



Staff Report to the Western Weber Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Request for approval of a design review for the construction of an addition to an existing industrial building.

Agenda Date: Tuesday, July 11, 2023

Applicant: Jeff Newman, Representative

File Number: DR 2023-03

Property Information

Approximate Address: 2150 N Rulon White Dr, Ogden, UT 84404

Project Area: 13.52 acres

Zoning: Manufacturing Zone (M-1)

Existing Land Use: Industrial

Proposed Land Use: (same)

Parcel ID: 19-064-0014

Township, Range, Section: T7N, R1W, Parts of Sections 1, 31, and 36

Adjacent Land Use

North: Industrial	South: Industrial
East: Industrial	West: Industrial

Staff Information

Report Presenter: F. William Cobabe, AICP
bcobabe@co.weber.ut.us
801-399-8772

Report Reviewer: SB

Applicable Ordinances

- Title 101 Chapter 1 General Provisions, Section 7 Definitions
- Title 104 Chapter 21 Manufacturing (M-1) Zone
- Title 108 Chapter 1 (Design Review)
- Title 108 Chapter 7 (Parking Lot Design and Maintenance)

Background and Summary

The applicant is requesting approval of a design review application to construct a new addition to an existing manufacturing facility in the Weber Industrial Park. Located on the corner of Rulon White Dr. and 2100 North, the site is in a location that is ideal for efficient industrial and light manufacturing use. The proposed architecture of the new addition will complement the existing building and be consistent with buildings in the area. The current use of the structure is for the manufacture of industrial heaters and associated components. The expansion of the building will allow for additional space for the business. This use is permitted per Section 104-21-3.120 - Final Product Manufacturing Table, which allows for “the creation of nonhazardous products”.

Analysis

General Plan: The proposal is not contrary to the Western Weber Planning Area General Plan (2022).

Zoning: The subject property is located within the Manufacturing (M-1) Zone. The purpose of the M-1 Zone can be further described in Land Use Code Section 104-21-1 (b) as follows:

The purpose of the Manufacturing (M-1) Zone is to provide a light manufacturing zone in areas that will accommodate the need for light intensity type manufacturing and its associated accessory uses, some of which may have an environmental impact requiring public review and regulation.

The applicable standards (Section 104-21-5) are as follows:

- Minimum front yard setback: 30 feet
- Minimum side yard (when a corner lot – the side facing the street) setback: 20 feet
- Minimum rear yard setback: (none)
- Maximum building height: (none)

The site plan indicates conformity to all minimum setbacks, except the side yard facing 2100 N. The submitted plans show an 18' setback, which will need to be revised. This appears in the conditions of approval listed below. The maximum building height of this proposal is 60'.

Design Review: Buildings in manufacturing zones are largely exempt from architectural standards and design requirements related to aesthetics. However, the property owner/developer have taken steps to ensure that the general design, layout, and appearance of the building remain orderly and harmonious with the surrounding neighborhood. As part of this review, the Planning Commission shall consider the applicable matters based on the proposed use and impose conditions to mitigate deficiencies. The matters for consideration are as follows:

Considerations relating to traffic safety and traffic congestion: The proposed parking lot will accommodate 386 passenger vehicles. There are six proposed ADA stalls in the north side parking lot closest to the entry.

Considerations relating to landscaping, buildings and site layout. The landscape plan depicts a wide variety of landscaping that includes trees, shrubs, decorative grasses, and landscape rock. The exterior finishes of the building are of a hardy material. Concrete blocks with painted metal make up the body of the building (see Exhibits C and D).

Considerations relating to utility easements, drainage, and other engineering questions. The applicant will need to adhere to all conditions of the Engineering Division including recommendations regarding retention ponds and pollution prevention methods.

Review Agencies: In addition to the comments and requirements of the Planning Department, the Weber Fire District and Weber County Engineering have provided comment and conditions as well. Planning Staff has included these conditions of approval that must be completed before the land use permit is issued.

Staff Recommendation

Staff recommends approval of a commercial building Design Review Application. This recommendation is conditioned upon all review agency requirements, and the following conditions:

1. All review agency requirements must be addressed and completed before the written approval of the design review is issued.
2. Occupancy shall not occur until all improvements, including landscaping, have either been installed or guaranteed.
3. That the building's setbacks conform to Code requirements; specifically, the building setback on 2100 N must be 20 feet.

The following findings are the basis for Staff's recommendation:

4. This proposal is listed as a permitted use within the M-1 Zone.
5. This proposal conforms to the Land Use Code of Weber County, Utah.
6. The owners will obtain the appropriate permits before construction begins.

Exhibits

- A. Civil plan
- B. Site Plan
- C. Landscaping Plan
- D. Building Elevations

Map 1

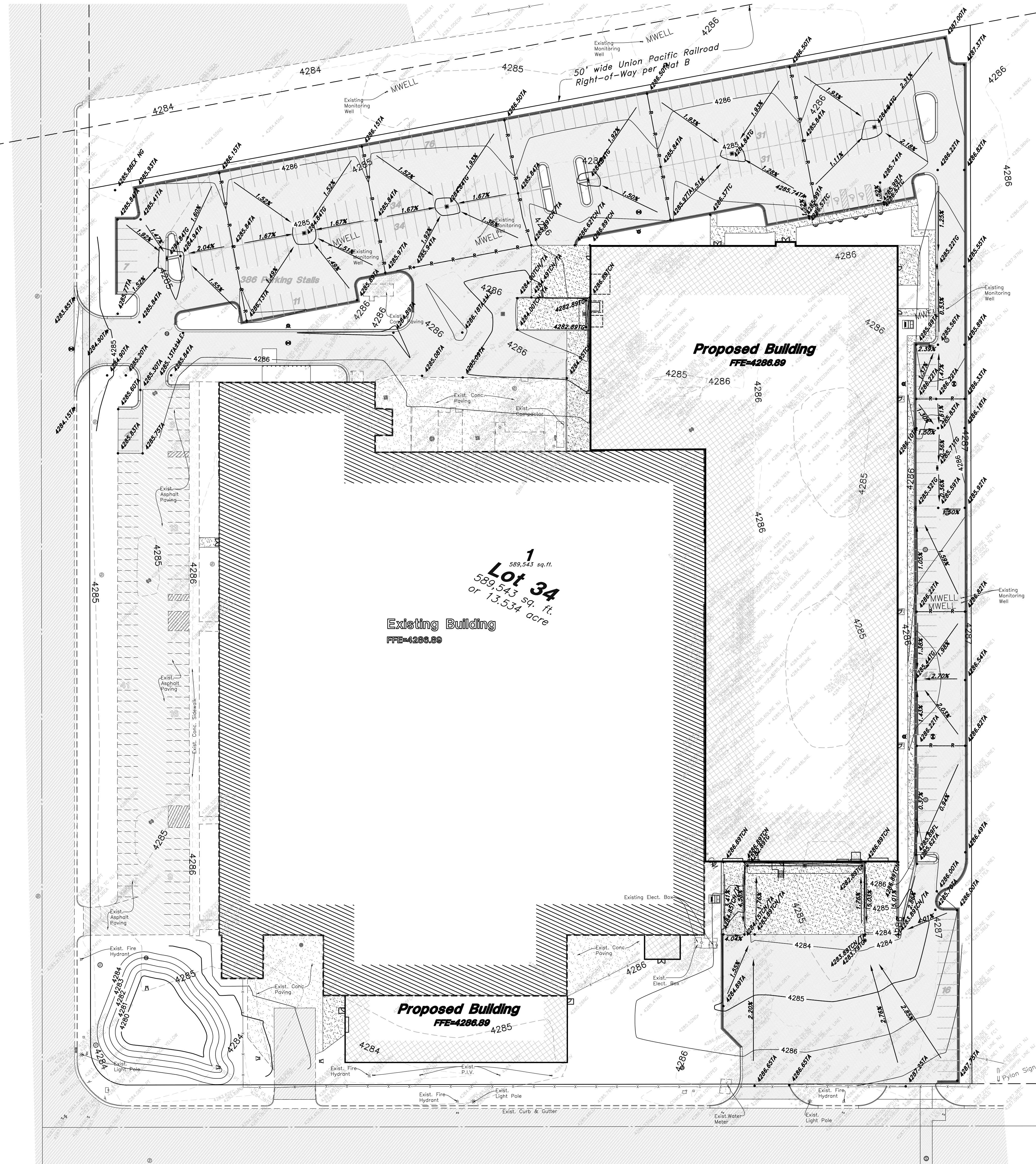
The screenshot shows the Weber County Geo-Gizmo web application interface. At the top, there is a navigation bar with the following items: Recorder, Surveyor, Elections, Planning, Mapping, Create Mailer, and Help. A search bar on the left contains the text "Find address or place". The main area is an aerial map of an industrial and residential area. A parcel is highlighted with a cyan border. A pop-up window is open over this parcel, displaying the following information:

(2 of 2)

Parcel: 190640014
Owner: HEAT ASSET ACQUISITION CORP
Mailing Address: 103 GAMMA DR EXT, PITTSBURG PA 15238
Property Address: 2150 N RULON WHITE BLVD, OGDEN
Tax Unit: 17
Acreage: 13.52
[More Parcel Info...](#)

At the bottom of the pop-up window, there is a "Zoom to" button and a three-dot menu icon. The map interface includes a scale bar (0 to 0.05 miles) and coordinates (111.99341, 300 Degrees) in the bottom left corner. The ESRI logo is visible in the bottom right corner of the map area.

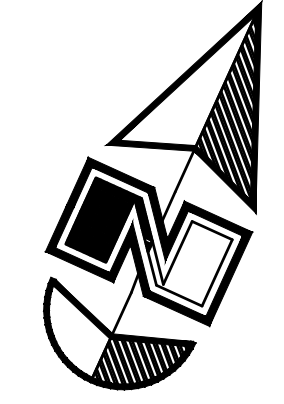
Exhibit A - Civil Plans



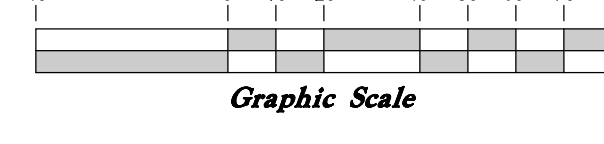
Legend

(Note: All items may not appear on drawing)

- San. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Cleanout
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Fire Department Connection
- Post Indicator Valve
- Exist. Water Valve
- Water Valve
- Sanitary Sewer
- Culinary Sewer
- Gas Line
- Irrigation Line
- Storm Drain
- Telephone Line
- Secondary Waterline
- Power Line
- Fire Line
- Land Drain
- Power pole
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Castile Iron
- Polyvinyl Chloride
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Walk
- Top of Concrete
- Natural Ground
- Finish Grade
- Match Existing
- File Department Connection
- Exist. Contour
- Prop. Grade
- Exist. Grade
- Ridge Line
- Direction of Flow
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Existing Concrete
- New Concrete
- Demo'd Road Base
- Spill Curb & Gutter
- Demo Tree
- Tree To Remain in Place



Scale: 1" = 40'



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CHROMALOX OGDEN EXPANSION

2150 N. RULON WHITE BOULEVARD
UNINCORPORATED WEBER COUNTY, UT 84404

- GENERAL GRADING NOTES:**
- All work shall be in accordance with the City Public Works Standard.
 - Cut slopes shall be no steeper than 2 horizontal to 1 vertical.
 - Fill slopes shall be no steeper than 2 horizontal to 1 vertical.
 - Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by the geotechnical engineer.
 - Areas to receive fill shall be properly prepared and approved by the City inspector and geotechnical Engineer prior to placing fill.
 - Fills shall be benched into competent material as per specifications and geotechnical report.
 - All trench backfill shall be tested and certified by the site geotechnical engineer per the grading code.
 - A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
 - The final compaction report and certification from the geotechnical engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
 - Dust shall be controlled by watering.
 - The location and protection of all utilities is the responsibility of the permittee.
 - Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading project.
 - All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the city engineer.
 - The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
 - The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
 - Aggregate base shall be compacted per the geotechnical report prepared for the project.
 - Elevations shown on this plan are finish grades. Rough grades are the subgrades of the improvements shown hereon.
 - The recommendations in the following Geotechnical Engineering Report by xxxx are included in the requirements of grading and site preparation.
The report is titled "GEOTECHNICAL INVESTIGATION"
Job No.: _____ Address _____
 - As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
 - Erosion Control: Protect all inlet boxes, catch basins, etc. with straw bales or other approved method to strain the storm water during construction. Protect surrounding properties and streets from site runoff with sandbags and earth berms.
- CURB AND GUTTER CONSTRUCTION NOTES:**
- Open face gutter shall be constructed where drainage is directed away from curb.
 - Open face gutter locations are indicated by shading and notes on site and grading plan.
 - It is the responsibility of the surveyor to adjust top of curb grades at the time construction staking.
 - Refer to the typical details for a standard and open face curb and gutter for dimensions.
 - Transitions between open face and standard curb and gutter are to be smooth. Hand form these areas if necessary.
- ADA NOTES:**
- Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36" if grades on plans do not meet this requirement notify Consultants immediately.
 - The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of the ADA and/or FHAA.

Revisions	Num.	Description	Date

Project Number	22095
Original Issue	05.22.2023
Project Status	SCHEMATIC DESIGN

Stamp

PRELIMINARY
NOT FOR CONSTRUCTION

Sheet Title
Grading and Drainage Plan

Sheet Number
C2.00

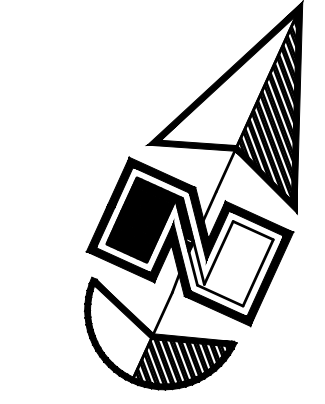
ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

Exhibit A - Civil Plans

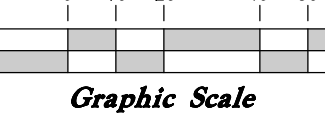
Legend

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- Natural Ground
- Finish Grade
- Match Existing
- File Department Connection
- Light Pole
- Direction of Flow



Scale: 1" = 40'



Graphic Scale



95.9074
95.7214
R

- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Existing Concrete
- New Concrete
- Demolished Road Base
- Spill Curb & Gutter
- Demo Tree
- Tree To Remain in Place

- GENERAL UTILITY NOTES:**
- Coordinate all utility connections to building with plumbing plans and building contractor.
 - Verify depth and location of all existing utilities prior to constructing any new utility lines.
 - Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
 - All catch basin and inlet box grates are to be bicycle proof.
 - All inlet boxes located in curb and gutter are to be placed parallel to the curb and gutter and set under the frame and grate. Improperly placed boxes will be removed and replaced at no additional cost to the owner. Precast or cast in place boxes are acceptable.
 - Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
 - Gas lines, telephone lines, and cable TV lines are not a part of these plans unless otherwise noted.
 - Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
 - Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible to construct any vertical adjustments necessary to clear sewer, storm drain or other utilities as necessary including valve boxes and hydrant spools to proper grade.
 - Field verify all existing and/or proposed Road Drain/Road Drain down spout connections to Storm Water System with Civil, Plumbing & Architectural plans. Notify Engineer of any discrepancies.
 - All gravity flow utility lines shall be installed prior to any pressurized utilities unless written permission is obtained from the engineer of record before construction begins.
- UTILITY PIPING MATERIALS:**
- All piping to be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.
- CULINARY SERVICE LATERALS**
- 3/4" to 2" diameter pipe - copper tube ASTM B, Type K, Soft Temper
 - Over 2" diameter pipe - AWWA C-900 Class 150 pipe
- WATER MAIN LINES AND FIRE LINES**
- Pipe material as shown on utility plan view or to meet city standards.
- SEWER LINES**
- All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D 3034, Type PSM, SDR 35
- STORM DRAIN LINES**
- 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
 - 12" or larger - Reinforced Concrete Pipe, ASTM C76, Class III up to 13' of cover, Class IV for 13' to 21' of cover, Class V for 21' to 32' of cover, and Special Design for cover greater than 32 feet.
- NATURAL GAS SERVICE LATERALS (QUESTAR)**
- PLASTIC PIPING MATERIALS: Plastic polyethylene pipe materials and compression couplings must be approved for natural gas applications and must be installed underground. All plastic pipe and fittings must conform to ASTM D2513 (60 psi and above high density pipe approved 3403).
 - Plastic pipe must be joined by individuals qualified in the heat fusion method of connecting pipe and fittings or approved mechanical fittings. A minimum number 18 insulated yellow copper tracer wire shall be installed with underground nonmetallic gas piping and shall terminate above grade at each end. Tracer wire shall not come in contact with plastic piping.
 - Risers and prefabricated risers inserted with plastic pipe shall conform to ASTM D2513, shall be metallic, have a space of 10 inches from the bottom of the service valve and grade, and shall be wrapped or coated to a point at least 6 inches above grade or protected in an approved manner. When a riser connects to plastic pipe, the underground horizontal metallic portion of the riser shall extend at least 12 inches before connecting to the plastic pipe by means of an approved transition fitting, adapter or heat fusion.
 - Plastic pipe used underground for customer fuel lines must be approved polyethylene material and be buried a minimum of 12 inches. It shall not be used inside buildings or above ground. PVC (Polyvinyl Chloride) is not approved for piping systems in Questar Gas's service area. Individual gas lines (metallic or plastic) to single outside appliance (outside lights, grilles, etc.) shall be installed in minimum of 8 inches below grade, provided such installation is approved and installed in locations not susceptible to physical damage.

Revisions	Num.	Description	Date

Project Number	22095
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Stamp

Sheet Title
Utility Plan

Sheet Number
C3.00

CAUTION NOTICE TO CONTRACTOR

The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

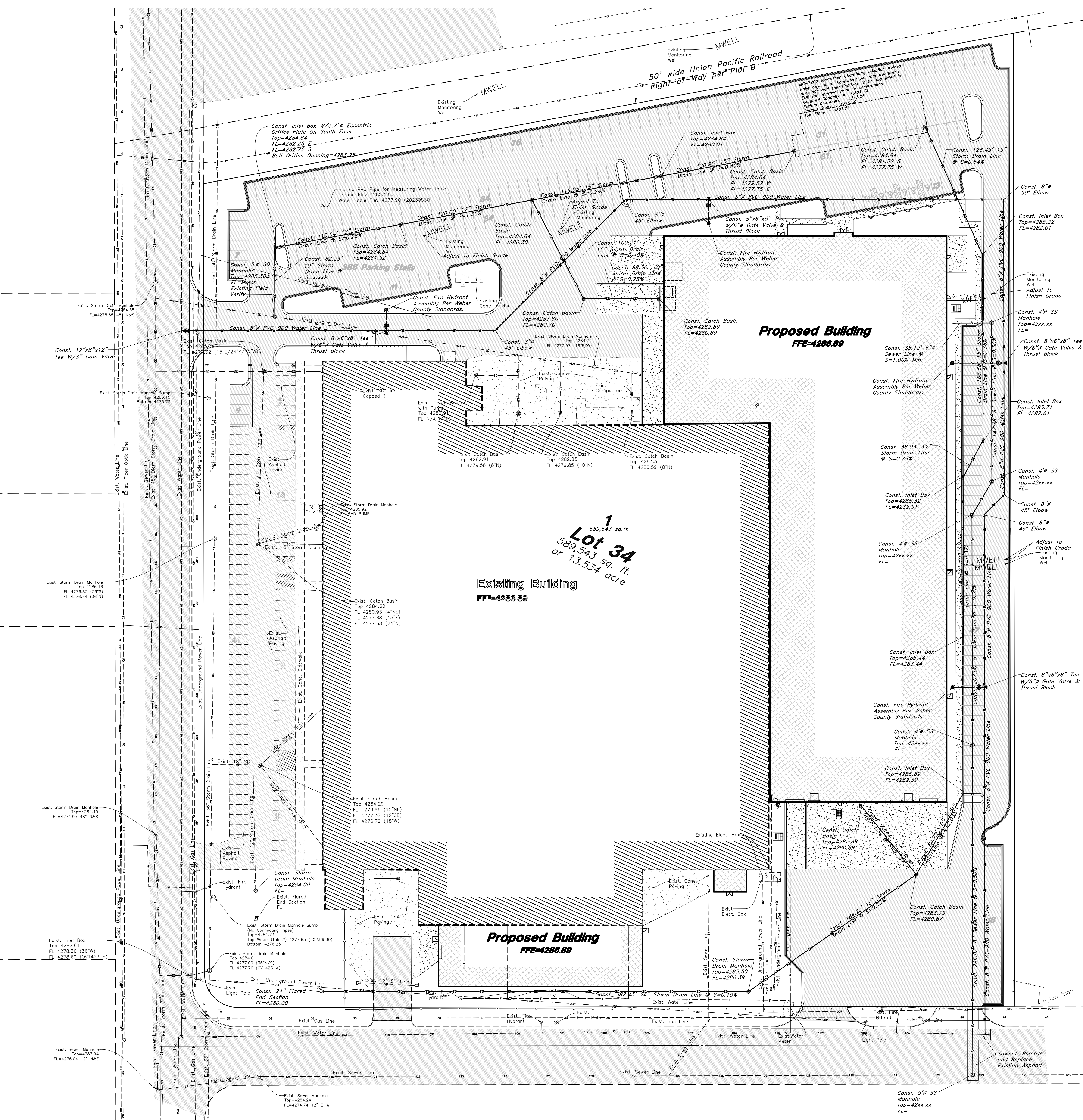
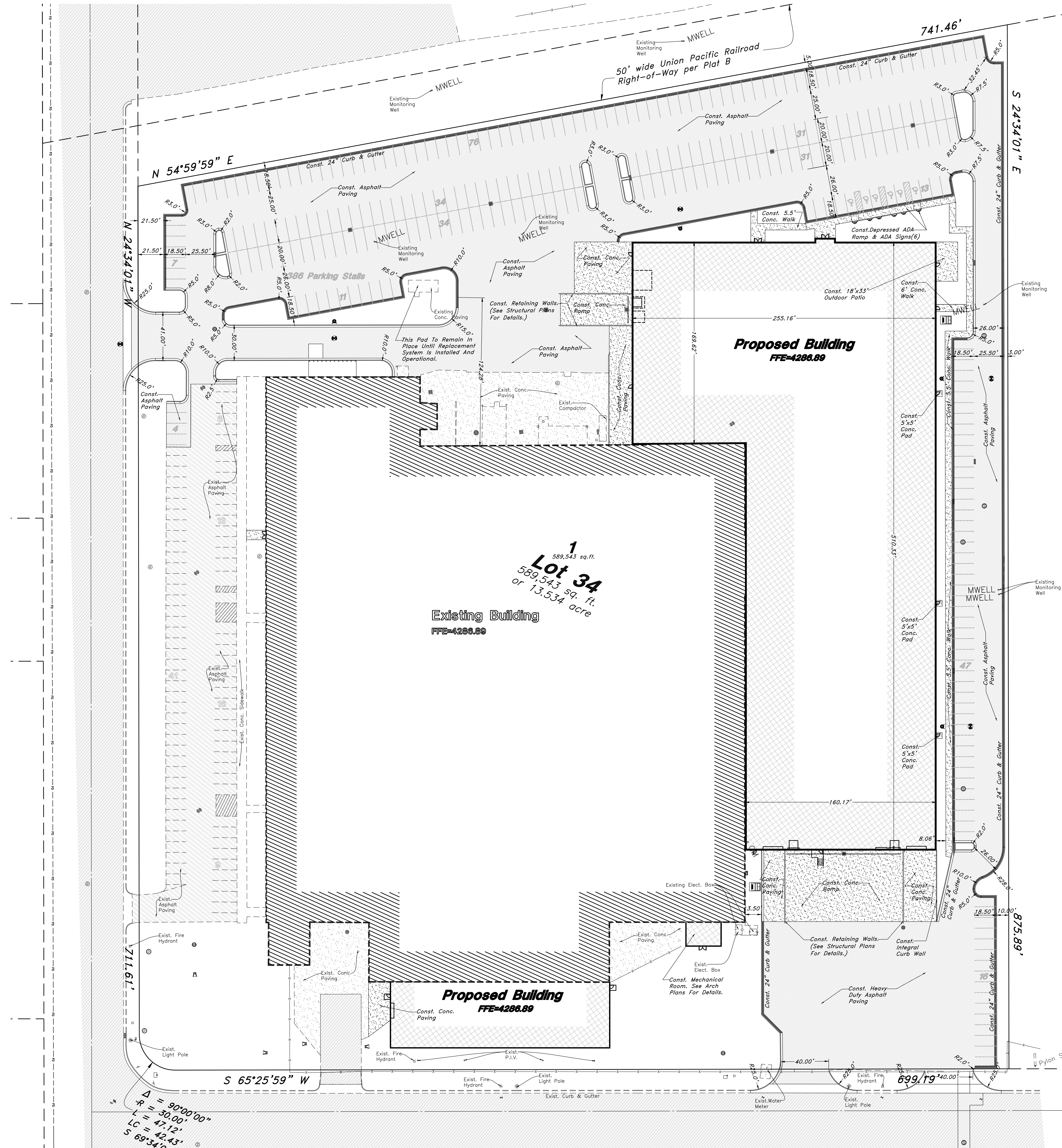
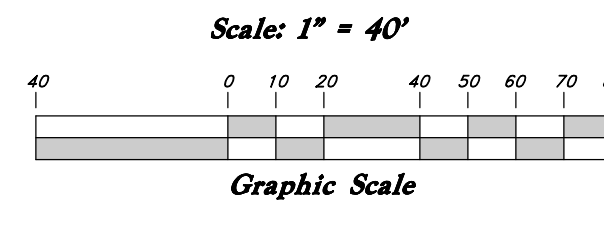


Exhibit B - Site Plan



Legend

- (Note: All items may not appear on drawing)
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 - Top of Asphalt
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 - Finish Floor
 - Top of Curb
 - Top of Wall
 - Top of Walk
 - Top of Concrete
 - Natural Ground
 - Finish Grade
 - Match Existing
 - File Department Connection
 - FDC
 - Exist. Contour
 - 95.97A
 - 95.72A
 - Exist. Grade
 - Ridge Line
 - Direction of Flow
 - Existing Asphalt
 - New Asphalt
 - Heavy Duty Asphalt
 - Existing Concrete
 - New Concrete
 - Demo'd Road Base
 - Spill Curb & Gutter
 - Demo Tree
 - Tree To Remain in Place



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Stamp

PRELIMINARY
NOT FOR CONSTRUCTION

- GENERAL SITE NOTES:**
- Stalls designated as accessible will require a painted accessible symbol and sign. (See Details)
 - Fire line markings and signs to be installed as directed by the Fire Marshall.
 - Asile markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
 - Building sidewalks, ramps, and bollards are building contractor responsible items. See architectural plans.
 - All dimensions are to back of curb unless otherwise noted.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

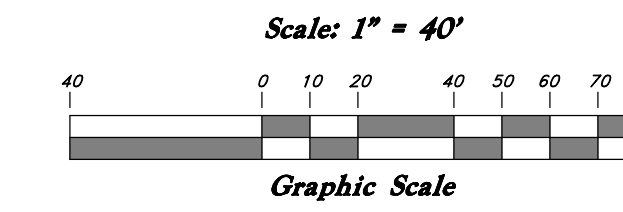
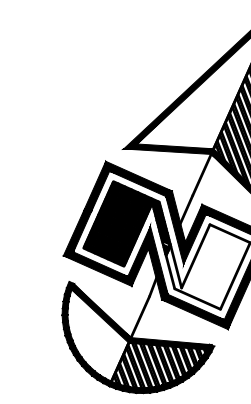
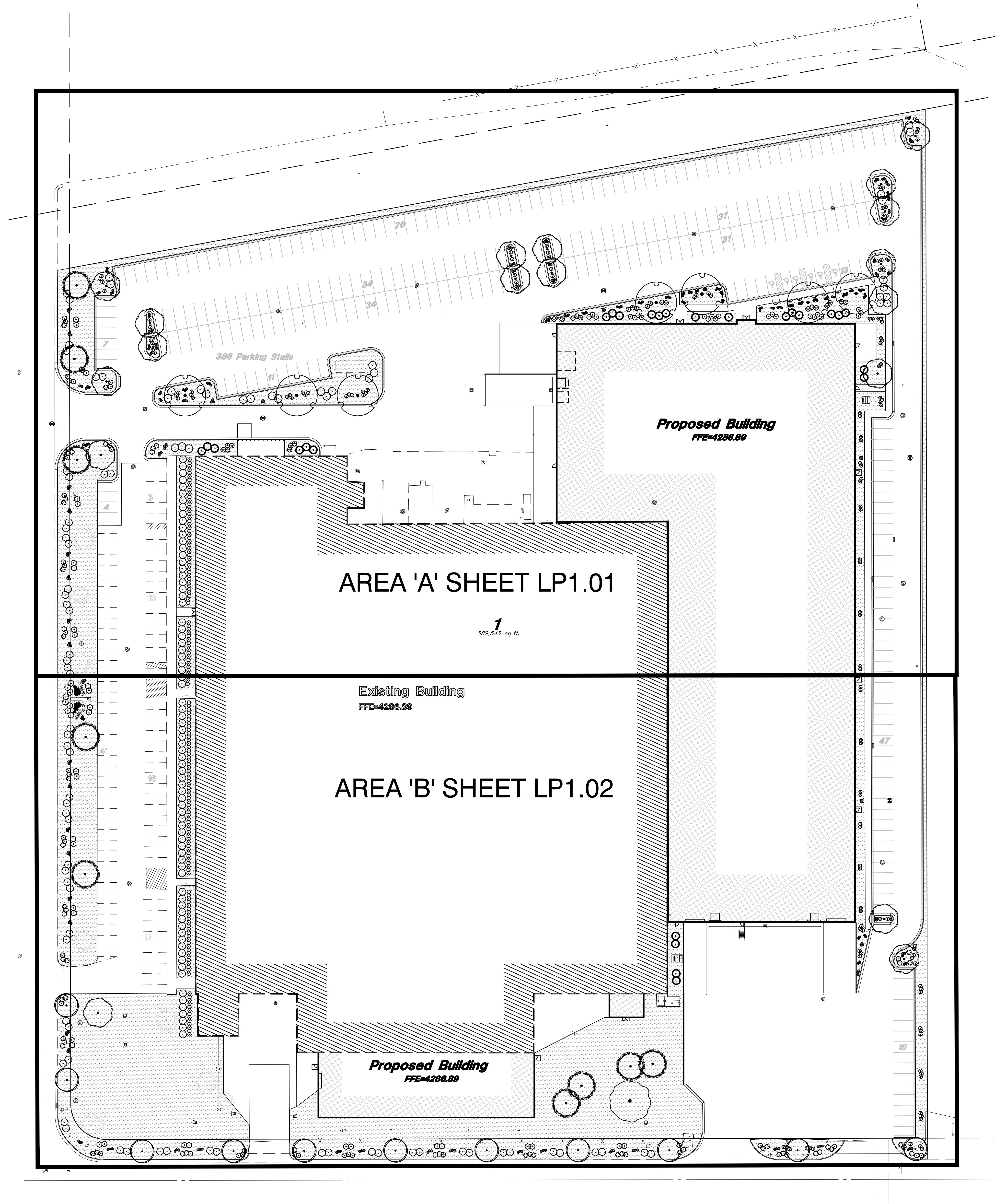
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ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

Sheet Title
Site Plan

Sheet Number
C1.00

Exhibit C -
Landscaping Plan



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**CHROMALOX OGDEN
EXPANSION**

2150 N. RULON WHITE BOULEVARD
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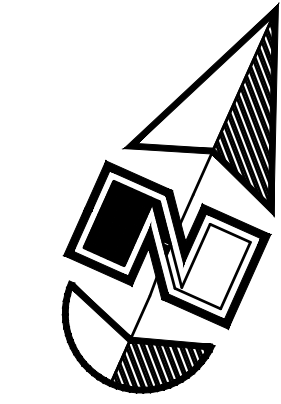
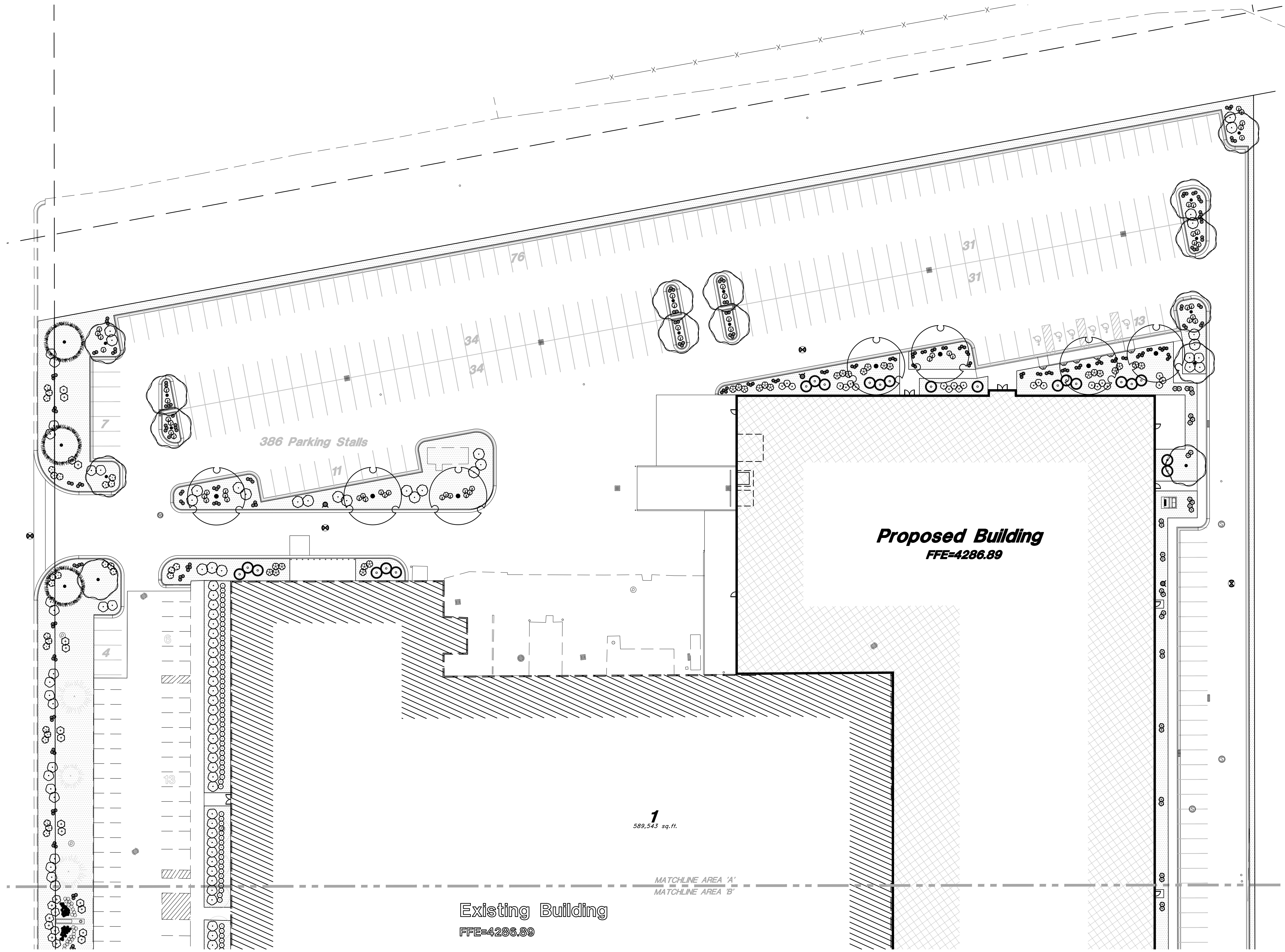
Stamp

**PRELIMINARY
NOT FOR CONSTRUCTION**

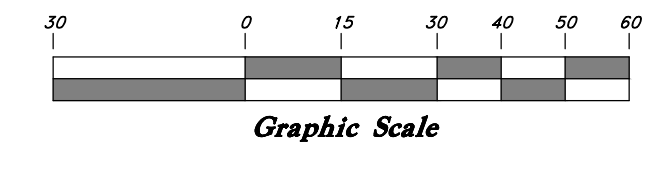
Sheet Title
Overall Landscape Plan

Sheet Number
LP1.00

Exhibit C -
Landscaping Plan



Scale: 1" = 30'



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CHROMALOX, INC.

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Stamp

PRELIMINARY
NOT FOR CONSTRUCTION

Sheet Title

Landscape Plan

Sheet Number

LP1.01

Exhibit C - Landscaping Plan



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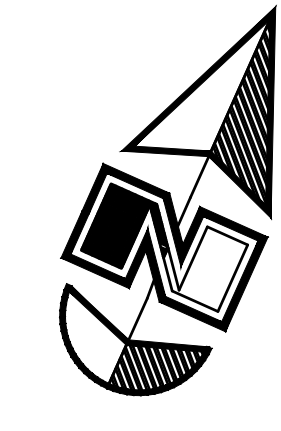
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Sheet Title

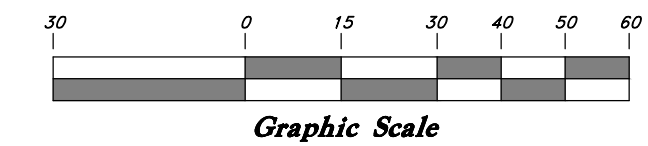
Landscape Plan

Sheet Number

LP1.02



Scale: 1" = 30'



Graphic Scale

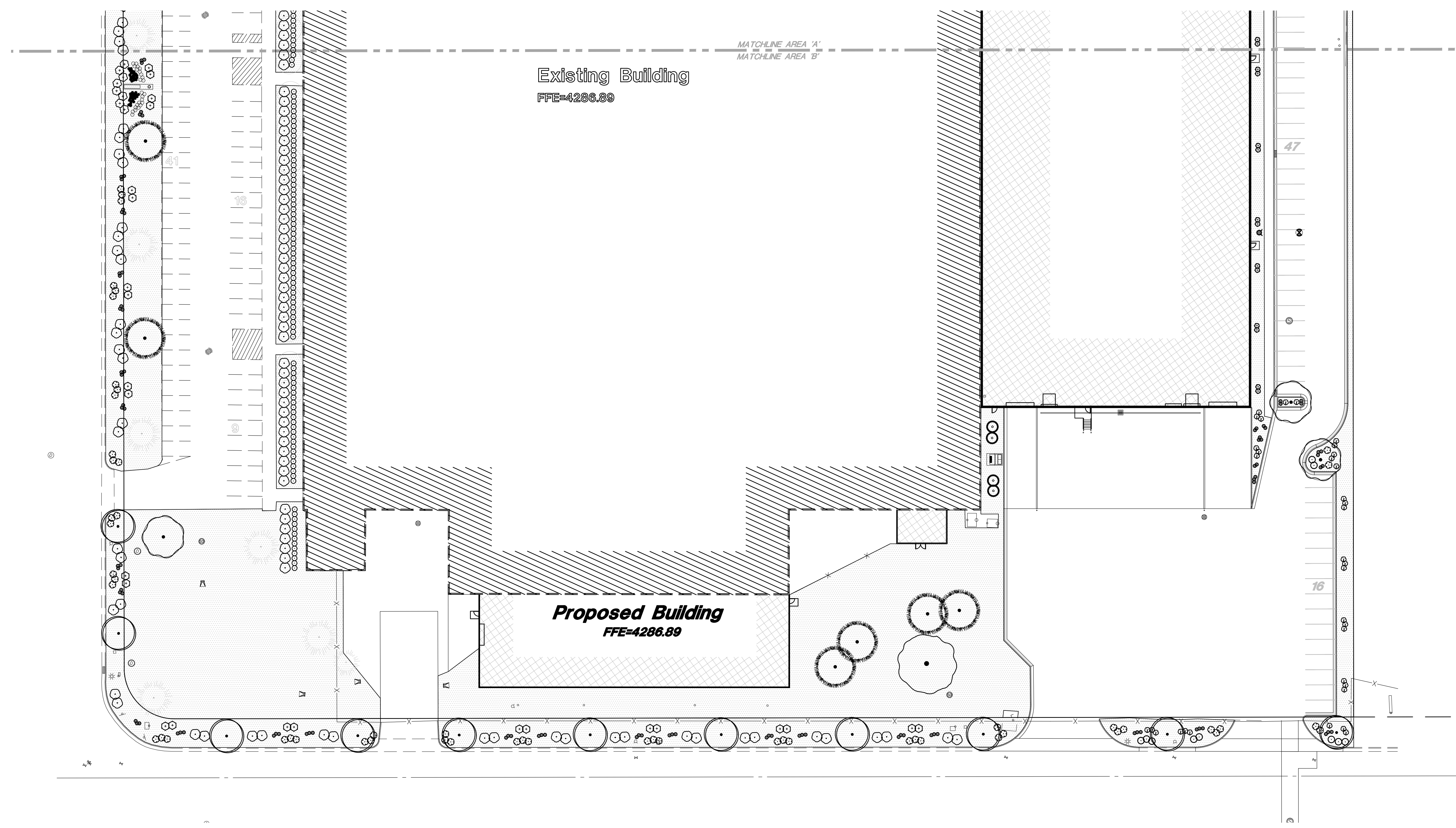


Exhibit C - Landscaping Plan



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CHROMALOX, INC.

CHROMALOX OGDEN EXPANSION

2150 N. RULON WHITE BOULEVARD
UNINCORPORATED WEBER COUNTY, UT 84404

Revisions

Num.	Description	Date

Project Number | 22095
Original Issue | 05.22.2023
Project Status | SCHEMATIC DESIGN

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Sheet Title

Landscape Details

Sheet Number

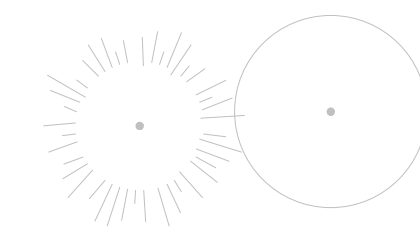
LP5.01

PLANTING NOTES

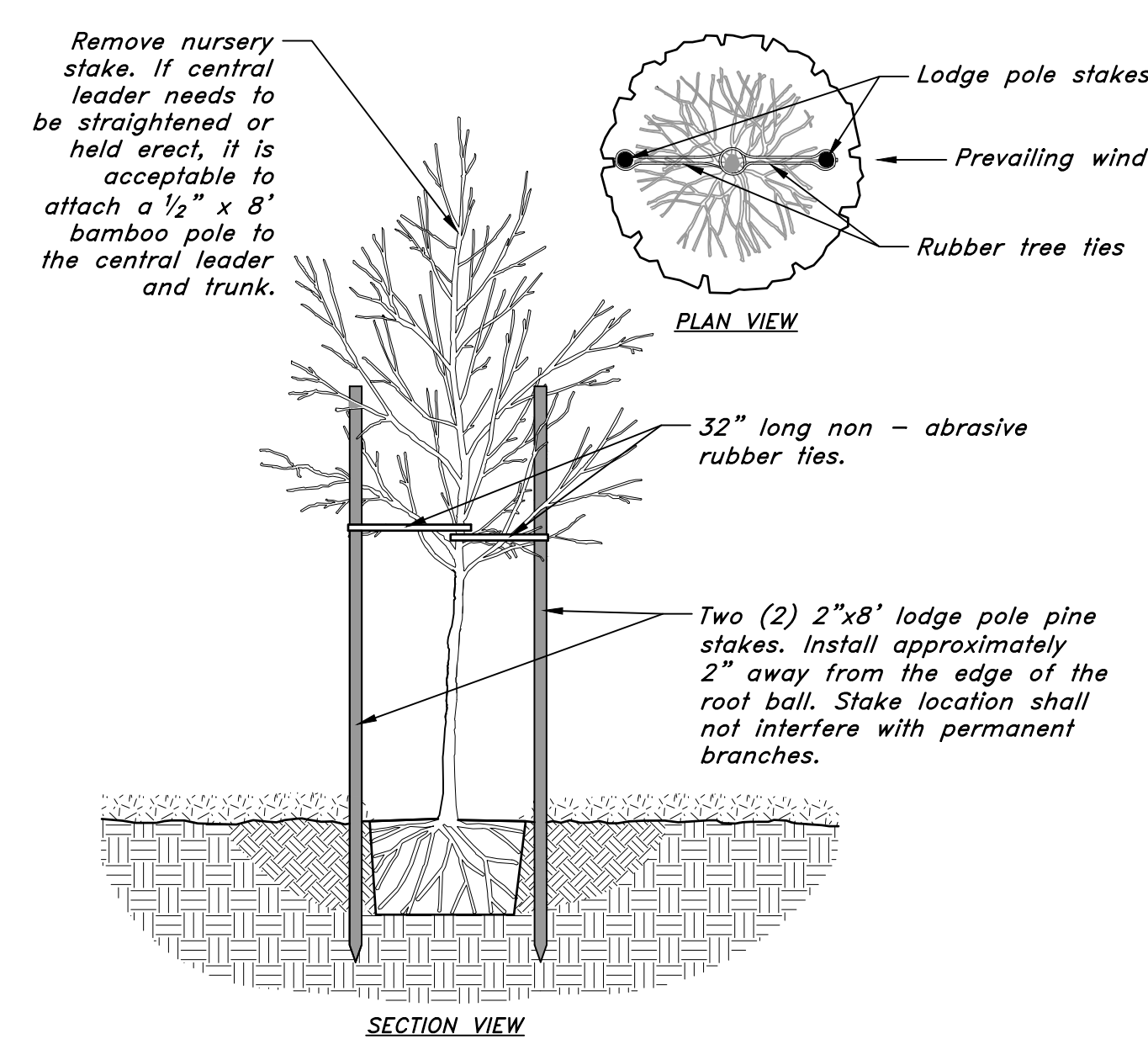
- EXAMINE THE SITE CONDITIONS, THE SUBGRADE AND VERIFY THE DEPTHS OF TOPSOIL AND MULCH. NOTIFY THE ARCHITECT IN WRITING OF ANY UNSATISFACTORY CONDITIONS. DO NOT BEGIN LANDSCAPE WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN RESOLVED.
- VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO ANY DIGGING. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY THIS CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL EXPENSE TO THE OWNER.
- TOPSOIL IS TO BE IMPORTED TO THE SITE. SCREEN AND AMEND AS NECESSARY TO MEET 'ACCEPTABLE' STANDARDS FOR TOPSOIL AS DESCRIBED IN 'TOPSOIL QUALITY GUIDELINES FOR LANDSCAPING' (KOEING, ISAMAN, UTAH STATE UNIVERSITY) <http://extension.usu.edu/files/publications/publication/AG-50-02.pdf> CONTRACTOR IS RESPONSIBLE FOR PROVIDING 6" OF TOPSOIL FOR TURF AND 12" OF TOPSOIL FOR SHRUBS AND TREES.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISH GRADE ELEVATIONS. ALLOW FOR A MINIMUM OF 3" THICK MULCH LAYER. COORDINATE ROUGH GRADING WITH THE GENERAL CONTRACTOR.
- ALL PLANT MATERIAL MUST MEET THE SIZES AS INDICATED ON THE PLANT SCHEDULE. PLANT MATERIAL THAT DOES NOT MEET THE QUALITY STANDARDS OF THE PROJECT WILL BE REFUSED BY THE LANDSCAPE ARCHITECT.
- TURFGRASS SOD SHALL BE CERTIFIED NUMBER 1 QUALITY/PREMIUM SOD - SEE SPECIFICATIONS.

PLANT SCHEDULE

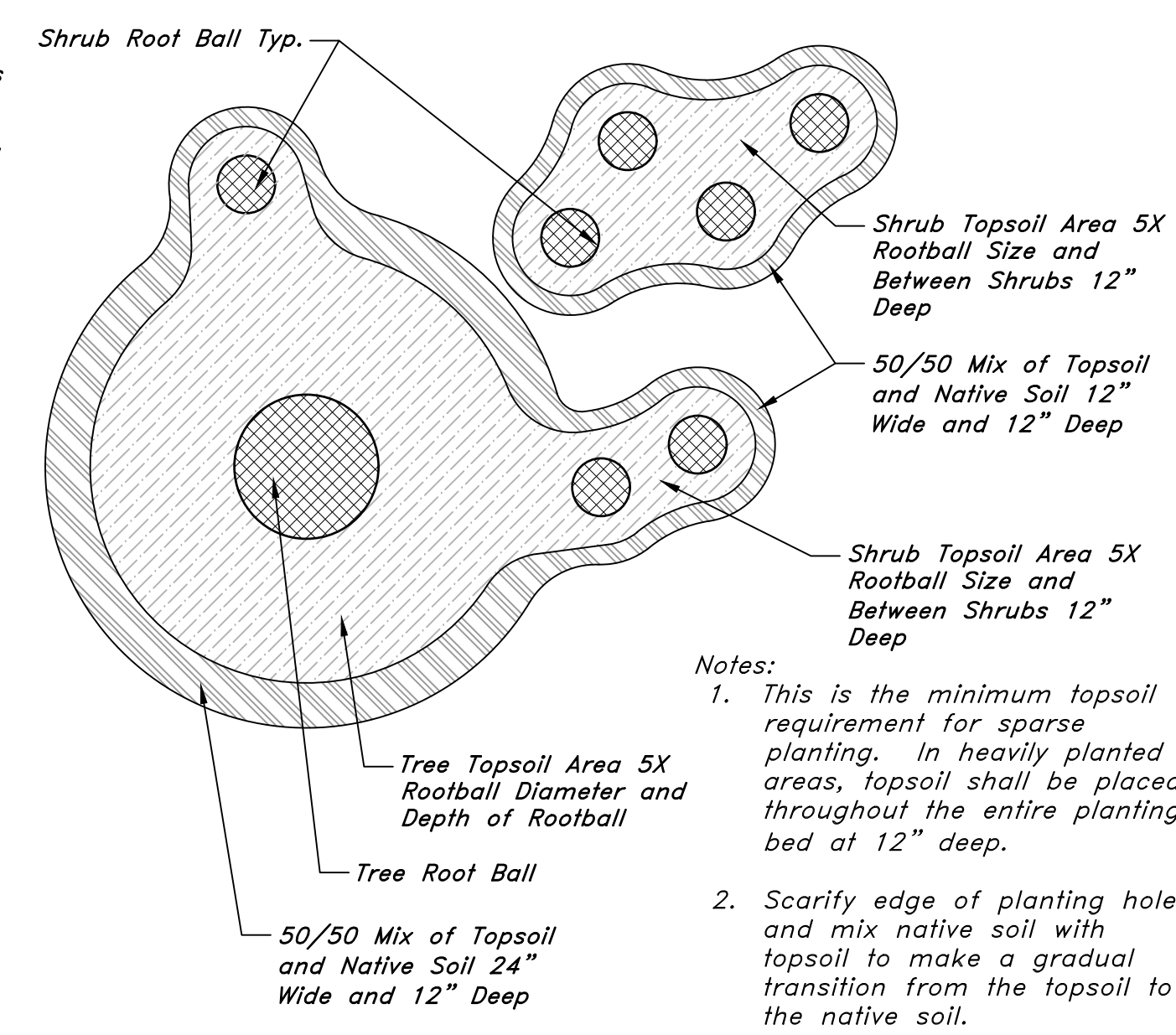
TREES	QTY	BOTANICAL / COMMON NAME	CONT	CALL	SIZE
	11	<i>Acer tataricum</i> 'Hot Wings' / Hot Wings Tatarian Maple	B & B	2"Cal	
	1	<i>Celtis occidentalis</i> 'Chicagoland' / Chicagoland Hackberry	B&B	2"Cal	
	18	<i>Gleditsia triacanthos inermis</i> 'Impcole' / Imperial Honey Locust	B&B	2"Cal	
	9	<i>Pinus nigra</i> / Austrian Black Pine	B & B		8-10'H
	7	<i>Zelkova serrata</i> 'Village Green' / Village Green Japanese Zelkova	B&B	2"Cal	
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE		
	8	<i>Arctostaphylos uva-ursi</i> 'Massachusetts' / Massachusetts Kinnikinnick	5 gal		
	151	<i>Aronia melanocarpa</i> 'UCONNAM166' / Low Scape Hedger® Black Chokeberry	5 gal		
	10	<i>Juniperus communis</i> 'Green Carpet' / Green Carpet Common Juniper	5 gal		
	25	<i>Juniperus horizontalis</i> 'Wiltonii' / Blue Rug Juniper	5 gal		
	82	<i>Prunus besseyi</i> 'Pawnee Buttes' / Sand Cherry	5 gal		
	27	<i>Prunus laurocerasus</i> 'Otto Luyken' / Luykens Laurel	5 gal		
	146	<i>Rhus aromatica</i> 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal		
	22	<i>Ribes rubrum</i> 'Red Lake' / Red Lake Currant	5 gal		
	34	<i>Rosa foetida bicolor</i> / Austrian Copper Rose	5 gal		
	91	<i>Rosa</i> x 'Carefree Wonder' / Rose	1 gal		
	26	<i>Taxus x media</i> 'Dark Green Spreader' / Dark Green Spreader Yew	5 gal		
ANNUALS/PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE		
	72	<i>Hemerocallis</i> x 'Bakabana' / Bakabana Daylily	1 gal		
	40	<i>Hemerocallis</i> x 'Early Snow' / Early Snow Daylily	1 gal		
	24	<i>Rudbeckia fulgida</i> 'Early Bird Gold' / Early Bird Gold Coneflower	1 gal		
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE		
	42	<i>Calamagrostis</i> x <i>acutiflora</i> 'Karl Foerster' / Feather Reed Grass	1 gal		
	225	<i>Schizachyrium scoparium</i> 'Blaze' / Blaze Little Bluestem	1 gal		
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	TYPE	
	96,933 sf	Gravel Mulch 1 / Staker Parsons 1" Wasatch Grey 1" Clean Decorative Crushed Gravel Mulch Or approved Equal, Place 4" deep over Dewilt Pro 5 weed barrier fabric.	Stone Mulch	Stone	



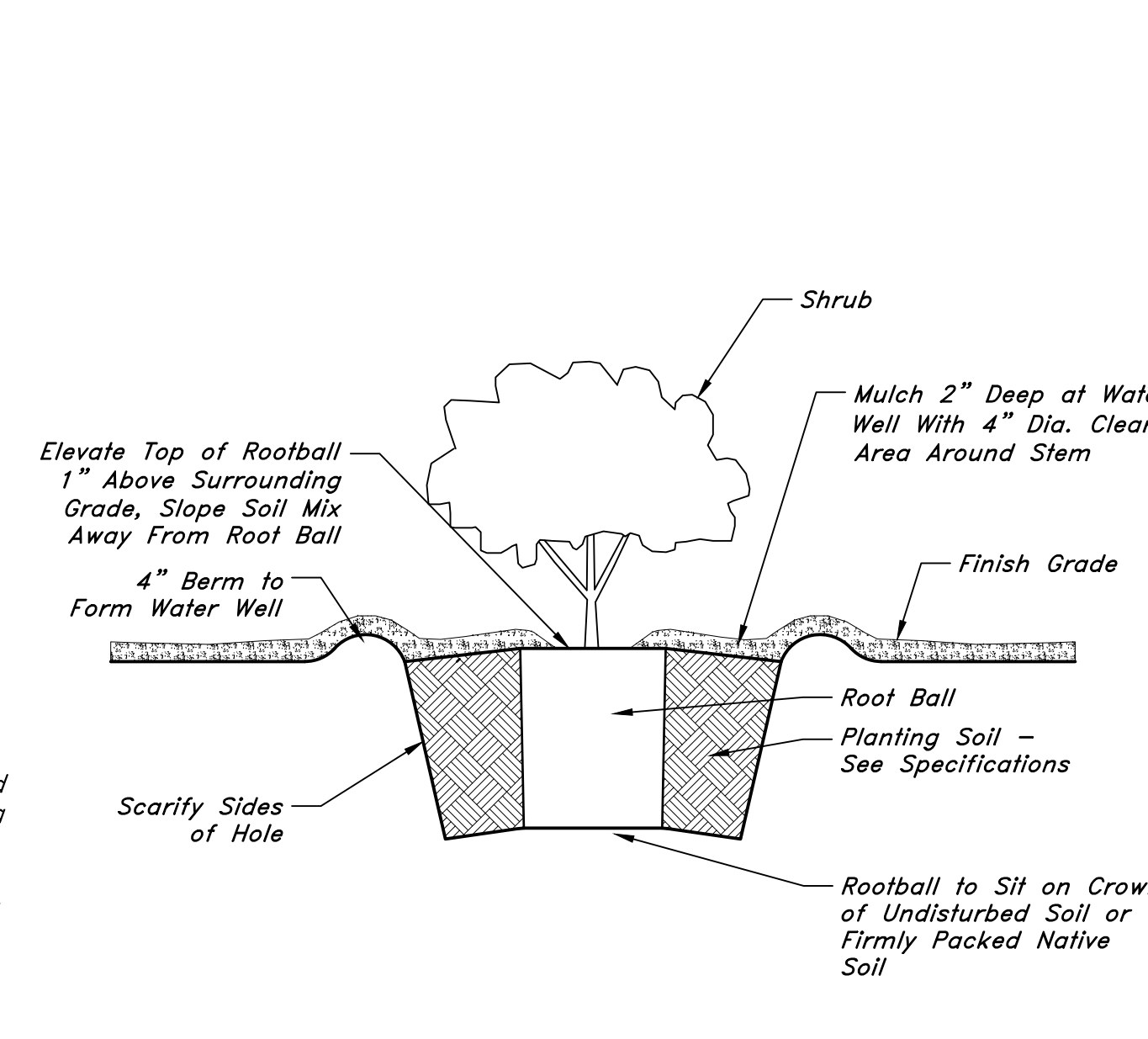
EXISTING TREES - MAINTAIN AND PROTECT



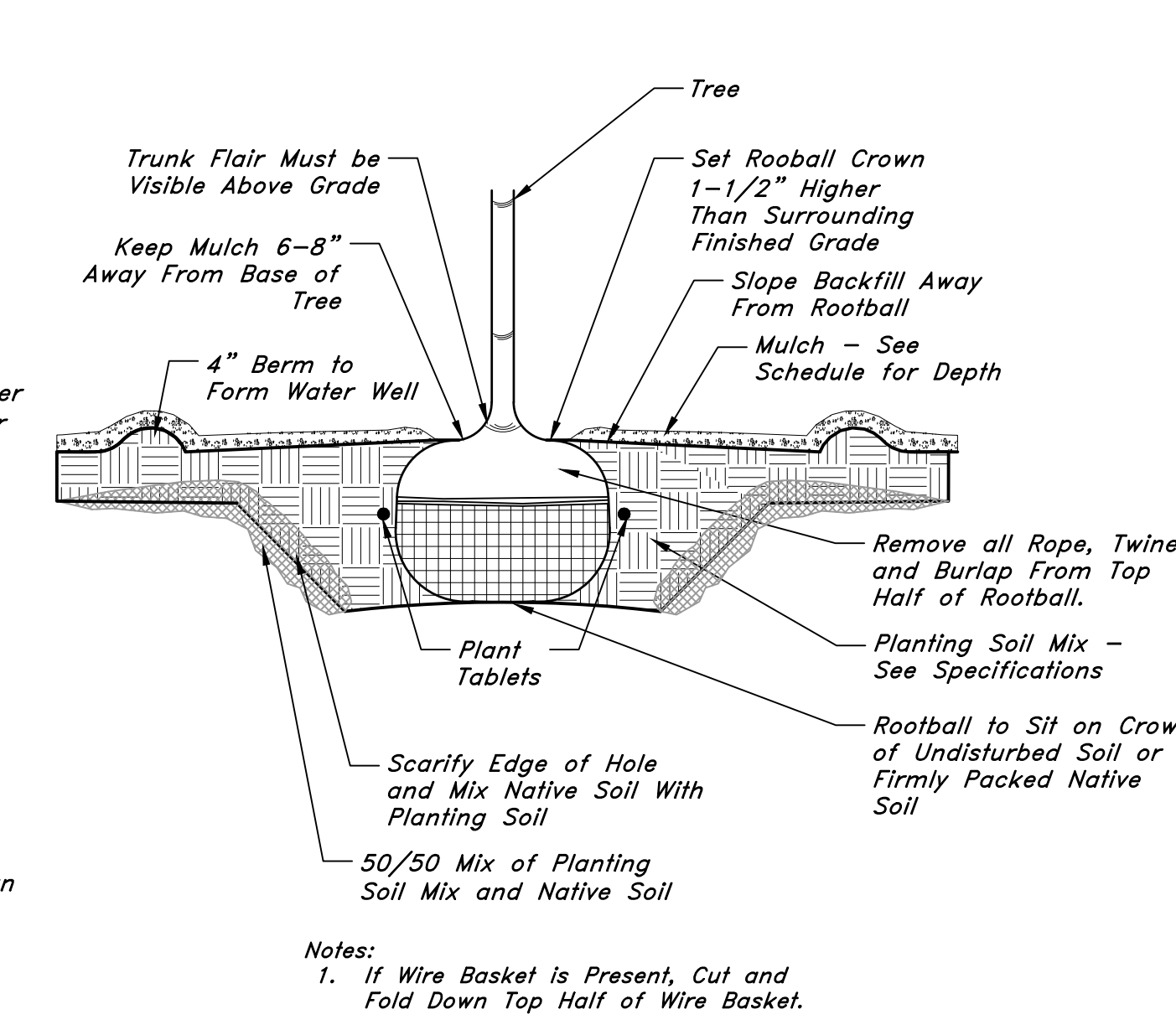
4 TREE STAKING DETAIL
NTS



3 TOPSOIL PLACEMENT AT SHRUBS AND TREES
NTS



2 SHRUB PLANTING
NTS



1 TREE PLANTING
NTS

32 9333.01-01

32 9343.01-01

32 9406-01

Exhibit D - Building Elevations

EXTERIOR ELEVATION GENERAL NOTES

- REFER TO THE MATERIAL AND FINISH SCHEDULES ON SHEET A641 FOR FURTHER INFORMATION.
- CONTRACTOR TO LEAVE A 1/2" GAP BETWEEN ALL DISSIMILAR MATERIAL TYP. TO BE FILLED WITH BACKER ROD AND SEALANT, COLOR AS SELECTED.
- ALL EXPOSED EXTERIOR STEEL TO BE PAINTED (I.E. LINTELS, ETC.).
- CONTRACTOR TO PAINT ALL VENT PIPES, EXHAUST FANS AND OTHER ROOF EQUIPMENT AND PENETRATIONS THAT ARE VISIBLE FROM THE SURROUNDING BUILDING'S STREET FRONTAGE.
- SEE ELECTRICAL DRAWINGS FOR EXTERIOR POWER LOCATIONS, LIGHTING, HORN STROBES, CARD READERS, ETC.
- SEE PLUMBING DRAWINGS FOR DOWNSPOUT NOZZLE, HOSE BIB, AND FDC CONNECTION LOCATIONS, ETC.

SHEET NOTES

- NOTE: THESE NOTES APPLY TO THIS SHEET ONLY.
- DOOR AS SCHEDULED
 - GLAZING SYSTEM AS SCHEDULED
 - PAINTED STEEL BOLLARD
 - METAL GUARDRAIL, SEE DETAILS
 - SECTIONAL DOOR AS SCHEDULED
 - WHITE INSULATED METAL WALL PANEL
 - EXISTING STRUCTURE
 - MECHANICAL EQUIPMENT, COORDINATE WITH MECHANICAL
 - ELECTRICAL EQUIPMENT, COORDINATE WITH ELECTRICAL DRAWINGS
 - CAST IN PLACE CONCRETE WALL
 - EXISTING CMU BUILDING
 - NEW PRE-ENGINEERED METAL BUILDING TO MATCH EXISTING, WHITE WALL PANELS
 - EXISTING PRE-ENGINEERED METAL BUILDING
 - BUILDING SIGNAGE
 - RED STRIPE TO MATCH EXISTING RED STRIPE



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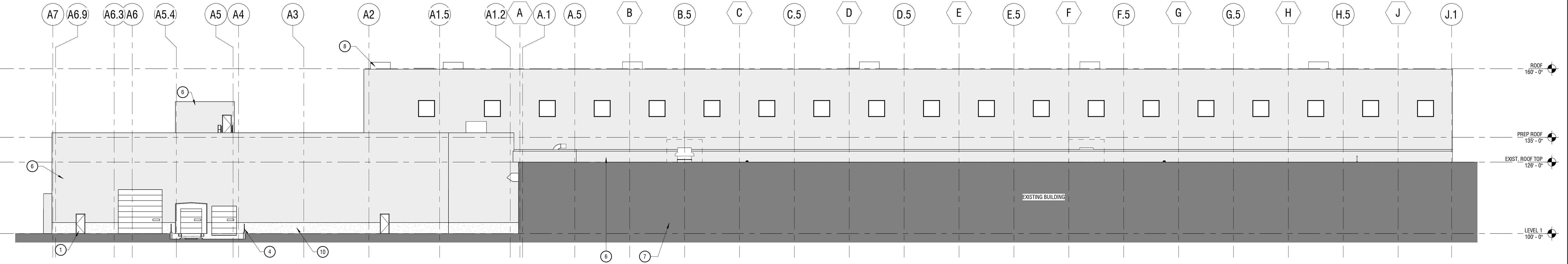
EXTERIOR ELEVATIONS

Sheet Number

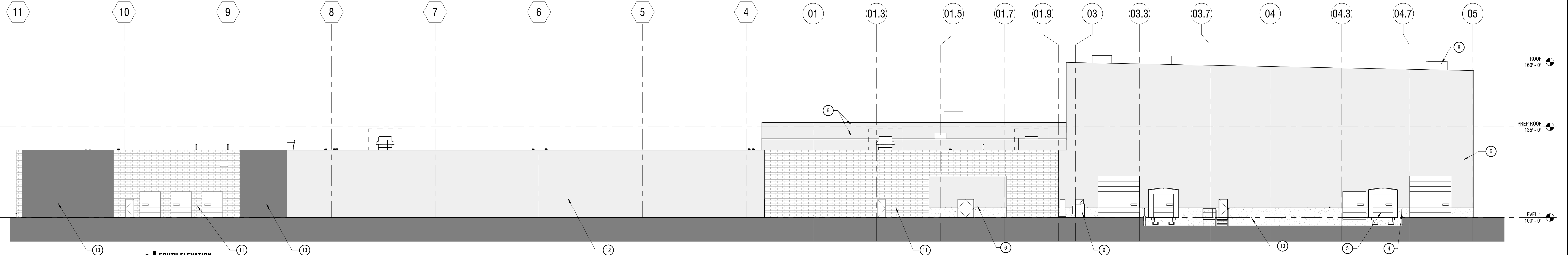
A201



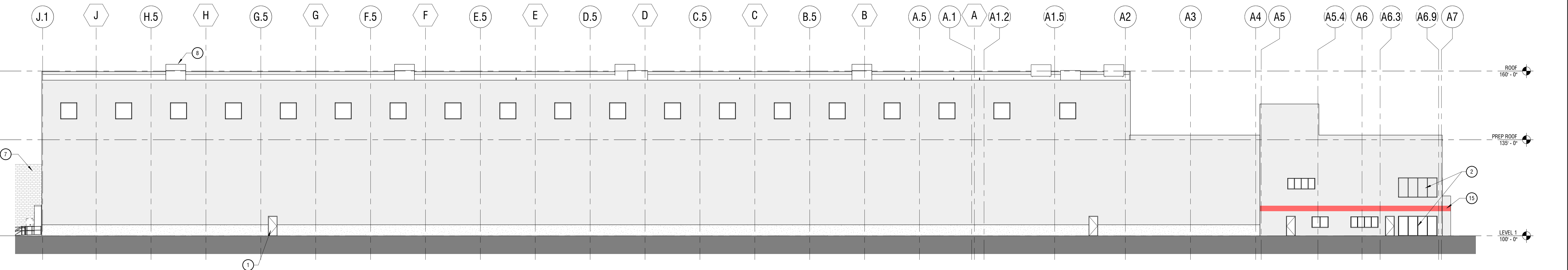
1 NORTH ELEVATION
 1/16" = 1'-0"



2 WEST ELEVATION
 1/16" = 1'-0"



3 SOUTH ELEVATION
 1/16" = 1'-0"



4 EAST ELEVATION
 1/16" = 1'-0"