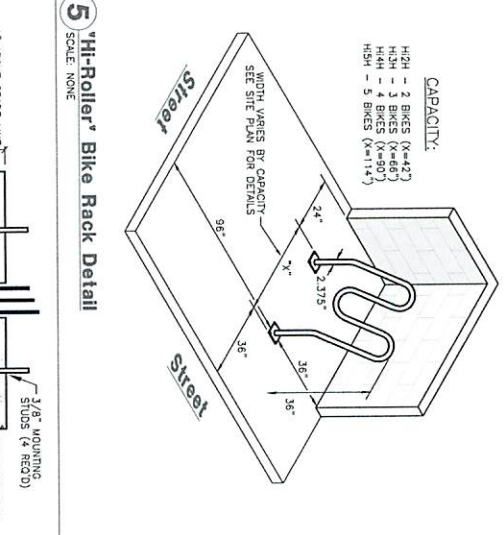
1 Picnic Table
SCALE: NONE

2 Not Used
SCALE: NONE

3 Not Used
SCALE: NONE

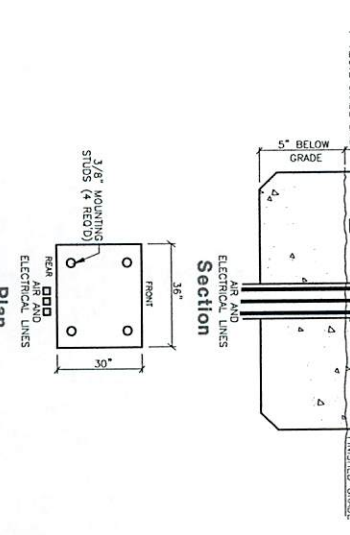


4 Typical Light Pole & Base
SCALE: NONE



5 'Hi-Roller' Bike Rack Detail
SCALE: NONE

6 Not Used
SCALE: NONE

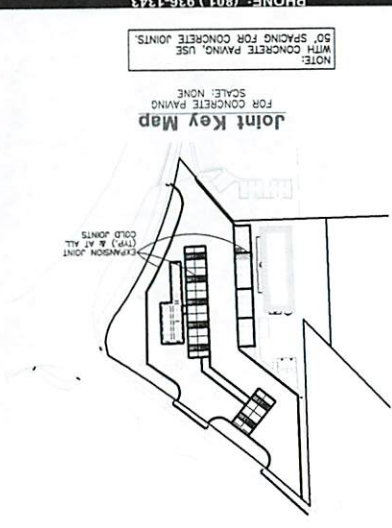
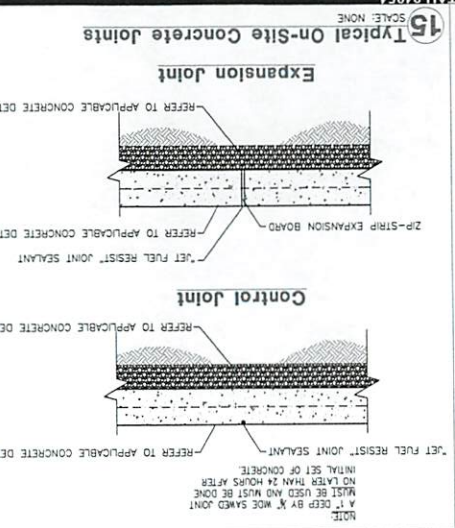
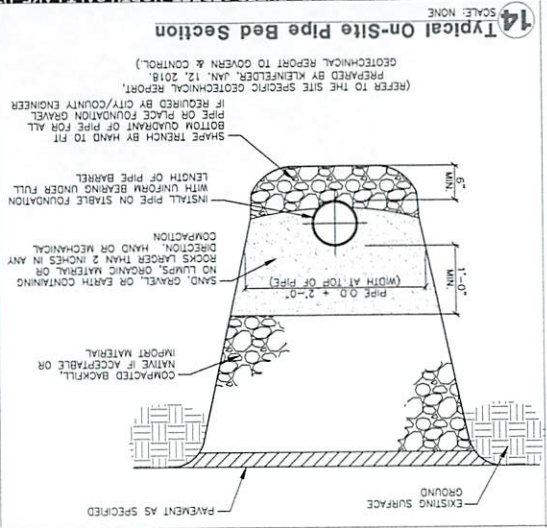
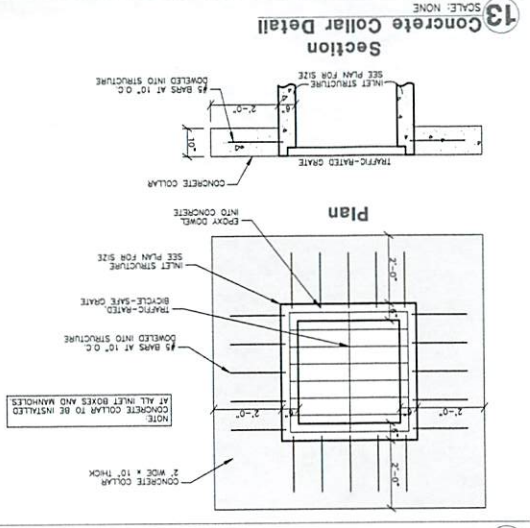
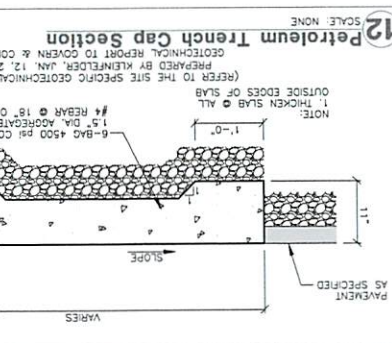
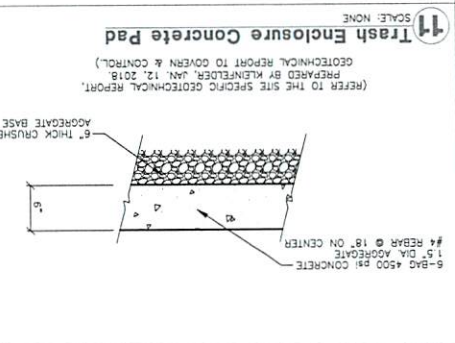
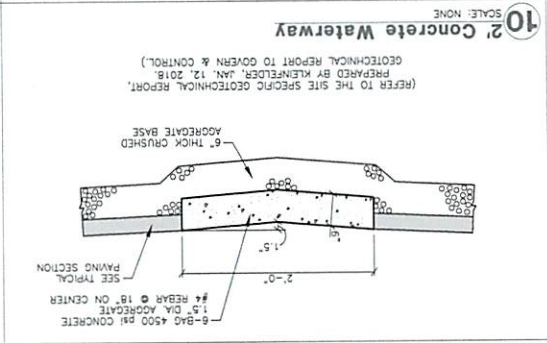
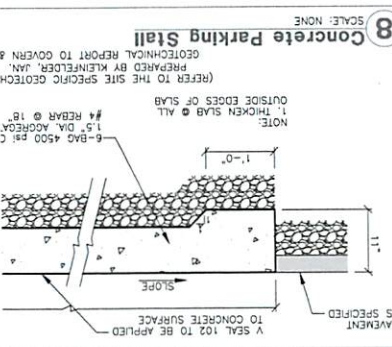
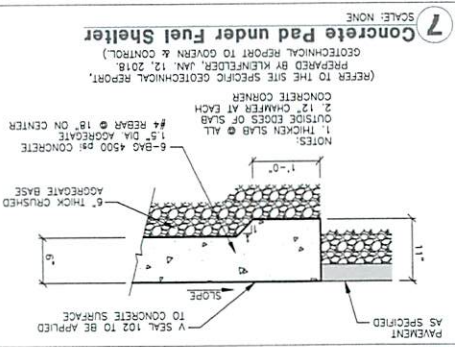
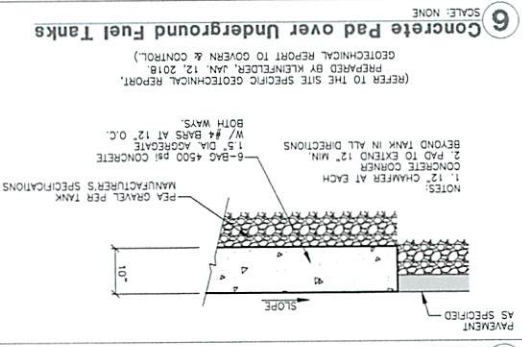
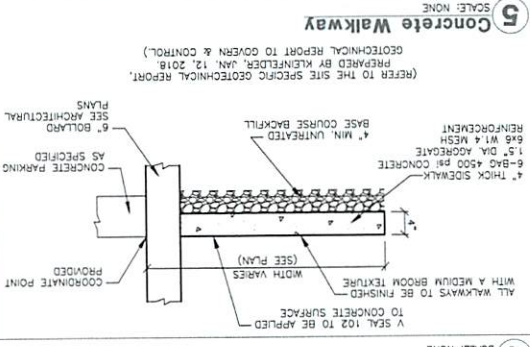
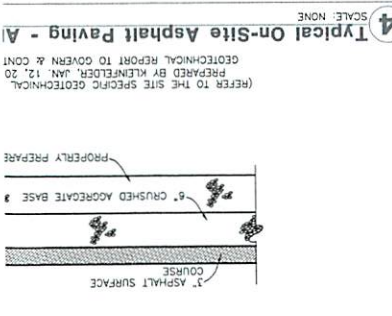
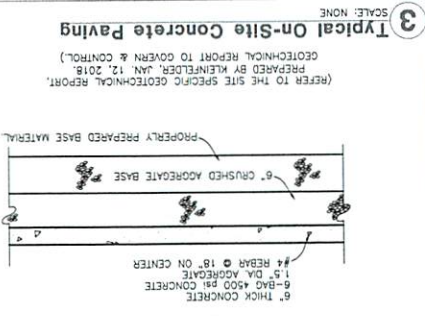
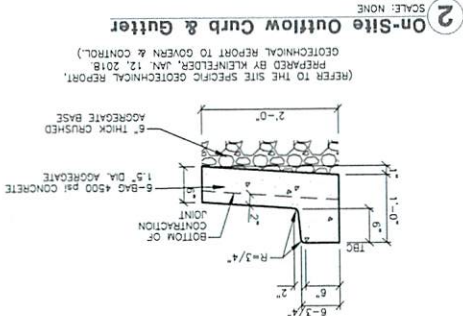
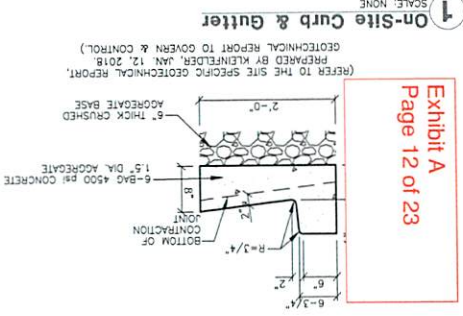


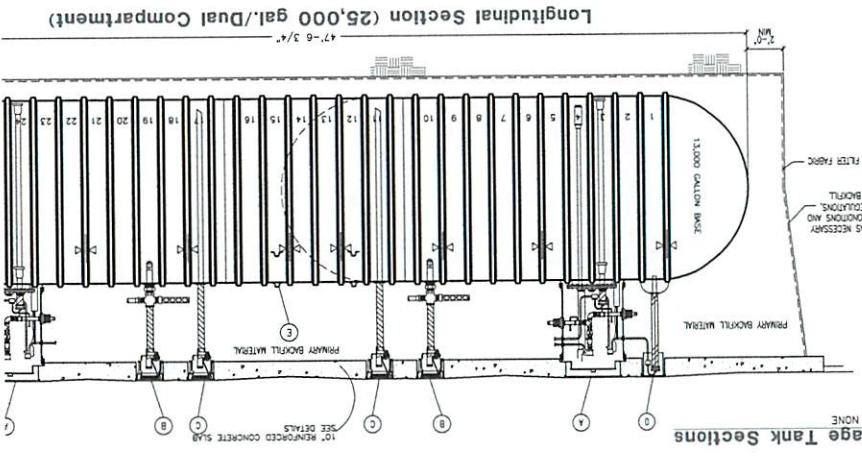
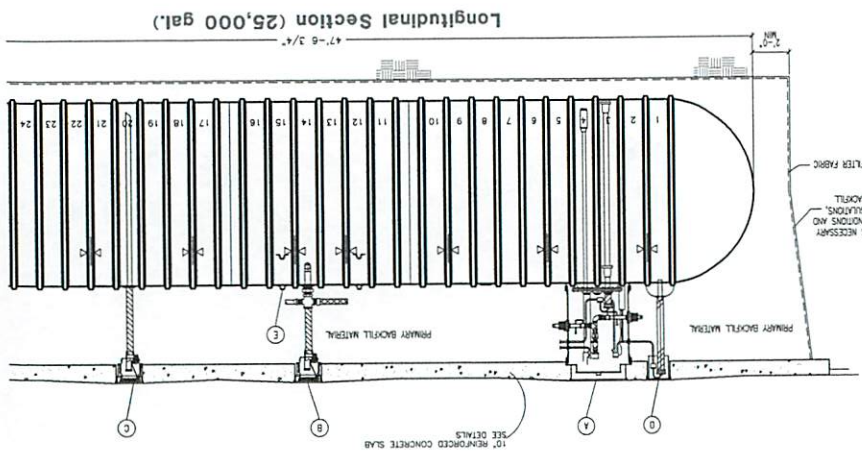
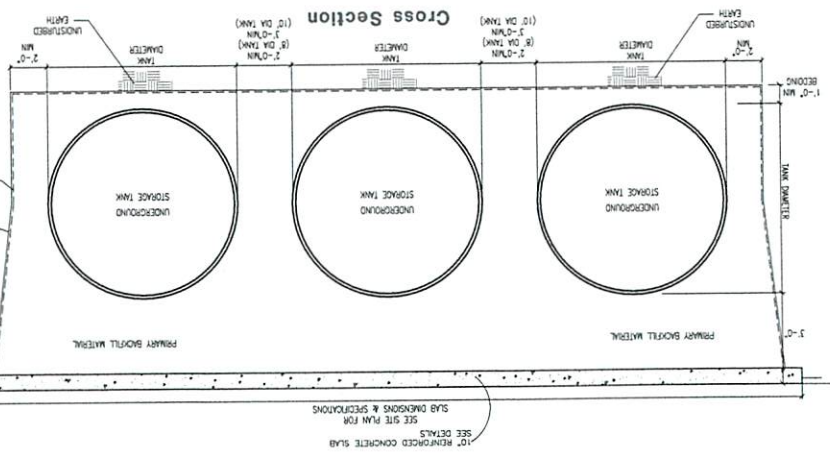
8 'XactAir' Air Station Foundation
SCALE: NONE

9 Not Used
SCALE: NONE



7 Clean-Out Frame & Cover
SCALE: NONE

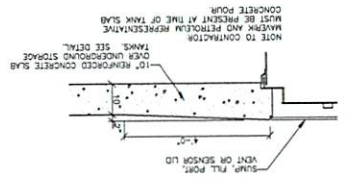




General Notes:

- 1 INSTALL TANKS PER MANUFACTURER RECOMMENDATIONS AS SPECIFIED WITHIN THE INSTALLATION MANUAL AND OPERATING GUIDELINES FOR REBGLASS UNDERGROUND STORAGE TANKS.
- 2 CONTRACTOR TO BE RESPONSIBLE FOR PROTECTING THE FUEL FARM PIT FROM WATER RUN-OFF; PROVIDE BARRIERS AND WATER/SILT FENCING.
- 3 TANK SLAB BY CONTRACTOR; SEE CIVIL SITE PLAN FOR DIMENSIONS & DESIGN. CONCRETE SLAB TO EXTEND A MINIMUM 12" BEYOND TANK IN ALL DIRECTIONS.
- 4 SEE GRADING PLAN FOR SLOPES & GRADES OF CONCRETE.
- 5 SEE CIVIL SITE PLANS FOR GRADING DRAWING THAT THE FUEL DISPENSERS WILL BE INSTALLED ON A MINIMUM 6" HIGH CONCRETE CURB.
- 6 PRIMARY BACKFILL MATERIAL MUST MEET THE FOLLOWING SPECIFICATIONS:
 • MATERIAL IS TO BE CLEAN, FINE-THEM, AND FREE OF DIRT, SAND, LUMP ROCKS, ROOTS, ORGANIC MATERIALS, DEBRIS, ICE AND SNOW.
 • AT ANY TIME DURING BACKFILLING:
 • WATER OR LIQUID WASTES SHALL NOT BE POURED OR CONTAIN LUMPS OF FROZEN MATERIAL.
 • AN ORIGINAL CHARACTERISTICS OF GOOD BACKFILL MATERIAL IS HARDNESS OR STABILITY WHEN EXPOSED TO WATER OR LIQUID WASTES. MATERIALS HAVE NO PROBLEMS MEETING THE HARDNESS REQUIREMENT. MATERIALS LIKE SOFT LIMESTONE, SANDSTONE, SEA SHELLS OR SHALE SHOULD NOT BE USED AS BACKFILL BECAUSE THEY MAY BREAK DOWN OVER TIME.
 • WHEN USING SELECTED FINE-SAND STONES, THEY MUST CONFORM TO THE SPECIFICATIONS OF ASTM C-33 SIZE NUMBERS 8 & 20.
 • WHEN USING SELECTED FINE-SAND STONES, THEY MUST CONFORM TO THE SPECIFICATIONS OF ASTM C-33 SIZE NUMBERS 7 OR 8.
 • TEST METHODS FOR EACH NON-TESTABLE TANK OR COMPARTMENT: TEST AT 8 PSI (4 PSI FOR 12-FOOT DIAMETER TANKS) PER SECTION 1.11.7 & 8 OF THE INSTALLATION MANUAL AND OPERATING GUIDELINES FOR REBGLASS UNDERGROUND STORAGE TANKS.
 • NOTE TO CONTRACTOR: MATERIALS AND PERFORMAL RECOMMENDATIONS MUST BE PRESENT AT TIME OF TANK SLAB CONCRETE POUR.
 • 10" REINFORCED CONCRETE SLAB OVER UNDERGROUND STORAGE TANKS. SEE DETAIL.
- 7 ALWAYS LIFT TANKS BY USING THE LIFTING LUGS PROVIDED WITH THE TANK. DISTRIBUTE THE LIFTING LOAD EVENLY BETWEEN THE LIFTING LUGS. USE SPREADER BEAMS AND EQUAL LENGTH SHIMS AS REQUIRED. USE A CRANE FOR PROPER MOVEMENT OF THE TANKS. PER SECTION 2.1.1.3 OF THE INSTALLATION MANUAL AND OPERATING GUIDELINES FOR REBGLASS UNDERGROUND STORAGE TANKS.
- 8 PRECAST CONCRETE TANK ANCHORS TO BE SPECIFIED BY METEOROLOGICAL REQUIREMENTS AND ECONOMIC. REPORT TO THE CONTRACTOR. CONTRACTOR SHALL PROVIDE ALL EQUIPMENT IN CRANE AND ETC. FOR INSTALLING AND SETTING TANK ANCHOR SYSTEM.
 • TANK HOOK DOWN SYSTEM TO BE INSTALLED WITH DECKMAN ANCHORS AS SPECIFIED BY WATER TANK AND DETECTION. DETECTION REPORT PER MANUFACTURER'S SPECIFICATIONS. IF DECKMAN ETC BOLTS SLOTS ARE LOCATED IN THE PROPER POSITION USE TURNBUCKLE SHAKLE METHOD. OTHERWISE, USE WIRE CABLE AND TRIPLE CLAMPS.
 • SUSPENSIBLE PUMP AND TANK SUMP.
 • LIFTING LUG (2 EXTRA (25,000 gal.))
 • FLOATED IN PLACE CONCRETE DECKMAN (IF REQUIRED)
 • 15" LONG FOR 25,000 GAL. TANKS
 • HYDROSTATIC INTERSTITIAL SENSOR
- 9 ALL EXCAVATED PERIMETER LINE TRENCHES ARE TO BE BACKFILLED WITH PRIMARY BACKFILL MATERIAL.
 • TANKS ARE TO BE LOCATED A MINIMUM OF 3 FEET FROM PROPERTY LINES.
- 10 EXCITRE FILTER FABRIC.
 • COVER OVER THE ENTIRE SURFACE OF BACKFILL MATERIAL.
 • ALL JOINTS IN THE FILTER FABRIC MUST BE OVERLAPPED A MINIMUM OF 12".
 • CONTRACTOR TO PROVIDE ALL EQUIPMENT IN CRANE AND ETC. FOR INSTALLING AND SETTING TANK ANCHOR SYSTEM.
 • TANK HOOK DOWN SYSTEM TO BE INSTALLED WITH DECKMAN ANCHORS AS SPECIFIED BY WATER TANK AND DETECTION. DETECTION REPORT PER MANUFACTURER'S SPECIFICATIONS. IF DECKMAN ETC BOLTS SLOTS ARE LOCATED IN THE PROPER POSITION USE TURNBUCKLE SHAKLE METHOD. OTHERWISE, USE WIRE CABLE AND TRIPLE CLAMPS.
 • SUSPENSIBLE PUMP AND TANK SUMP.
 • LIFTING LUG (2 EXTRA (25,000 gal.))
 • FLOATED IN PLACE CONCRETE DECKMAN (IF REQUIRED)
 • 15" LONG FOR 25,000 GAL. TANKS
 • HYDROSTATIC INTERSTITIAL SENSOR

UST Lid/Concrete Detail

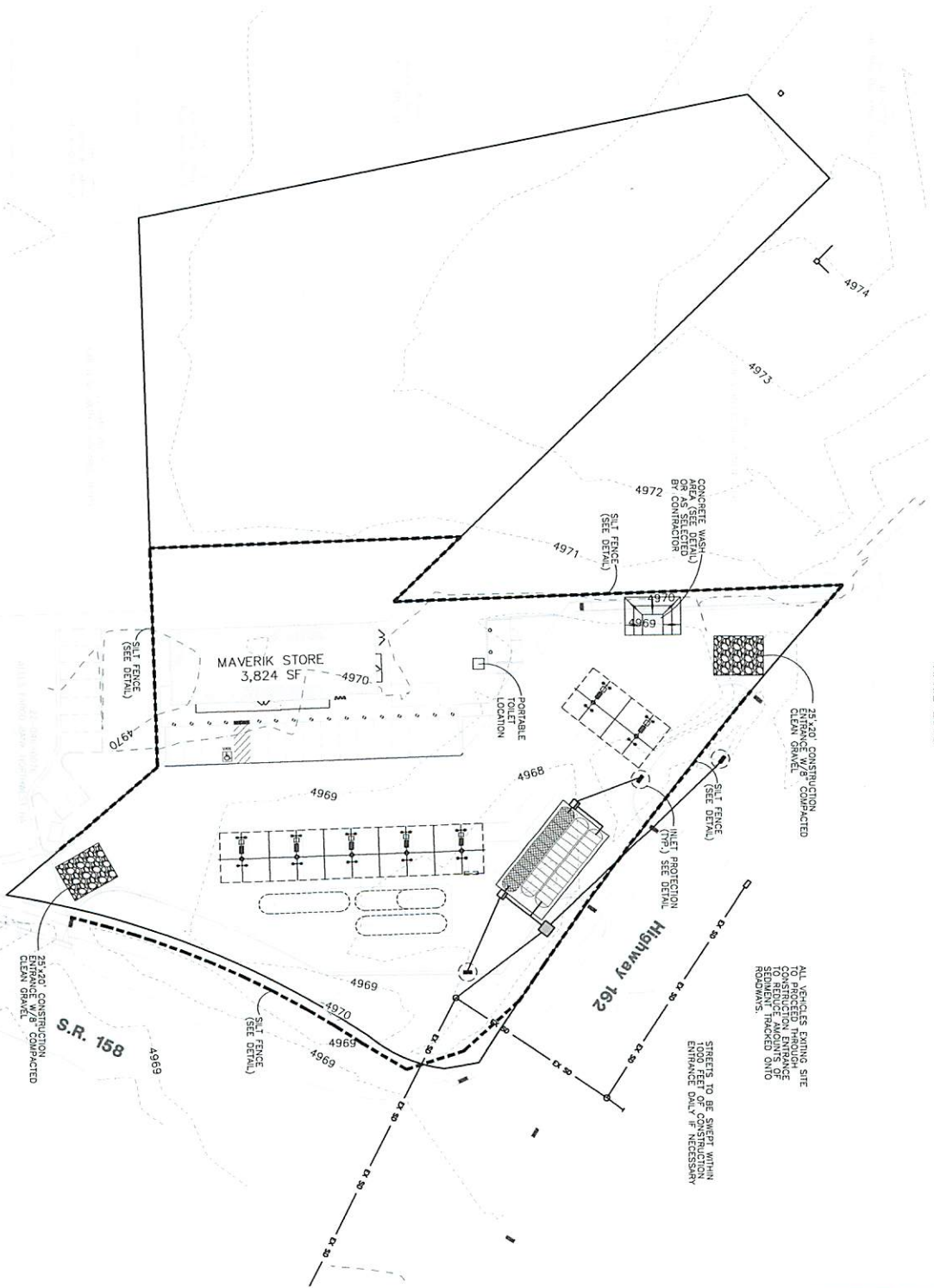


MAVERIK, INC.

5100 EAST & 2500 NORTH

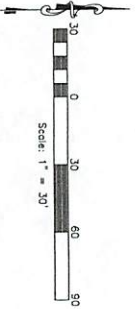
Storm Water Pollution Prevention Plan Exhibit

EDEN, WEBER COUNTY, UTAH
APRIL 2018



ALL VEHICLES EXITING SITE
OR ENTERING SITE
TO REMOVE AMOUNTS OF
MATERIAL TRACKED ONTO
ROADWAYS

STREETS TO BE SWEEP WITHIN
ENTRANCE ONLY IF NECESSARY



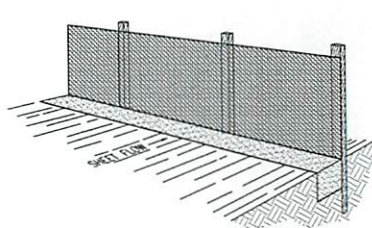
Construction Activity Schedule

PROJECT LOCATION	EDEN, WEBER COUNTY, UTAH
PROJECT BEGINNING DATE	APRIL 2018
BMP'S DEPLOYMENT DATE	APRIL 2018
STORM WATER MANAGEMENT CONTRACT / INSPECTION	UNIL GENERAL CONTRACTOR IS HIRED
SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER	

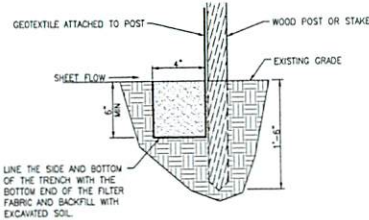
Describe all BMP's to protect storm water inlets:
water inlets to be protected by straw wattle barriers, or gravel bags (see detail).

- BMP's to eliminate/reduce contamination of storm water from:
 1. pavement / building / concrete wash areas:
 be performed in designated areas only and surrounded with silt fence barriers.
 2. areas contaminated by soil amendments:
 any contaminants are found or generated, contact environmental engineer and contacts listed as of contaminated soil.
 3. areas contaminated by soil amendments:
 any contaminants are found or generated, contact environmental engineer and contacts listed as of contaminated soil.
 4. parking areas:
 be performed in designated areas only and surrounded with silt fence.
 5. equipment storage areas:
 be performed in designated areas only and surrounded with silt fence.
 6. waste storage areas:
 be performed in designated areas only and surrounded with silt fence.
 7. Service areas:
 To be performed in designated areas only and surrounded with silt fence.

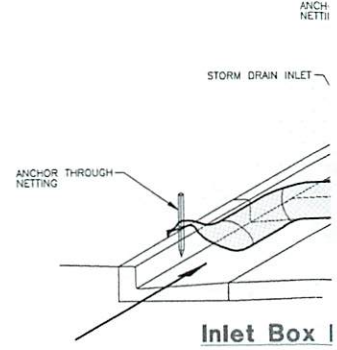
3. Construction Vehicles and Equipment:
 - a. Maintenance
 - Maintain all construction equipment to prevent oil or other fluid leaks.
 - Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
 - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
 - Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
 - Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
 - b. Fueling
 - If fueling must occur on-site, use designated areas away from drainage.
 - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
 - Cover retention area with an impervious material and install in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
 - Use drip pans for any oil or fluid changes.
 - c. Washing
 - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
 - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
 - Use phosphate-free, biodegradable soaps.
 - Do not permit steam cleaning on-site.
5. Spill Prevention and Control
 - a. Minor Spills:
 - Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
 - Contain the spread of the spill.
 - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
 - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up properly dispose of contaminated soil.
 - If the spill occurs during rain, cover the impacted area to avoid runoff.
 - Record all steps taken to report and contain spill.
 - b. Major Spills:
 - On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
6. Post Roadway / Utility Construction
 - a. Maintain good housekeeping practices.
 - b. Enclose or cover building material storage areas.
 - c. Properly store materials such as paints and solvents.
 - d. Store dry and wet materials under cover, away from drainage areas.
 - e. Avoid mixing excess amounts of fresh concrete or cement on-site.
 - f. Perform washout of concrete trucks offsite or in designated areas only.
 - g. Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
 - h. Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
 - i. All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
7. Erosion Control Plan Notes
 - a. The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
 - b. A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events.
 - c. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.
 - d. Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
 - e. Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
 - f. All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
 - g. Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
 - h. All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the Engineer of record of the governing agency.
 - i. The placement of additional devices to reduce erosion damage within the site is left to the discretion of the Engineer of record.
 - j. Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
 - k. Erosion control devices will be modified as need as the project progresses, and plans of these changes submitted for approval by the engineer of record and the governing agency.
8. Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.



Perspective View



Section



Inlet Box

INSTALLATION
 The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

Slope Steepness (%)	Max. Slope Length m (ft)
<2%	30.5m (100ft)
2-5%	22.9m (75ft)
5-10%	15.2m (50ft)
10-20%	7.6m (25ft)
>20%	4.5m (15ft)

PREFABRICATED SILT FENCE ROLLS
 Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
 Unroll the silt fence, positioning the post against the downstream wall of the trench.
 Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then about the end posts to create a tight seal as shown in Figure 1.
 Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
 Bury the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

shall generally be less than three (3) times the height of the fence.
 If a steel or plastic mesh is required to reinforce the geotextile, it shall have a minimum mesh opening of 15.2cm (6").
 Fasten the mesh to the upslope side of the posts using heavy duty wire staples, tie wires or hog strings. Extend the mesh into the bottom of the trench.
 The geotextile shall then be stapled or wired to the posts. An extra 20-50cm (8-20") of geotextile shall extend into the trench.

INSPECTION
 Inspect the silt fence daily during periods of rainfall, immediately after significant rainfall event and weekly during periods of no rainfall. Make any repairs immediately.
 When sediment deposits behind the silt fence are one-third of the fence height, remove and properly dispose of the silt accumulations. Avoid damage to the fabric during cleanout.

REMOVAL
 Silt fence should not be removed until construction ceases and the upslope area has been properly stabilized and/or revegetated.

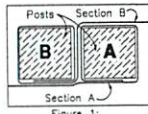
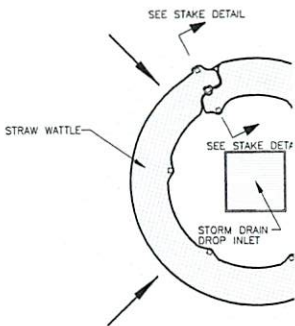


Figure 1: Top View of Roll-to-Roll Connection

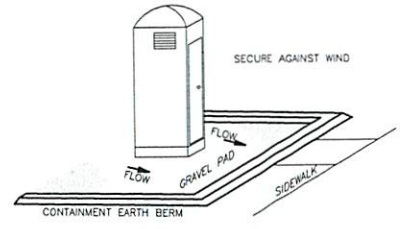


Plan View

FIELD ASSEMBLY:
 Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
 Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing

Silt Fence Detail

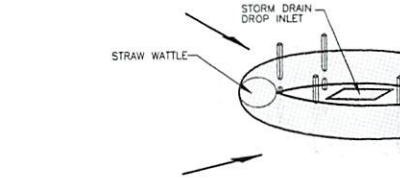
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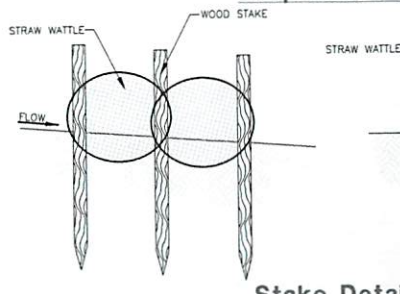
Portable Toilet Detail

SCALE: NONE

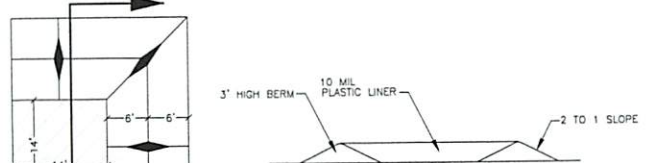
DESCRIPTION
 Temporary on-site sanitary facilities for construction personnel.
APPLICATION
 All sites with no permanent sanitary facilities or where permanent facility is too far from facility.
INSTALLATION/APPLICATION FACILITY
 Locate portable toilets in convenient locations throughout site.
 Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel.
 Construct earth berm perimeter (6" tall x 6" wide), control for spill/protection leak.
LIMITATIONS
 No limitations.
MAINTENANCE
 Portable toilets should be maintained in good working order by license service with daily observation for leak detection.
 Regular waste collection should be arranged with licensed service.
 All wastes should be deposited in sanitary sewer system for treatment with appropriate agency approval.



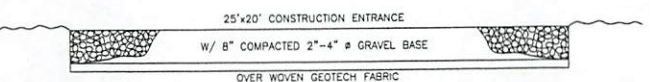
Drop Inlet Protection



Stake Detail



Concrete Washout Area w/ 10 mil Plastic Liner
SCALE: NONE



Cross Section 25' x 20' Construction Entrance



Gleditsia tria. iner. 'Imperial'
Imperial Honeylocust



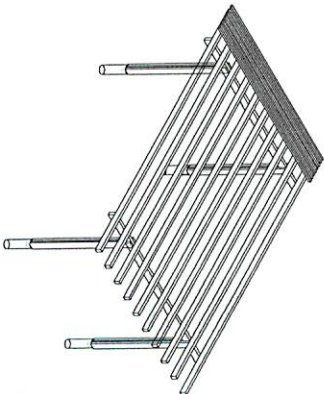
Picea pungens
Colorado Blue Spruce



Syringa reticulata 'Ivory Silk'
Ivory Silk Tree Lilac



Prunus padus
Mayday Tree



Picnic Trellis

Plant Table

Quantity	Symbol	Scientific Name	Common Name	Size	Spacing
10		Acer x Freemanii 'Calzom'	Celebration Maple	2" col.	Per Plan
2		Gleditsia tria. iner. 'Imperial'	Imperial Honeylocust	2" col.	Per Plan
1		Picea pungens	Colorado Blue Spruce	6" B&B	Per Plan
2		Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	2" col.	Per Plan

Quantity	Symbol	Scientific Name	Common Name	Size	Spacing
36		Berberis thun. atro. 'Nano'	Crimson Pigma Barberry	5 gal.	Per Plan
41		Euonymus alatus 'Compacta'	Dwarf Burning Bush	5 gal.	Per Plan
10		Juniperus sabina 'Buffalo'	Buffalo Juniper	5 gal.	Per Plan
14		Pinus mugo 'Pumilio'	Dwarf Mugo Pine	5 gal.	Per Plan
22		Potentilla frut. 'Gold Drop' or equal	Gold Drop Potentilla or equal	5 gal.	Per Plan

Quantity	Symbol	Scientific Name	Common Name	Size	Spacing
19		Aubrieta deltoidea (purple variety)	Purple Rock Cress	1 gal.	Per Plan
52		Calamagrostis 'Karl Foerster'	Karl Foerster Grass	5 gal.	Per Plan
32		Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	1 gal.	Per Plan
37		Penstemon digitalis 'Husker Red'	Husker Red Penstemon	1 gal.	Per Plan

- Decorative Boulders
- Turf Grass - To be sodded.
- UDOT Seed Mix - To be hydroseeded. See Sheet L3 for details.
- A 3" layer of 2" minus, crushed gravel mulch over Dewitt Pro 5 Weed Barrier Cloth, or equal.

Landscape Code and Calculations

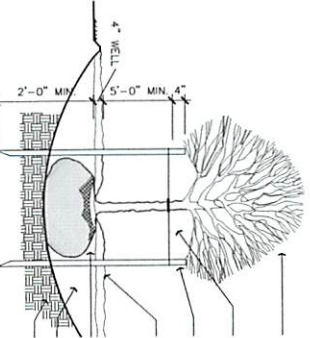
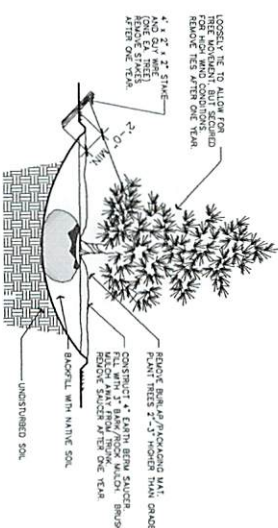
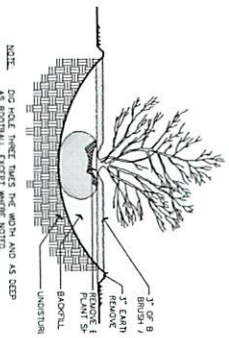
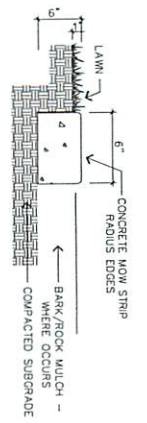
CODE: A 15' continuous landscape area shall be provided along front and side property lines adjacent to street R.O.W. planted per schedule.

1. Trees shall be planted 50' from street R.O.W. and may be clustered. SR:158 and SR:152=397.50 LF. The LF=484.63 LF total.
484.63 LF/30=10 trees required/line landscape (clustered)

2. Eastern terms final site coating/Berm may be continuous or vary in screening of off-street parking. Berm may be continuous or vary in height, with a maximum height of 3' along 75% of area. In addition to trees, maximum height of berm + plants shall be 4'. ground covers or turf. Maximum height of berm + plants shall be 4'. Screening is strongly encouraged, with a maximum of 50% turf on the total site.

CODE: Parking areas shall be screened or buffered from view. Side and rear screens or buffers, whether plants or non-living material, shall be a minimum of 6' in height. The first 25', as measured from the street R.O.W., shall not exceed 4' in height.

CODE: Parking areas within 12' of side or rear lot lines shall have a continuous, 8' wide, landscape area consisting of a deciduous and evergreen shrub border or hedge. Combinations of shrubs and permanent fences may be considered.



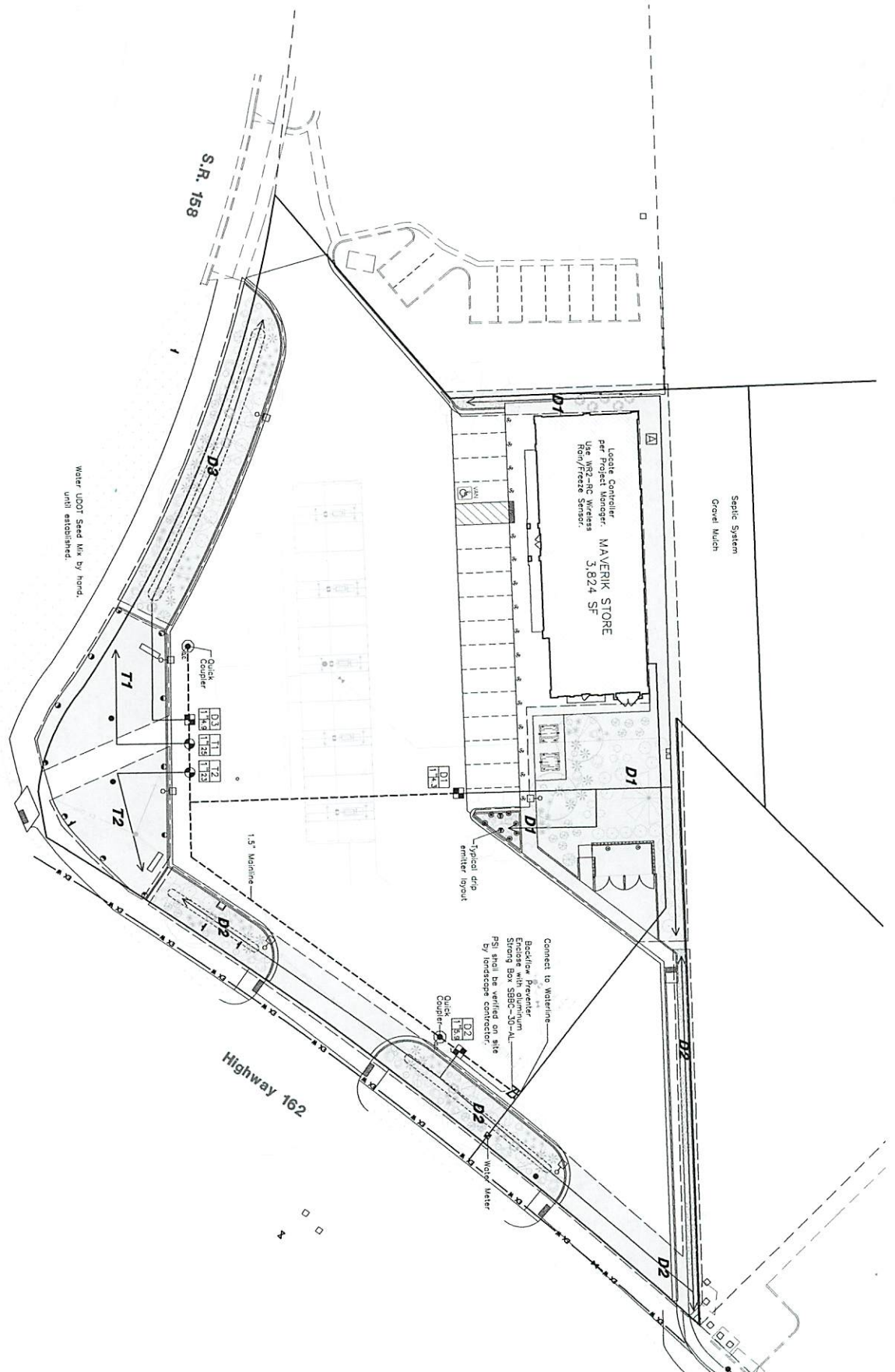
CONIFEROUS TREE PLANTING

SCALE: NOT TO SCALE

DECIDUOUS TREE

SCALE: NOT TO SCALE

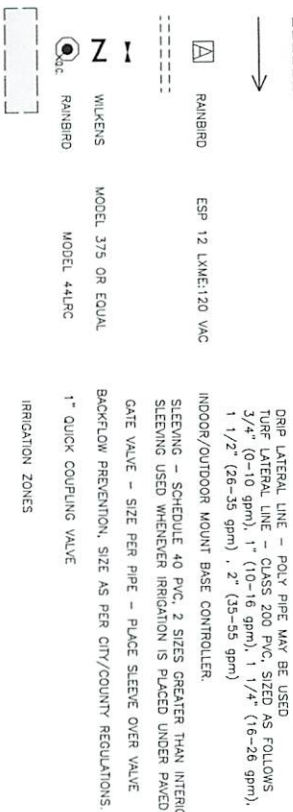
- General Notes**
- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction. The contractor shall coordinate his work with the project manager and all other contractors working on this site.
 - The finish grade of all planting areas shall be smooth, even and representative of the finish grade of all landscape areas shall be graded consistently 3/4" below the top of all surrounding walks, curbs, etc.
 - The contractor shall stake the location of all plants for approval prior to planting. Trees shall be located equidistant from all surrounding plant material. Shrubs and ground covers shall be bunched and evenly spaced.
 - The plant materials list is provided as an indication of the specific requirements of the plants. The planting plan shall govern the contract and the planting plan shall prevail.
 - The contractor shall provide all materials, labor and equipment for the installation of all landscape equipment as specified and shown on the drawings.
 - All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications. The Owner/Landscape Architect decision will be final.
 - The contractor shall keep the premises, storage areas and parking areas neat and orderly at all times. Remove trash, sweep, clean, hose, etc. daily.
 - The contractor shall plant all plants per the planting details, stake/guy as shown. Top of root balls shall be planted flush with grade.
 - The contractor shall not impede drainage in any way. The contractor shall install positive drainage away from the buildings, walks, etc.
 - The contractor shall maintain all work until ALL work is complete. The contractor shall mention and guarantee all work for a period of THIRTY (30) DAYS from the date of final acceptance by the Owner. Maintenance shall include mowing, weeding, fertilizing, watering, insecticide, herbicide, etc.
 - Waymark Corporation shall be responsible for landscape maintenance beyond construction period.



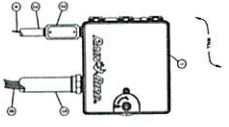
Irrigation Schedule

SYMBOL MANUFACTURER CATALOG NUMBER DESCRIPTION

RAINBRD	5004-BL-SAM-APR-25	BODY AND RAIN GUARAN. ROTOR NOZZLE UNIT, 25"R
RAINBRD	USE EXISTING SPRINKLERS IN TURF AREA.	IF POSSIBLE.
RAINBRD	RMS-B-C-1401	ROOT WATERING SERIES, 0.25 GPM, 2 EMITTERS/TREE
RAINBRD	XB-T-20-PC	XERIBUG THREADED DRIP EMITTERS, 2 GAL/HOUR
RAINBRD	XCZ-100-PRB-COM	1 EMITTER/1 GAL. PLANT, 2 EMITTERS/5 GAL. PLANT.
RAINBRD	PEB SERIES	COMMERCIAL CONTROL ZONE KIT DRIP VALVE
RAINBRD	VALVE NO & CONTROLLER	PRESSURE REGULATING PLASTIC VALVE
RAINBRD	ESP 12 LXME:120 VAC	VALVE ID BOX
RAINBRD	MODEL 375 OR EQUAL	1-1/2" MANHOLE - SCHEDULE 40 PVC
RAINBRD	MODEL 44LRC	DRIP LATERAL LINE - POLY PIPE MAY BE USED
RAINBRD		TURF LATERAL LINE - CLASS 200 PVC, SIZED AS FOLLOWS
RAINBRD		3/4" (0-10 gpm), 1" (10-16 gpm), 1 1/4" (16-26 gpm),
RAINBRD		1 1/2" (26-35 gpm), 2" (35-95 gpm)
RAINBRD		INDOOR/OUTDOOR MOUNT BASE CONTROLLER.
RAINBRD		SLEEVING - SCHEDULE 40 PVC, 2 SIZES GREATER THAN INTERIOR PIPE
RAINBRD		SLEEVING USED WHENEVER IRRIGATION IS PLACED UNDER PAVED AREAS.
RAINBRD		GATE VALVE - SIZE PER PIPE - PLACE SLEEVE OVER VALVE
RAINBRD		BACKFLOW PREVENTION, SIZE AS PER CITY/COUNTY REGULATIONS.
RAINBRD		1" QUICK COUPLING VALVE
RAINBRD		IRRIGATION ZONES

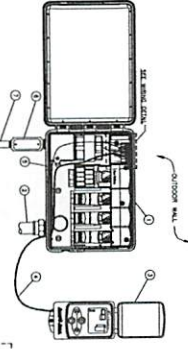


NOTE: USE EXISTING SPRINKLERS IN TURF AREA, IF POSSIBLE, OTHERWISE USE NEW DESIGN.
 NOTE: USE STRONG BOX SBBC 30 AL ALUMINUM BOX TO ENCLOSE BACKFLOW PREVENTER.
 NOTE: WATER UDOT SEED MIX BY HAND UNTIL ESTABLISHED.
 NOTE: USE WR2-RC WIRELESS RAIN/FREEZE SENSOR.



ESP-LXME CONTROLLER
IN PLASTIC CABINET
FOR OUTSIDE MOUNT

- 1. WATER UDOT
- 2. WIRELESS RAIN/FREEZE SENSOR
- 3. CONTROL BOX
- 4. HANDLE
- 5. WIRELESS ANTENNA
- 6. WIRELESS ANTENNA
- 7. WIRELESS ANTENNA
- 8. WIRELESS ANTENNA
- 9. WIRELESS ANTENNA
- 10. WIRELESS ANTENNA
- 11. WIRELESS ANTENNA
- 12. WIRELESS ANTENNA
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- 16. WIRELESS ANTENNA
- 17. WIRELESS ANTENNA
- 18. WIRELESS ANTENNA
- 19. WIRELESS ANTENNA
- 20. WIRELESS ANTENNA

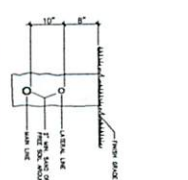


WIRELESS RAIN SENSOR-OUTDOOR
WR2 SERIES CONTROLLER INTERFACE

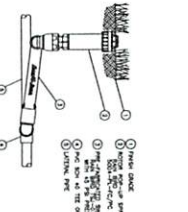
- 1. WIRELESS RAIN SENSOR-OUTDOOR
- 2. WIRELESS RAIN SENSOR-OUTDOOR
- 3. WIRELESS RAIN SENSOR-OUTDOOR
- 4. WIRELESS RAIN SENSOR-OUTDOOR
- 5. WIRELESS RAIN SENSOR-OUTDOOR
- 6. WIRELESS RAIN SENSOR-OUTDOOR
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- 9. WIRELESS RAIN SENSOR-OUTDOOR
- 10. WIRELESS RAIN SENSOR-OUTDOOR
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- 12. WIRELESS RAIN SENSOR-OUTDOOR
- 13. WIRELESS RAIN SENSOR-OUTDOOR
- 14. WIRELESS RAIN SENSOR-OUTDOOR
- 15. WIRELESS RAIN SENSOR-OUTDOOR
- 16. WIRELESS RAIN SENSOR-OUTDOOR
- 17. WIRELESS RAIN SENSOR-OUTDOOR
- 18. WIRELESS RAIN SENSOR-OUTDOOR
- 19. WIRELESS RAIN SENSOR-OUTDOOR
- 20. WIRELESS RAIN SENSOR-OUTDOOR

SPRINKLER NOTE

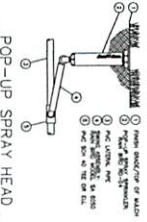
All Plant Material shown on the drawing shall be serviced by an Automatic Underground Irrigation System. The Contractor is to have a qualified Irrigation System Specialist design and submit drawings to the Engineer for approval at least 30 days prior to the system installation. Underground Irrigation System Drawings shall be prepared on 24"x36" sheet, neatly drawn and very legible. Drawings are to include head spacing, types of heads, piping with sizes, valves, fittings and all other items required for proper installation of the system. Sprinkler shall be responsible for the installation of all irrigation systems prior to placement of hard improvements. Coordinate with the General Contractor. The Landscape Contractor is to provide an Irrigation System connection (meter and backflow preventer assembly) to the watering, as applicable, within State and Local jurisdictional codes. The Irrigation Contractor is responsible to coordinate this item with the Utility Contractor. Control Box shall be located at the direction of the Project Manager.



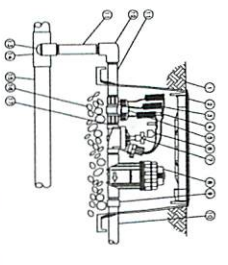
TRENCH SECTION



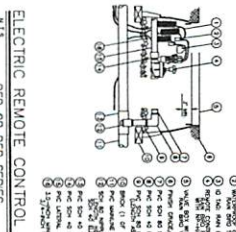
ROTOR POP-UP HEAD
5004 PLUS



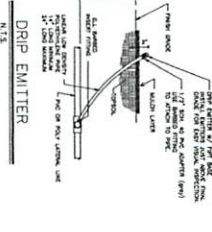
POP-UP SPRAY HEAD
RO-04 WITH SWING PIPE



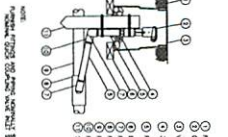
CONTROL ZONE KIT DRIP VALVE
XCZ-PRB100-COM



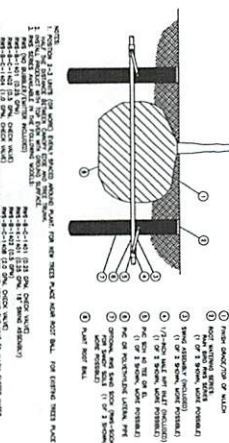
ELECTRIC REMOTE CONTROL
PEB OR PEB SERIES



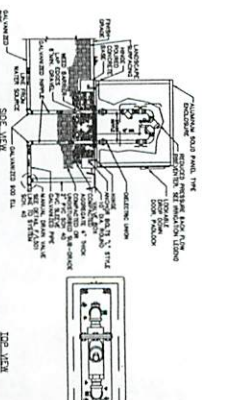
DRIP EMITTER



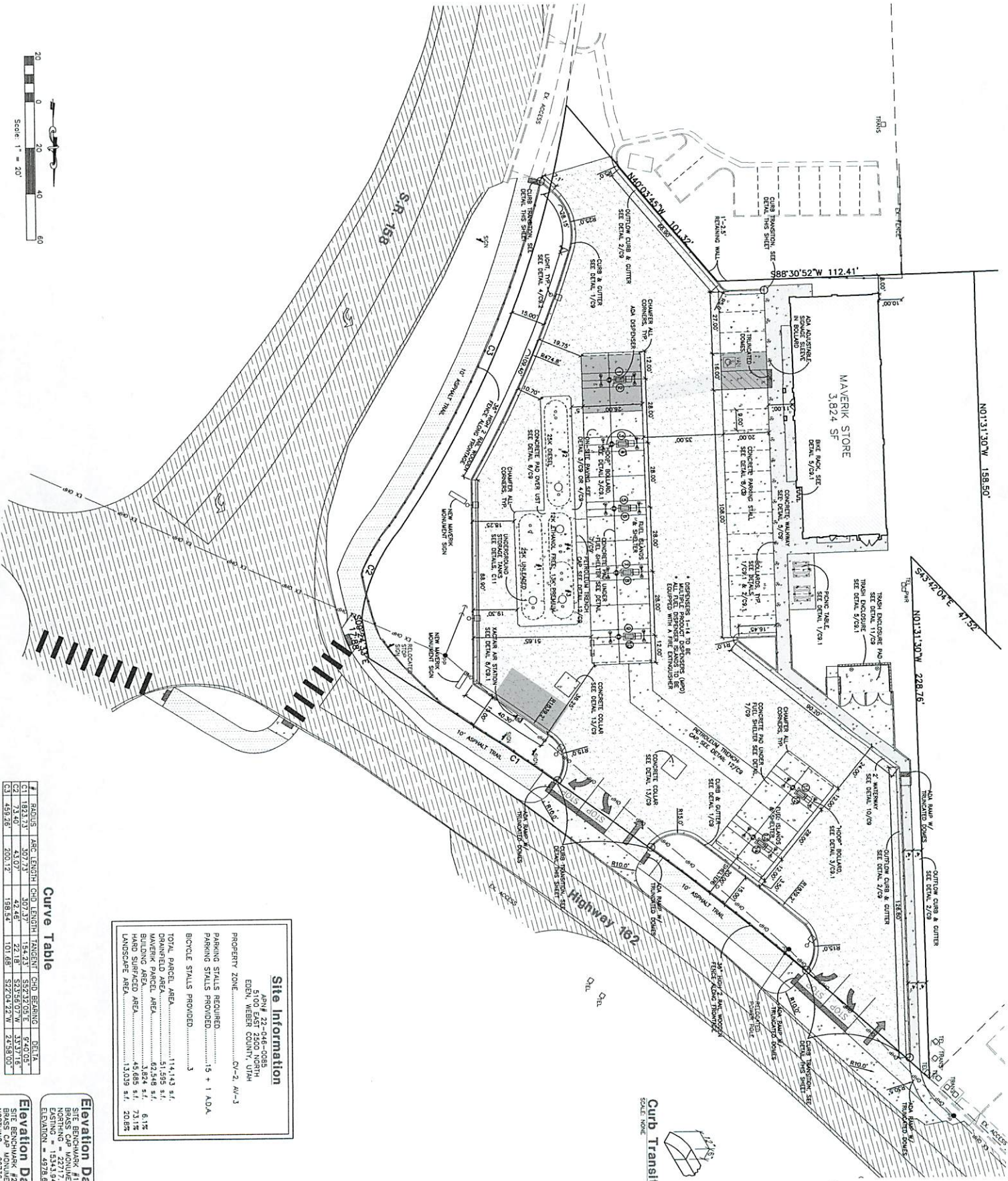
QUICK COUPLING
MODEL 44RC SF5



RWS ROOT WATERING SYSTEM
INSTALLATION FOR TREES



BACKFLOW PREVENTER WITH ALUMINUM ENCLOSURE



Curve Table

#	RADIUS	ARC LENGTH	CHD. LENGTH	TANGENT	CHD. BEARING	DELTA
C1	183.73'	307.73'	307.37'	154.23'	S52°32'03"E	9°40'05"
C2	73.40'	43.07'	42.48'	22.18'	S23°55'07"W	5°37'15"
C3	459.28'	200.17'	198.54'	101.08'	S22°04'23"W	4°59'50"

Site Information
 PLAN # 23-046-008
 5100 EAST 2500 NORTH
 EDEN, WEBER COUNTY, UTAH
 PROPERTY ZONE: CV-2, M-3
 PARKING STALLS REQUIRED: 15 + 1 A.D.A.
 BICYCLE STALLS PROVIDED: 3

Site Area
 TOTAL PARCEL AREA: 114,143 S.F.
 DRAINFIELD AREA: 51,595 S.F.
 MAVERICK PARCEL AREA: 62,549 S.F.
 BUILDING AREA: 3,824 S.F.
 HARD SURFACED AREA: 13,039 S.F.
 LANDSCAPE AND: 20,857

Elevation Datum
 SITE BENCHMARK #1:
 BRASS CAP MONUMENT
 EASTING = 453439.0
 NORTHING = 4978.61'
 ELEVATION = 4978.61'

Elevation Datum
 SITE BENCHMARK #2:
 BRASS CAP MONUMENT
 EASTING = 453439.0
 NORTHING = 4978.61'
 ELEVATION = 4978.61'

Curb Transition
 SCALE: NONE

- NOTES**
- 1) ALL FIELD DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
 - 2) ALL FIELD DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
 - 3) ALL FIELD DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.



Sign Package for Maverik Eden, UT

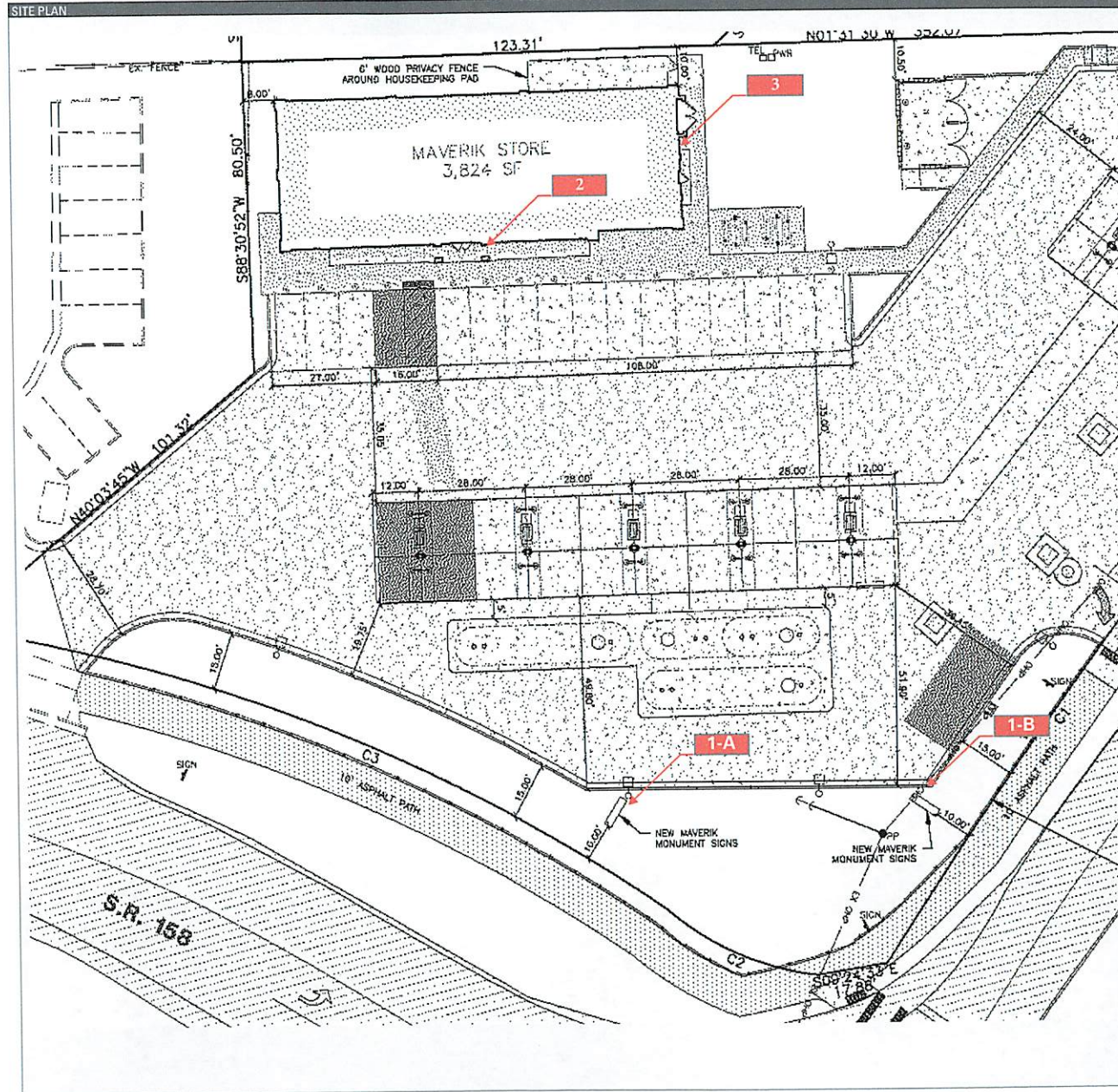
Presented By



Salt Lake Region

Salt Lake Office
1605 South Gramercy Road
Salt Lake City, UT 84104
801-487-8481

Version:
DSGN #15466 R0 6-5-2018



Cabinet sizes & widths & retainer sizes to be verified from SKYLINE to match.
All remainder of sign to match.



1.1 SIDE VIEW

1 D/F NON-ILLUMINATED MONUMENT SIGN
SCALE: 3/8" = 1'-0"

Internally illuminated extruded aluminum cabinets painted black. 1 5/8" retainers: 1 1/2" metal divider bars.
White polycarbonate faces w/ 1st surface vinyl.
Bonfire: digitally printed graphics (color corrected). NO illumination.

SKYLINE scroll price changer cabinet with products to be white faces w/ 1st surface vinyl (see color key). NO illumination.

Steel structure with cement board, 3" cement mow pad, and painted aluminum cap (match building). Contractor to do brickwork.

SCOPE OF WORK:
MANUFACTURE & INSTALL 1x10' D/F MONUMENT SIGNS.
SPOT ILLUMINATE WITH LEDS IN CHANN W/ 1" SQ. TUBE (OR AS REQ.) PAINTED LIC SPECS AS PER ESTIMATING & ENGINEER
PERMITTING: SIGN AREA: 60 SF

FINAL ELECTRICAL YES/CO
CONNECTION BY:

COLOR KEY

- PAINT PMS #348 VINYL 3M 3630-26 GREEN
- PAINT DUPONT# K 9441 VINYL 3M 3630-147 LT EUROPE
- PAINT PMS #186 VINYL 3M 3630-33 RED
- PAINT PMS STANDARD BLACK VINYL 3M 3630-22
- PAINT PMS 427C LIGHT GREY VINYL AVERY LC 900-811-T VINYL
- PAINT PMS COOL GRAY 7C VINYL
- PAINT SHERWIN WILLIAMS# 71 VINYL

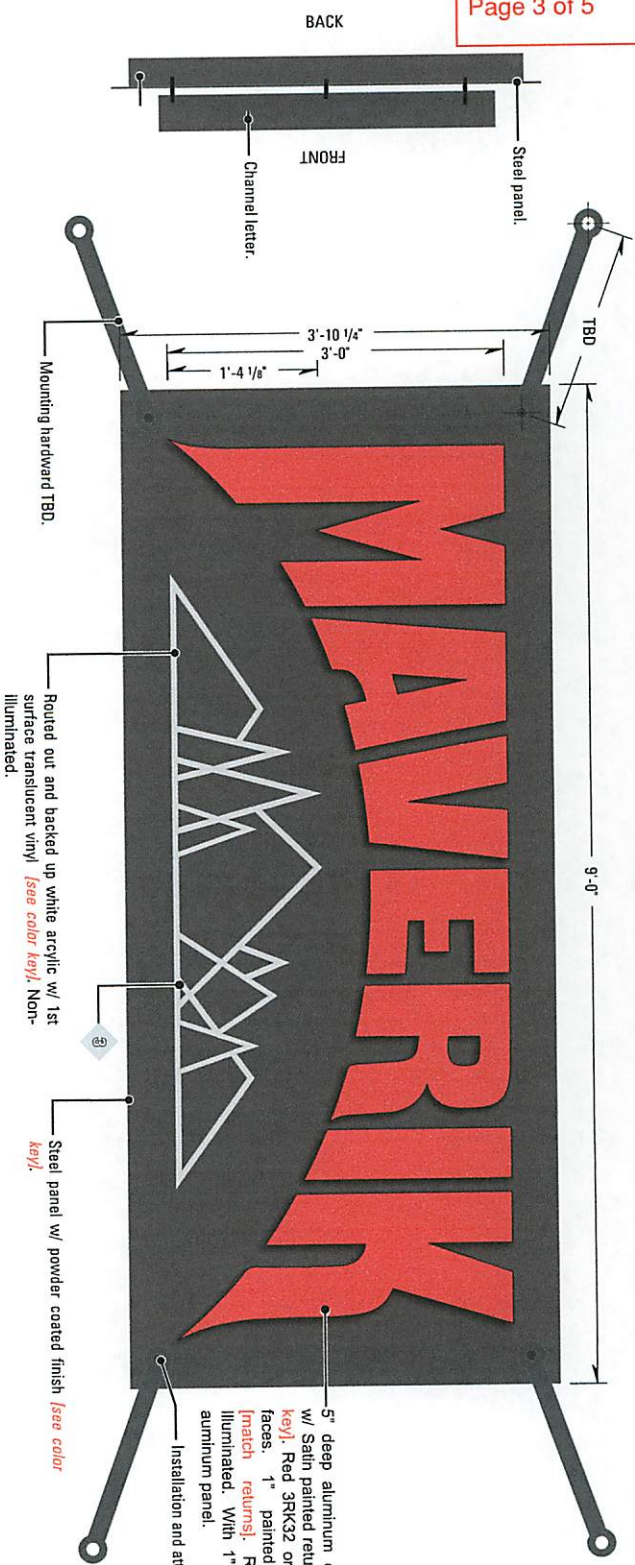
NOTE: UNLESS OTHERWISE NOTED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE MATERIALS AND FINISHES SPECIFIED ARE AVAILABLE AND MEET THE REQUIREMENTS OF THE PROJECT. APPROVED COLOR SPECIFICATIONS

Monument lighting shall be downward directed from the top of the sign to illuminate only the sign area, as defined in section 101-1-7, excluding:

Exterior lighting of sign shall not exceed a ratio of 75 lumens per square foot of artificial light, as defined in section 101-1-7, shall not be projected area or beyond the sign area, including by means of diffusion or refractive translucent or transparent surface. It shall be shielded so as not to project on other surface.

REVERSE VIEW - PROVIDED AFTER SKYLINE VERIFICATION

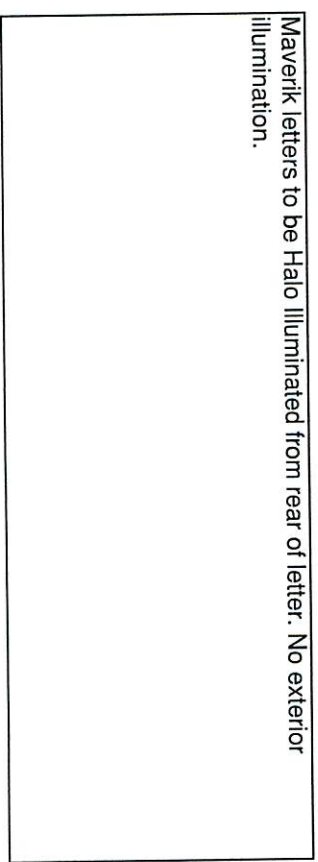




2.1 SIDE VIEW

2 CUSTOM HANGING CABINET
SCALE: 3/4" = 1'-0"
QTY: 1
ELEVATION: FRONT

Maverik letters to be Halo Illuminated from rear of letter. No exterior illumination.



SCOPE OF WORK
MANUFACTURE & PROVIDE **ONE (1)** HA CHANNEL LETTERS YESCO TO SHIP SIGN TO FRY-MOSS IN WILL ATTACH THE SIGN CABINET TO THE

PERMITTING SIGN AREA: 34.711H²

FINAL ELECTRICAL NOT INCLUDED

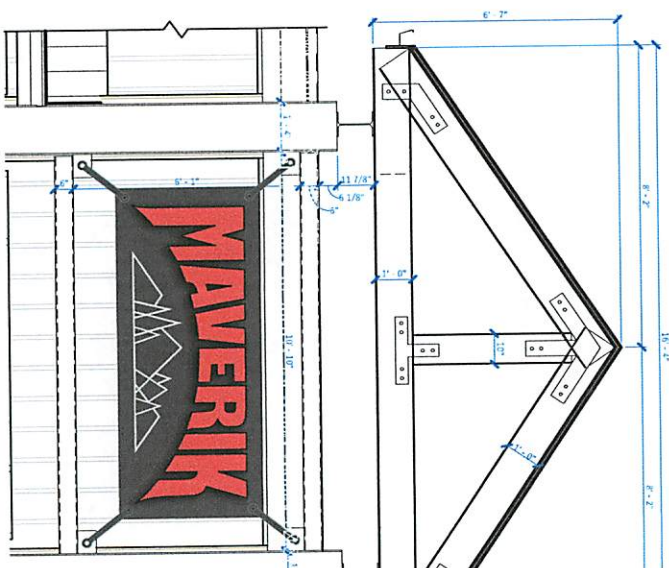
CONNECTION BY:

COLOR KEY - MAVERIK STANDARDS

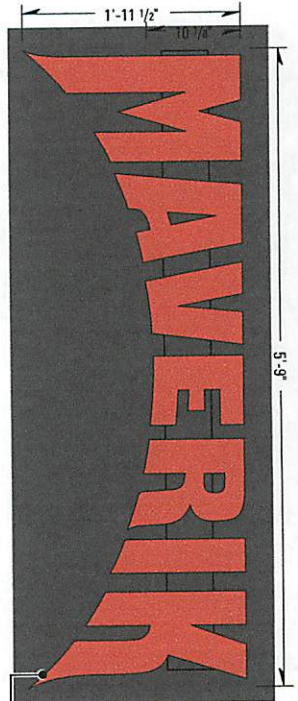
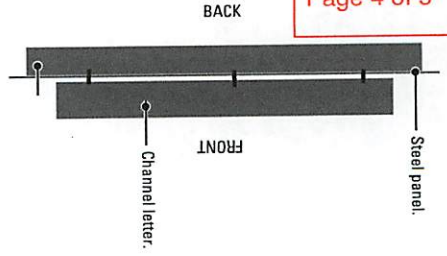
1	PAIN	SHERWIN WILLIAMS# 702
2	VINYL	3M 3530-33 "RED"
3	VINYL	AVENY UC 900-81-1 "PAN

NOTE: FIELD SURVEY REQUIRED PRIOR

NOTE: UNLESS OTHERWISE NOTED, THE COLORS SHIP AND THEIR APPROPRIATE VENDOR SPECIFICATIONS



2.2 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



5" deep aluminum channel letter w/ Satin painted returns (see color key). Red 3RK32 or 2283 acrylic faces. 1" painted trim cap (match returns). Reverse Halo Illuminated. With 1" standoff from aluminum panel.

3.1 SIDE VIEW

3 CHANNEL LETTERS ON PANEL
QTY: 1
SCALE: 3/4" = 1'-0"
ELEVATION: SIDE

Maverik letters to be Halo Illuminated from rear of letter. No exterior illumination.

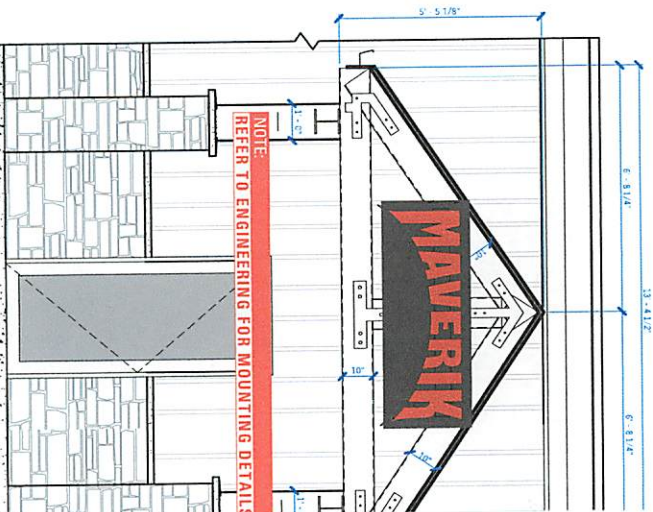


SCOPE OF WORK
MANUFACTURE & PROVIDE **ONE (1)** MOUNTED TO FACEWAY. YESCO TO SHIP SIGN TO FREY-MOSS IN WILL ATTACH THE SIGN CABINET TO THE PERMITTING SIGN AREA: 11.2594'

1	COLOR KEY - MAVERIK STANDARDS
2	PAINT SHERWIN WILLIAMS # 702
3	VINYL 3M 3590-33 "RED"
4	PAINT SHERWIN WILLIAMS # 704
5	VINYL AVERY UC 900-811-T "PANT"

NOTE: UNLESS OTHERWISE NOTED, THE COLORS, SPECIFICATIONS AND THEIR APPROPRIATE VECTOR SPECIFICATIONS WILL BE AS SHOWN ON THE VECTOR SPECIFICATIONS SHEET.

NOTE:
FIELD SURVEY REQUIRED PRIOR



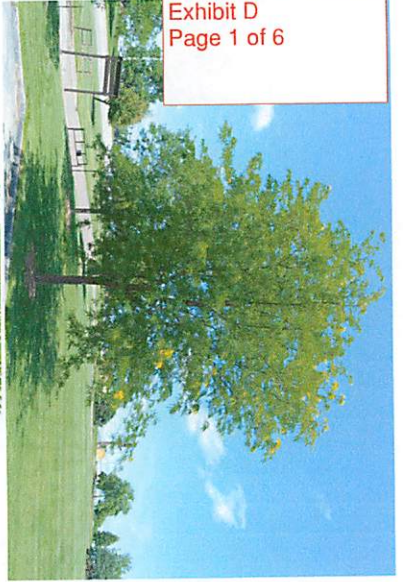
3.2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1
PART 10
PERSPECTIVE



2
PART 10
FRONT ELEVATION
1/4" = 1'-0"



Gleditsia tria. iner. 'Imperial'
Imperial Honeylocust



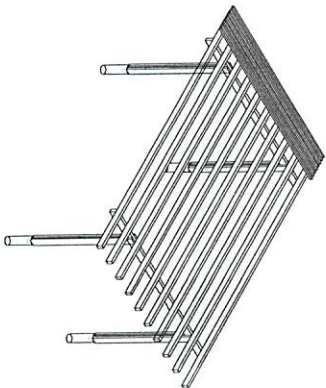
Picea pungens
Colorado Blue Spruce



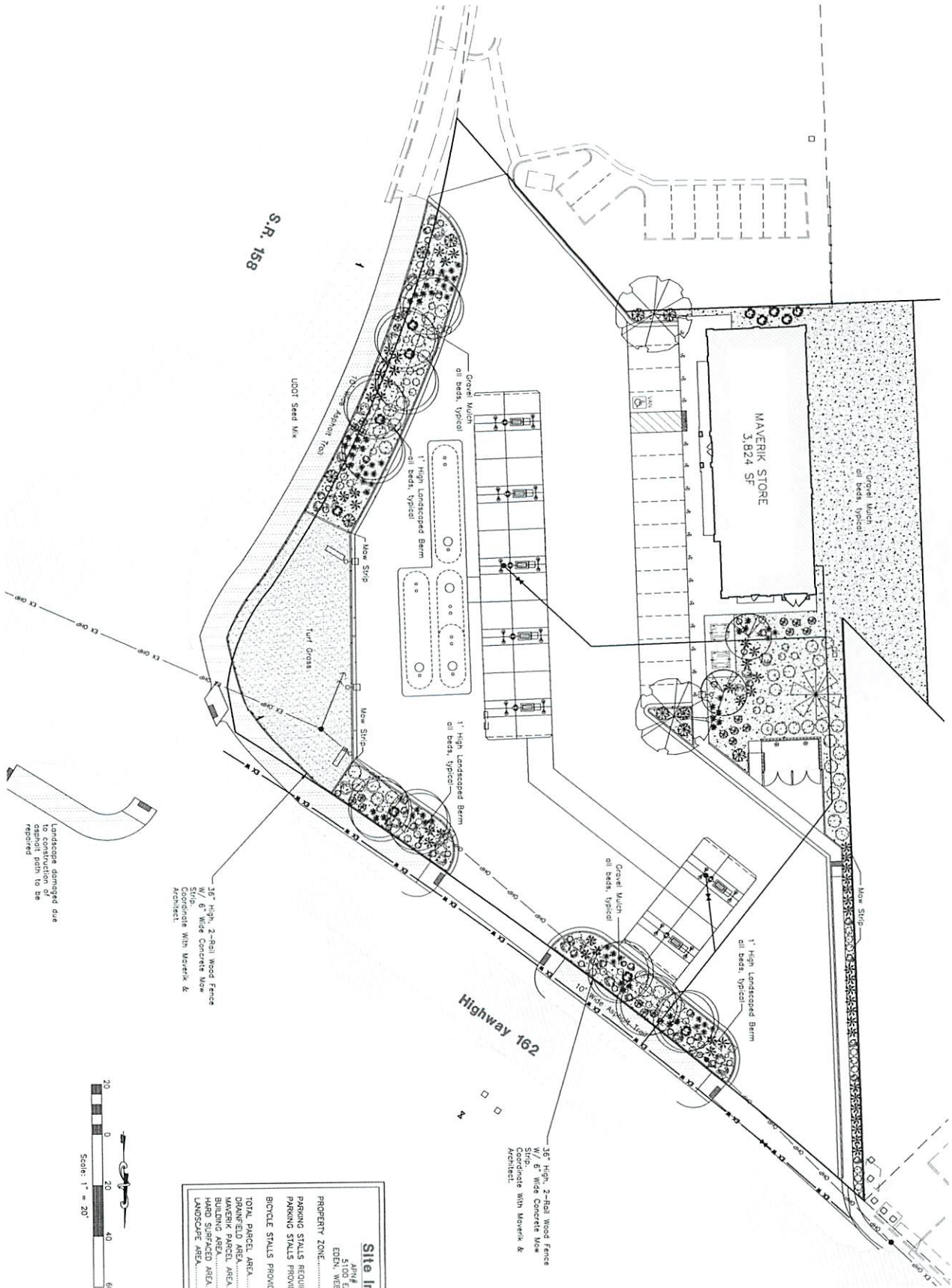
Syringa reticulata 'Ivory Silk'
Ivory Silk Tree Lilac



Prunus podus
Moyday Tree



Picnic Trellis



Site In	
AREA #	2
SITE #	100
EDITION	1
DATE	10/11/11
PROPERTY ZONE	RESIDENTIAL
PARKING STALLS REQUIRED	10
PARKING STALLS PROVIDED	10
BICYCLE STALLS PROVIDED	0
TOTAL PARCEL AREA	10,000
DEVELOPABLE AREA	10,000
MAVERIK PARCEL AREA	3,824
BUILDING AREA	3,824
HARD SURFACED AREA	10,000
LANDSCAPE AREA	10,000

Landscape damaged due to construction of site. To be replaced with 16' High, 2-Rail Wood Fence with 6' Wide Concrete Mow Strip. Coordinate with Maverik & Architect.



SEED, TURF SEED, AND TURF SOD

PART 1 GENERAL

- 1.1 SECTION INCLUDES
 - A. Seed, turf seed, and turf sod requirements and application.
- 1.2 SURFACE PREPARATION

PART 2 RELATED SECTIONS

- 1.3 SECTIONS TO WHICH THIS SECTION RELATES
- 1.4 UTAH SEED LAW

PART 3 SUBMITTALS

- A. Copy of the purchase order to the Engineer documenting that all seeds, including substitutions, have been acquired before the seeding window begins.
- B. List the common and botanical name for each seed species on the purchase order.
- C. Certification that turf seed is nursery grown and contains a minimum of three varieties of Kentucky Blue Grass.
- D. Certification indicating the date and time seed was cut at the nursery.
- E. Fertilizer labels to Engineer.
- F. Legible copy of Seed Certification Reports to Region Landscape Architect through the Engineer.

Seed, Turf Seed, And Turf Sod
02222 - Page 4 of 7

January 1, 2012

SEED CERTIFICATION - include the following on seed certification reports and labels:

- 1. Botanical name (include variety if applicable)
- 2. Name of seed testing laboratory
- 3. Lot number and address of the seed company
- 4. Lot number and address of the seed company
- 5. Other crop seed (genus)
- 6. Plant matter (percent)
- 7. Pure live seed (percent)
- 8. Date tested (month and year)
- 9. Germination (percent)
- 10. Data tested (month and year)
- 11. Net weight (do not include container weight)
- 12. Net weight (do not include container weight)
- 13. Net weight (do not include container weight)
- 14. Purity (do not include container weight)

1.8 DELIVERY, STORAGE, AND HANDLING

- A. Marking Seed
 - 1. Notify Engineer seven calendar days before making seed.
 - 2. Repackage the seed lot from which the seed is furnished.
 - 3. Mark the different seed varieties to provide for identification.
 - 4. Bag the marked seed, use the container, and attach a signed inspection label to the container.
- B. Deliver seed or turf seed to job site in original container showing analysis.
- C. Deliver seed or turf seed to job site no more than 24 hours before sowing.
- D. Deliver fertilizer in containers showing weight, chemical analysis, and name of manufacturer. Store fertilizer in a well-ventilated location. Damaged packages are not acceptable.

Seed, Turf Seed, And Turf Sod
02222 - Page 2 of 7

January 1, 2012

SEEDING WINDOW

- 1. Propose seeding until the following year if the seeding is not complete when due to the seeding window may be extended from the Region Landscape Architect through the Engineer if suitable weather and soil conditions exist.
- 2. Seeding Window
 - October 1 - December 31
 - January 1 - September 1
 - September 1 - November 15
- 3. Turf seed and turf sod can be placed only after irrigation system is installed and operational.
- 4. Turf sod must be placed only after irrigation system is installed and operational.
- 5. Fertilizer must be placed only after irrigation system is installed and operational.

PART 2 PRODUCTS

- A. Meet the Utah Seed Law - Utah Code - Title 4, Chapter 16.
- B. Supply seed on a pure live seed (PLS) basis.
- C. Obtain seed from lot that has been tested by a state certified seed testing laboratory such as Association of Seed Analysts (ASA) or Society of Commercial Seed Technicians (SCSTT).
- D. Based on the amount or type of seed required on a project, the Engineer may require additional testing by the Department of Agriculture.
- E. Do not use wet, moldy, or otherwise damaged seed.
- F. Seed Stabilizers
 - 1. Contact the supplier requesting a seed stabilizer.
 - 2. The Engineer must approve the seed stabilizer.

Seed, Turf Seed, And Turf Sod
02222 - Page 3 of 7

January 1, 2012

ENGINEER WILL CONTACT THE REGION LANDSCAPE ARCHITECT TO OBTAIN SEED SPECIFICATIONS AND TO RECEIVE SEEDS ORIGINALLY SPECIFIED SEED WILL BE REPLACED BY SEEDS OF AN EQUIVALENT SPECIFICATION.

- 2. Healthy and well-rooted turf sod grown for a minimum of three months in a nursery.
- 3. Machines cut in straight, uniform strips or 10 inch mat blocks.
- 4. Turf seed or turf sod - Elements in proportion and potassium are equivalent to the amount of nitrogen and phosphorus in the seed.
- 5. Apply chemical fertilizer with a complete fertilizing method is in accordance with the manufacturer's instructions.

PART 3 EXECUTION

- A. Prepare all final grading, irrigation work, placement, and surface preparation before seeding.
- B. Prepare final seedbed for all seeds to be placed on the seedbed in accordance with Section 02017 and approved by the Engineer.
- C. Do not topsoil or seed when the soil is wet.
- D. Prepare Turf Seedbed
 - 1. Review criteria grades to confirm that the turf sod will be placed on a firm, well-drained surface.
 - 2. Apply 2 inches of topsoil.
 - 3. Do not apply fertilizer and does not in accordance with the manufacturer's instructions.

Seed, Turf Seed, And Turf Sod
02222 - Page 4 of 7

January 1, 2012

3.2 SEEDING - GENERAL

- A. Notify the Engineer seven working days before seeding.
- B. Apply seeds at the rate indicated in the Seed Schedule from the purchase order. The seed rate shall be applied to the seed bed.

3.3 DRILL SEEDING METHOD

- A. Use the drill method of seeding or excessive slopes 3:1 and flatter.
- B. Use a drill equipped with the following:
 - 1. Seed box agitator
 - 2. Seed metering device
 - 3. Packer wheels or drag chains
- C. Use the drill manufacturer's directions in the presence of the Engineer. Calibrate the drill to apply seed at the rate indicated in the seeding schedule.
- D. Space drill rows a minimum of 6 inches and a maximum of 16 inches.
- E. Fill the seed boxes to more than half full when drilling on a slope.
- F. Set depth bands to drill seeds to a 14 inch depth.
- G. Drive along the contour.
- H. Maintain the drill at the established setting throughout the seeding operation.
- I. Allow the furrows that are created by the drill to remain.

Seed, Turf Seed, And Turf Sod
02222 - Page 5 of 7

January 1, 2012

3.4 BROADCAST SEEDING METHOD

- A. Use the broadcast method of seeding under the following conditions:
 - 1. Slopes 3:1 and flatter where the area to be seeded is inaccessible to drill.
 - 2. The area to be seeded is not large enough to justify using a drill.
 - 3. Freely eroded slopes with a steep slope.
- B. Obtain approval of the broadcast method by demonstrating the procedure on a 100' by 100' area.
- C. Empty broadcast seeder or other approved mechanical seeder:
 - 1. Apply seed, water, and 300 lb of calcium fiber mulch (minimum 50 lbs per acre).
- D. Do not seed during windy weather or when soils are saturated.
- E. Incorporate the seed into the soil by one of the methods:
 - 1. Cultivation by turning the soil up and down the slope creating confusion seed beds that run parallel with the contour.
 - 2. Hand raking the seed in 1/2 inch deep and along the contour of the slope resulting by pulling the chains along the contour until the seed is covered.
- F. Obtain written approval from the Engineer that the seed has been adequately incorporated into the soil before applying wood fiber mulch. Obtain written approval from the Engineer that the seed has been adequately incorporated into the soil before applying wood fiber mulch. Obtain written approval from the Engineer that the seed has been adequately incorporated into the soil before applying wood fiber mulch.

3.5 TURF SEEDING

- A. Apply turf seed after the seedbed preparation. Refer to the Section and/or Specification for details.
- B. Roll seeded areas using a hand roller that filled with water.
- C. Lightly water and program the irrigation system to maintain a moist seedbed.
- D. Reap or mow newly seeded areas using walking mowers before reseed areas.

Seed, Turf Seed, And Turf Sod
02222 - Page 6 of 7

January 1, 2012

3.2 TURF SOD PLACEMENT

- A. Timing
 - 1. Refer to the Section and/or Specification 3.2.
- B. Preparing sod bed and place sod with all edges and joints tightly sealed.
 - 1. Do not stretch or overlap sod.
 - 2. Keep joints seams in a straight line.
- C. Lay turf sod with staggered joints and trim off excess material along the edges.
- D. Roll sod immediately after placing using a hand roller that filled with water.
 - 1. Re-roll if desiccates still remain.
 - 2. Thoroughly water new sod and roll immediately Section 02017 through the roll.

END OF SECTION

3.2 TURF SOD PLACEMENT

- A. Turf sod shall be placed on a firm, well-drained surface.
- B. Turf sod shall be placed on a firm, well-drained surface.
- C. Turf sod shall be placed on a firm, well-drained surface.
- D. Turf sod shall be placed on a firm, well-drained surface.

Seed, Turf Seed, And Turf Sod
02222 - Page 7 of 7

January 1, 2012

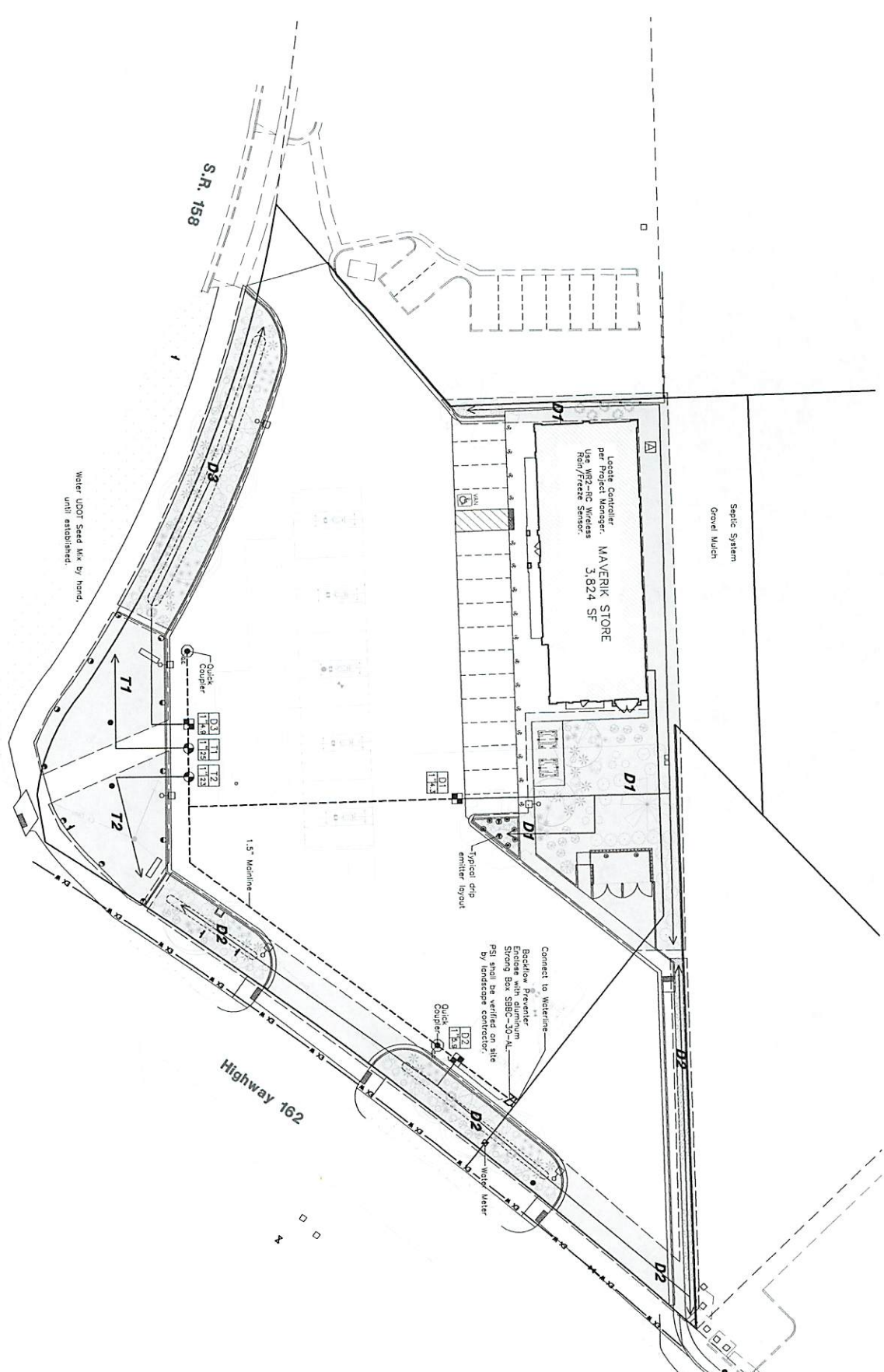
The following is from a letter issued by the Oregon State Department of Agriculture regarding the use of the turf sod seedbed preparation method. It is intended to be used as a reference on how to do so.

3.2 TURF SOD PLACEMENT

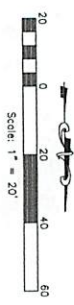
1. Prepare a firm, well-drained surface for the turf sod. The surface should be free of rocks, roots, and other debris. The surface should be level and free of any obstructions. The surface should be prepared in accordance with the specifications for the turf sod.

2. Lay the turf sod on the prepared surface. The turf sod should be laid in a staggered pattern. The joints between the turf sod should be sealed with a turf sod sealer. The turf sod should be watered immediately after placement. The turf sod should be mowed after it has established.

3. The turf sod should be watered immediately after placement. The turf sod should be mowed after it has established.



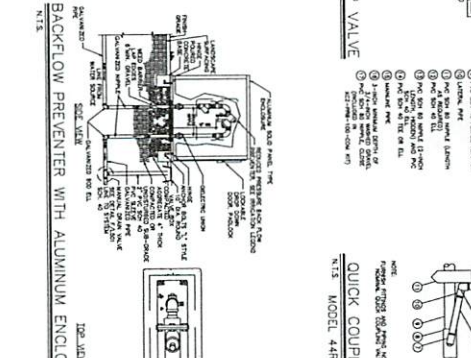
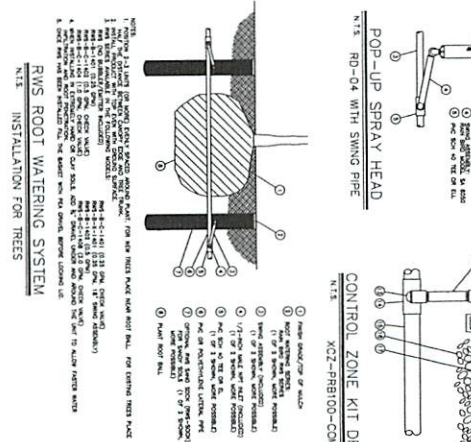
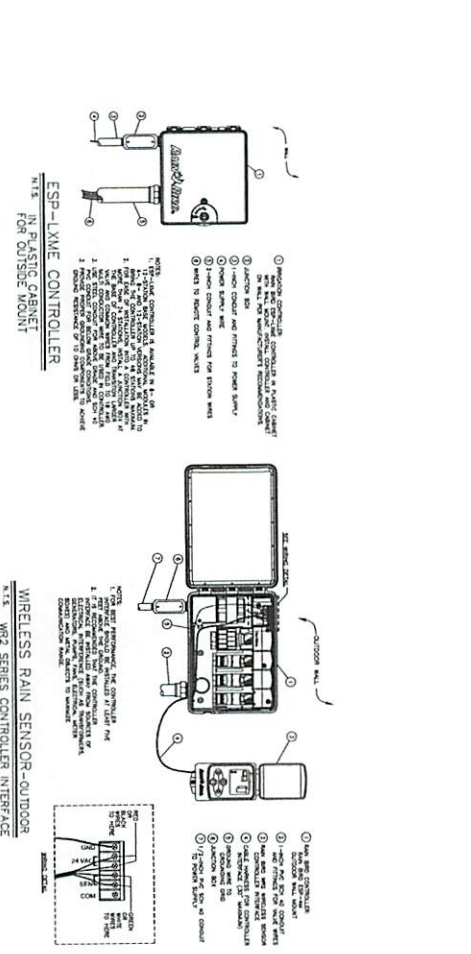
Water UDOT Seed Mix by hand, until established.



Irrigation Schedule

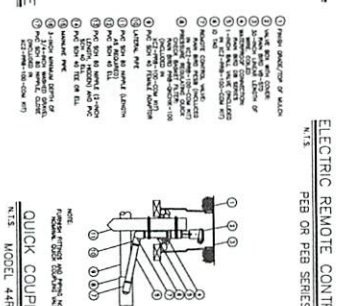
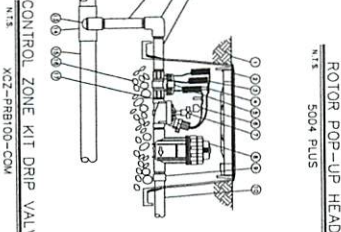
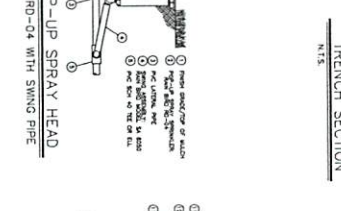
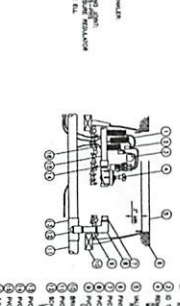
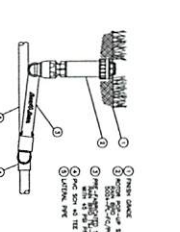
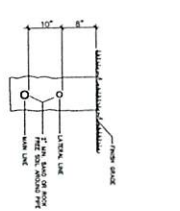
SYMBOL	MANUFACTURER	CATALOG NUMBER	DESCRIPTION
●●●●	RAINBIRD	5004-PI-SM-4PR-25	BODY AND RAIN CURTAIN ROTOR NOZZLE UNIT, 25" RAINBIRD
Ⓐ	RAINBIRD	USE EXISTING SPRINKLERS IN TURF AREA, IF POSSIBLE.	
Ⓢ	RAINBIRD	RWS-B-C-1401	ROOT WATERING SERIES, 0.25 GPM, 2 EMITTERS/TREE
Ⓧ	RAINBIRD	XB-T-20-PC	XERILING THREADED DRIP EMITTERS, 2 GAL/HOUR
Ⓜ	RAINBIRD	KCZ-100-PRB-COM	1 EMITTER/1 GAL PLANT, 2 EMITTERS/5 GAL PLANT.
Ⓜ	RAINBIRD	PEB SERIES	COMMERCIAL CONTROL ZONE KIT DRIP VALVE
Ⓜ	RAINBIRD	VALVE NO. & CONTROLLER	PRESSURE REGULATING PLASTIC VALVE
→			VALVE ID BOX
1-1/2"			1-1/2" MANLINE - SCHEDULE 40 PVC
→			DRIP LATERAL LINE - POLY PIPE MAY BE USED
→			TURF LATERAL LINE - CLASS 200 PVC, SIZED AS FOLLOWS
→			3/4" (0-10 gpm), 1" (10-16 gpm), 1 1/4" (16-26 gpm),
→			1 1/2" (26-35 gpm), 2" (35-55 gpm)
→			INDOOR/OUTDOOR MOUNT BASE CONTROLLER.
→			SLEEVING - SCHEDULE 40 PVC, 2 SIZES GREATER THAN INTERIOR PIPE
→			SLEEVING USED WHENEVER IRRIGATION IS PLACED UNDER PAVED AREAS.
→			GATE VALVE - SIZE PER PIPE - PLACE SLEEVE OVER VALVE
→			BACKFLOW PREVENTION, SIZE AS PER CITY/COUNTY REGULATIONS.
→			1" QUICK COUPLING VALVE
→			IRRIGATION ZONES

NOTE: USE EXISTING SPRINKLERS IN TURF AREA, IF POSSIBLE. OTHERWISE USE NEW DESIGN.
 NOTE: USE STRONG BOX SBBC 30 AL ALUMINUM BOX TO ENCLOSE BACKFLOW PREVENTER.
 NOTE: WATER UDOT SEED MIX BY HAND UNTIL ESTABLISHED.
 NOTE: USE WR2-RC WIRELESS RAIN/FREEZE SENSOR.



SPRINKLER NOTE

All Plant Material shown on the drawing shall be serviced by an Automatic Underground Irrigation System. The Contractor is to have a qualified Irrigation System Specialist prepare and submit drawings to the Engineer for approval at least 30 days prior to the system installation. Underground Irrigation System Drawings shall be prepared on 24"x36" sheet, neatly drawn and very legible. Drawings are to include head spacing, types of heads, piping with sizes, valves, fittings and all other items required for proper installation of the system. The Landscape Contractor shall be responsible for the installation of the system. The Contractor shall coordinate with the General Contractor. The Landscape Contractor is to provide an Irrigation System connection (meter and backflow preventer assembly) to the waterline, as applicable, within State and Local jurisdiction codes. The Irrigation Contractor is responsible to coordinate this item with the Utility Contractor. The Irrigation Control Box shall be located at the direction of the Project Manager.



MAVERIK

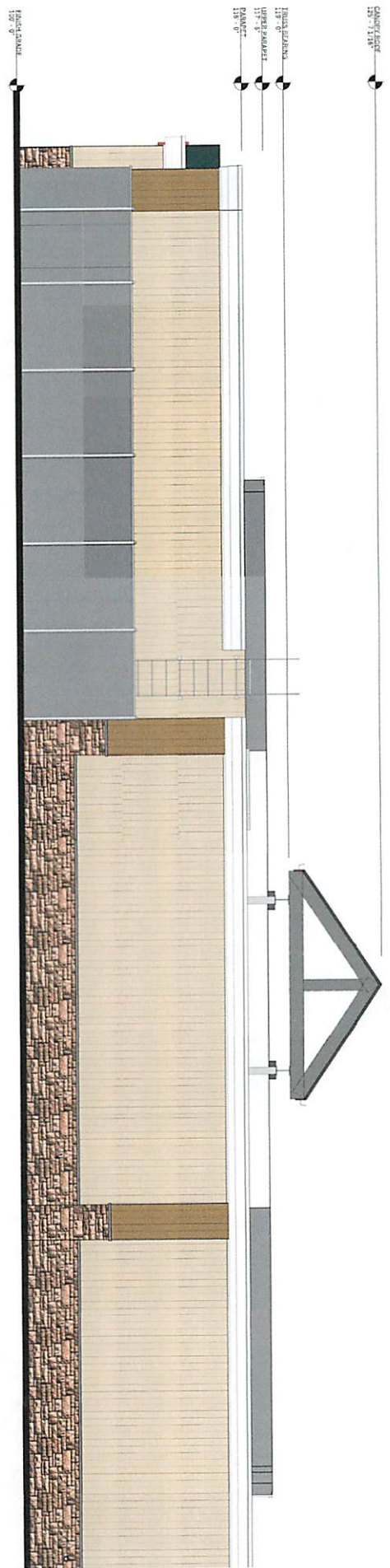
5100 EAST 2500



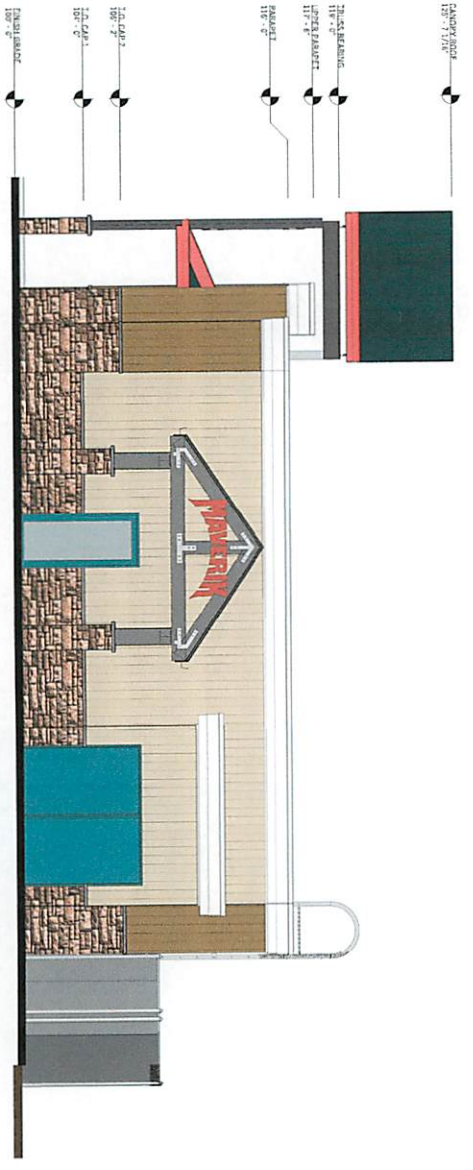
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P.R.I.0
PERSPECTIVE



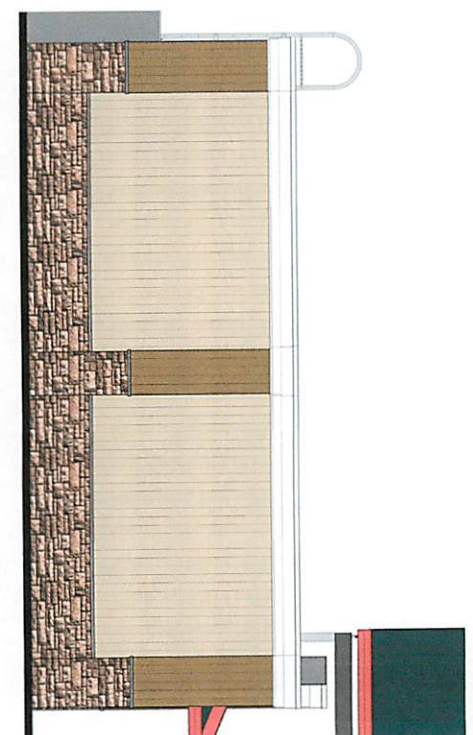
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P.R.I.0
FRONT ELEVATION
1/4" = 1'-0"



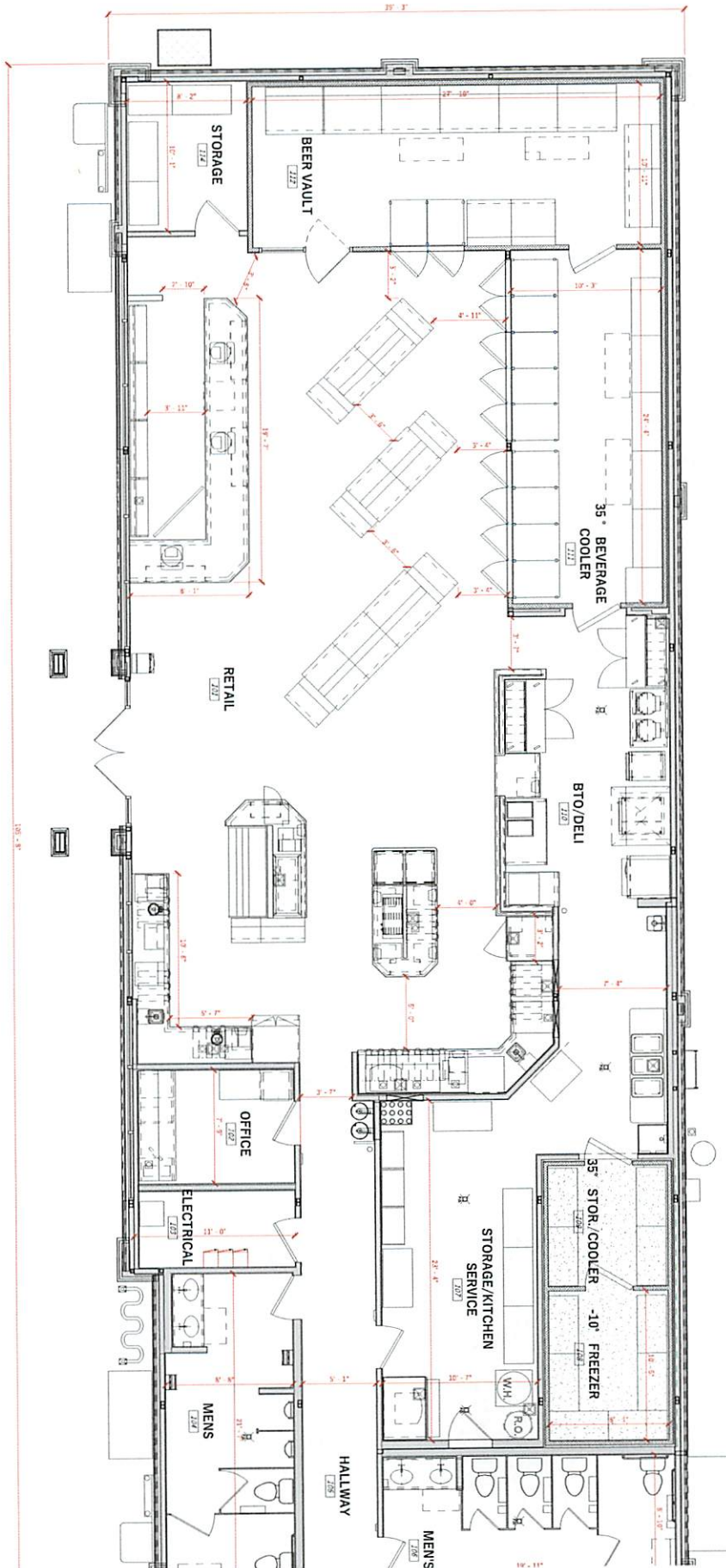
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PR1.1
RENDERED REAR ELEVATION
1/4" = 1'-0"



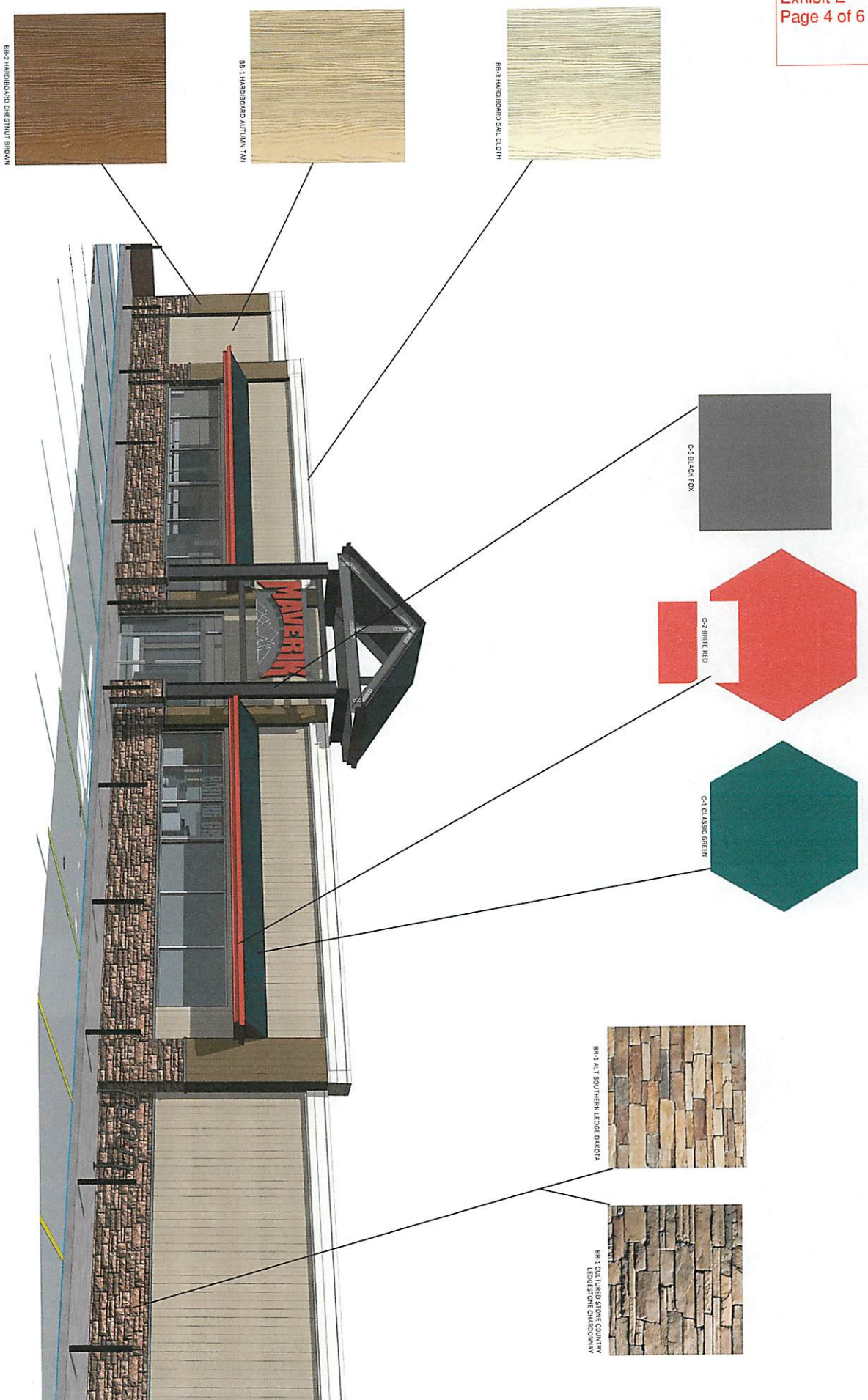
2
PR1.1
RENDERED LEFT SIDE ELEVATION
1/4" = 1'-0"



3
PR1.1
RENDERED RIGHT SIDE ELEVATION
1/4" = 1'-0"



1
PRL
STORAGE OPTION
1/4" = 1'-0"



BR-2 HANDPAINTED CHESTNUT BROWN

BS-1 HANDPAINTED AUSTRIAN TAN

BS-3 HANDPAINTED SUE CLOTH

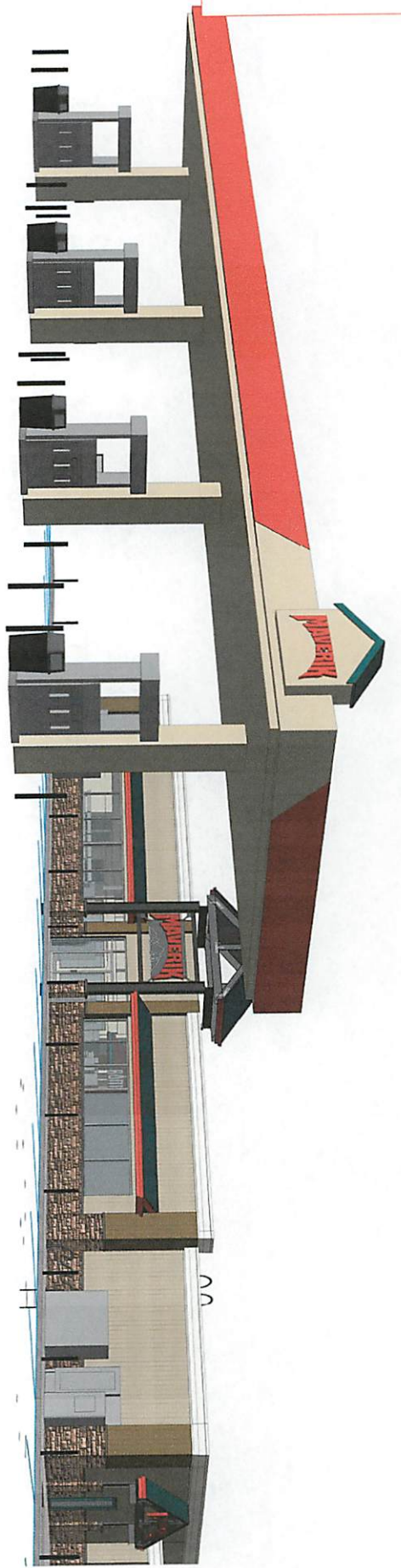
C-5 BLACK FOX

C-2 BRITN RED

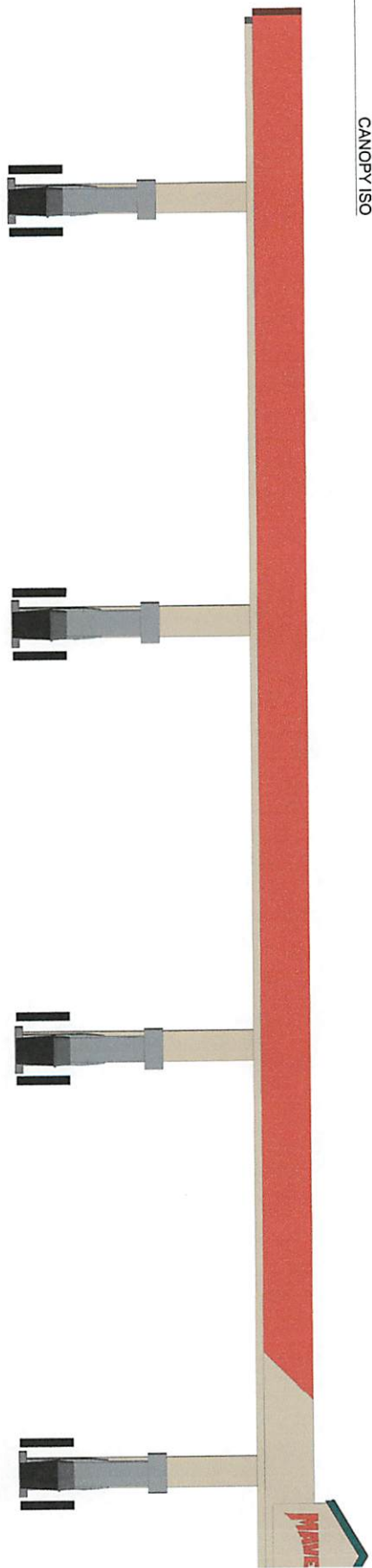
C-1 CLASSIC GREEN

BR-1 ALL SOUTHERN LEDGE DAKOTA

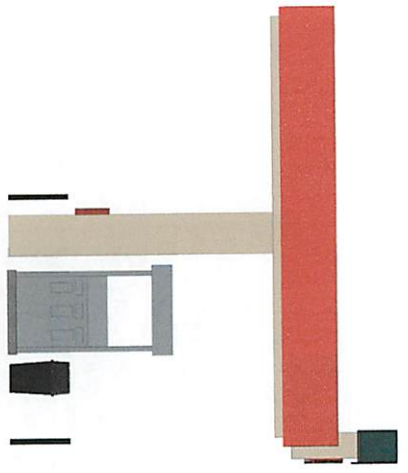
BR-1 CULTURED STONE COUNTRY LEADER ONE DUNCANVILLE



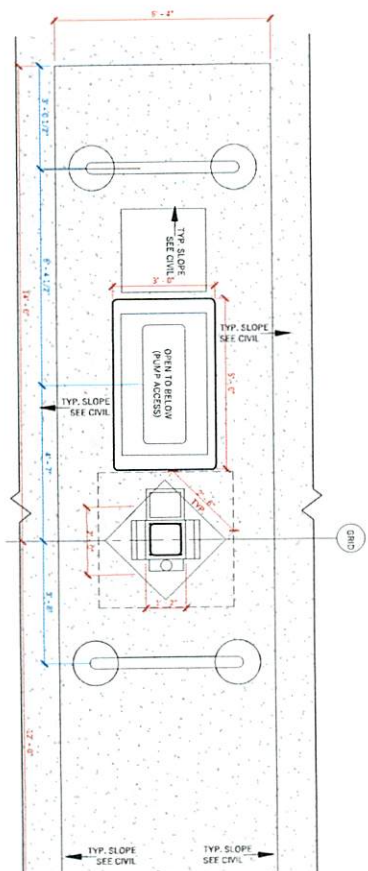
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PRT 1.6
CANOPY ISO



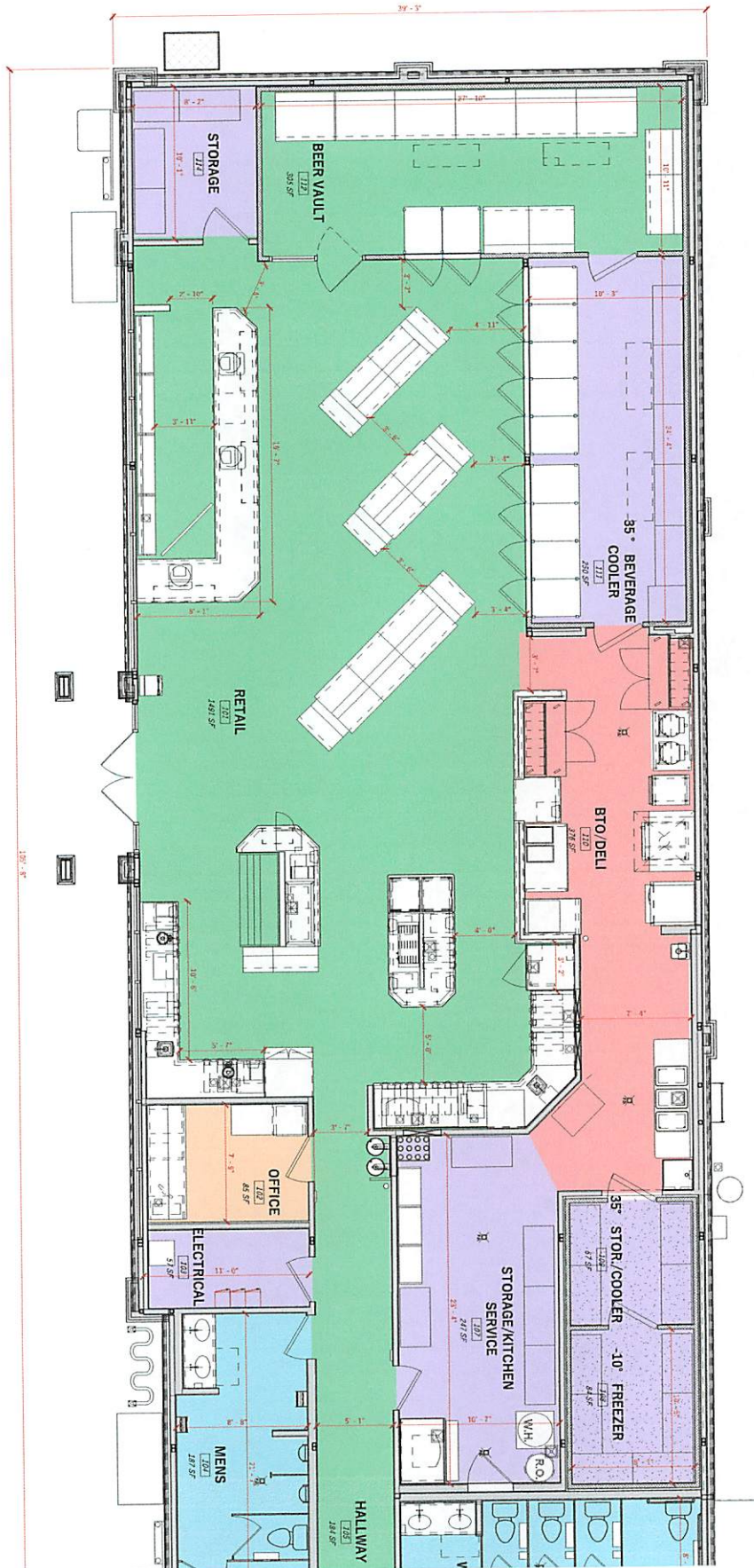
2
PRT 1.6
FUEL CANOPY ELEVATION
1/4" = 1'-0"



3
WWW.MAVARIK.COM
FUEL CANOPY SIDE
1/4" = 1'-0"



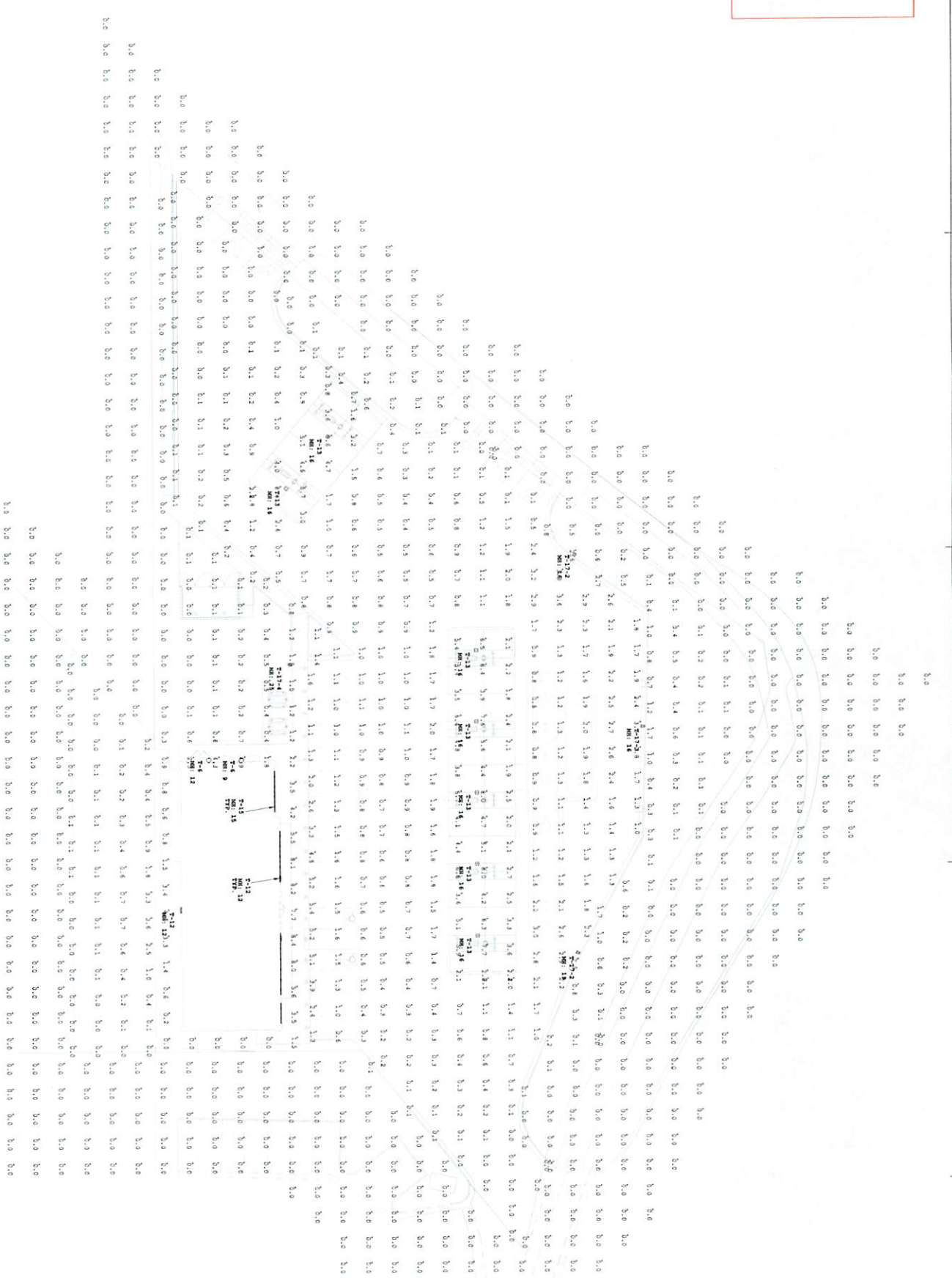
4
PRT 1.6
CANOPY COLUMN PLAN
RENDERING
1/2" = 1'-0"



1
PRT. 1
STORAGE OPTION W/SF
1/4" = 1'-0"

■	KITCHEN	376 SF
■	MERCANTILE	1980 SF
■	OFFICES	85 SF
■	RESTROOMS	366 SF
■	STORAGE	788 SF

TOTAL: 3595 SF



Station	City	Alignment	Right-of-Way	Structure	Notes	Station	City	Alignment	Right-of-Way	Structure	Notes
1+00	1	1	1	1	1	1+00	1	1	1	1	1
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3+00	3	3	3	3	3	3+00	3	3	3	3	3
4+00	4	4	4	4	4	4+00	4	4	4	4	4
5+00	5	5	5	5	5	5+00	5	5	5	5	5
6+00	6	6	6	6	6	6+00	6	6	6	6	6
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MEMORANDUM

To: Ogden Valley Planning Commission
From: Felix Lleverino, Planner II
Date: August 7, 2018
Subject: Zoning Text Amendment

This amendment is driven by the planning staff who have seen a need to create setback provisions regarding LUC § 108-7-29 (3) Flag lot access strip, private right-of-way, and access easements.

This proposal is before the Planning Commission as a means to discuss the topic and to collect input from the Planning Commission. No formal action is being requested at this time.



1 • **Sec. 108-7-29. - Flag lot access strip, private right-of-way, and access easement standards.**

2 In order to provide for safe and consistent access to lots/parcels using flag lot access strips, private
3 rights-of-way, or access easements as the primary means of ingress and egress to a dwelling unit, the
4 following standards shall be met, in addition to the individual requirements of sections 108-7-30—108-
5 7-32. These standards, except the required set-back from a flag lot access strip, private right-of-way, and
6 access easement, shall not apply to bona-fide agricultural parcels that are actively devoted to an
7 agricultural use(s) that is the main use.

8 (1) *Design standards.*

9 a. The flag lot access strip, private right-of-way, or access easement shall be designed and built to a
10 standard approved by the county engineer. The improved road surface does not require hard-surface
11 paving, i.e., concrete or asphalt, but the improvements shall meet the following standards.

12 b. The flag lot access strip shall have a minimum width of 20 feet and a maximum width of 30 feet. A
13 private right-of-way or access easement shall have a minimum width of 16 feet and a maximum width of
14 50 feet. The private right-of-way and access easement width standards may be modified by the Weber
15 Fire District in conjunction with the county engineer on a case-by-case basis.

16 c. The improved travel surface of the flag lot access strip, private right-of-way, or access easement shall
17 be a minimum of 12 feet wide if the access serves fewer than five dwellings, and a minimum of 20 feet
18 wide if the access serves five or more dwellings.

19 d. The improved road surface of the flag lot access strip, private right-of-way, or access easement shall
20 be capable of supporting a minimum weight of 75,000 pounds.

21 e. A turnout measuring at least ten feet by 40 feet shall be provided adjacent to the traveled surface of
22 the a flag lot access strip, private right-of-way, or access easement (private access) if the private access
23 is greater than 200 feet in length. The turnout shall be located at the approximate midpoint of the
24 private access if its length is between 200 and 800 feet. If the private access length is greater than 800
25 feet, turnouts shall be provided at least every 400 feet thereafter. These standards may be modified by
26 the Weber Fire District in conjunction with the county engineer on a case-by-case basis.

27 f. The flag lot access strip, private right-of-way, or access easement shall have a maximum grade of ten
28 percent. This standard may be modified by the Weber Fire District in conjunction with the county
29 engineer on a case-by-case basis; however, the maximum grade shall not exceed 15 percent.

30 g. The flag lot access strip, private right-of-way, or access easement shall have a minimum vertical
31 clearance of 14.5 feet.

32 h. No buildings, structures, or parking areas are allowed within the flag lot access strip, private right-of-
33 way, or access easement.

34 i. New bridges, including decking and culverts shall be capable of supporting a minimum weight of
35 75,000 pounds. For existing bridges, a current certified engineer statement of load bearing capabilities
36 must be submitted to the county engineer and the Weber Fire District for review.

37 j. The flag lot access strip, private right-of-way, or access easement shall have a minimum inside travel-
38 way radius of 26 feet, outside travel-way radius of 45 feet, and outside clear zone radius of 50 feet on all

39 curves, particularly switchbacks. The width of the access may need to be increased to accommodate
40 these standards.

41 k. Water and sewer lines located within the flag lot access strip, private right-of-way, or access easement
42 require written notification from the agencies providing such services.

43 (2) *Safety standards.*

44 a. The lot address shall be displayed in a prominently visible location at the street entrance to the flag
45 lot access strip, private right-of-way, or access easement.

46 b. A turn-around area shall be provided at the home location to allow firefighting equipment to turn
47 around. This area shall be a year round surface capable of supporting fire equipment (a minimum inside
48 turning radius of 30 feet and an outside turning radius of not less than 45 feet).

49 c. A fire hydrant or other suppression method may be required by the fire district.

50 d. A site plan showing the location of the home, any proposed access roads and driveways, along with
51 the location of and distance to the nearest fire hydrant (if available) shall be submitted to the fire district
52 for review.

53 e. Conditions may be imposed by the land use authority to ensure safety, accessibility, privacy, etc., to
54 maintain or improve the general welfare of the immediate area.

55 (3) *Lot/parcel standards.*

56 a. The lot/parcel shall meet all minimum yard and area requirements of the zone in which it is located.

57 b. Minimum Yard Setback

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58 1. Except as provided in No. 2 of subsection (3), the minimum setback for existing and new structures
59 from any part of the alternative access shall be equal to or greater than the minimum front yard set-
60 back for the zone in which the property is located as measured from the edge of the flag lot access strip,
61 private right-of-way, and access easement.

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62 2. In zones where the required front yard set-back is greater than 50 feet, the minimum distance to
63 existing and new structure from the edge of the flag lot access strip, private right-of-way, and access
64 easement shall be 50 feet.

65 ~~b. Buildings shall be set back a minimum of 30 feet from the end of the flag lot access strip, private right-~~
66 ~~of-way, or access easement.~~

67 c. The lot/parcel shall meet the minimum lot width requirement for the zone in which the lot is located
68 at the end of the access strip.

69 d. The lot/parcel shall have a flag lot access strip, private right-of-way, or access easement constructed
70 in conformance with subsections (1), (2), and (3) of this section prior to the issuance of land use permits
71 or building permits.

72 (4) *Expiration.* Flag lot access strips, private rights-of-way, and access easements which have been
73 approved by the land use authority are valid for 18 months from the date of approval.

74 (Ord. No. 2012-7, § 5(23-28), 5-1-2012; Ord. No. 2013-32, 12-10-2013)

75 • **Sec. 108-7-30. - Flag lots.**

76 (a) The land use authority shall determine whether or not it is feasible or desirable to extend a street to
77 serve a lot(s)/parcel(s) or lots at the current time, rather than approving a flag lot. Criteria to be used in
78 determining feasibility or desirability of extending a street shall include, but not be limited to
79 topography, boundaries, and whether or not extending a road would open an area of five acres or more
80 in Western Weber County and ten acres or more in the Ogden Valley for development.

81 (b) The lot area exclusive of the access strip shall be a minimum of three acres.

82 (c) Each lot shall access a street by means of its own fee title access strip. Successive stacking of lots on
83 the same access strip is not permitted.

84 (d) No access strip shall exceed 800 feet in length.

85 (e) A maximum of two flag lot access strips may be located adjacent to each other.

86 (f) No flag lot shall be allowed which proposes to re-subdivide or include within it (including the access
87 strip) any portion of an existing lot in a recorded subdivision. No subdivision shall be vacated, re-
88 subdivided, or changed in order to meet the requirements of this section.

89 (Ord. No. 2012-7, § 5(23-29), 5-1-2012)

90 • **Sec. 108-7-31. - Access to a lot/parcel using a private right-of-way or access easement.**

91 Lots/parcels which do not have frontage on a street, but which have access by a private right-of-way or
92 access easement may, under certain circumstances, use a private right-of-way or access easement as
93 the primary access. Approval is subject to the applicant demonstrating compliance with the following
94 criteria and conditions:

95 (1) Criteria.

96 a. The lot/parcel is a bona fide agricultural parcel that is actively devoted to an agricultural use that is
97 the main use; or

98 b. The lot/parcel is a bona fide agricultural parcel that is actively devoted to an agricultural use that is
99 the main use and is the subject parcel of an approved agri-tourism operation; or

100 c. Based on substantial evidence, it shall be shown that it is unfeasible or impractical to extend a street
101 to serve such lot/parcel. Financial adversity shall not be considered; however, circumstances that may
102 support an approval of a private right-of-way/access easement as access to a lot/parcel may include but
103 not be limited to unusual soil, topographic, or property boundary conditions.

104 (2) Conditions.

105 a. It shall be demonstrated that the agricultural parcel or other lot/parcel has appropriate and legal
106 access due to historic use, court decree, or the execution of an easement, right-of-way, or other
107 instrument capable of conveying or granting such right; and

108 b. The landowner of record or authorized representative shall agree to pay a proportionate amount of
109 the costs associated with developing a street if, at any time in the future, the county deems it necessary
110 to have the landowner replace the private right-of-way/easement with a street that would serve as a
111 required access to additional lots. The agreement shall be in the form considered appropriate and
112 acceptable to the office of the Weber County Recorder and shall recite and explain all matters of fact,
113 including a lot/parcel boundary description, which are necessary to make the agreement intelligible and
114 show its successive nature.

115 (Ord. No. 2012-7, § 5(23-30), 5-1-2012; Ord. No. 2012-19, pt. 9(§ 23-30), 12-18-2012)

116 • **Sec. 108-7-32. - Access to a lot/parcel at a location other than across the front lot line.**

117 Access to lots/parcels at a location other than across the front lot line may be approved as the primary
118 access, subject to the following criteria:

119 (1) The applicant demonstrates that special or unique boundary, topographic, or other physical
120 conditions exist which would cause an undesirable or dangerous condition to be created for property
121 access across the front lot line.

122 (2) It shall be demonstrated that appropriate and legal access exists due to historic use, court decree, or
123 the execution of an easement, right-of-way, or other instrument capable of conveying or granting such
124 right.

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