

WESTERN WEBER PLANNING COMMISSION MEETING

MEETING AGENDA

June 13, 2023

Pre-meeting 4:30/Regular meeting 5:00 p.m.

- **Pledge of Allegiance**
- **Roll Call:**

1. Minutes: May 9, 2023

Petitions, Applications, and Public Hearings:

2. Administrative items:

2.1 LVA042723: Consideration of a request for preliminary approval of Anselmi Acres Subdivision, consisting of 37 lots located at approximately 4100 W 1400 S, Ogden. **Planner: Steve Burton**

2.2 DR 2023-02: Consideration of a request for design review approval of a metals processing site, associated with the Compass Minerals site located at approximately 765 N 10500 W, Ogden. **Planner: Steve Burton**

2.3 LVW122722 - Consideration and action on a recommendation for final approval of The Grove at JDC Ranch Phase 1 (30 lots). **Planner: Felix Lleverino**

3. Public Comment for Items not on the Agenda:

4. Remarks from Planning Commissioners:

5. Planning Director Report:

6. Remarks from Legal Counsel

Adjourn to Work Session

WS1. ZMA 2023-08: Consideration of a request for a rezone from A-1 (agricultural, 40,000 square feet per lot) to R1-15 (residential, 15,000 square feet per lot), located at approximately 600 S 4700 W, Ogden. **Planner: Steve Burton**

WS2. ZTA 2023-04: Consideration of a county initiated ordinance to implement water-wise landscaping regulations that align with the Weber Basin Water Conservancy District "Flip your Strip" turf removal incentive. **Planner: Steve Burton**

Adjourn

The regular meeting will be held in the Weber County Commission Chambers, in the Weber Center, 1st Floor, 2380 Washington Blvd., Ogden, Utah.

Public comment may not be heard during administrative items. Please contact the Planning Division Project Manager at 801-399-8374 before the meeting if you have questions or comments regarding an item.

A Pre-Meeting will be held at 4:30 p.m. The agenda for the pre-meeting consists of discussion of the same items listed above, on the agenda for the meeting. No decisions are made in the pre-meeting, but it is an open public meeting.

In compliance with the Americans with Disabilities Act, persons needing auxiliary services for these meetings should call the Weber County Planning Commission at 801-399-8374

Meeting Procedures

Outline of Meeting Procedures:

- ❖ The Chair will call the meeting to order, read the opening meeting statement, and then introduce the item.
- ❖ The typical order is for consent items, old business, and then any new business.
- ❖ Please respect the right of other participants to see, hear, and fully participate in the proceedings. In this regard, anyone who becomes disruptive, or refuses to follow the outlined procedures, is subject to removal from the meeting.

Role of Staff:

- ❖ Staff will review the staff report, address the approval criteria, and give a recommendation on the application.
- ❖ The Staff recommendation is based on conformance to the general plan and meeting the ordinance approval criteria.

Role of the Applicant:

- ❖ The applicant will outline the nature of the request and present supporting evidence.
- ❖ The applicant will address any questions the Planning Commission may have.

Role of the Planning Commission:

- ❖ To judge applications based upon the ordinance criteria, not emotions.
- ❖ The Planning Commission's decision is based upon making findings consistent with the ordinance criteria.

Public Comment:

- ❖ The meeting will then be open for either public hearing or comment. Persons in support of and in opposition to the application or item for discussion will provide input and comments.
- ❖ The commission may impose time limits for comment to facilitate the business of the Planning Commission.

Planning Commission Action:

- ❖ The Chair will then close the agenda item from any further public comments. Staff is asked if they have further comments or recommendations.
- ❖ A Planning Commissioner makes a motion and second, then the Planning Commission deliberates the issue. The Planning Commission may ask questions for further clarification.
- ❖ The Chair then calls for a vote and announces the decision.

Commenting at Public Meetings and Public Hearings

Public comment may NOT be heard during Administrative items, the Planning Division Project Manager may be reached at 801-399-8371 before the meeting if you have questions or comments regarding an item.

Address the Decision Makers:

- ❖ When commenting please step to the podium and state your name and address.
- ❖ Please speak into the microphone as the proceedings are being recorded and will be transcribed to written minutes.
- ❖ All comments must be directed toward the matter at hand.
- ❖ All questions must be directed to the Planning Commission.
- ❖ The Planning Commission is grateful and appreciative when comments are pertinent, well organized, and directed specifically to the matter at hand.

Speak to the Point:

- ❖ Do your homework. Obtain the criteria upon which the Planning Commission will base their decision. Know the facts. Don't rely on hearsay and rumor.
- ❖ The application is available for review in the Planning Division office.
- ❖ Speak to the criteria outlined in the ordinances.
- ❖ Don't repeat information that has already been given. If you agree with previous comments, then state that you agree with that comment.
- ❖ Support your arguments with relevant facts and figures.
- ❖ Data should never be distorted to suit your argument; credibility and accuracy are important assets.
- ❖ State your position and your recommendations.

Handouts:

- ❖ Written statements should be accurate and either typed or neatly handwritten with enough copies (10) for the Planning Commission, Staff, and the recorder of the minutes.
- ❖ Handouts and pictures presented as part of the record shall be left with the Planning Commission.

Remember Your Objective:

- ❖ Keep your emotions under control, be polite, and be respectful.
- ❖ It does not do your cause any good to anger, alienate, or antagonize the group you are standing in front of.

May 9, 2023 Minutes

Minutes for Western Weber Planning Commission meeting of May 9, 2023, held in the Weber County Commission Chamber, 2380 Washington Blvd. Floor 1 Ogden UT at 5:00 pm.

Members Present: Bren Edwards-Chair; Andrew Favero—Vice Chair, Cami Clontz, Jed McCormick, Casey Neville, Sarah Wichern, Wayne Andreotti

Staff Present: Rick Grover, Director; Charlie Ewert, Principal Planner; Steve Burton, Principal Planner; Bill Cobabe, Planner; Felix Lleverino, Planner; Liam Keogh, Attorney; June Nelson, Secretary

Pledge of Allegiance

1. Minutes: April 11, 2023 APPROVED

Petitions, Applications, and Public Hearings:

2. Legislative items:

2.1 ZMA2023-04 - A public hearing for consideration of a requested rezone from A-2 to RE-15 on approximately 76 acres of vacant land. **Planner: Felix Lleverino**

This item is an applicant-driven request to amend the zoning map from A-2 to RE-15 on 76.00 acres. The owner seeks this zoning to allow for residential neighborhoods where the residents can enjoy the agricultural heritage and the rural way of life. Figure 1.1 shows the general site development standards of the RE-15 zone, however, if the rezone is approved, the rezone ordinance will be accompanied by a zoning development agreement that will govern the features unique to this development.

The applicant is requesting that the property is zoned to the RE-15 zone. If the planning commission would prefer that the property is zoned for the new R1-15, they may add a motion that the property be rezoned to the new R1-15 zone code. Three primary differences between the RE-15 and the R1-15 zone are; the minimum yard setbacks, the site development standards, and that the R1 zones are optimized for residential uses.

Section 102-5-2 of the Weber County Code suggests that a rezone should comply with the applicable general plan. The Western Weber General Plan (2022) is the guiding document used in the analysis by the Planning Staff.

The General Plan’s Future Land Use Map shows that this location is planned for medium-density residential development.

Land Use Action 1.2.1 (Page 52)

“In areas planned for medium-sized lots, the County should consider rezoning the property to allow 15,000 square-foot lots.”

Generally, this coincides with the RE-15 zone. A rezone of this nature should only be allowed if smart-growth implementation strategies are volunteered by the developer, as provided in Land Use Principle 1.4. Smart Growth strategies accomplished by the concept plan with added redlines from the planning include roadway layouts that provide for good network connectivity and limit dead-end/cul-de-sac streets (2022, pg. 54), and human-scale street infrastructure with active transportation facilities along all street types (2022, pg. 110, Transportation Principle 6.2)

County Rezoning Procedure

- a. *Whether the proposed amendment is consistent with goals, objectives, and policies of the County’s general plan.*
- b. *Whether the proposed amendment is compatible with the overall character of existing development in the vicinity of the subject property.*
- c. *The extent to which the proposed amendment may adversely affect adjacent property.*
- d. *Whether the proposed rezone can be developed in a manner that will not substantially degrade natural/ecological resources or sensitive lands.*
- e. *Whether proposed traffic mitigation plans will prevent transportation corridors from diminishing below an acceptable level of service.*

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- f. *Whether proposed traffic mitigation plans will prevent transportation corridors from diminishing below an acceptable level of service.*

Commissioner Edwards stated that there was a letter that was sent to the Planning Commission and it would be attached to these minutes for the record. **Chair Edwards called for a motion to open the public hearing: Andrew Favero motioned to open the public hearing. The motion was seconded by Jed McCormick.**

Neal Davis 7212 W 900 S I own property south of this project. I am concerned about ¼ acre lots, sewer and septic. There is a ditch on our property. Am I liable for any accidents that happen there> I have land that I want to split in 6 acre lots for my kids.

Alexie Vigil 664 S 7500 W-Growth will have a significant impact on the community. There is no adequate sewer or roads.

Leslie Judkins 724 S 7500 W I am against this. There is a substandard road that is 1 lane. This is too much traffic for the roads.

Wade Cardon 840 S 7500 W 100 homes and septic will not work.

Calene Ingram 710 S 7500 W Will the planning commission require a rezone of the Marriott property that will be annexed?

Levi Giles 6885 S 7100 W Vaquero Village-phase 1 is a mess. There is no secondary water and we have septic. Will we have to tie into sewer? We are still incomplete. There are no pathways, yards were lost

Eldon Davis 790 W 900 S This should not go forward. There is no agreement signed for sewer or water.

Nate Davis 3448 S 5100 W west Haven, This application is not complete. I understand that they have property rights. We need a transportation study for all the extra traffic. We should also pipe the ditch on the south side.

Doug Hall 7234 W 900 S The road is horrible. My concern is with the speed and number of cars. The County does not have the money to patrol this area. There is only 1 road in and out. It is not safe. The lots are too small.

Brent Davis 7406 W 900 S. There are planned walkways by the canal. Warren water will not let people that close. Green space needs to stay.

Morgan Olsen 683 S 7100 W We were promised green space. There is no green space here. We don't have secondary water. Will we be forced into sewer?

Ann G 900 S My concern is the park. It is overloaded. What is the difference between a green space and a park? The small park is not big enough.

Bill Davis 7598 900 S 7500 needs to be widened to 80 foot road. Will they move the canal? There is no room for an 80 foot road. There is no park. I am also concerned about the sewer. Little Mountain can't expand.

Russell Davis 7380 W 8900 S There is an infrastructure issue. We have a great community. These homes will not integrate into the community.

Motion to close public hearing by Andrew Favero and seconded by Casey Neville.

Chair Edwards states that the density is not ¼, it is 1/3 acre. Sewer is being run to the south side of the track for another development. There is also a grant for Little Mountain to expand its sewer. Septic is not allowed by the Health Department. The planning Commission is also concerned about the incomplete application. Warren West Warren is aware of this development. As for parks, developers offer a fee in lieu or land, depending on what the park district needs. We do need the letters for parks, sewer and water for confirmation or acknowledgement. Commissioner Wichern asked about the letter from the parks. Commissioner Favero stated that sometimes they need land and sometimes they need fee in lieu, depending on what is needed in the area. Director Grover stated that he was concerned that Phase 1 was not complete. Chair Edwards also stated that drainage, development will be needed also retention ponds. We also need a traffic study so we know what is needed for the roads. In the community comments they spoke about growth. It can be good and adaptable. Andrew Favero said that on the Marriott rezone, part will be rezoned. Director Grover stated that the property will be subdivided. Commissioner Wichern stated that those with septic will not have to be tied into sewer until septic fails.

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Pat Burns-1407 N Mountain Road-developer. I have nothing to do with Phase 1. The developer went bankrupt. I lost money. I had purchased some lots from him and was building homes there. There was no electricity. We had to bring in generators to do our work. . I bought the rest of the subdivision from the bankrupt developer. During phase 2, I will improve phase 1. We have been working on sewer in 30 different meetings. I had things approved, then, unfortunately Randy Marriott died. I am working on addressing these issues. Secondary Water will be through Mountain View.

Commissioner Wichern said that she was concerned about the significant investment for road improvement and access. Mr Burns stated to make it a non-substandard road it will just need to be 24 feet.

Chair Edwards called for a motion. Sarah Wichern motioned the following:

I move we table action on File #ZMA2023-04, a developer-initiated application to amend the Weber County Zoning Map to rezone a 76-acre parcel located at 640 South 7500 West from the A-2 Zone to RE-15 Zone until they can bring in water, sewer and park letter for our consideration. Also that the applicant can get us more information on traffic impact on 900 S. Motion was seconded by Jed McCormick. Motion passed 7-0.

3. Public Comment for Items not on the Agenda:

Rosaline Davis 900 S-we need help. Maybe a traffic study, a 4 way stop. It is scary. There is a 50 mph speed limit. It is too fast. Commissioner Favero said that there were some 4 way stops. He agrees that something needs to be done. Chair Edwards stated about the UDOT road. We should probably talk to the Commissioners upstairs.

Leslie Judkins 7500 W There are cows, tires, furniture down that road. It really needs to be cleaned up. You will also need employees to support all of this growth.

4. Remarks from Planning Commissioners: Andres Favero and Bren Edwards thanked the public on behalf of the Commission for attending the meeting.

5. Planning Director Report: Director Grover seconded the previous comments.

6. Remarks from Legal Counsel: None

Adjourn 6:40

Respectfully Submitted,
June Nelson
Lead Office Specialist

Approved _____



Staff Report to the Western Weber Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request:	Request for preliminary approval of Anselmi Acres Subdivision, consisting of 37 lots located at approximately 4100 W 1400 S.		
Type of Decision:	Administrative		
Agenda Date:	Tuesday, June 13, 2023		
Applicant:	Sky Hazelhurst		
File Number:	LVA042723		
Approximate Address:	4100 W 1400 S		
Project Area:	15 acres		
Zoning:	RE-15		
Existing Land Use:	Vacant/Agricultural		
Proposed Land Use:	Residential Subdivision		
Parcel ID:	15-057-0068		

Adjacent Land Use

North:	Agricultural	South:	Agricultural
East:	Agricultural	West:	Agricultural

Staff Information

Report Presenter:	Steve Burton sburton@webercountyutah.gov 801-399-8766
Report Reviewer:	RG

Applicable Ordinances

- Title 101, Chapter 1 General Provisions, Section 7, Definitions
- Title 104, Chapter 3 Residential Estates Zones RE-15
- Title 106, Subdivisions

Background and Summary

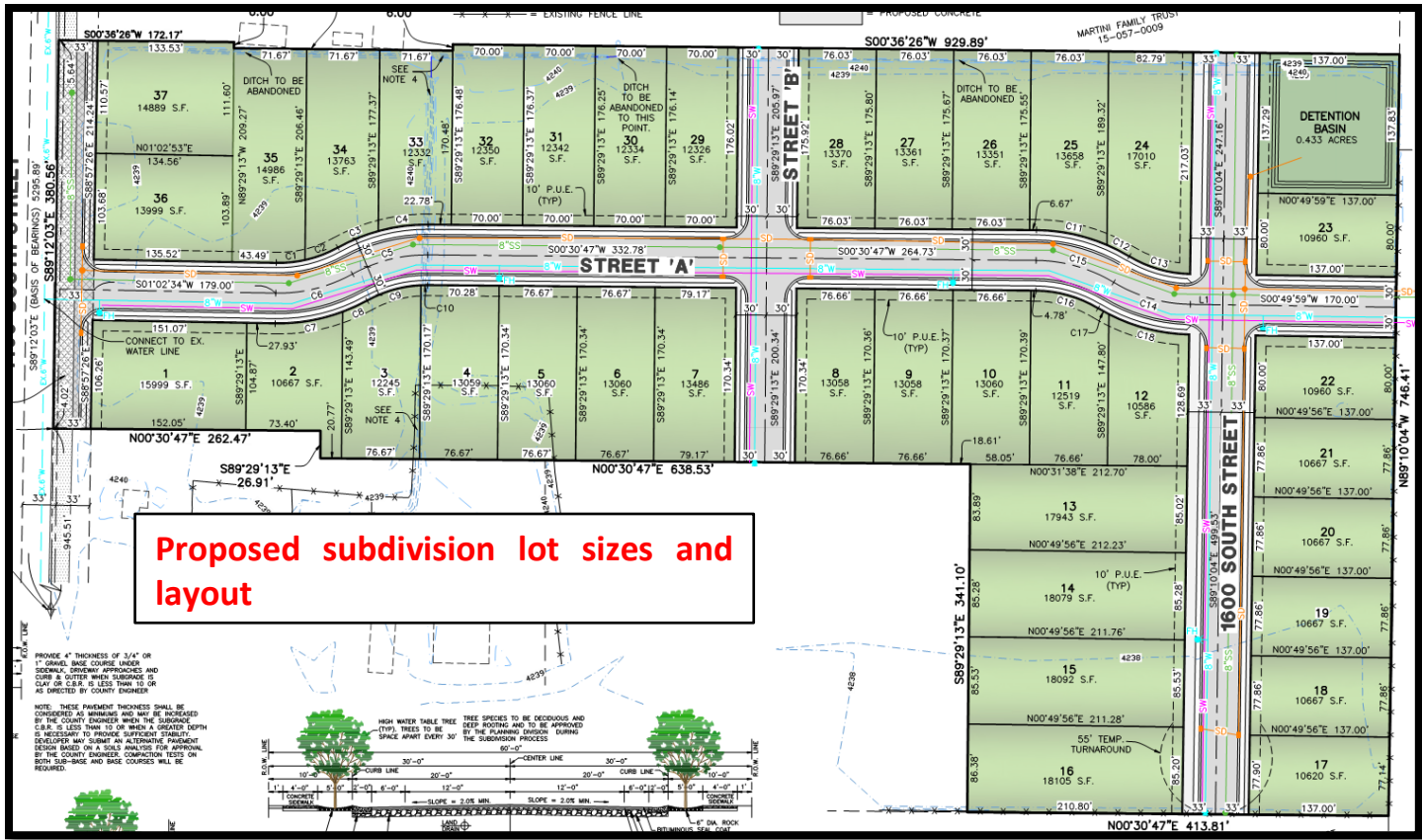
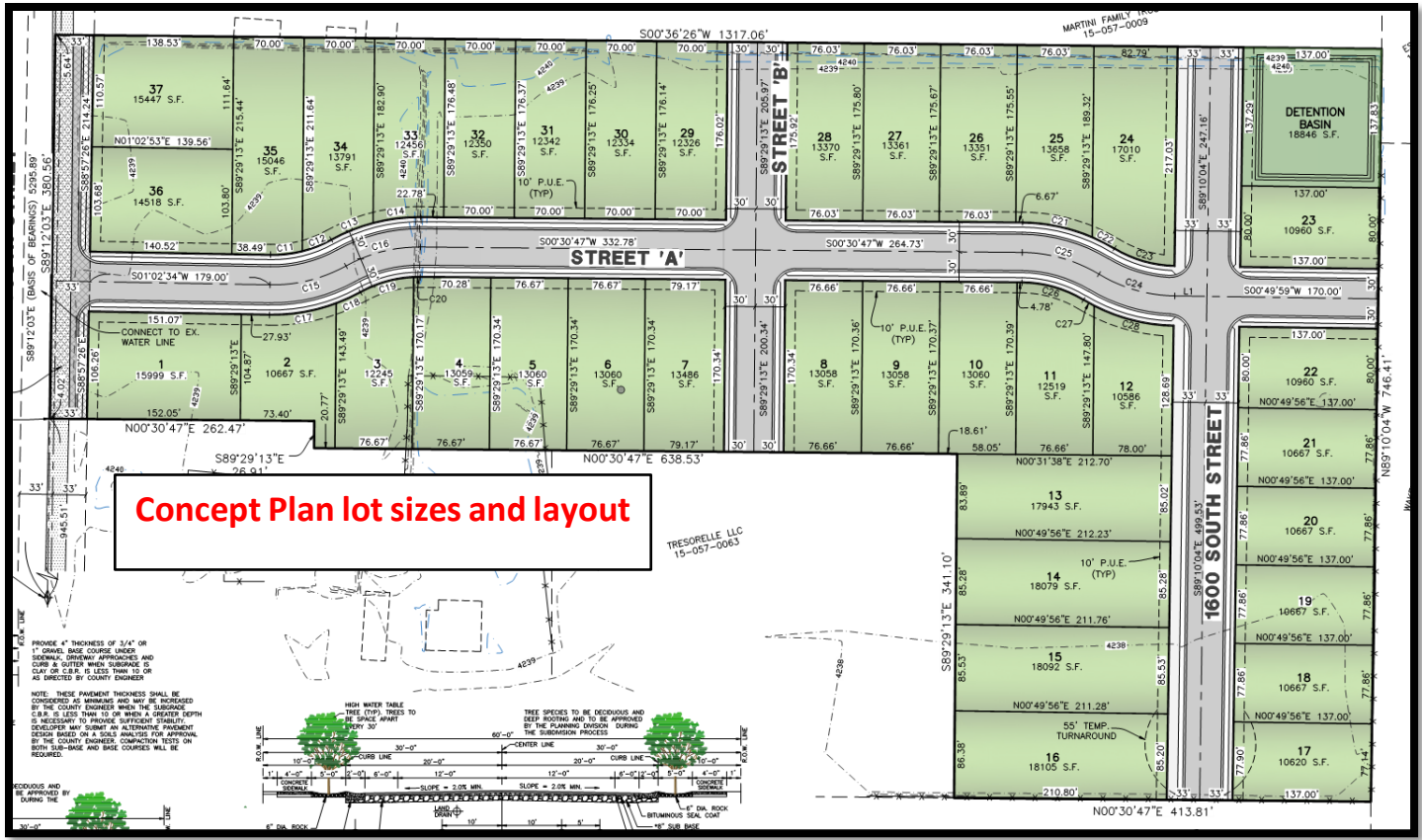
This application was accepted for review by the Planning Division on April 27, 2023. Prior to the owner submitting the application a rezoning ordinance (from A-1 to RE-15) and development agreements were approved by the County Commission on March 14, 2023. The applicant is requesting preliminary subdivision approval of 37 lots, however, only 30 lots can be approved at this time, because the county subdivision code does not allow more than 30 lots off a temporarily terminal street, unless an approved emergency access is platted. The applicant has provided the water and sewer will-serve letters that are required for preliminary approval. The following is an analysis of this project and how it complies, or does not comply, with county ordinance requirements and previous approvals.

Analysis

General Plan: When this property was rezoned in March of 2023, the County Commission made the determination that rezoning the property from A-1 to RE-15 was supported by the Western Weber General Plan, as 'medium density' residential, along with the owner's proposed open space contribution and street/pathway connectivity. The proposed subdivision layout follows the plan and the density that was approved with the rezone.

Zoning: The subject property is located in the RE-15 zone. Weber County land use code, Sec 104-3-1 describes the purpose and intent of the RE-15 as, "the major purpose of the RE-15 and RE-20 Zones is to provide and protect residential development at a low density in a semi-agricultural or rural environment. It is also to provide for certain rural amenities on larger minimum lots, in conjunction with the primary residential nature of the zone."

Lot area, frontage/width and yard regulations: The typical lot size requirement in the RE-15 zone is 15,000 square feet with a required width of 100 feet. The images on the following page show the lot sizes and layout of the concept plan compared to the lot sizes and layout of the proposed preliminary plan. Lots 33 through 37 are slightly smaller than shown on the concept plan. The difference however, is minimal, and staff considers the change inconsequential, as the same number of lots are proposed with the same widths as shown in the approved concept plan.



Culinary water and sanitary sewage disposal: Taylor West Weber Water has issued preliminary approval for this subdivision for the proposed number of lots, for culinary water only. Central Weber sewer has issued a will serve letter for the proposed number of lots for sewer service. Hooper Irrigation has issued a preliminary will serve letter for irrigation service for the proposed number of lots.

Review Agencies: To date, the proposed subdivision has been reviewed by the Planning Division, Engineering Division, and the Weber Fire District. The County Surveyor is currently reviewing the final plat.

Public streets and pathways: The proposal consists of 60 and 66 foot wide public streets. A 10 foot trail is shown along the north side of 1600 S street. The proposal will include four foot sidewalk along all both sides of all other streets and type G curb with a five foot wide park strip with six inch diameter rock.

1400 S Street, where the sole access currently exists to this parcel is considered to be a substandard public street. As part of the final plat and final improvement drawing review, the applicant will be required to supply an engineered cost estimate for the cost to improve 1400 S, and will be required to determine the street’s estimated buildout potential. The applicant’s proportionate share will be calculated as a result of the cost estimate and the streets estimated buildout potential.

1400 S Street is shown on the county’s future streets and transit map to be a minor collector street with a width of 80 feet. The approved concept plan shows the developer dedicating 33 feet half width for a 66 foot wide right of way. It is recommended that the Planning Commission require the developer to show an additional seven foot setback for lots along 1400 S (setback will be 37 feet from the front property line instead of 30 feet), so that the street can be widened if needed in the future.

The streets in this proposed subdivision are considered to be temporarily terminal. Sec 106-2-2.040 of the county subdivision code states that a temporarily terminal street can serve no more than 30 residential lots, until an emergency egress is provided out to another public street. Preliminary approval can be granted for no more than 30 lots, and no more than 30 lots should be shown on a final plat.

Previous approvals: The development agreement that was approved by the owner and the County Commission states that the developer “shall make a donation of \$2,000 per lot in the subdivision to the Taylor West Weber Parks District.” The development agreement does not state when that will be paid, however, staff recommends that the donation be paid before the subdivision plat can record.

Staff Recommendation

Staff recommends that the Planning Commission grant preliminary approval of only 30 lots in the Anselmi Acres subdivision. The recommendation is based on the following conditions:

1. The final plat will show no more than 30 lots, unless an approved emergency access is provided.
2. The final plat will reflect the development standards that were approved as part of the development agreement (eight foot side yard setbacks for dwellings).
3. The donation to the parks district listed in the development agreement will be paid by the developer before the subdivision plat records.
4. The building setback along 1400 S shall be shown on the final plat as a 37 foot front yard setback.

The recommendation is based on the following findings:

1. The subdivision code allows no more than 30 lots to be platted off a temporarily terminal street, unless an approved emergency egress is platted.
2. The proposal, with conditions, meets the preliminary subdivision requirements.

Area Map



Exhibits

Exhibit A: Preliminary Plan



Exhibit A

Storm Runoff Calculations
Anselmi Acres Subdivision
7152-19 1/27/2023

The following runoff calculations are based on the Rainfall - Intensity - Duration Frequency Curve for the West Weber City area taken from the NOAA Atlas 14 database. Calculations have been completed for the 100-yr 24-hr storm event. Storm water runoff has been calculated for a fully developed site and limited to a release rate of 0.1 cfs/acre.

The calculations are as follows:

Drainage Area:	Total Area = 15.37 acre or 669,594 sq ft
Runoff Coefficients:	20% Paved Area 135,684 sq ft C = 0.9
	14% Roof 92,500 sq ft C = 0.9
	66% Landscaped Area 441,410 sq ft C = 0.2
Weighted Runoff Coefficient:	C = 0.44

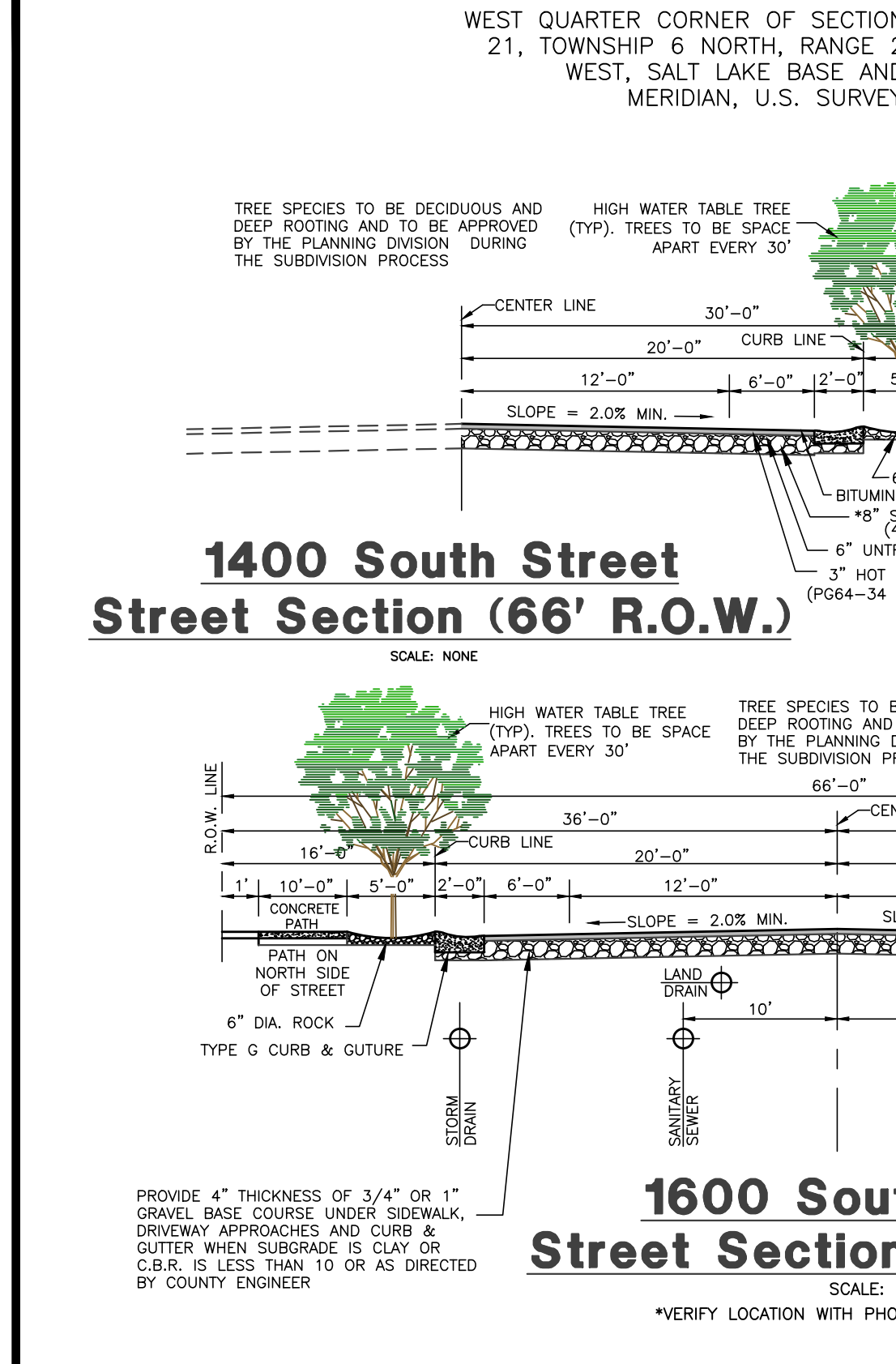
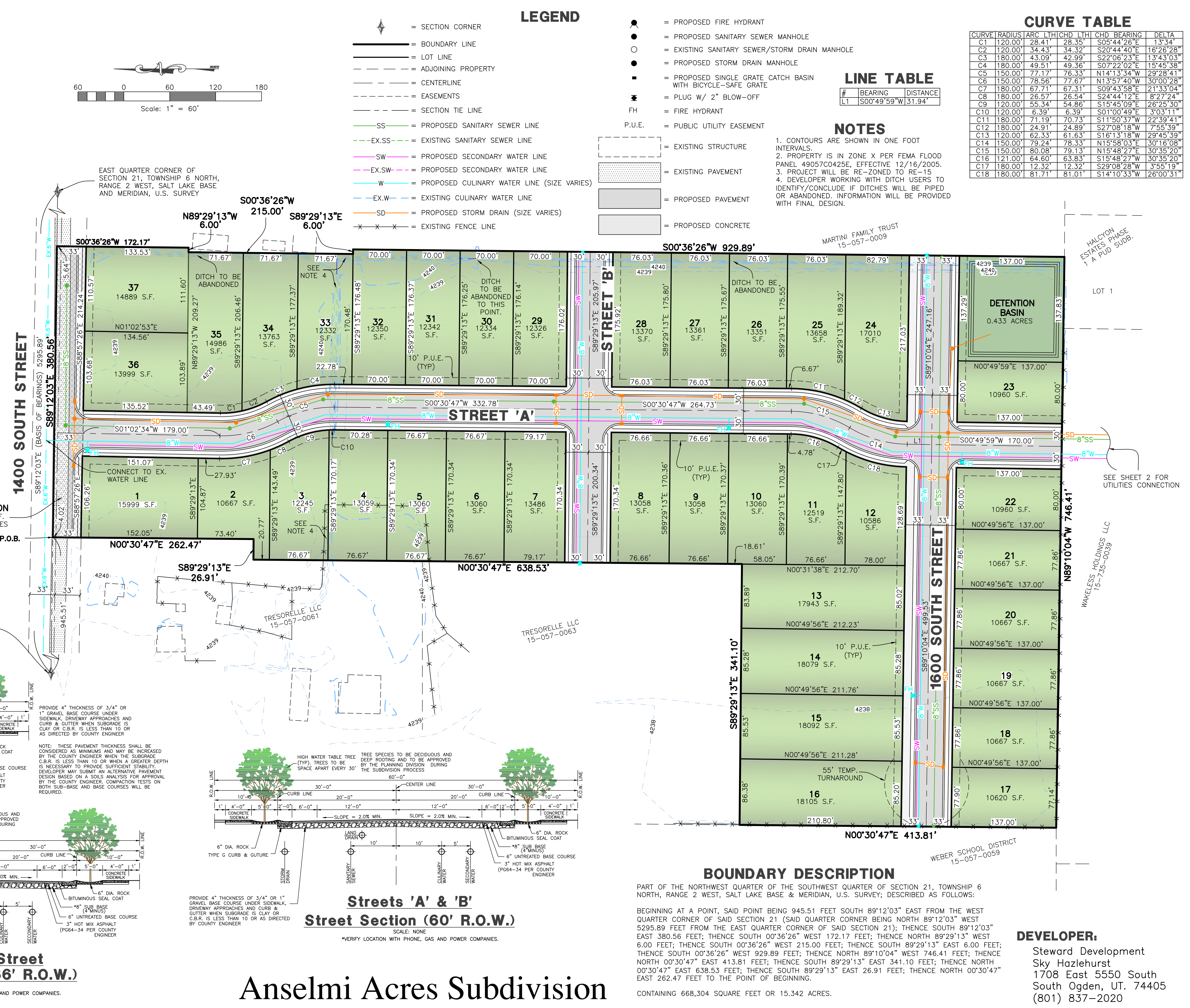
LID Retention:
80% Percentile Rainfall Event is the site feasible for LID? Yes
Site Imperviousness: NRCS Soil Group: C
R₁ Equation: 0.0371-1.22
R₂: 0.25
V_{max}: 8.304 c.f.

Volume of Run-off for 100-yr Storm Event:
C = 0.44
See Below in/hr
A = 669,594.25 sq ft
Q = 1.54 cfs (0.1 cfs per acre)

Time (min)	Time (sec)	I (in./hr)	Q (cfs)	Vol. in (cu ft)	Vol. out (cu ft)	Difference (cu ft)
5	300	6.50	44.18	13255	461	12794
10	600	4.85	31.85	20188	922	19266
15	900	4.09	27.80	25521	1383	24138
20	1200	3.75	24.69	30647	2767	30880
30	1800	3.10	20.28	41600	5534	36066
40	2400	2.83	18.69	45418	11068	34350
60	3600	2.30	15.20	46470	18602	27868
90	5400	1.85	12.40	51629	33033	18596
120	7200	1.58	10.69	56291	45418	10873
180	10800	1.22	8.30	63134	64006	3728
240	14400	1.02	7.16	68406	8272	60134
360	21600	0.81	5.72	78988	132812	-53824

Orifice Sizing:
Given: Q = 1.54 cfs
D = 2.86 inches
C_d = 0.62
R = 0.24 feet
D = 2.86 inches
A = 25.70 inches²

SUMMARY:
The required 100-yr storage volume is 36,066 cubic feet
The required LID Retention volume is 8,304 cubic feet
Orifice size is 5.7 inches



BOUNDARY DESCRIPTION

PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN, U.S. SURVEY; DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT, SAID POINT BEING 945.51 FEET SOUTH 89°12'03" EAST FROM THE WEST QUARTER CORNER OF SAID SECTION 21 (SAID QUARTER CORNER BEING NORTH 89°12'03" WEST 5295.89 FEET FROM THE EAST QUARTER CORNER OF SAID SECTION 21); THENCE SOUTH 89°12'03" EAST 380.56 FEET; THENCE SOUTH 00°36'26" WEST 172.17 FEET; THENCE NORTH 89°29'13" WEST 6.00 FEET; THENCE SOUTH 00°36'26" WEST 215.00 FEET; THENCE SOUTH 89°29'13" EAST 6.00 FEET; THENCE SOUTH 00°36'26" WEST 929.89 FEET; THENCE NORTH 89°10'04" WEST 746.41 FEET; THENCE NORTH 00°30'47" EAST 413.81 FEET; THENCE SOUTH 89°29'13" EAST 341.10 FEET; THENCE NORTH 00°30'47" EAST 638.53 FEET; THENCE SOUTH 89°29'13" EAST 26.91 FEET; THENCE NORTH 00°30'47" EAST 262.47 FEET TO THE POINT OF BEGINNING.

CONTAINING 668,304 SQUARE FEET OR 15.342 ACRES.

DEVELOPER:
Steward Development
Sky Hazlehurst
1708 East 5550 South
South Ogden, UT. 74405
(801) 837-2020

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST RIVERDALE, UTAH 84405
TEL: (801) 821-3100 FAX: (801) 821-2668 WWW.REEVE.CO

TRA
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION
DATE	

Anselmi Acres Subdivision
PART OF THE NW 1/4 OF THE SW 1/4 OF SECTION 21, T.6N., R.2W., S.1B.&M., U.S. SURVEY
WEBER COUNTY, UTAH

Preliminary Plan

Project Info.
Engineer: N. Reeve
Planner: C. Cove
Designer: E. Roche
Date: 1-24-23
Name: ANSELMI ACRES SUBDIVISION
Number: 7152-19

Exhibit A



Anselmi Acres Subdivision

Weber County, Utah

Reeve & Associates, Inc.
 5160 S. 1500 W., RIVERDALE, UTAH 84405
 TEL: (801) 821-3100 FAX: (801) 821-2668 www.reeve.co
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION

Anselmi Acres Subdivision
 PART OF THE NW 1/4 OF THE SW 1/4 OF SECTION 21, T.6N., R.2W., S.12B.&M., U.S. SURVEY
 WEBER COUNTY, UTAH

Preliminary Utility Connection Plan

Project Info.

Engineer: N. Reeve
 Planner: C. Cove
 Designer: E. Roche
 Date: 1-24-23
 Name: ANSELMI ACRES SUBDIVISION
 Number: 7152-19

Sheet	2
2	Sheets



Staff Report to the Western Weber Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Item: DR 2023-02 Consideration of a request for design review approval of a metals processing site, associated with the Compass Minerals site located at approximately 765 N 10500 W, Ogden.

Agenda Date: June 13, 2023

Applicant: Joseph Havasi

File Number: DR 2023-02

Property Information

Approximate Address: 765 N 10500 W, Ogden

Project Area: 2 acres

Zoning: Manufacturing (M-3 Zone)

Existing Land Use: Minerals extraction site

Proposed Land Use: Metals processing, non-hazardous

Parcel ID: 10-032-0005

Adjacent Land Use

North:	Industrial	South:	Industrial
East:	Industrial	West:	Industrial

Staff Information

Report Presenter: Steve Burton
sburton@webercountyutah.gov
801-399-8766

Report Reviewer: RG

Applicable Ordinances

1. Title 104 Zones Chapter 21 Manufacturing Zones
2. Title 104 Chapter 1 (Design Review)
3. Title 108 Standards Chapter 7 (Supplemental and Qualifying Regulations)
4. Title 108 Standards Chapter 8 (Parking and Loading Space, Vehicle Traffic and Access Regulations)

Proposal

The applicant is proposing the first phase of a two phase manufacturing project to produce lithium chloride through Direct Lithium Extraction (DLE) Technology. The proposal includes holding ponds and a lithium plant. This project falls under the "Metals processing or refining, nonhazardous" use listed as permitted in the M-3 zone.

Analysis

General Plan: The future land use map of the Western Weber General Plan shows this site in the Industrial/Manufacturing area of the Western Weber County Planning area. This proposal is not contrary to the goals and policies of the Western Weber General Plan.

Zoning: The M-3 zone allows metals processing or refining as a permitted use. The proposed site will need to comply with the following required site development standards of the M-3 zone:

Minimum lot area: None. (This proposal currently meets this requirement)

Front yard: 30 feet. (This proposal currently does not meet this requirement. The lithium plant is proposed to be constructed over top of a property line. This property line will need to be adjusted before a building permit can be issued for the lithium plant.)

Side yard: None.

Rear yard: None.

Building height: None.

Lot coverage: 80 percent.

Design Review: The design review chapter requires the land use authority to review an application with the following considerations:

(a). Considerations relating to traffic safety and traffic congestion:

Impact fees for the proposal's impact on existing streets will be collected as a building permit is issued. The owner is not expected to do more than pay impact fees as a means of addressing traffic concerns. Concerns of congestion or safety are not anticipated to be a result of this proposal.

For the first phase, the applicant does not anticipate the need for additional parking.

(b). Considerations relating to outdoor advertising:

The proposal does not include any outdoor advertising.

(c). Considerations to landscaping:

The applicant has proposed an area along the entrance of the site to meet the 10 percent landscaping requirement, which will primarily include landscaping rock.

(d). Considerations relating to buildings and site layout:

The proposed building material, architecture, and colors conform to the existing site and surrounding neighborhood concept.

(e). Considerations relating to utility easements, drainage, and other engineering questions:

The site is required to retain any stormwater runoff, so that adjacent sites are not impacted by the site's impervious surfaces. The Weber County Engineering Division is currently reviewing the proposal.

(f). Considerations relating to prior development concept plan approval associated with any rezoning agreement, planned commercial or manufacturing rezoning, or planned residential unit development approval:

There have been no development agreements that apply to this property. There have been several design review and conditional use permit approvals on this site, with which this proposal complies.

Review Agencies: Weber Fire District and the County Engineering Division are currently reviewing the project.

Staff Recommendation

Staff recommends approval of DR 2023-02, based on all review agency requirements and the following conditions.

1. The boundary of parcels 10-051-0001 and 10-032-0005 will be adjusted, so that the lithium plant location will meet the required front yard setback, and all other lot development standards.

This recommendation is based on review agency comments and is based on the following findings:

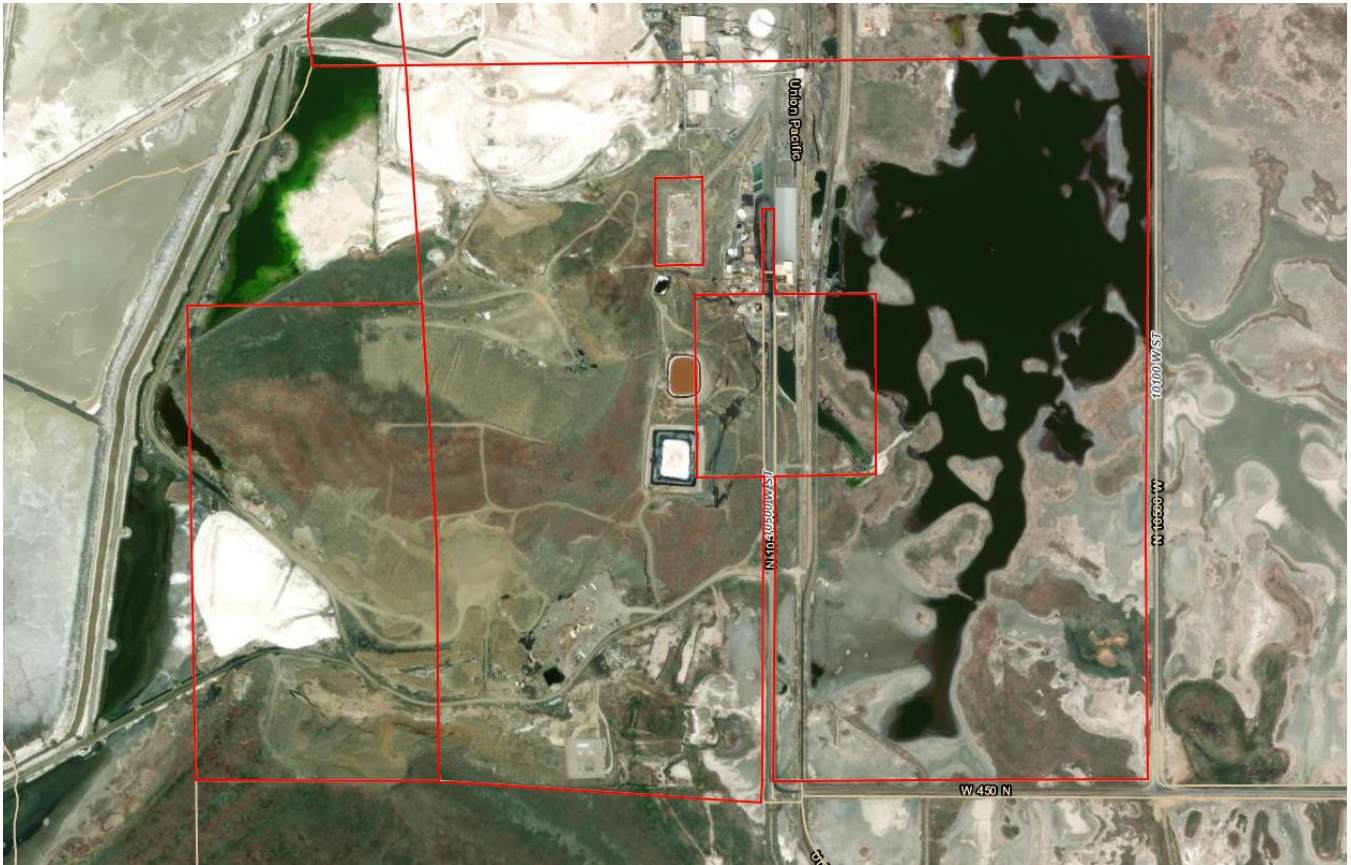
1. The proposed use conforms to the Western Weber General Plan.
2. The proposed use is not detrimental to public health, safety, or welfare.
3. The proposed use complies with applicable County ordinances.

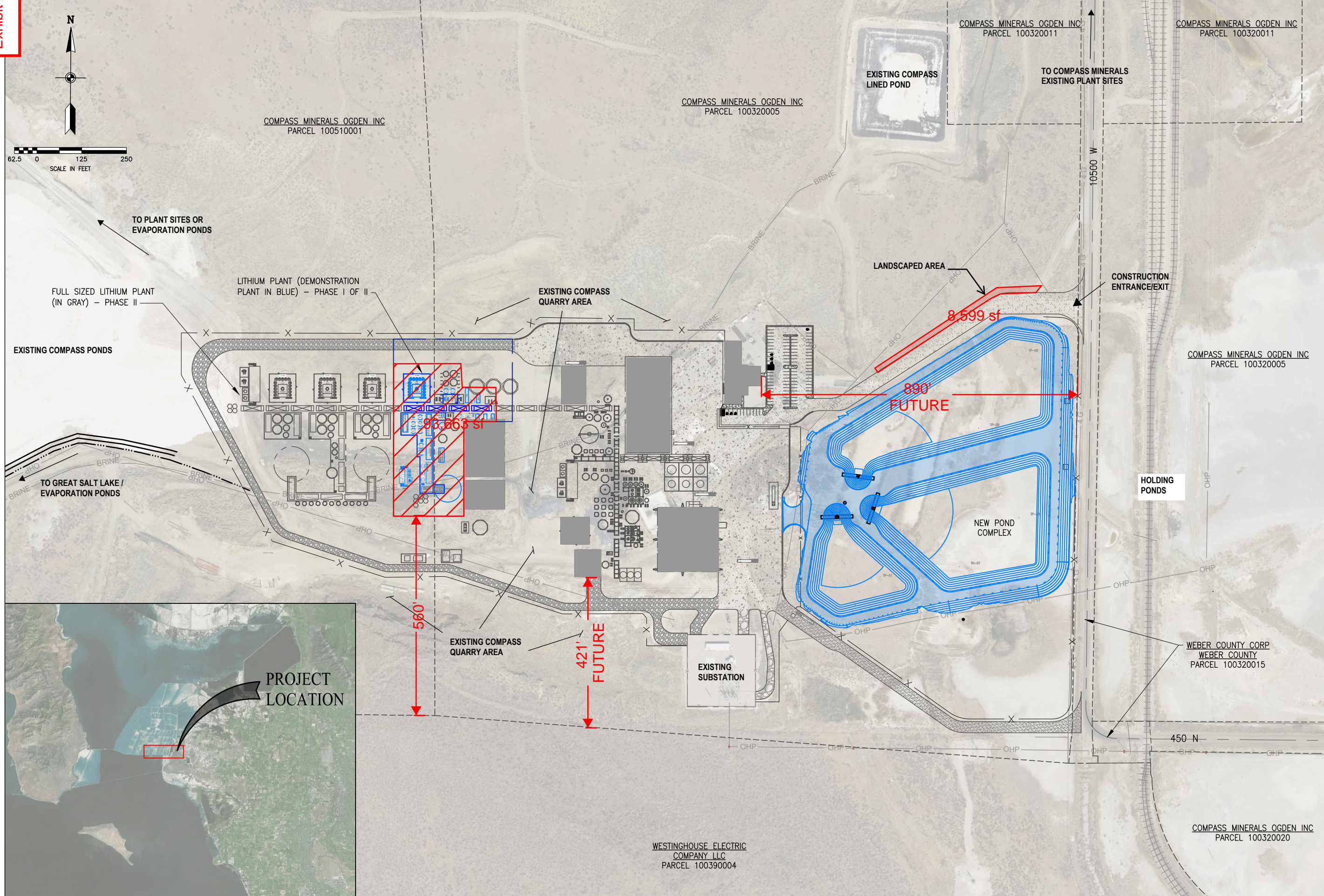
- 4. The proposed use is not anticipated to deteriorate the environment or negatively impact surrounding properties and uses.

Exhibits

- A. Proposed site plan, building elevations, and project narrative.

Area Map





NOT FOR CONSTRUCTION
FOR REVIEW ONLY

OGDEN LITHIUM - DUSTGARD
DEMONSTRATION PLANT OFF-SITE CIVIL

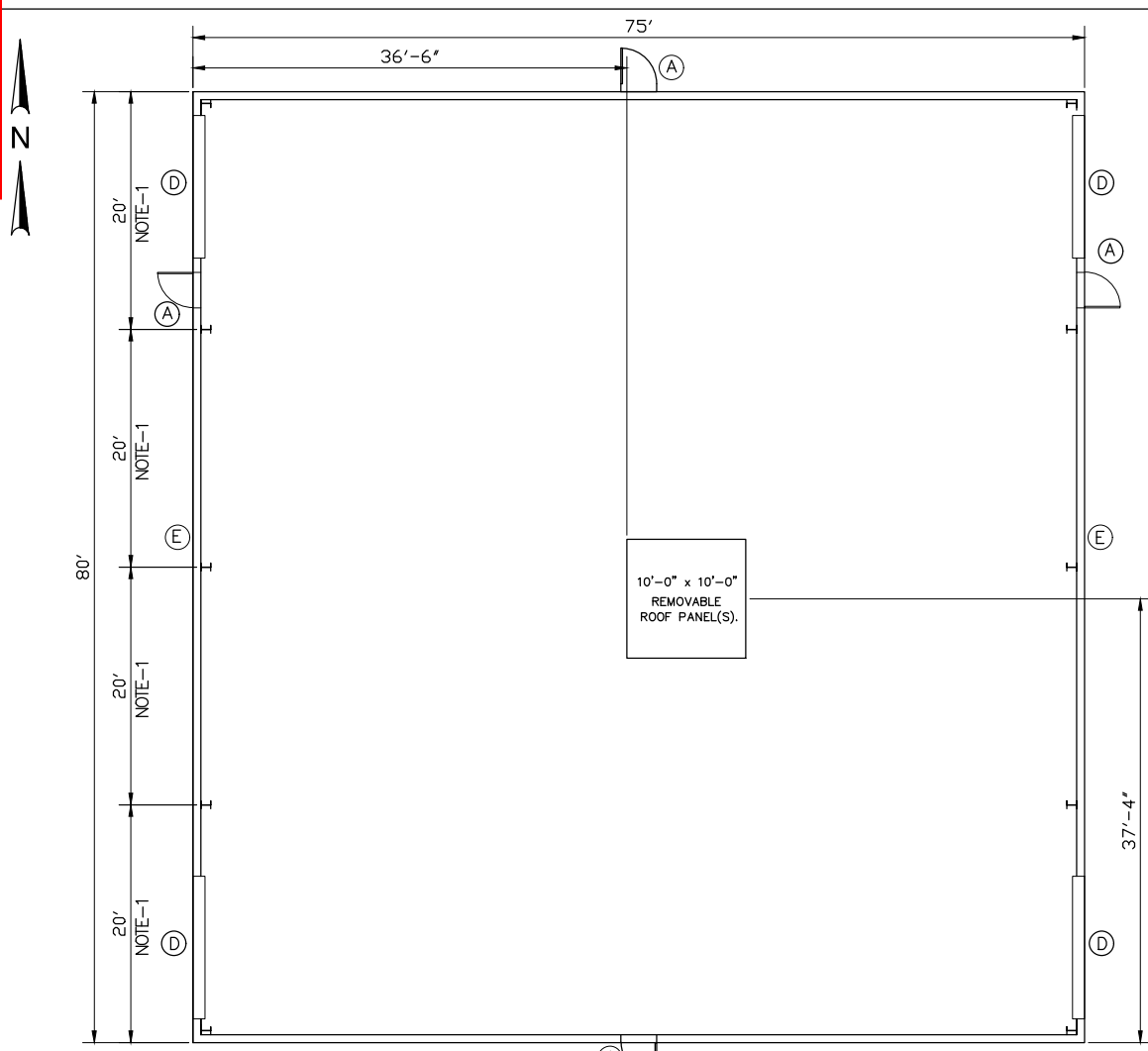
CIVIL

NO.	DATE	REV. BY	DESCRIPTION

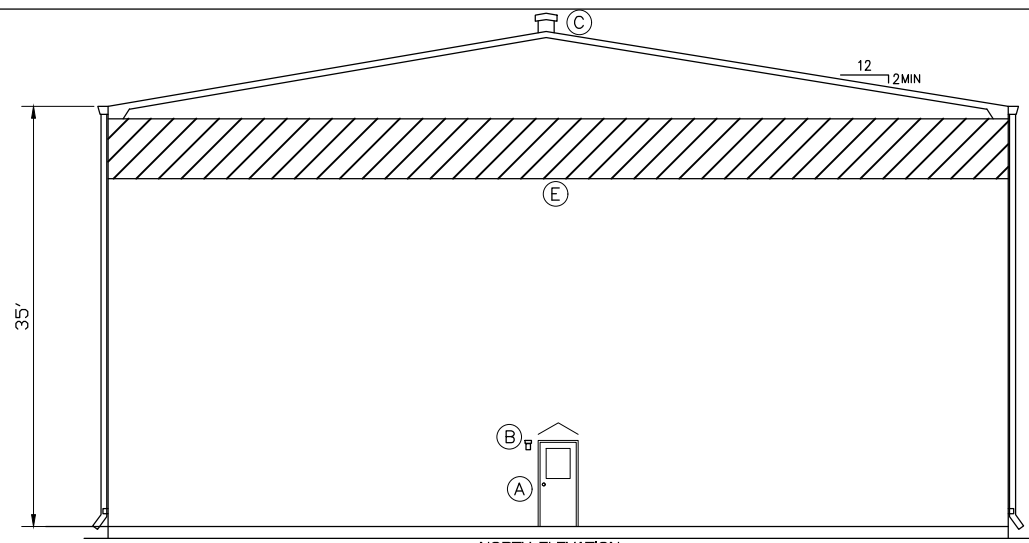
VERIFY SCALE
BAR IS ONE INCH ON
ORIGINAL DRAWING

DATE: MAY 2023

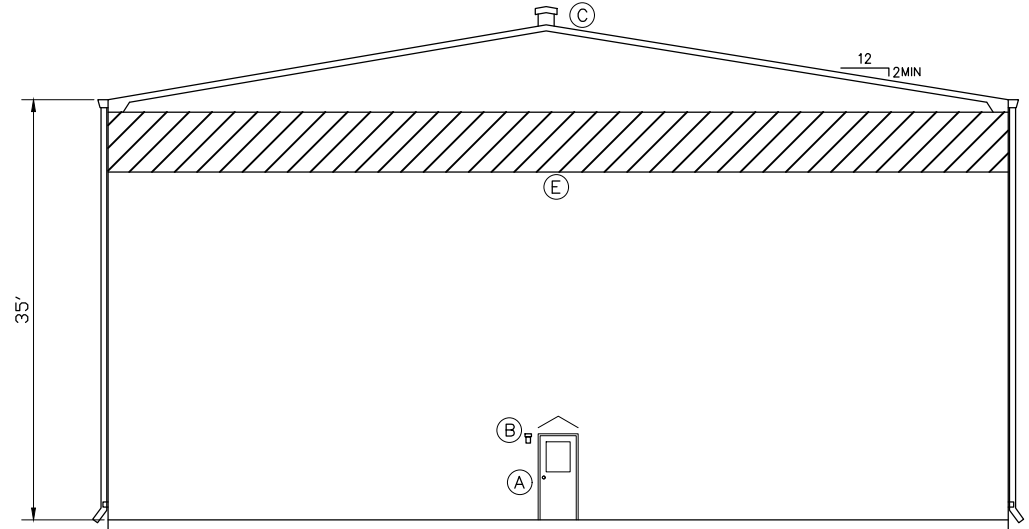
Exhibit A



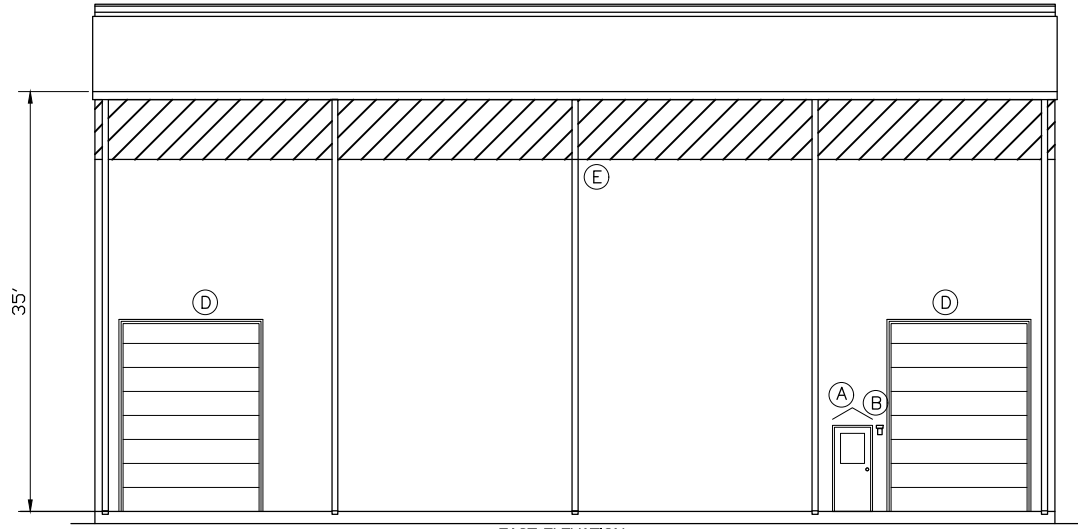
DLE BUILDING FLOOR PLAN
SCALE: 1/8"=1'-0"



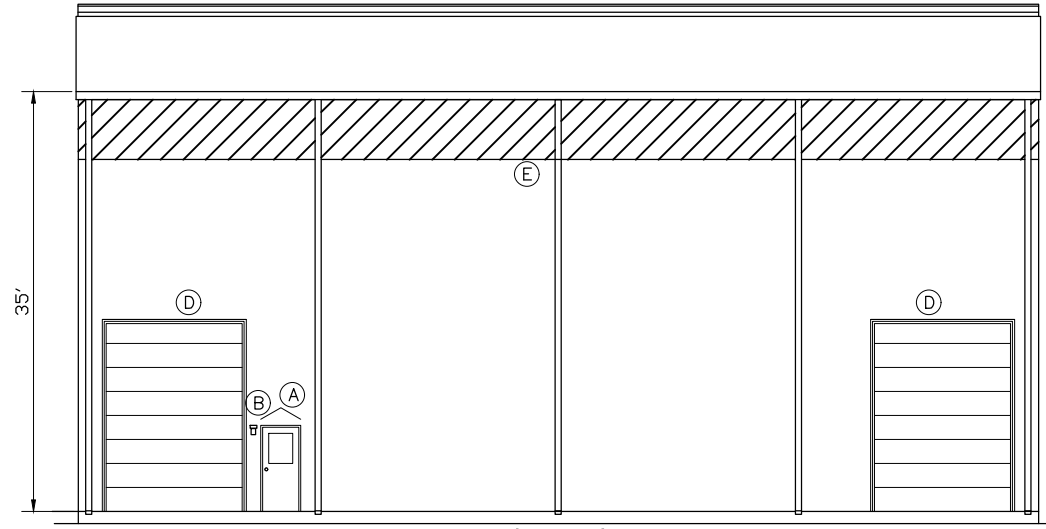
NORTH ELEVATION
SCALE: 1/8"=1'-0"



SOUTH ELEVATION
SCALE: 1/8"=1'-0"



EAST ELEVATION
SCALE: 1/8"=1'-0"



WEST ELEVATION
SCALE: 1/8"=1'-0"

NOTE :-

- 1. VENDOR MAY ADJUST COLUMN SPACING TO ACCOMMODATE ACCESS.

LEGEND

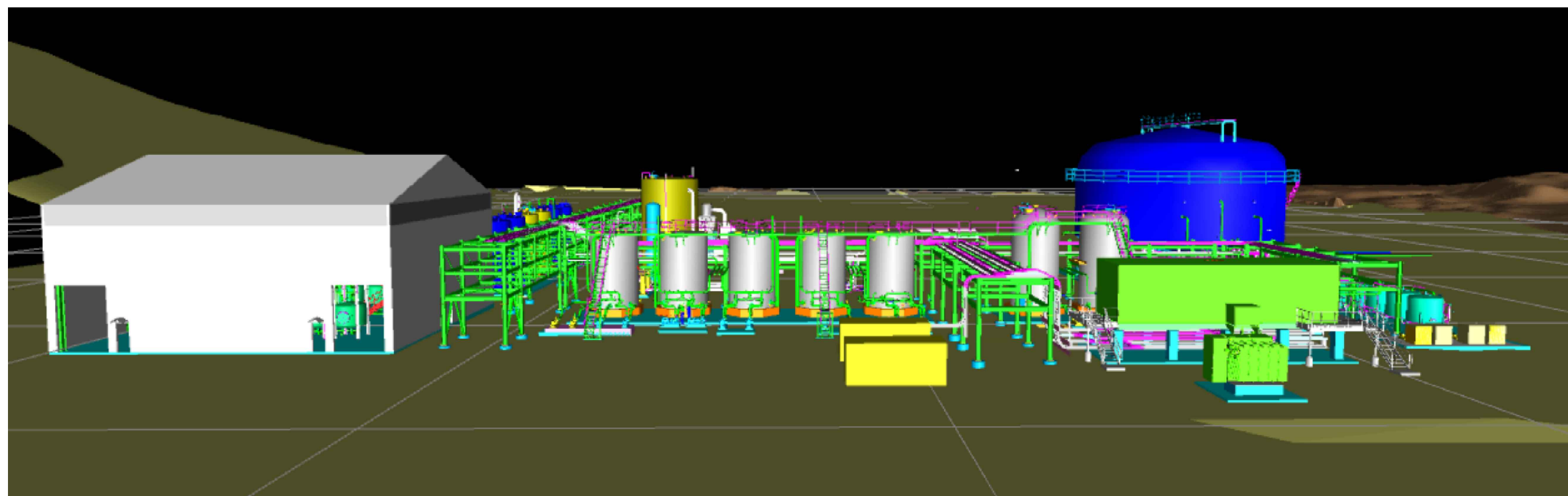
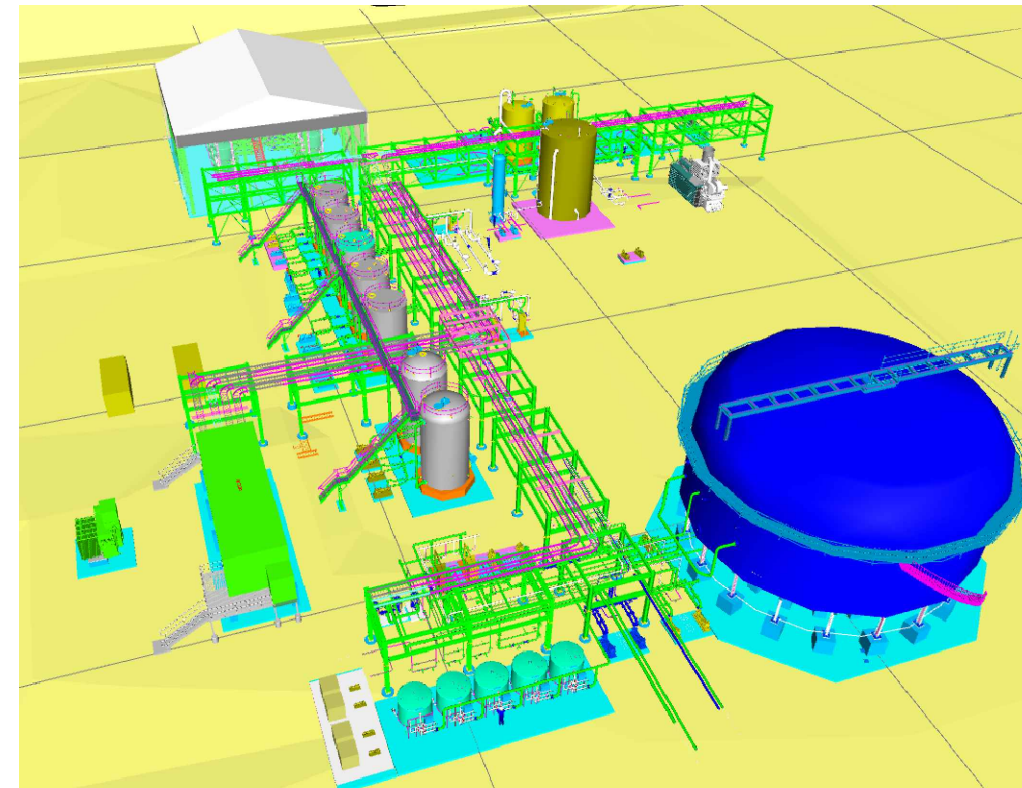
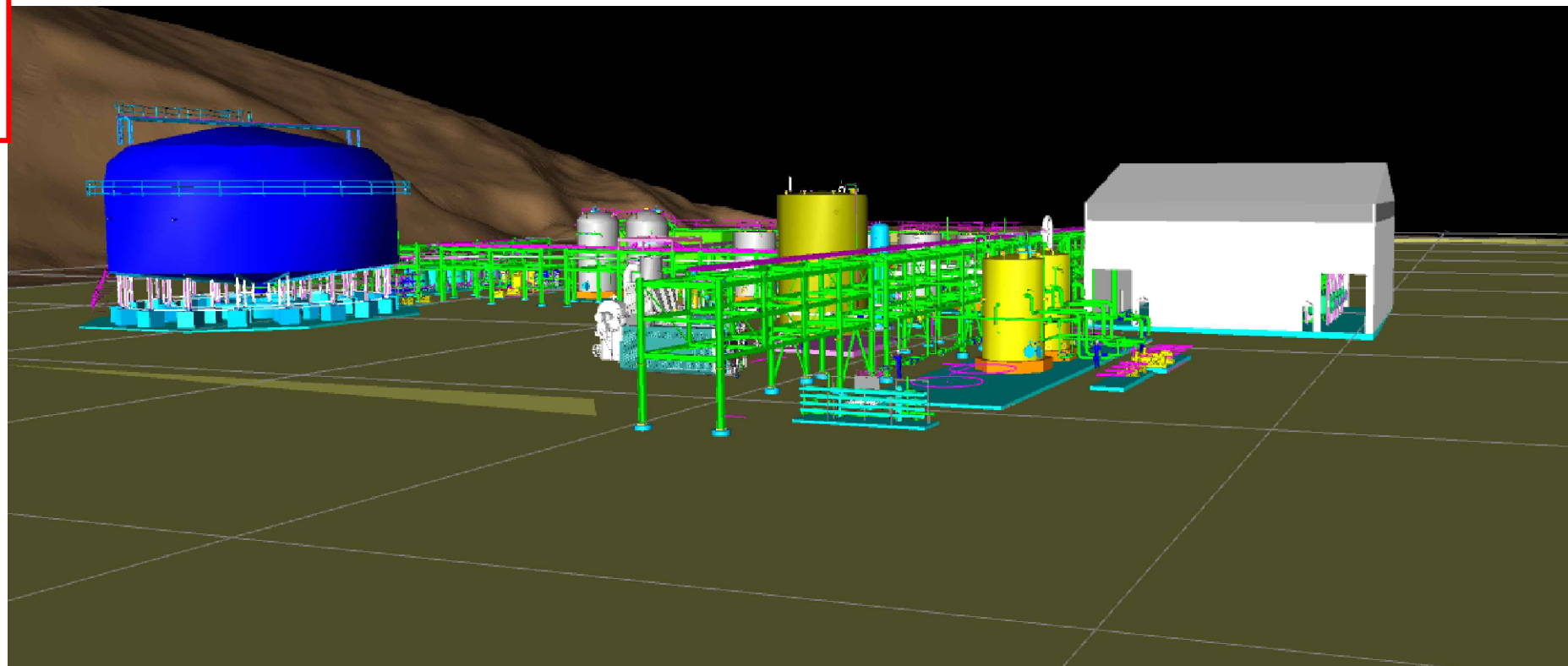
- (A) - 3'-0" x 7'-0" INSULATED PERSONNEL DOORS COMPLETE WITH HALF GLAZED LAMINATED SAFETY GLASS, PANIC HARDWARE, CLOSER, & AWNING. (BUILDER TO PROPOSE MATERIAL)
- (B) - EXTERIOR LIGHTING FIXTURES AT EA. EXT. DOOR ~ (BY BUILDER)
- (C) - EXHAUST TO BE THROUGH CONTINUOUS RIDGE VENT W/ BIRD SCREEN & 12" THROAT - CHAIN OPERATED
- (D) - 12'-0"W x 16'-0"H INSULATED SECTIONAL DOOR. DOOR TO BE AUTOMATED.
- (E) - 5'-0" WALL LIGHT BAND TRANSLUCENT PANEL AROUND THE PERIMETER OF THE BUILDING



Not an Official Issue

REV	DATE	REVISION DESCRIPTION	DRAWN	DRAFT CHK	DESIGNED	ENG CHK	APPROVED	CUSTOMER	REF DRAWING No	REFERENCE DRAWING TITLE
A	05/19/23	ISSUED FOR APPROVAL	ZEW	MMI	PN					

D SHEET SCALE	ENGINEERING AND PERMIT STAMPS (As Required)	CUSTOMER	DRG TITLE
			EAST LITHIUM PRODUCTION PLANT STRUCTURAL GENERAL ARRANGEMENT DLE BUILDING PLAN AND ELEVATIONS
WORLEY PROJECT No. 318124-40779		<small>*This drawing is prepared solely for the use of the contractual customer of Worley and Worley assumes no liability to any other party for any representation contained in this drawing.*</small>	DRG No OL1-ST-GAD-4101
			REV A

USER NAME: zach.willis LOCATION: C:\USERS\ZACH.WILLIS\WORLEY\COMPASS MINERALS - DEMO PLANT FEED COMPLETION\ST.DWG\SDLE BUILDING DRAWING.DWG
 PLOT DATE & TIME: 18/05/2023 2:23:37 PM
 SAVE DATE & TIME: 18/05/2023 2:21:03 PM



											D SHEET	SCALE	AS NOTED	ENGINEERING AND PERMIT STAMPS (As Required)		CUSTOMER		DRG TITLE	
															OGDEN LITHIUM DUSTGARS DEMONSTRATION PLANT FEL3 STAGE 3D SITE RENDERINGS				
																	WORLEY PROJECT No.		DRG No
A	05/25/23	PRELIMINARY										<small>*This drawing is prepared solely for the use of the contractual customer of Worley and Worley assumes no liability to any other party for any representation contained in this drawing.*</small>		OL1-0000-PI-DWG-0001		REV	A		
REV	DATE	REVISION DESCRIPTION	DRAWN	DRAFT CHK	DESIGNED	ENG CHK	APPROVED	CUSTOMER	REF DRAWING No	REFERENCE DRAWING TITLE	318124-40779								



Ogden Office

REVISION: 0

Compass Lithium Project

1. PROJECT INTRODUCTION – OGDEN EAST PLANT

Introduction

[Compass Minerals](#) (Owner) has identified a lithium brine resource of approximately 2.5 million metric tons lithium carbonate equivalent (LCE) at its active Ogden, Utah, solar evaporation site, including an indicated lithium resource within the ambient brine of the Great Salt Lake.

For over 50 years, Compass Minerals has leveraged the high mineral concentrations within the ambient lake brine from the North Arm of the Great Salt Lake to produce sulfate of potash (SOP), salt and magnesium chloride products at its Ogden, UT facility, the largest operation of its kind in the Western Hemisphere.

Compass Minerals has completed an initial assessment to define the lithium resource at the company's existing operations in accordance with applicable Securities and Exchange Commission (SEC) regulations, including subpart 1300 of Regulation S-K. The assessment estimates total combined indicated and inferred lithium resources of approximately 127,000 metric tons LCE within the interstitial brine (IB) held in the accumulated salt-mass reservoirs at Compass Minerals' Ogden solar evaporation site. The assessment has also identified an additional indicated lithium resource of approximately 2.32 million metric tons LCE within the ambient brine of the Great Salt Lake, which can be accessed through the company's existing infrastructure.

The company sustainably manages 160,000 acres of leasehold on the bed of the Great Salt Lake, together with held water rights, 55,000 acres of existing ponds and active mineral extraction permissions.

After a 24-month assessment of multiple direct lithium extraction (DLE) technologies, including two separate pilot projects to demonstrate successful lithium separation from the company's existing brine resource, Compass Minerals has selected Energy Source Minerals as a DLE technology partner.

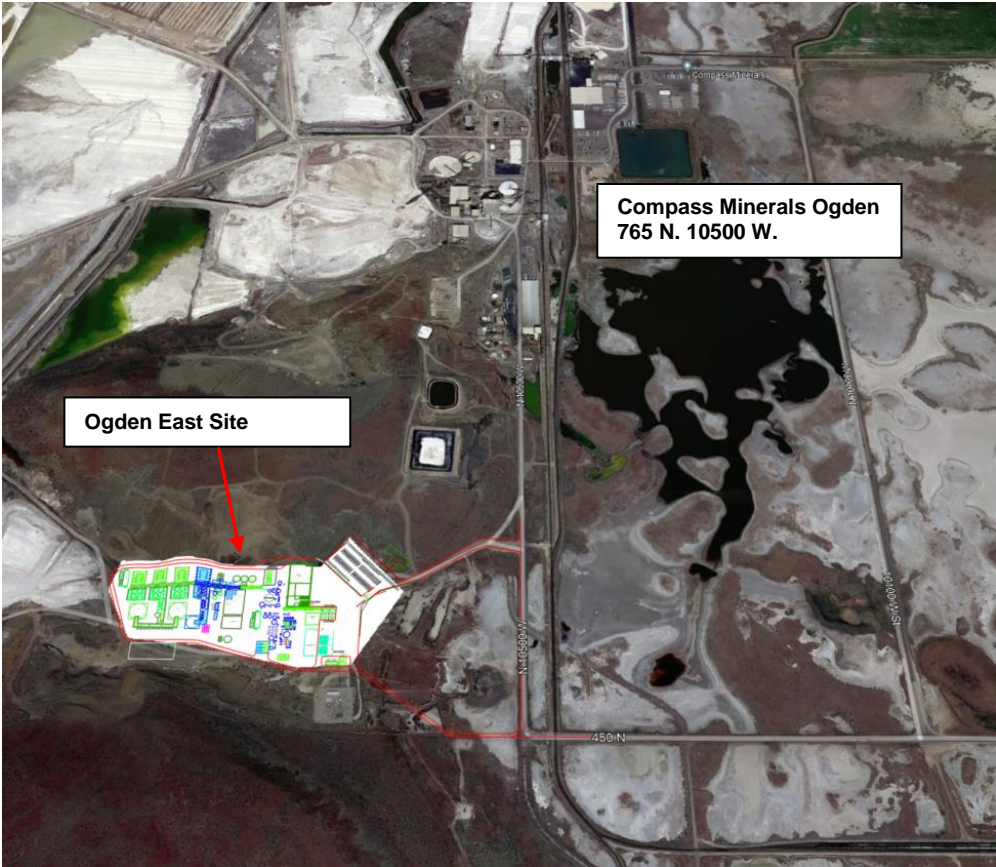
The company is targeting an annual production capacity from an Ogden East lithium facility of approximately 11,000 metric tons LCE of battery-grade lithium to be available by 2025. The Ogden East plant will require multiple DLE units. The plant will also include further treatment of the DLE eluate to produce battery grade lithium carbonate packaged on site.

Compass Minerals is targeting mechanical completion and pre-commissioning of the complete Ogden East facility by the end of 2025.

Stage 1 (Current Stage): Compass seeks to demonstrate DLE (Direct Lithium Extraction from brine) technology to produce Lithium Chloride (to be stored onsite) on a commercial scale prior to approval for a full plant. In order to properly assess the technology, water filtration packages, civil site preparation, and concrete and buildings will be included in the construction of the ~2-acre development site. Already zoned M-3 and is within this intended use (metals processing, non-hazardous).

Location

The Ogden East Lithium site will be located southeast of Compass Minerals Ogden operations located at 765 North 10500 West.





Staff Report to the Western Weber Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: File Number LVW122722 - Consideration and action on a recommendation for final approval of The Grove at JDC Ranch Phase 1 (30 lots).

Agenda Date: Tuesday, June 13, 2023

Applicant: Steve Anderson

Property Information

Approximate Address: 2855 W North Plain City Road

Project Area: 9.795 acres

Zoning: R-1-10

Existing Land Use: Agricultural

Proposed Land Use: Residential

Parcel ID: 19-020-0014, 19-020-0010

Township, Range, Section: 7N, 2W Section 27

Adjacent Land use

North: Agricultural	South: Agricultural
East: Agricultural/Residential	West: Agricultural/ Residential

Staff Information

Report Presenter: Felix Lleverino
 flleverino@co.weber.ut.us
 801-399-8767

Report Reviewer: SB

Applicable Ordinances

- Title 101, Chapter 1 General Provisions, Section 7 Definitions
- Title 104, (Zones) Chapter 12 Single Family Residential Zone R-1-10
- Title 106, Subdivisions

Background/History

A rezoning of this parcel from A-1 to R-1-10 was approved by the County Commission on September 6th, 2022. The rezone includes a Development Agreement that is recorded on title with the entry number 3257495. The planning staff reviewed the development agreement to ensure that the requirements are satisfied.

On February 21, 2023, the Western Weber Planning Commission granted preliminary approval of West Ridge Subdivision phases 2 and 3 (57 lots). In that meeting there was a question from the Planning Commission about the rezone concept plan and its conformity to the subdivision plan. The preliminary plan that was included with the preliminary report to the planning commission did not have the pathway extending to the most eastern boundary. That correction has been made with the final subdivision plat. Each plan is included with this report to show comparisons between the rezone concept plan and the final subdivision plan. The planning staff have included the preliminary conditions of approval below:

1. The developer shall provide a consent letter from the Bureau of Reclamation to build across their drain lines.
 - Letters from the Bureau are submitted that allow for encroachments from Bona Vista, Weber Vista, Weber-Box Elder Conservancy District, Weber County, and Steward Land Company.
2. The developer shall build a road that connects to North Plain City Road with these phases for a second access.
 - Two completed egresses exist through the West Park Development to the West.
3. The applicant will be required, as part of the final subdivision submittal, to submit a street tree and landscaping plan. The cost of trees and landscaping shall be included with the subdivision improvement cost estimate.
 - A landscape plan is submitted with the civil drawings. Staff has asked for the landscape plan to include details specific to the street trees.

4. HOA documents including CC&Rs will need to be submitted as part of the final subdivision review. The HOA documents will need to specify how the common areas are to be maintained.
 - The HOA documents are being created and will be ready for review before the subdivision is presented before the County Commission.
5. Before consideration of the final plat by the planning commission, the developer will provide the engineering plans for street improvements, to ensure that the proposed street cross sections align with the street infrastructure of adjacent developments.
 - The civil drawings for the subdivision are included within this report, and the planned roads align with the adjacent JDC Ranch to the south and West Park Village to the west.
6. Before final plat approval by the planning commission, the applicant shall provide the county with a written capacity assessment for the culinary and secondary water supply and delivery system.
 - This has not been provided yet by the developer, but the developer plans to provide this letter before the Planning Commission meeting on June 13th.
7. The development plan shall conform to the plan in the development agreement by creating a pathway that extends to the east subdivision boundary.
 - The subdivision plat in Exhibit A shows the pathway extending to the east edge of the development, generally conforming with the rezone concept plan.

Summary

The applicant is requesting final approval of The Grove at JDC Ranch Phase 1 (Formerly West Ridge Subdivision) which has a total of 30 single family dwelling lots. That road system within Phase 1 will provide connection with adjacent developments to the south and west. A 10' public pathway within a common area greenway will run in an east/west direction. The common area open space buffering the pathway will include trees, gathering, and sports amenities for the residents. A 10' wide asphalt pathway runs north and south along 2875 W street,

Analysis

General Plan: The Weber County Future Land Use Map indicates that the land is intended for mixed-use residential and commercial. This proposal will provide the single family dwelling development type to this mixed-use residential area.

Zoning: The property is located within the R-1-10 Zone. The purpose of these zones is stated in the LUC §104-12.

The purpose of the R-1-12, R-1-10 Zone classification is to provide regulated areas for single-family residential use at two different low-density levels.

Site Development Standards: The minimum lot size is 80 wide and 10,000 sq. ft. in area. All lots within this development meet or exceed the minimum requirement.

Common Area: The planned open space and the public amenities within will be managed and maintained by the JDC HOA. The creation of the HOA is the developer's responsibility. The HOA document must be reviewed by the Planning Division and the County Attorney's office before it is registered with the State and Recorded.

Flood Zone: This parcel is within an area of minimal flood hazard and determined to be outside the 500-year flood level.

Culinary Water: Bona Vista Water District has provided a preliminary will-serve letter stating that the District can serve culinary water for 57 lots. Final approval should not be given until the developer provides capacity assessment letters for culinary and secondary water, as stated below, Sec 106-4-2.010.

Capacity assessment. *Prior to final plat approval by the planning commission, the applicant shall provide the county with a written capacity assessment for the culinary and secondary water supply and delivery system.*

- 1) **Water service provider capacity assessment.** *For the creation or expansion of a water service provider's water supply and delivery system, the capacity assessment shall include:*
 - a) *Written verification from the water service provider. The assessment shall verify:*
 - i) *That the system is, or will be at the time the subdivision improvements are complete, capable of serving the culinary or secondary water needs of each applicable subdivision lot;*

- ii) *For a culinary water provider, that adequate culinary water flow and storage is available, or will be available at the time the subdivision improvements are complete, for all intended or proposed uses of culinary water including, but not limited to, applicable secondary water uses and fire suppression appurtenances;*
 - iii) *For a secondary water provider, that adequate secondary water flow and storage is available, or will be available at the time the subdivision improvements are complete, for all intended or proposed uses of secondary water; and*
 - iv) *The specific details regarding the requirements or conditions for the water service of which the county should be aware during the approval or construction process.*
- b) *For a culinary water supply and delivery system, evidence that a state construct permit has been secured from the Utah Department of Environmental Quality's Division of Drinking Water.*

Sewer Services: Annexation into the Central Weber Sewer Improvement District is complete as of April 18th, 2022.

Secondary Water: Weber-Box Elder Conservation District will serve this development with secondary water for irrigation purposes following the completion of the District's inclusion requirements.

Public Street Connectivity: The development plan shows one road connection in all directions with a public pathway running from east to west. There are three road cross-sections within this development. Street A (66') will have curb, gutter, and sidewalk with a 10' asphalt pathway on one side. Street B (60') will have curb, gutter, and a 4' sidewalk. Improvements to the south side of North Plain City Road include the installation of asphalt, curb, gutter, and sidewalk.

Review Agencies: The Weber County Planning, Engineering, and Surveying have submitted comments that will be addressed by a revised subdivision plat and edits to the civil drawings. The Weber Fire District has posted approval with comments regarding the placement of fire hydrants.

Staff Recommendations

Option 1

Assuming that the developer provides culinary and secondary capacity assessment letters at or before the meeting on June 13th, staff recommends that the Planning Commission forward a positive recommendation to the County Commission for final approval of The Grove at JDC Ranch Phase 1. This recommendation is based on all review agency requirements and upon the following conditions:

1. Final conditions of service from the secondary and culinary water districts are satisfied by each district.
2. Before the subdivision plat is recorded, funds to cover the cost of the remaining subdivision improvements are deposited with the County Engineering Department.
3. The tree species to be planted in parking strips is approved by the County Engineer and Planning Director before being considered by the County Commission.

The following findings are the basis for the staff's recommendations:

1. The proposed subdivision conforms to the Western Weber General Plan.
2. The proposed subdivision complies with the applicable County codes.
3. The subdivision conforms to zoning and subdivision ordinances.

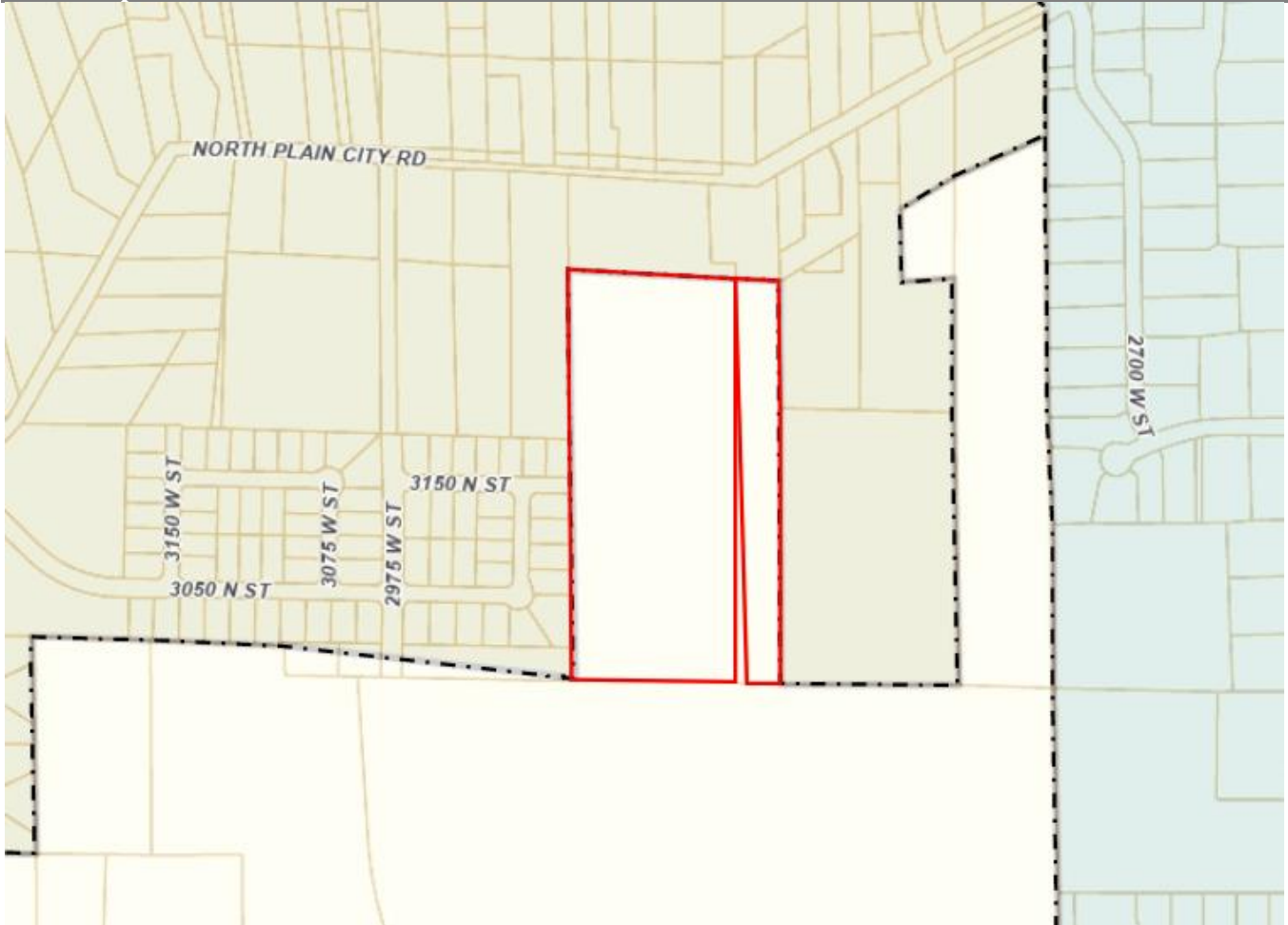
Option 2

If capacity assessment letters are not provided at or before the meeting on June 13th, staff recommends that the Planning Commission table a decision on final subdivision approval until a capacity assessment letter for culinary and secondary water is provided by the developer.

Exhibits

- A. The Grove at JDC Ranch Phase 1 plat
- B. Rezone Concept plan
- C. Letter from Bona Vista Water District
- D. Letter from Weber-Box Elder Conservancy District
- E. Civil Drawings

Area Map



THE GROVE AT JDC RANCH SUBDIVISION PHASE 1

PART OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 7 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
WEBER COUNTY, UTAH
MAY, 2023

NORTHWEST CORNER OF SECTION 27, TOWNSHIP 7 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. FOUND 3" WEBER COUNTY SURVEY BRASS CAP MONUMENT IN CONCRETE MARKED "1963" IN GOOD CONDITION. (SEE DETAIL 1) 223

NORTHEAST CORNER OF SECTION 27, TOWNSHIP 7 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. CALCULATED 798.00' 500'30'30"E 10.00'

FOUND 3" WEBER COUNTY SURVEY BRASS CAP WITNESS CORNER MONUMENT IN CONCRETE MARKED "1985" IN GOOD CONDITION (SEE DETAIL 2)



VICINITY MAP
NOT TO SCALE

SURVEYOR'S CERTIFICATE

I, **TREVOR J. HATCH**, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAN IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAN, AND THAT THIS PLAN OF **THE GROVE AT JDC RANCH SUBDIVISION PHASE 1** IN **WEBER COUNTY, UTAH**, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE **WEBER COUNTY** RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND. I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF **WEBER COUNTY** CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 20____.

9031945
UTAH LICENSE NUMBER

TREVOR J. HATCH
PROFESSIONAL LAND SURVEYOR
STATE OF UTAH

MONUMENT DETAIL 1
(NOT TO SCALE)

MONUMENT DETAIL 2
(NOT TO SCALE)

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS PLAN IS THE MONUMENT LINE BETWEEN A FOUND WITNESS CORNER BRASS CAP MONUMENT TO THE NORTHEAST CORNER OF SECTION 27 AND A FOUND BRASS CAP MONUMENT AT THE NORTHWEST CORNER OF SECTION 27, TOWNSHIP 7 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, SHOWN HEREON AS N88°23'58"W.

NARRATIVE

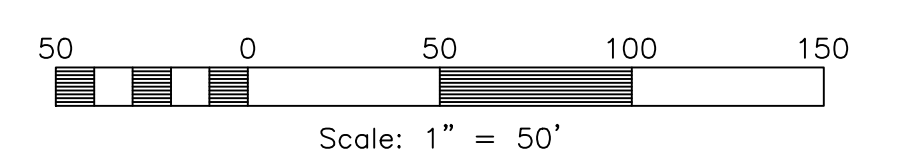
THE PURPOSE OF THIS PLAN IS TO DIVIDE THE BELOW DESCRIBED PROPERTY INTO LOTS AND STREETS AS SHOWN. ALL BOUNDARY CORNERS AND REAR LOT CORNERS WERE SET WITH A 5/8" X 24" REBAR AND PLASTIC CAP STAMPED "REEVE & ASSOCIATES".

BOUNDARY DESCRIPTION

PART OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 7 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT BEING NORTH 88°23'58" WEST 798.00 FEET AND SOUTH 01°36'02" WEST 2052.12 FEET FROM A FOUND WITNESS CORNER MONUMENT TO THE NORTHEAST CORNER OF SAID SECTION 27; THENCE SOUTH 00°01'42" EAST 573.50 FEET; THENCE NORTH 88°25'12" WEST 651.91 FEET TO THE SOUTHEAST CORNER OF WEST PARK VILLAGE PHASE 2; THENCE NORTH 00°05'44" WEST 733.19 FEET ALONG THE WEST LINE OF SAID WEST PARK VILLAGE PHASE 2; THENCE NORTH 89°54'16" EAST 131.46 FEET; THENCE SOUTH 82°12'42" EAST 66.67 FEET; THENCE NORTH 89°54'16" EAST 132.18 FEET; THENCE SOUTH 00°05'44" EAST 160.00 FEET; THENCE NORTH 89°54'16" EAST 132.63 FEET; THENCE SOUTH 81°07'51" EAST 60.73 FEET; THENCE NORTH 89°58'18" EAST 130.00 FEET TO THE POINT OF BEGINNING.
CONTAINING 426,689 SQUARE FEET OR 9.795 ACRES.

LEGEND

- SECTION CORNER
- WITNESS CORNER
- SET 5/8" X 24" REBAR AND PLASTIC CAP STAMPED "REEVE & ASSOCIATES"
- STREET CENTERLINE MONUMENT
- BOUNDARY LINE
- LOT LINE
- ADJOINING PROPERTY
- EASEMENTS
- SECTION/MONUMENT TIE LINE
- ROAD CENTERLINE



CURVE TABLE

#	RADIUS	ARC LENGTH	CHD LENGTH	TANGENT	CHD BEARING	DELTA
C1	220.00'	5.46'	5.46'	2.73'	S89°23'06"E	1°25'16"
C2	250.00'	6.20'	6.20'	3.10'	S89°23'06"E	1°25'16"
C3	280.00'	6.94'	6.94'	3.47'	S89°23'06"E	1°25'16"
C4	10.50'	16.49'	14.85'	10.50'	N44°54'16"E	90°00'00"
C5	10.50'	16.49'	14.85'	10.50'	S45°05'44"E	90°00'00"
C6	10.50'	16.80'	15.06'	10.81'	N45°44'32"E	91°40'32"
C7	10.50'	16.19'	14.63'	10.20'	N44°15'28"W	88°19'28"
C8	10.50'	16.79'	15.06'	10.80'	N45°46'33"E	91°36'30"
C9	10.50'	16.20'	14.64'	10.21'	N44°13'27"W	88°23'30"
C10	217.00'	3.96'	3.96'	1.98'	S00°37'08"E	1°02'48"

DEVELOPER:
STEWART DEVELOPMENT
SKY HAZLEHURST
1708 EAST 5550 SOUTH
SOUTH OGDEN, UT.
74405
(801) 837-2020

OWNERS DEDICATION AND CERTIFICATION

WE, THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THE PLAN AND NAME SAID TRACT **THE GROVE AT JDC RANCH SUBDIVISION PHASE 1**, AND DO HEREBY DEDICATE TO PUBLIC USE ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES AND ALSO TO GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED HEREON AS PUBLIC UTILITY AND STORM DRAIN EASEMENTS, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINE, STORM DRAINAGE FACILITIES, IRRIGATION CANALS OR FOR THE PERPETUAL PRESERVATION OF WATER CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY THE GOVERNING AUTHORITY, WITH NO BUILDINGS OR STRUCTURES BEING ERRECTED WITHIN SUCH EASEMENTS.

SIGNED THIS _____ DAY OF _____, 20____.

WEST PARK 3 COMMUNITY LLC
NAME/TITLE
DSM LAND LLC
NAME/TITLE

ACKNOWLEDGMENT

STATE OF UTAH)SS.
COUNTY OF _____)

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____ (AND) _____ BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE _____ AND _____ OF SAID CORPORATION AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES _____ NOTARY PUBLIC

ACKNOWLEDGMENT

STATE OF UTAH)SS.
COUNTY OF _____)

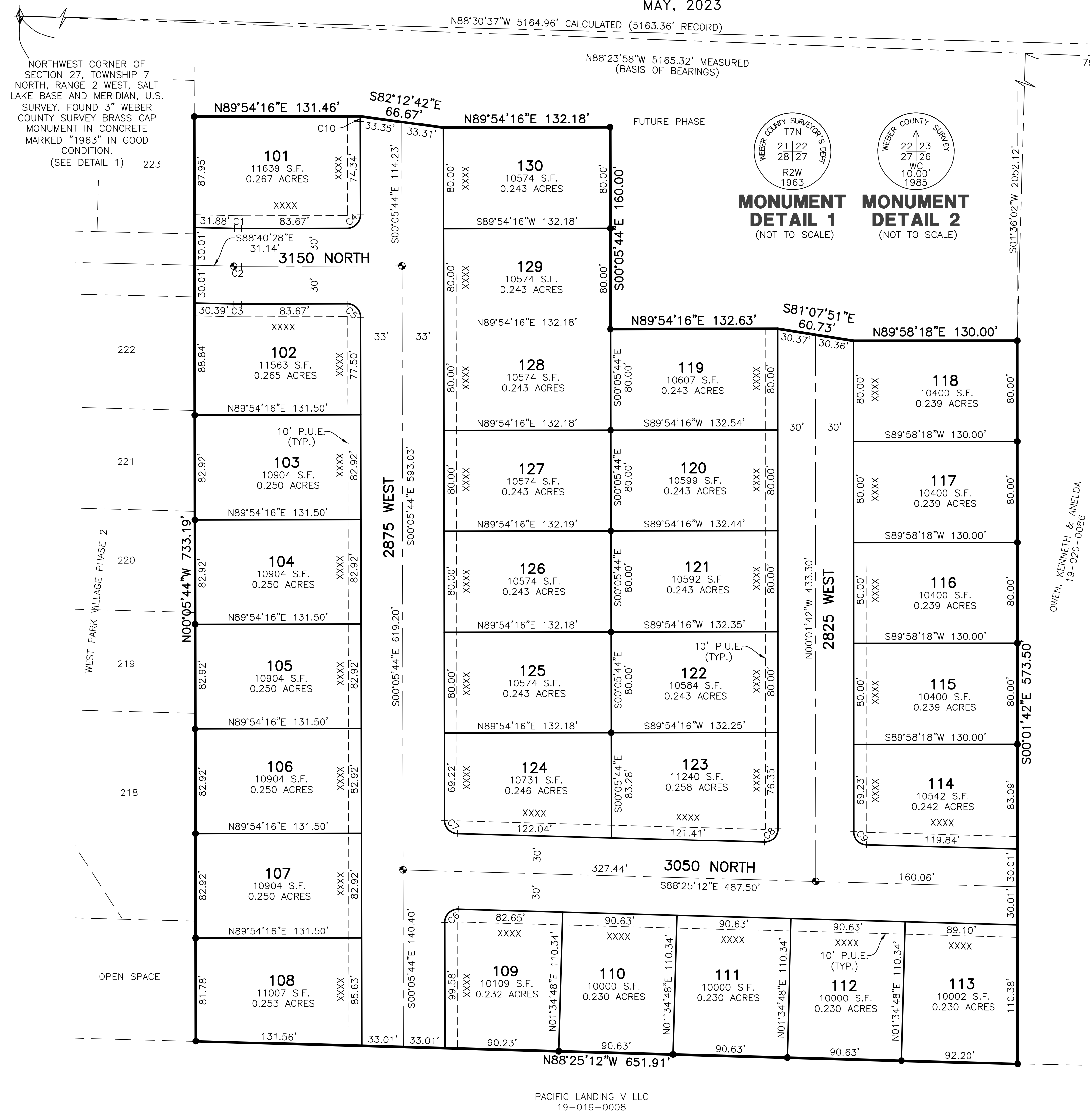
ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____ (AND) _____ BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE _____ AND _____ OF SAID CORPORATION AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES _____ NOTARY PUBLIC

Project Info.

Surveyor: T. HATCH
Designer: N. ANDERSON
Begin Date: 3-1-2023
Name: THE GROVE AT JDC RANCH SUBD. PHASE 1
Number: 1301-D41
Revision: 1"
Scale: 1"=50'
Checked: _____

RA Reeve & Associates, Inc.
5162 S 1500 W, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve.co



WEBER COUNTY PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAN WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION. SIGNED THIS _____ DAY OF _____, 20____.

CHAIRMAN, WEBER COUNTY PLANNING COMMISSION

WEBER COUNTY ENGINEER

I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH THE COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.

WEBER COUNTY ENGINEER

WEBER COUNTY COMMISSION ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAN, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH. SIGNED THIS _____ DAY OF _____, 20____.

CHAIRMAN, WEBER COUNTY COMMISSION

ATTEST _____ TITLE _____

WEBER COUNTY SURVEYOR

I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAN AND ALL CONDITIONS FOR APPROVAL BY THIS OFFICE HAVE BEEN SATISFIED. THE APPROVAL OF THIS PLAN BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAN FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.

SIGNED THIS _____ DAY OF _____, 20____.

WEBER COUNTY SURVEYOR

WEBER COUNTY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAN, AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND AFFECT.

SIGNED THIS _____ DAY OF _____, 20____.

WEBER COUNTY ATTORNEY

WEBER-MORGAN HEALTH DEPARTMENT

I HEREBY CERTIFY THAT THE SOILS, PERCOLATION RATES, AND SITE CONDITIONS FOR THIS SUBDIVISION HAVE BEEN INVESTIGATED BY THIS OFFICE AND ARE APPROVED FOR ON-SITE WASTEWATER DISPOSAL SYSTEMS.

SIGNED THIS _____ DAY OF _____, 20____.

DIRECTOR, WEBER-MORGAN HEALTH DEPARTMENT

Weber County Recorder

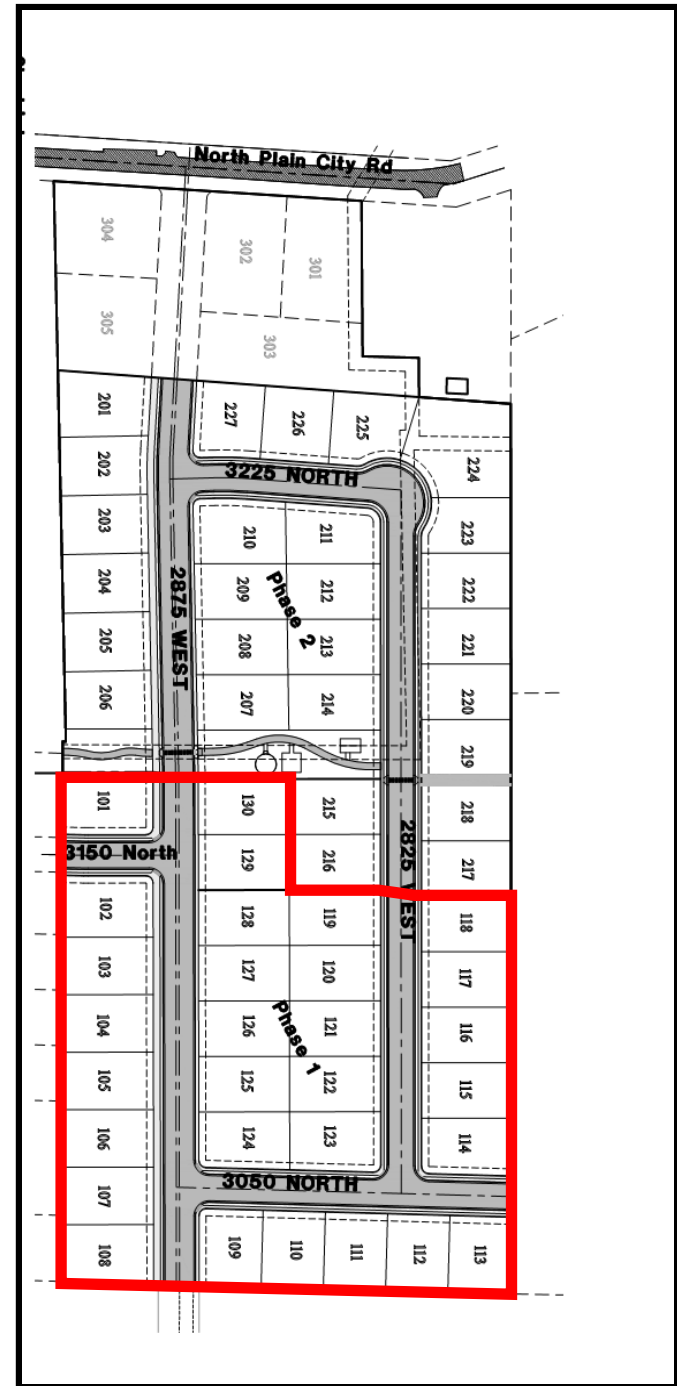
Entry No. _____ Fee Paid _____
And Recorded, _____
At _____ In Book _____
Of The Official Records, Page _____
Recorded For: _____
Weber County Recorder
Deputy: _____

Exhibit B

Development Agreement Concept Plan



Approved Preliminary Phasing plan





Bona Vista Water Improvement District

2020 West 1300 North, Farr West, Utah 84404

Phone (801) 621-0474 Fax (801) 621-0475

June 6, 2023

To Whom it May Concern:

RE: **AVAILABILITY LETTER** – The Grove at JDC Ranch

The development is located at approximately 2875 West 3150 North in Weber County consisting of 62 lots.

This letter is **ONLY** to state that the above named project is in the boundaries of the Bona Vista Water Improvement District and water will **ONLY** be available under the following conditions:

- The property is annexed into the District, if necessary.
- The subdivision utility plan is reviewed and approved by the District.
- Review fees are paid to the District.
- Proof of Secondary Water is provided to the District.

The non- refundable fee for the plan review is \$450 plus \$75 per lot and includes running one fire flow model. We consider this fee to be minimal and is only to cover the cost of review by the District administration, inspectors, and the District Engineer. If additional models are requested, supplementary fees will be required. Only the phase in consideration is guaranteed service, and the plan review is good only for a period of one year from the date of the will serve letter, if not constructed.

Furthermore, the District’s responsibility is to provide flow and pressure to the development. The Developer and his Engineer are responsible to provide proper flow and pressure throughout the development. This may require some over-sizing within the development, as determined by the District.

This letter is the first of two letters that will be issued for this development. Following the acceptance of the above conditions the District will issue the “Will Serve” letter.

This subdivision, like all other subdivisions, must have a secondary water system for all outside irrigation usage. Prior to the District accepting connection fees, the owner or developer must furnish proof of secondary. If you have any questions please call 801-621-0474, ext 207.

Sincerely,

Matt Fox
Assistant Manager

Board of Directors

Scott VanLeeuwen, Chairman – Marriott/Slaterville
Michelle Tait, Vice Chairwoman - Harrisville
Z. Lee Dickemore – Farr West
Jon Beesley – Plain City
Ronald Stratford – Unincorporated Area

Management

Blake Carlin, Manager
Matt Fox, Assistant Manager
Marcie Doolan, Office Manager

Exhibit D



June 5, 2023

Plain City Planning

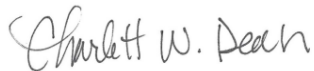
Re: The Grove at JDC Ranch Ph 1 & Ph 2

To Whom It May Concern:

We have reviewed the plans for The Grove at JDC Ranch Phases 1 & 2, this property is not currently part of the secondary water district. The owner of this property will need complete inclusion, define greenspace and provide water shares. We will service this development after the inclusion requirements have been met.

Please contact me with any questions or concerns.

Sincerely,



Charlett W Dean

cdean@pineviewwater.com

Assessment Clerk

801-622-4355

471 West 2nd Street
Ogden, UT 84404
801-621-6555

Project Narrative/Notes/Revisions

1. 2023/03/15 NF - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.

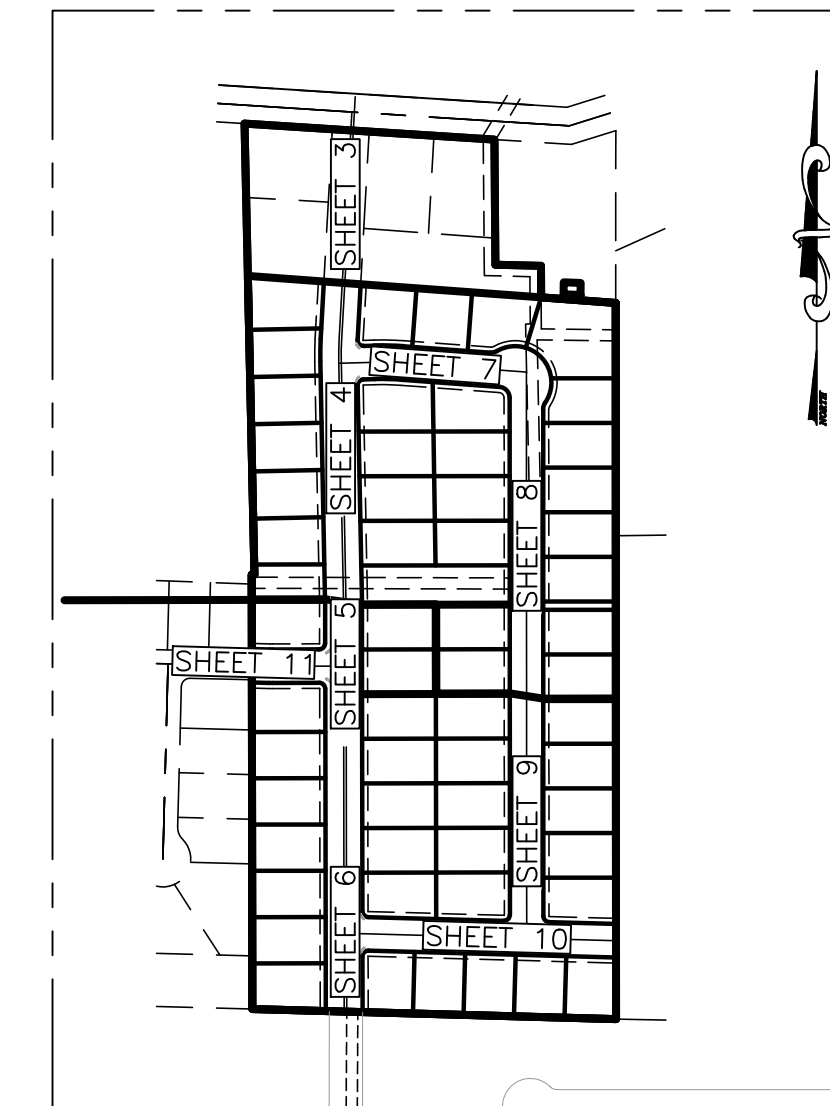
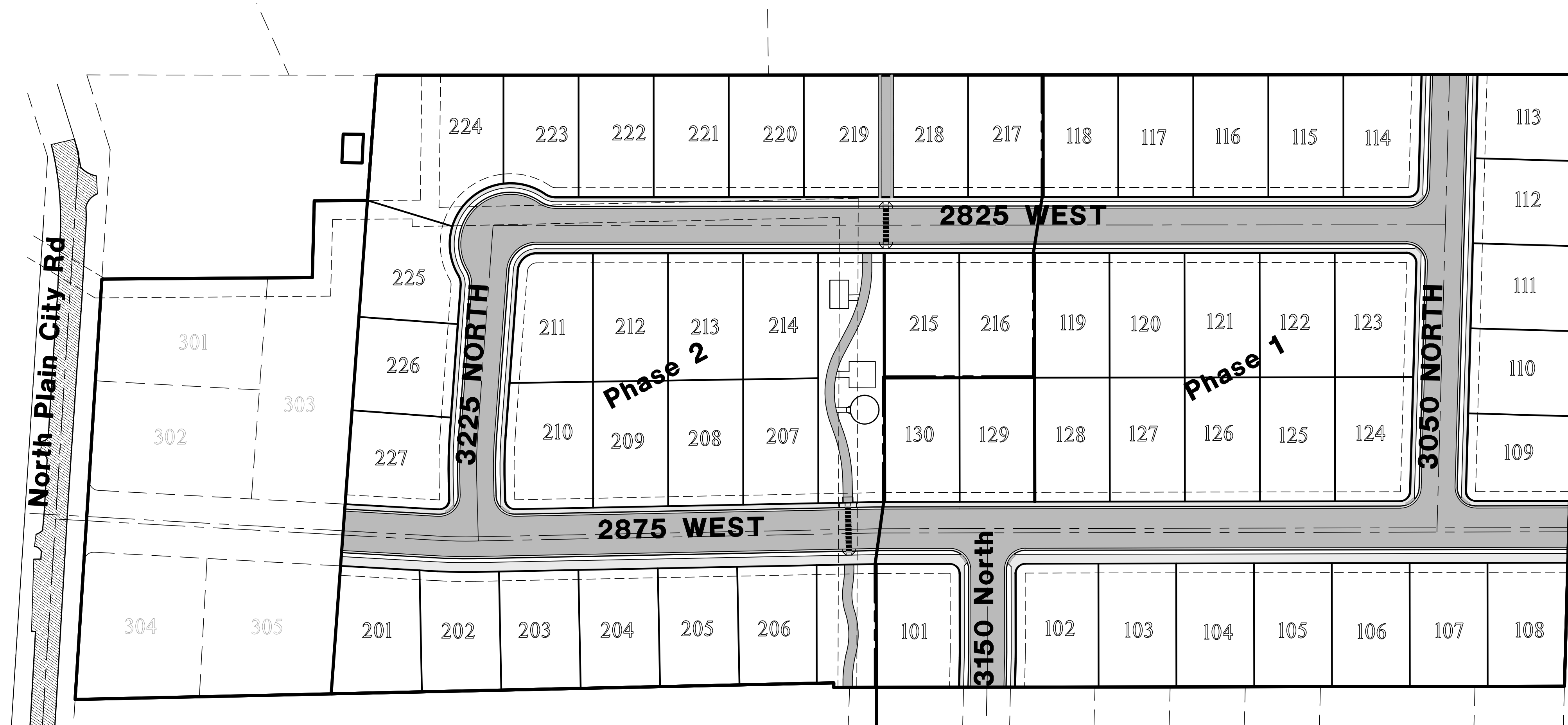
THE GROVE at JDC RANCH SUBDIVISION

Improvement Plan - Phase 1 & 2

WEBER COUNTY, UTAH
MARCH, 2023



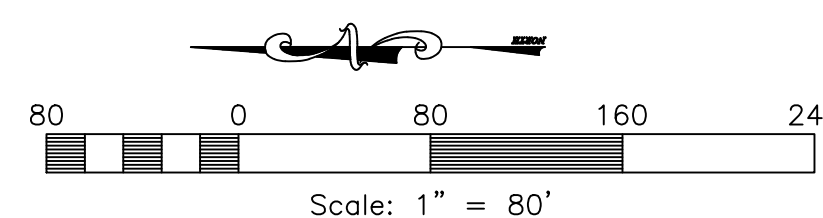
Vicinity Map
NOT TO SCALE



Sheet Index Key Map
NOT TO SCALE

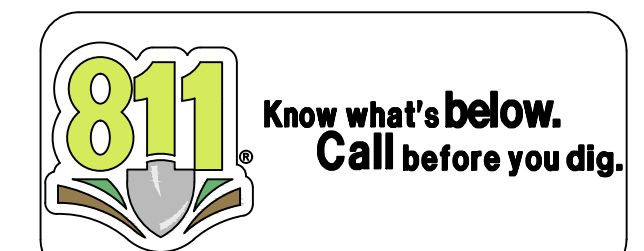
Sheet Index

- Sheet 1 - Cover/Index Sheet
- Sheet 2 - Notes/Legend
- Sheet 3 - 2875 West 0+00.00 - 4+50.00
- Sheet 4 - 2875 West 4+50.00 - 9+30.00
- Sheet 5 - 2875 West 9+30.00 - 14+10.00
- Sheet 6 - 2875 West 14+10.00 - 16+25.35
- Sheet 7 - 3225 North 0+00.00 - 4+50.00
- Sheet 8 - 2825 West 4+50.00 - 9+30.00
- Sheet 9 - 2825 West 9+30.00 - 14+00.00
- Sheet 10 - 3050 North 00+00.00 - 4+50.00
- Sheet 11 - 3150 North Street 1+00.00 - 3+68.29
- Sheet 12 - Grading Plan
- Sheet 12.1 - Area Drainage Plan
- Sheet 13 - Utility Plan
- Sheet 14 - Sewer Outfall
- Sheet 15 - Sewer & Land Drain Cross Sections
- Sheet 16 - Detail
- Sheet 17 - Storm Water Pollution Prevention Plan Exhibit
- Sheet 18 - Storm Water Pollution Prevention Plan Details
- Sheet 19 - Landscape Plan



Notice:

THESE PLANS WERE CREATED UTILIZING COLORS FOR UTILITIES & OTHER INFRASTRUCTURE. IF PRINTED IN, OR COPIED TO BLACK & WHITE, SOME LINE WORK MAY NOT SHOW UP PROPERLY.



Surveyor:

Jason Felt
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH:(801) 621-3100

Landscape Architect:

Nathan Peterson
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Developer Contact:

Nilson Homes
5617 South 1475 East
Ogden, UT 84405
Steve Anderson
PH: (801) 430-3996

Project Contact:

Nate Reeve
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH:(801) 621-3100

Engineer's Notice To Contractors:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

Reeve & Associates, Inc.
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION
DATE	

The Grove at JDC Ranch Subdivision
Phase 1 & 2
WEBER COUNTY, UTAH
Cover/Index Sheet



Project Info.

Engineer:	J. NATE REEVE, P.E.
Drafter:	N. FICKLIN
Begin Date:	MARCH 2022
Name:	THE GROVE AT JDC RANCH SUBDIVISION PHASE 1 & 2
Number:	7152-14

General Notes:

- 1. ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: GOVERNING UTILITY MUNICIPALITY, GOVERNING CITY OR COUNTY (IF UNINCORPORATED), INDIVIDUAL PRODUCT MANUFACTURERS, AMERICAN PUBLIC WORKS ASSOCIATION (APWA), AND THE DESIGN ENGINEER...

Utility Notes:

- 1. CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE SERVICE, GAS SERVICE, CABLE, POWER, INTERNET.

Notice to Contractor:

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON RECORDS OF THE VARIOUS UTILITY COMPANIES AND/OR MUNICIPALITIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD...

THE CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY...

NOTE: 1. SAWCUT EXISTING ASPHALT INSIDE FROM OUTER EDGE FOR TACK SEAL OF NEW ASPHALT 2. CONTRACTOR TO VERIFY 2% MIN. AND 5% MAX SLOPE FROM EDGE OF ASPHALT TO LIP OF GUTTER

Survey Control Note:

THE CONTRACTOR OR SURVEYOR SHALL BE RESPONSIBLE FOR FOLLOWING THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (NSPS) MODEL STANDARDS FOR ANY SURVEYING OR CONSTRUCTION LAYOUT TO BE COMPLETED USING REEVE & ASSOCIATES, INC. SURVEY DATA OR CONSTRUCTION IMPROVEMENT PLANS...

Erosion Control General Notes:

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES ALSO...

CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.

WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT OPEN FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH THE GOVERNING AGENCIES.

Maintenance:

ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.

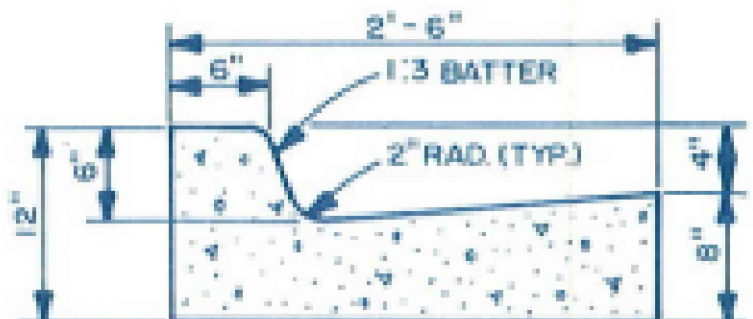
THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.

SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.

EXPOSED SLOPES:

- ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS: A) SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED B) TRACKING STRAW PERPENDICULAR TO SLOPES C) INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

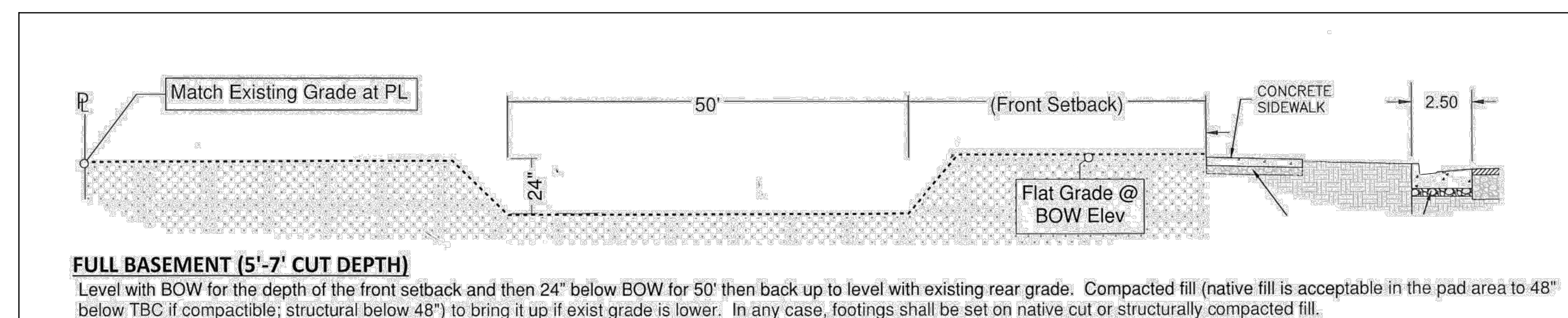


STANDARD CURB & GUTTER SECTION

NOTE: SIDEWALKS, CURB & GUTTER AND CROSS DRAINS SHALL BE CONSTRUCTED WITH CLASS "B" CONCRETE (3500 PSI, 28 DAY COMPRESSIVE STRENGTH)

Legend

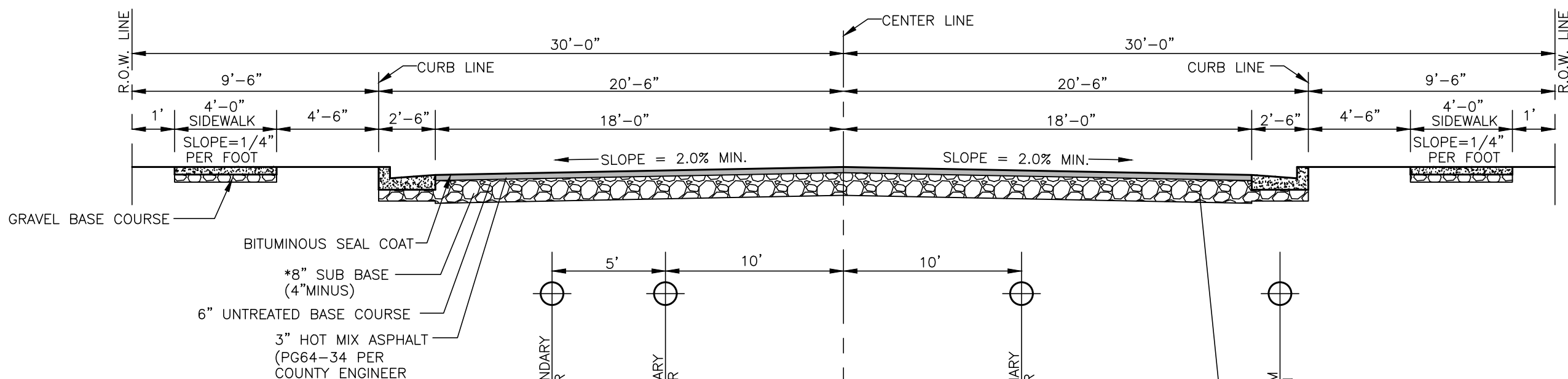
Legend table listing symbols for various utilities and features such as SW LAT (Proposed Secondary Water Lateral), LD LAT (Proposed Land Drain Lateral), W LAT (Proposed Water Lateral), SS LAT (Proposed Sewer Lateral), W/B (Proposed Culinary Water Line), EX-W/B (Existing Culinary Water Line), SW/B (Proposed Secondary Water Line), EX-SW (Existing Secondary Water Line), SS/B (Proposed Sanitary Sewer Line), EX-SS (Existing Sanitary Sewer Line), SD/15 (Proposed Storm Drain Line), EX-SD (Existing Storm Drain Line), LD/B (Proposed Land Drain Line), EX-LD (Existing Land Drain Line), IRR/18 (Proposed Irrigation Line), EX-IRR (Existing Irrigation Line), X X X (Existing Fence Line), O O O (Proposed Fence Line), --- (Drainage Swale), OHP (Overhead Power Line), Fire Hydrant symbols, Manhole symbols, Sewer Cleanout symbols, Gate Valve symbols, Existing Gate Valve symbols, Plug & Block symbols, Air Vac Assembly symbols, Dual Secondary Meter symbols, ROW (Right-of-Way), SD (Storm Drain), SS (Sanitary Sewer), TBC (Top Back of Curb), TOA (Top of Asphalt), TOC (Top of Concrete), TOFF (Top of Finished Floor), TOS (Top of Stairs), TOW (Top of Wall), TSW (Top of Sidewalk), UGP (Underground Power), W (Culinary Water), WM (Water Meter), BFE (Basement Floor Elevation), BLDG (Building), BOS (Bottom of Stairs), BOW (Bottom of Wall), BP (Beginning Point), C&G (Curb & Gutter), CB (Catch Basin), CF (Cubic Feet), CFS (Cubic Feet Per Second), EP (Ending Point), FF (Finish Floor), FFE (Finish Floor Elevation), FG (Finished Grade), FH (Fire Hydrant), FL (Flow Line), GB (Grade Break), INV (Invert), LF (Linear Feet), NG (Natural Grade), OHP (Overhead Power), PC (Point of Curvature), PP (Power/Utility Pole), PRC (Point of Return Curvature), PT (Point of Tangency), PUE (Public Utility Basement), RCP (Reinforced Concrete Pipe), RIM (Rim of Manhole), 4800 (Existing Contour Grade), 4800 (Proposed Contour Grade), and various pavement and material patterns.



FULL BASEMENT (5'-7" CUT DEPTH) Level with BOW for the depth of the front setback and then 24" below BOW for 50' then back up to level with existing rear grade. Compacted fill (native fill is acceptable in the pad area to 48" below TBC if compactible; structural below 48") to bring it up if exist grade is lower. In any case, footings shall be set on native cut or structurally compacted fill.

Proposed Lot Grading Section

SCALE: NONE



NOTE: THESE PAVEMENT THICKNESS SHALL BE CONSIDERED AS MINIMUMS AND MAY BE INCREASED BY THE COUNTY ENGINEER WHEN THE SUBGRADE C.B.R. IS LESS THAN 10 OR WHEN A GREATER DEPTH IS NECESSARY...

Street Section (60' R.O.W.)

SCALE: NONE

*VERIFY LOCATION WITH PHONE, GAS AND POWER COMPANIES.

NOTE: THESE PAVEMENT THICKNESS SHALL BE CONSIDERED AS MINIMUMS AND MAY BE INCREASED BY THE COUNTY ENGINEER WHEN THE SUBGRADE C.B.R. IS LESS THAN 10 OR WHEN A GREATER DEPTH IS NECESSARY...

Street 'A' Street Section (66' R.O.W.)

SCALE: NONE

*VERIFY LOCATION WITH PHONE, GAS AND POWER COMPANIES.

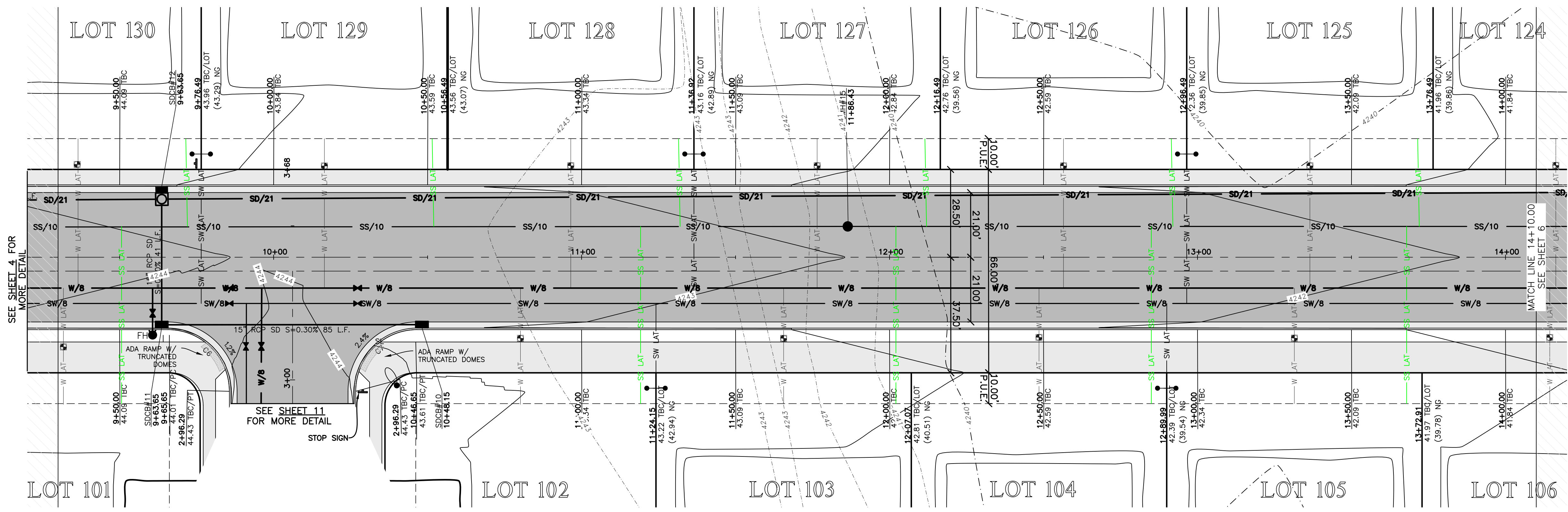
Reeve & Associates, Inc. logo and contact information including address (5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405) and phone number (801) 671-3100.

The Grove at JDC Ranch Subdivision Phase 1 & 2 Notes/Legend/Street Cross-Section. Includes a table for revisions and a date field.

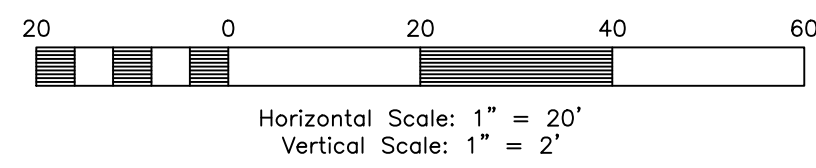
Professional Engineer seal for J. Nate Reeve, State of Utah, License No. 376328, dated 05/02/2024.

Project Info section listing Engineer (J. Nate Reeve, P.E.), Drafter (N. Ficklin), Begin Date (March 2022), and other project details.

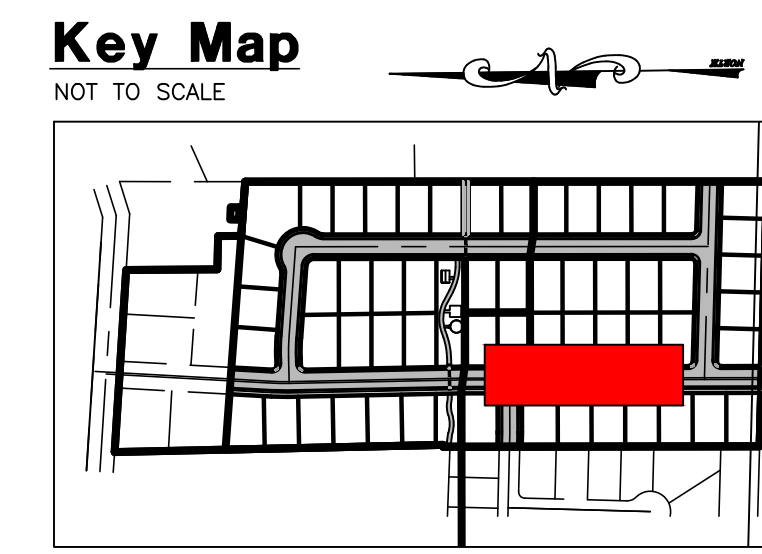
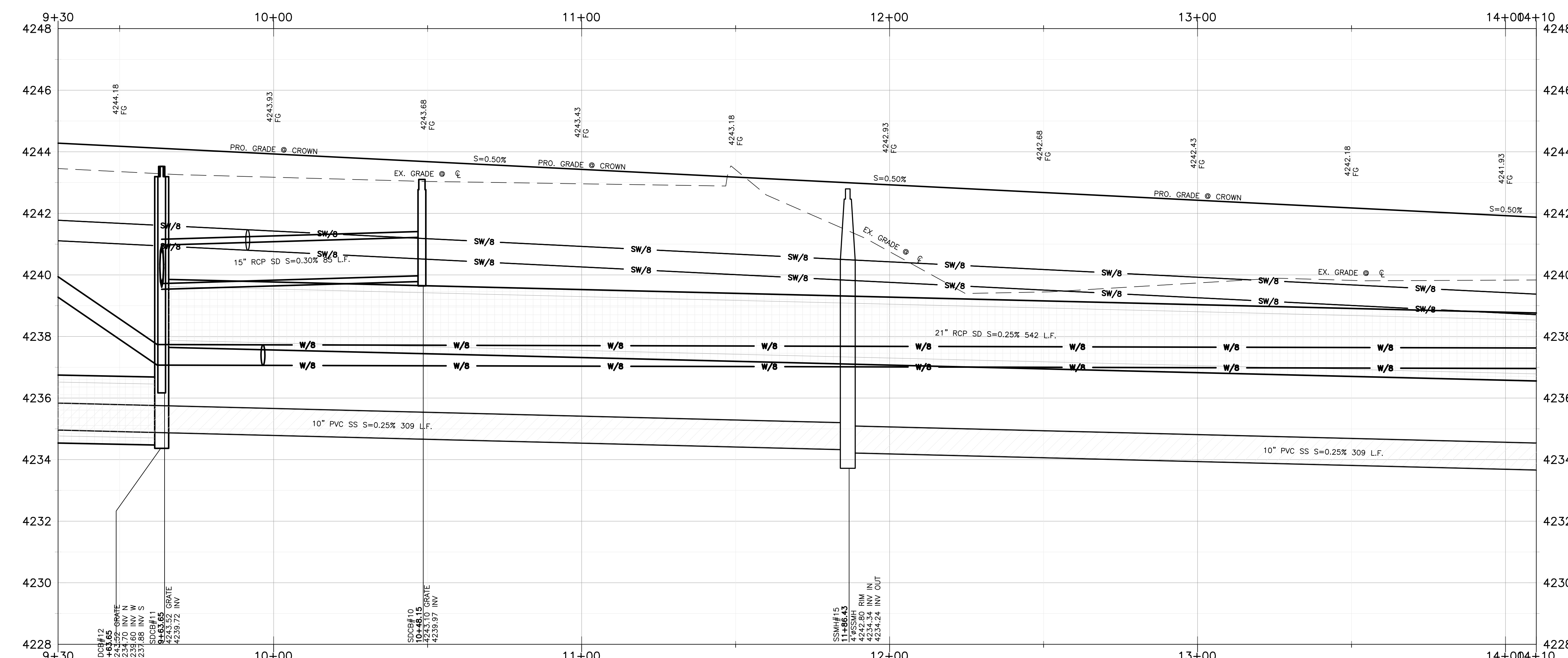
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2875 West 9+30.00 - 14+10.00



#	Delta	Radius	Length	Tangent	Chord	CH Length
C6	90°00'00"	20.00'	31.42'	20.00'	N44°54'16"E	28.28'
C7	90°00'00"	20.00'	31.42'	20.00'	N45°05'44"W	28.28'



Construction Notes:

- CULINARY WATER**
 NOTE: 4" MIN. COVER REQUIRED OVER CW LINES
 W/8 - 8" DIP W/POLY WRAP WATER LINE
 W LAT - 1" TYPE K COPPER SERVICE LATERAL
- SANITARY SEWER**
 SS/10 - 10" PVC SDR-35 SEWER LINE
 SS/12 - 12" PVC SDR-35 SEWER LINE
 SS LAT - 4" PVC SDR-35 SERVICE LATERAL
- STORM DRAIN**
 SD/30 - 30" RCP CLASS III STORM DRAIN
 SD/24 - 24" RCP CLASS III STORM DRAIN
 SD/21 - 21" RCP CLASS III STORM DRAIN
 SD/18 - 18" RCP CLASS III STORM DRAIN
 SD/15 - 15" RCP CLASS III STORM DRAIN
 SD/8 - 8" PVC YARD DRAIN
 SD/6 - 6" PVC YARD DRAIN
- SECONDARY WATER**
 SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
 SW LAT - 1" SERVICE LATERAL W/ 1" METER (SINGLE SERVICE)
 SW LAT - 1.5" SERVICE LATERAL W/ 1" METER (DOUBLE SERVICE)

- NOTE:**
- ALL CONSTRUCTION IS TO CONFORM TO THE CITY STANDARD DRAWINGS AND SPECIFICATIONS.
 - CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.
 - PROVIDE 18" CLEARANCE FOR LATERALS OVER SEWER.
 - DEPTH OF WATER TO BE 4" MIN. BELOW FINISHED GRADE.
 - CULINARY WATER TO BE INSTALLED PER BONA VISTA STANDARDS.
 - ALL EXISTING DITCHES THAT ARE BEING FILLED IN, MUST HAVE STRUCTURAL FILL IN ALL RIGHT-OF-WAY AND BUILDING FOOTPRINTS.
 - PVC SLEEVES TO BE INSTALLED UNDER PATHWAY FOR SPRINKLER USE.
 - CONTRACTOR TO INSTALL ALL SLEEVES AS REQUIRED FOR THE RESIDENTIAL DEVELOPMENT.
 - FOR ELECTRICITY CONDUITS COORDINATE WITH ROCKY MOUNTAIN POWER.
 - CONTRACTOR TO INSTALL CONDUITS FROM TRANSFORMER TO LIGHT LOCATIONS WITH JUNCTION BOXES AS NEEDED TO BE USED TO POWER STREET LIGHTS.
 - LOCATION WHERE 18" VERTICAL SEPARATION FOR WATER CROSSING SEWER MAINS CAN NOT BE MAINTAINED, SEWER MAINS MUST BE SLEEVED WITH 14"x20" CENTERED AT CROSSING.
 - LOCATIONS WHERE 18" VERTICAL SEPARATIONS FOR SEWER & CULINARY WATER LINES CAN NOT BE MAINTAINED, SEWER LATERALS TO SLEEVED WITH 8"x18" AT CROSSING.

Reeve & Associates, Inc.
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
 TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
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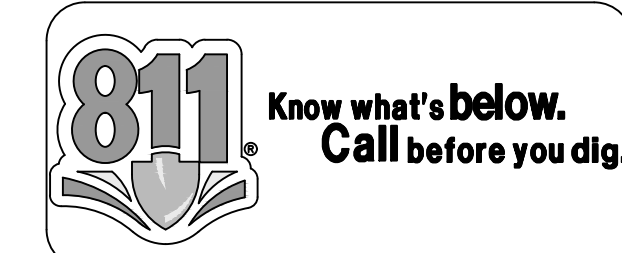
REVISIONS	DESCRIPTION	DATE

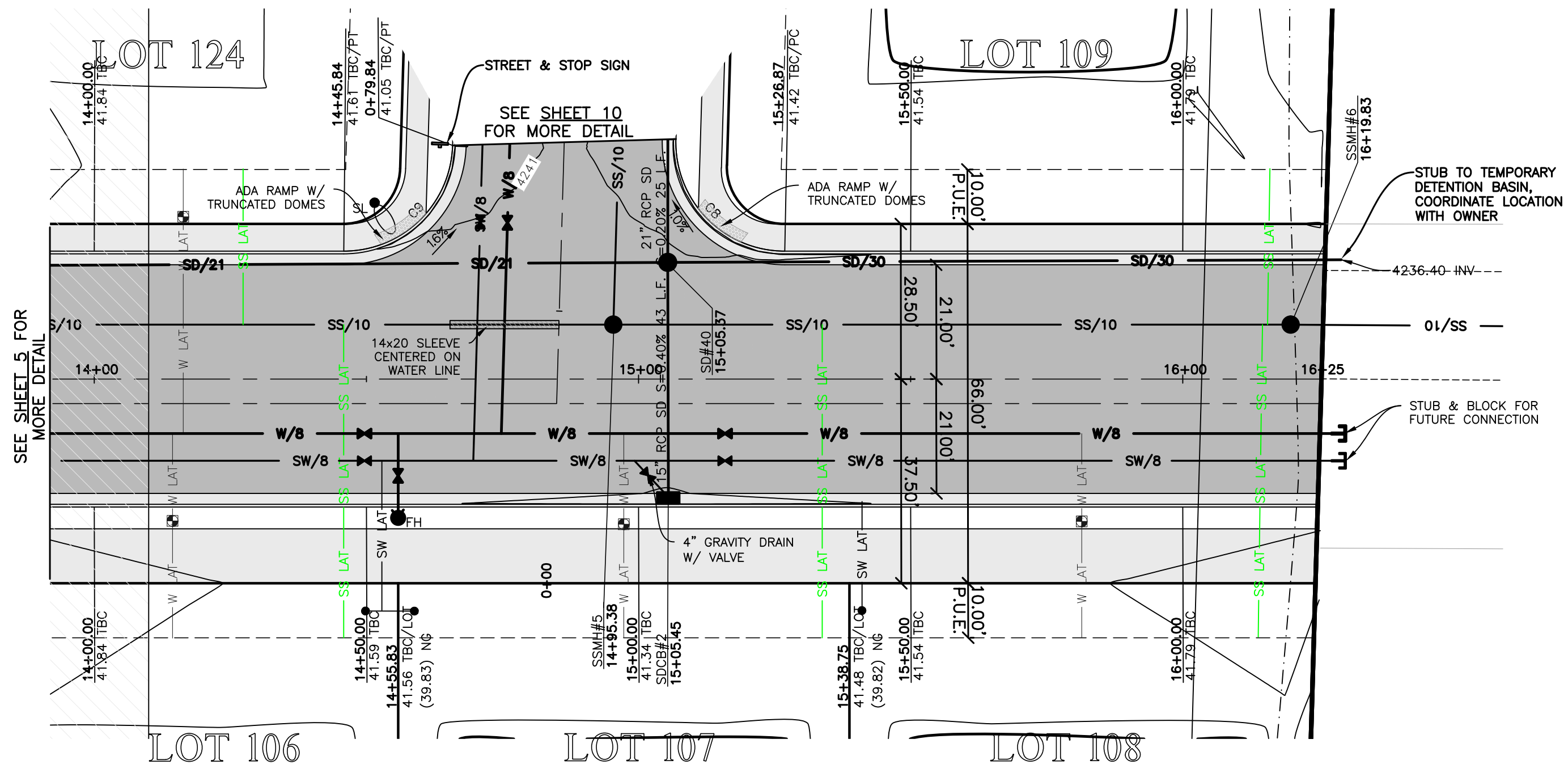
The Grove at JDC Ranch Subdivision
Phase 1 & 2
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2875 West 9+30.00 - 14+10.00

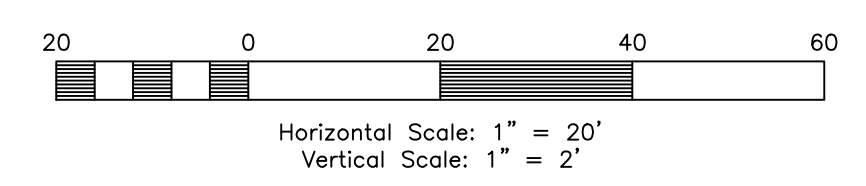


Project Info.
 Engineer: J. NATE REEVE, P.E.
 Drafter: N. FICKLIN
 Begin Date: MARCH 2022
 Name: THE GROVE AT JDC RANCH SUBDIVISION PHASE 1 & 2
 Number: 7152-14



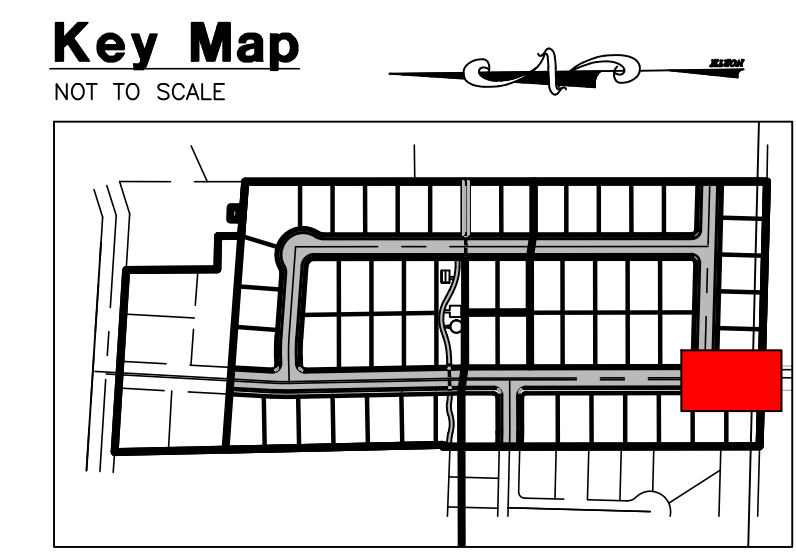
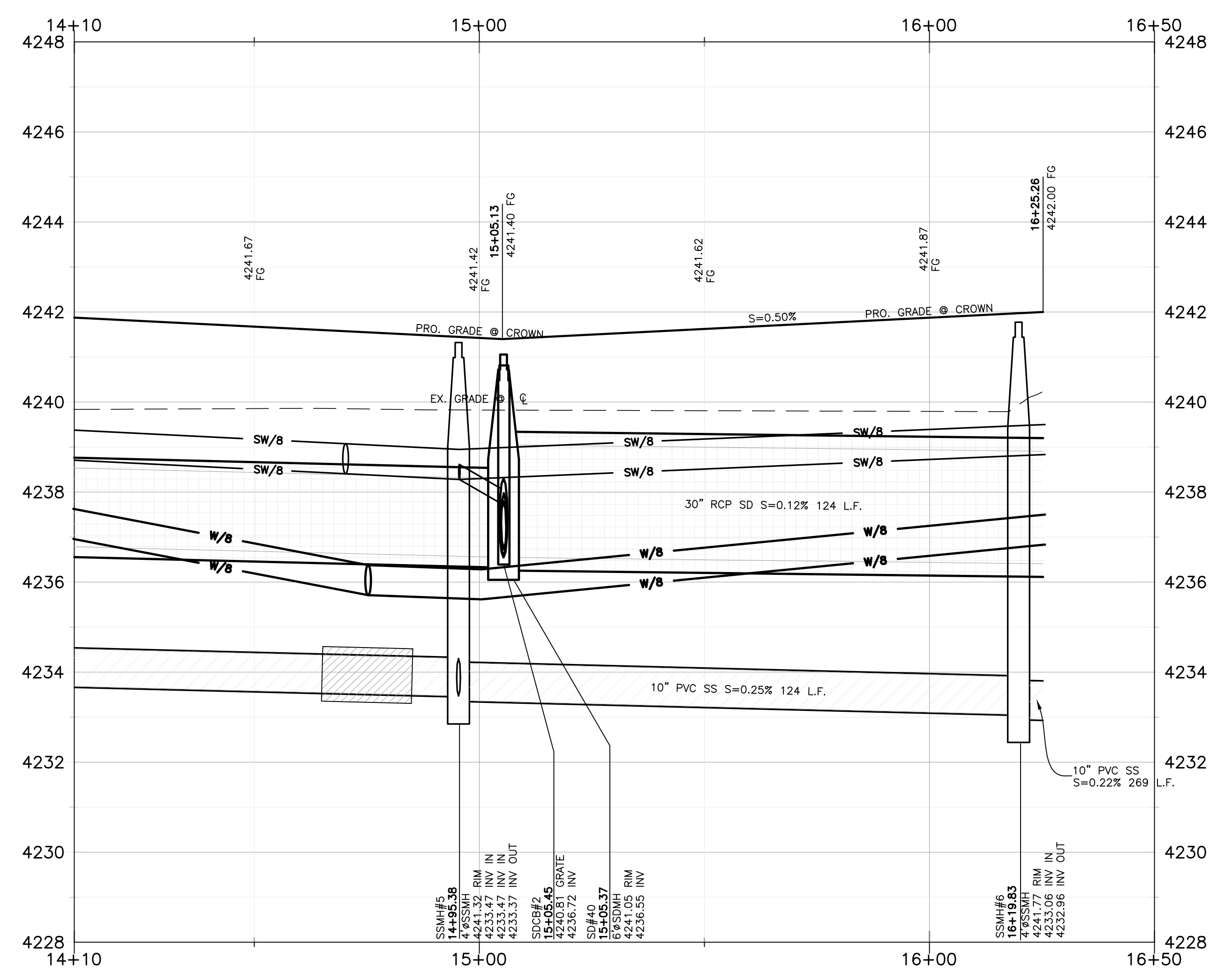


2875 West 14+10.00 - 16+25.35



TBC Curve Data

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C9	88°19'28"	20.00'	30.83'	19.42'	S44°15'28"E	27.87'



- Construction Notes:**
- CULINARY WATER**
NOTE: 4" MIN. COVER REQUIRED OVER CW LINES
W/8 - 8" DIP W/POLY WRAP WATER LINE
W LAT - 1" TYPE K COPPER SERVICE LATERAL
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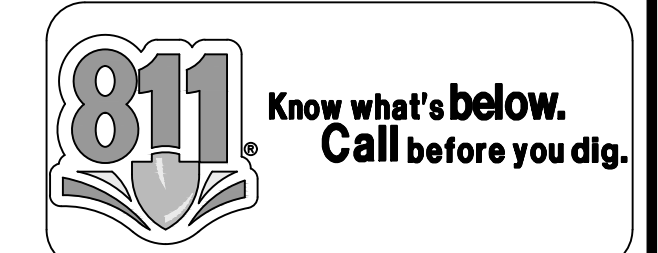
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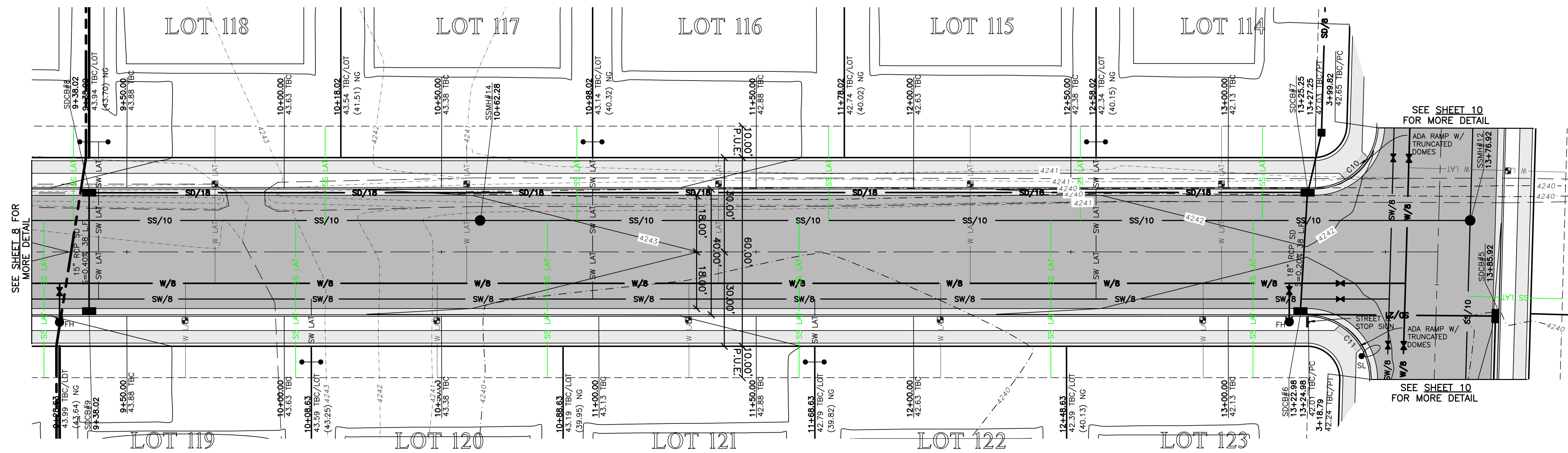
The Grove at JDC Ranch Subdivision
Phase 1 & 2
WEBER COUNTY, UTAH

2875 West 14+10.00 - 16+25.35

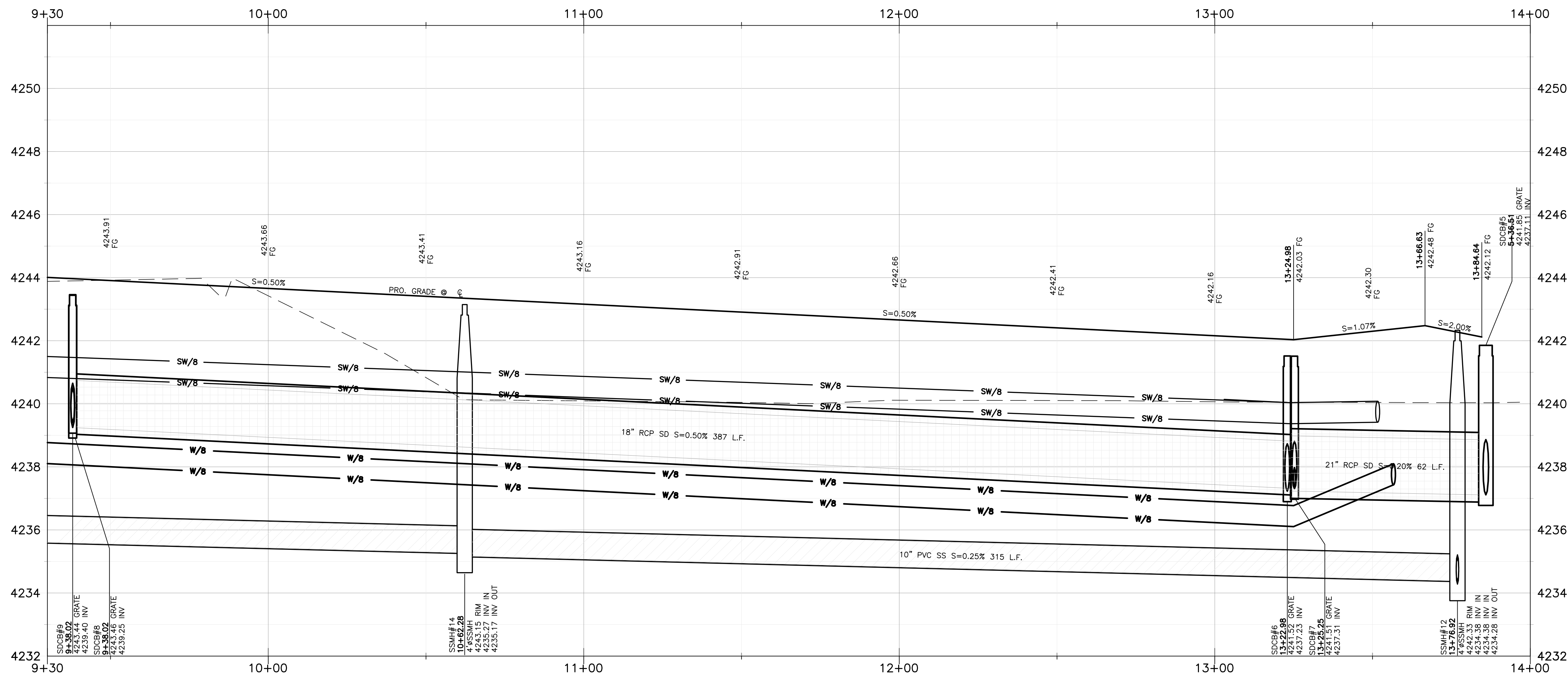
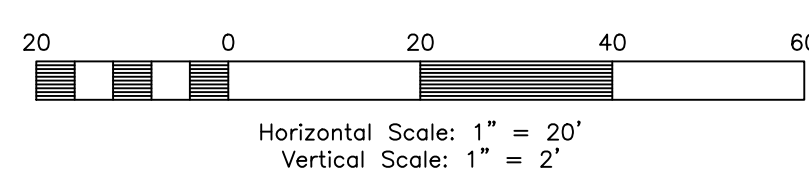


Project Info.
Engineer: J. NATE REEVE, P.E.
Drafter: N. FICKLIN
Begin Date: MARCH 2022
Name: THE GROVE AT JDC RANCH SUBDIVISION PHASE 1 & 2
Number: 7152-14



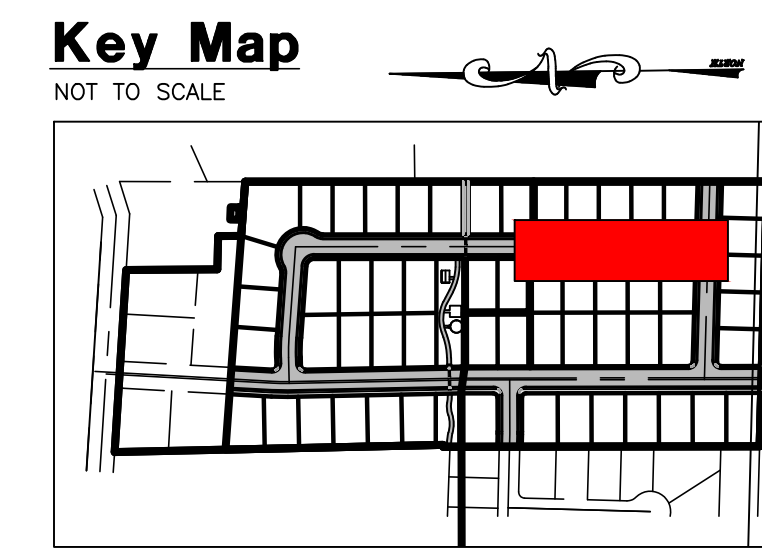


2825 West 9+30.00 - 14+00.00



TBC Curve Data

#	Delta	Radius	Length	Tangent	Chord	CH Length
C10	88°23'30"	20.00'	30.85'	19.45'	S44°13'27"E	27.88'
C11	91°36'30"	20.00'	31.98'	20.57'	N45°46'33"E	28.68'



- Construction Notes:**
- CULINARY WATER**
NOTE: 4" MIN. COVER REQUIRED OVER CW LINES
W/8 - 8" DIP W/POLY WRAP WATER LINE
W LAT - 1" TYPE K COPPER SERVICE LATERAL
- SANITARY SEWER**
SS/10 - 10" PVC SDR-35 SEWER LINE
SS/12 - 12" PVC SDR-35 SEWER LINE
SS LAT - 4" PVC SDR-35 SERVICE LATERAL
- STORM DRAIN**
SD/30 - 30" RCP CLASS III STORM DRAIN
SD/24 - 24" RCP CLASS III STORM DRAIN
SD/21 - 21" RCP CLASS III STORM DRAIN
SD/18 - 18" RCP CLASS III STORM DRAIN
SD/15 - 15" RCP CLASS III STORM DRAIN
SD/8 - 8" PVC YARD DRAIN
SD/6 - 6" PVC YARD DRAIN
- SECONDARY WATER**
SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
SW LAT - 1" SERVICE LATERAL W/ 1" METER (SINGLE SERVICE)
SW LAT - 1.5" SERVICE LATERAL W/ 1" METER (DOUBLE SERVICE)

- NOTE:**
- ALL CONSTRUCTION IS TO CONFORM TO THE CITY STANDARD DRAWINGS AND SPECIFICATIONS.
 - CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.
 - PROVIDE 18" CLEARANCE FOR LATERALS OVER SEWER.
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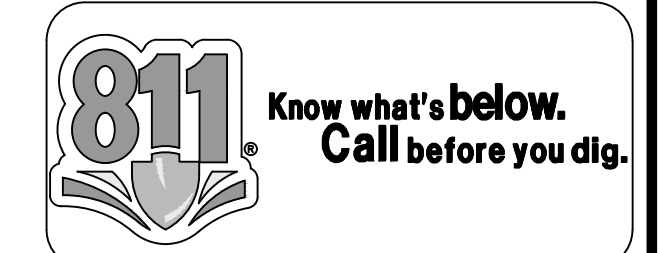
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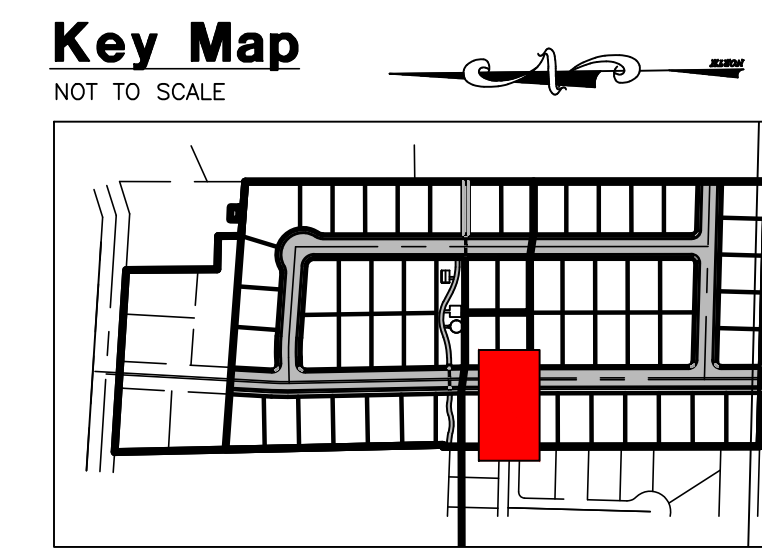
The Grove at JDC Ranch Subdivision
Phase 1 & 2
WEBER COUNTY, UTAH

2825 West 9+30.00 - 14+00.00

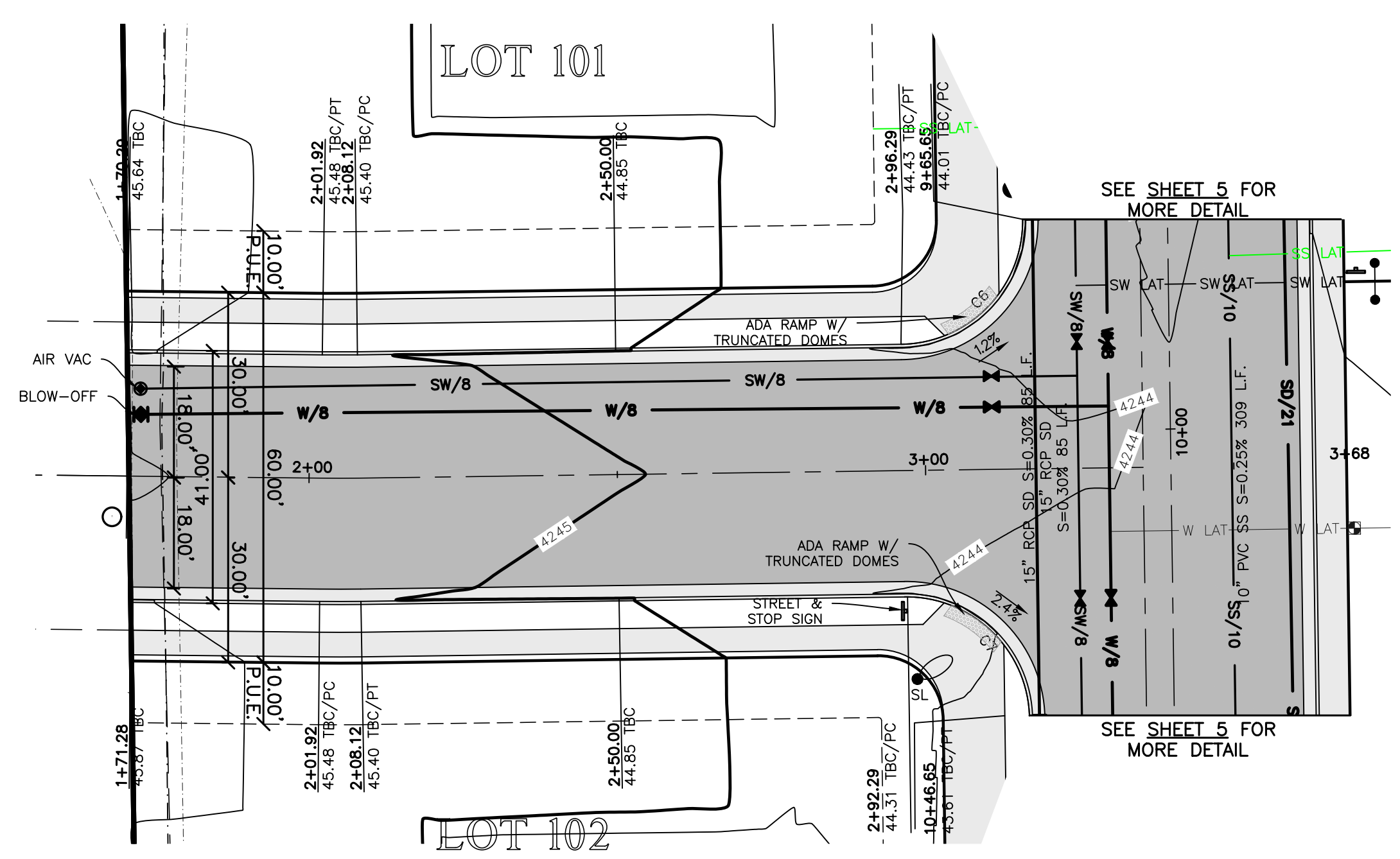


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Drafted: N. FICKLIN
Begin Date: MARCH 2022
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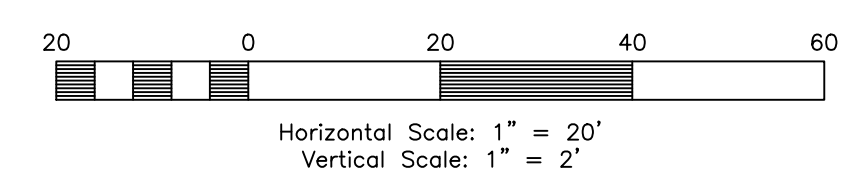




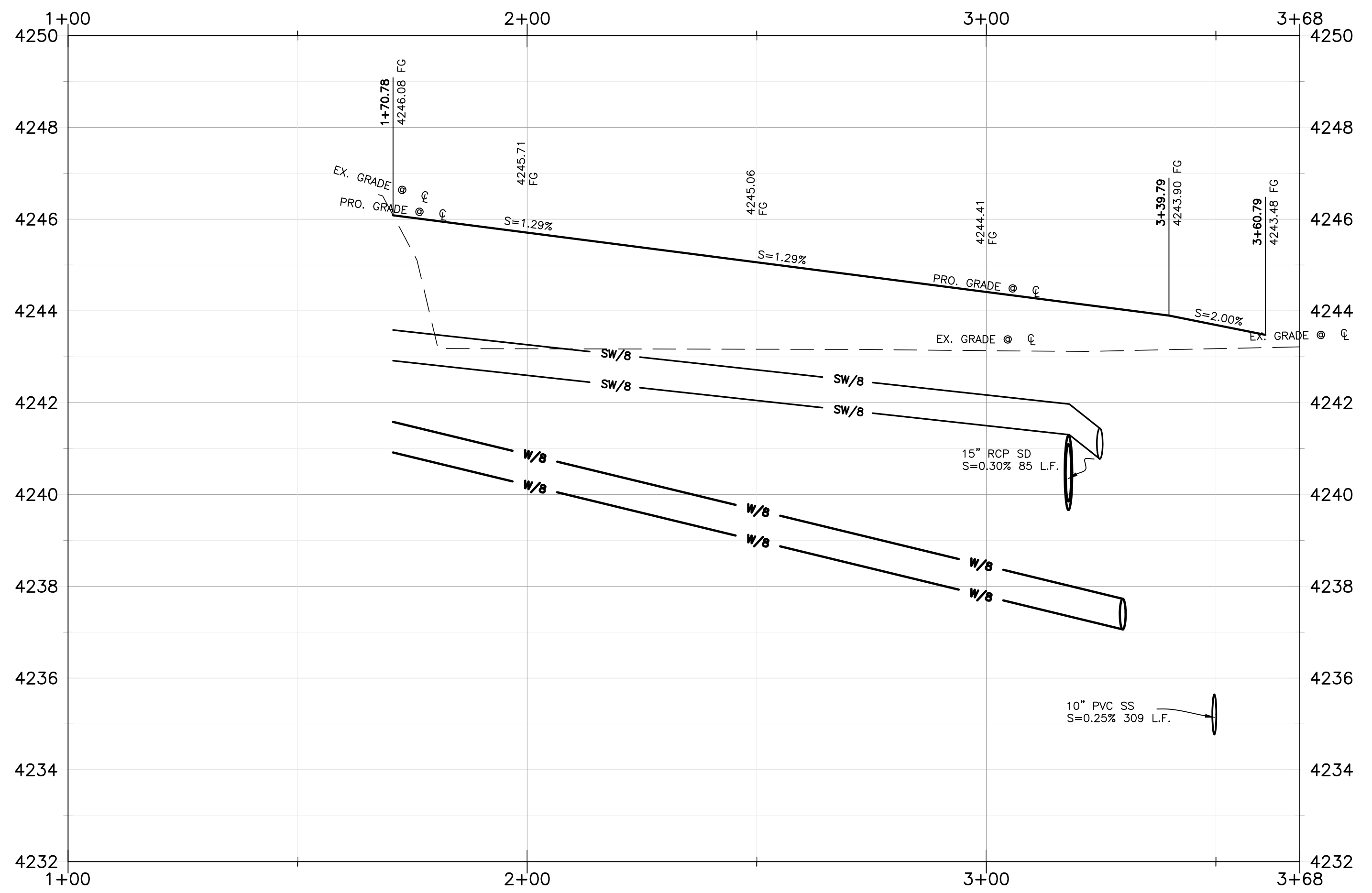
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**3150 North Street
 1+00.00 - 3+68.29**



#	Delta	Radius	Length	Tangent	Chord	CH Length
C6	90°00'00"	20.00'	31.42'	20.00'	N44°54'16"E	28.28'
C7	90°00'00"	20.00'	31.42'	20.00'	N45°05'44"W	28.28'



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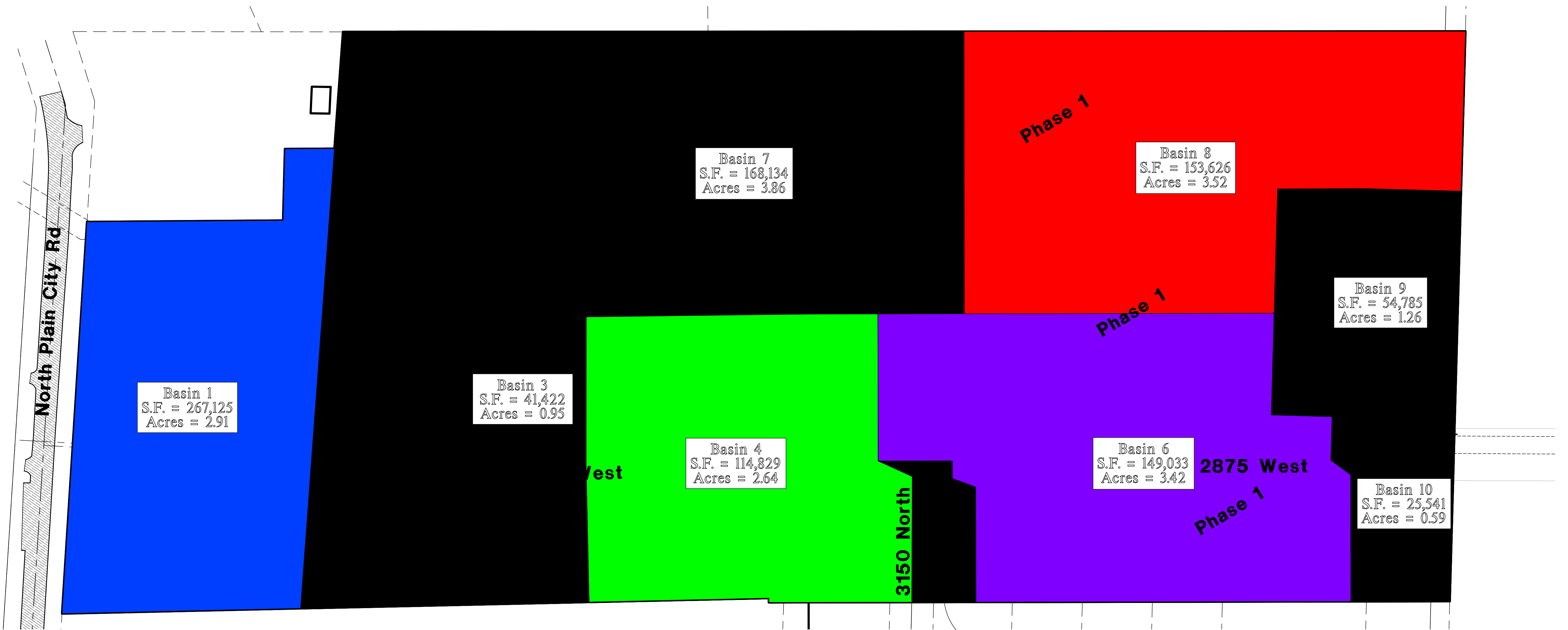
**The Grove at JDC Ranch Subdivision
 Phase 1 & 2**
 WEBER COUNTY, UTAH

3150 North Street 1+00.00 - 3+68.29



Project Info.
 Engineer: J. NATE REEVE, P.E.
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Storm Runoff Calculations
JDC at West Ridge - Phase 1-2
7152-14 4/20/2023

The following runoff calculations are based on the Rainfall - Intensity - Duration Frequency Curve for the Weber County, UT area taken from the NOAA Atlas 14 database. Calculations have been completed for the 100-yr 24-hr storm event. Storm water runoff has been calculated for a fully developed site and full retention, as the stormwater will be conveyed and retained in a temporary basin.

(62 lots)
The calculations are as follows:

Drainage Area:

Total Area	22.37 acre or	974,439 ft ²
Paved Area	268,611	C = 0.9
Roof	179,800	C = 0.9
Landscaped Area	526,028	C = 0.2
Weighted Runoff Coefficient		C = 0.52

LID Retention

80 th Percentile Rainfall Event (d)	0.48 in
Is the site Feasible for LID?	Yes
Site Imperviousness (I)	0.46
NFCS Soil Group	A
Rv Equation	0.84*1.302
R _i (Soil Group A: 0.84*1.302; B: 0.84*1.169; C/D: 0.83*1.122)	0.31
V _{ret} = R _i x d x Total Site SF	11,918 c.f.

Rainfall Intensities:

10-yr intensity for a 30 minute Storm Event	1.38 in/hr
---	------------

Peak Run-off:

Runoff Coefficient	C = 0.52
Rainfall Intensity	I = 1.38 IN./HR.
Area	A = 22.37 ACRES
Q	Q = 16.12 cfs

Cumulative

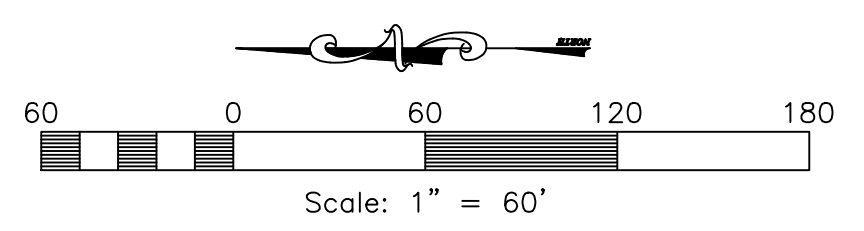
Drainage Basin	Area (acres)	Q (cfs) 10-yr Min Pipe Size
1	2.91	2.10
2	2.95	2.22
3	0.95	0.91
4	2.64	0.81
5	0.27	0.70
6	3.42	0.47
7	3.86	0.76
8	3.52	0.32
9	1.26	0.23
10	0.59	0.12

Volume of Run-off for 100-year Storm Event:

C	0.52					
I	See Below in/hr					
A	974439.00 ft ²					
Q(out) =	0.00 ft ³ /s (full retention)					
time (min)	time (sec)	I (in./hr.)	Q (cfs)	Vol. in (cft)	Vol. out (cft)	Difference (cft)
0	0	0.00	0.00	0	0	0
5	300	0.66	19.32	23496	0	23496
10	600	0.66	19.32	37756	0	37756
15	900	0.66	19.32	44306	0	44306
30	1800	0.66	19.32	69609	0	69609
60	3600	0.66	19.32	73772	0	73772
120	7200	0.66	19.32	81404	0	81404
180	10800	0.66	19.32	83439	0	83439
360	21600	0.366	4.31	93106	0	93106
720	43200	0.223	2.63	113457	0	113457
1440	86400	0.123	1.45	125159	0	125159

SUMMARY:

The required 100-yr storage volume is	125,159	cubic feet
The required LID Retention volume is	11,918	cubic feet



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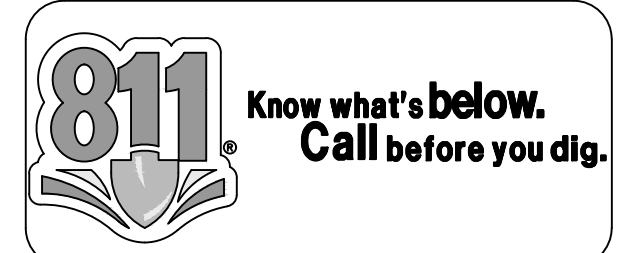
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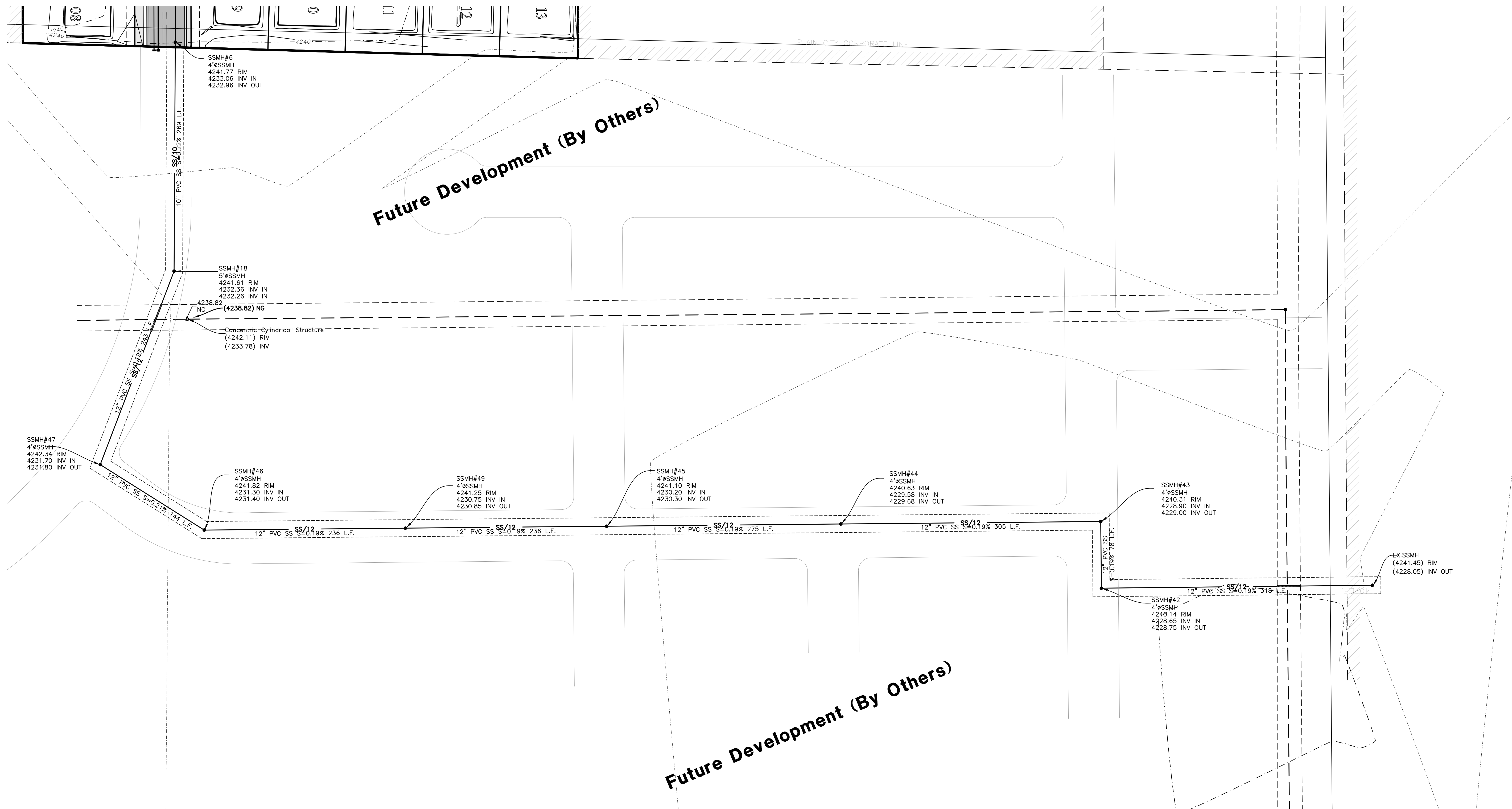
The Grove at JDC Ranch Subdivision
Phase 1 & 2
WEBER COUNTY, UTAH

Site Drainage Area Plan



Project Info.
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Drafted: N. FICKLIN
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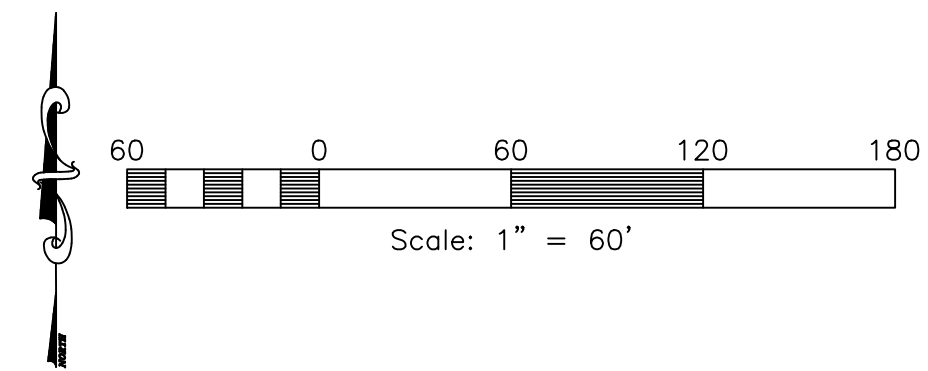




Future Development (By Others)

Future Development (By Others)

NOTE:
FINAL RIM ELEVATION FOR SSMH#42-47, AND SSMH#18 TO BE SET DURING DEVELOPMENT OF FUTURE SUBDIVISION IMPROVEMENT PLANS



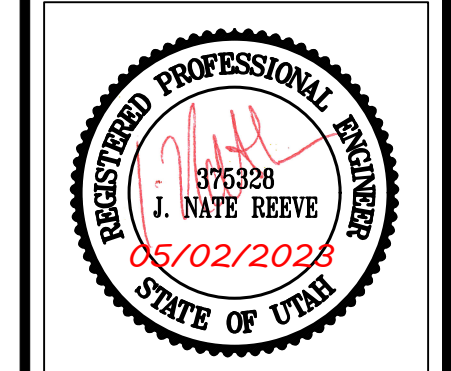
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REVISIONS	DESCRIPTION

The Grove at JDC Ranch Subdivision
Phase 1 & 2
 WEBER COUNTY, UTAH

Sewer Outfall



Project Info.

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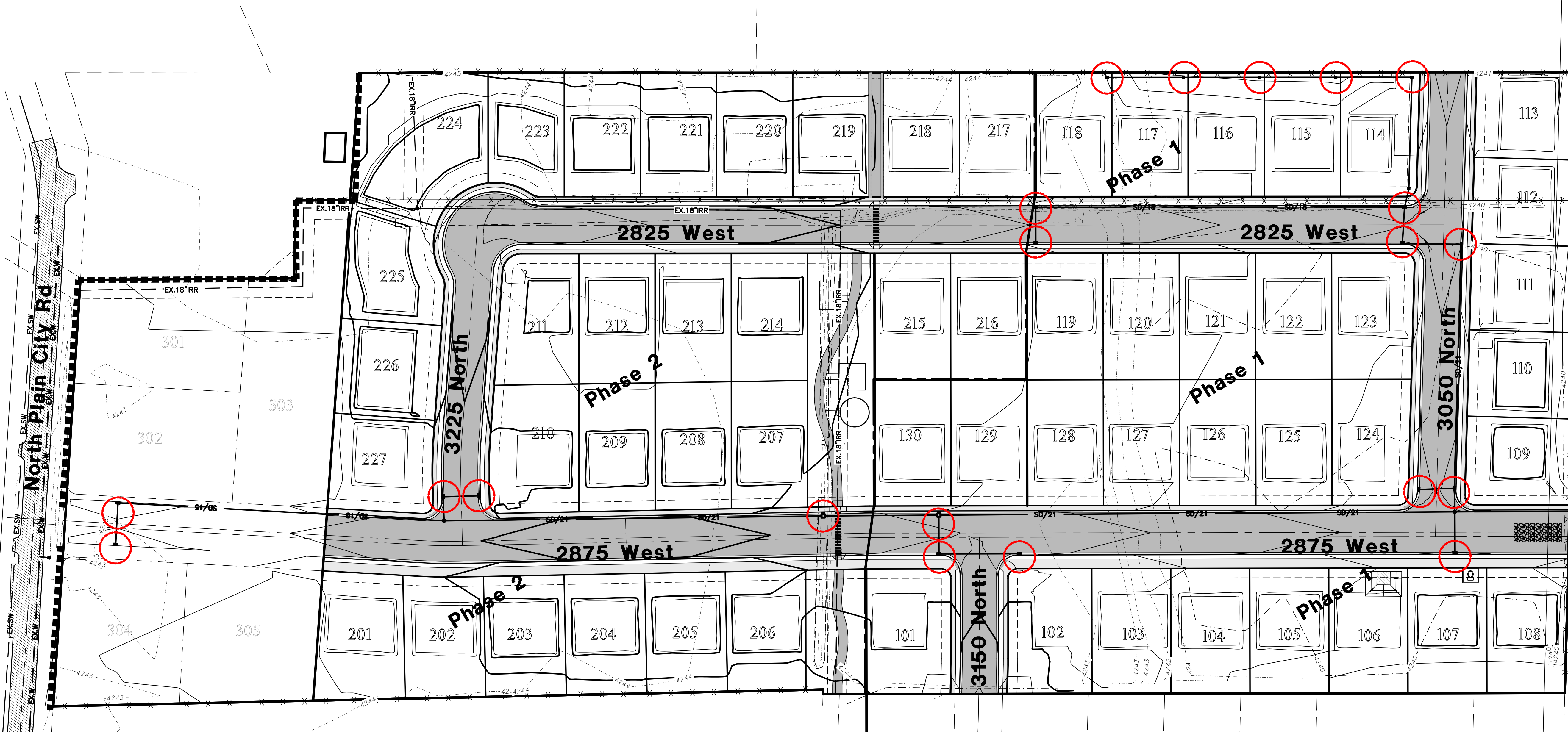
THE GROVE at JDC RANCH SUBDIVISION

Storm Water Pollution Prevention Plan Exhibit

WEBER COUNTY, UTAH
MARCH, 2023



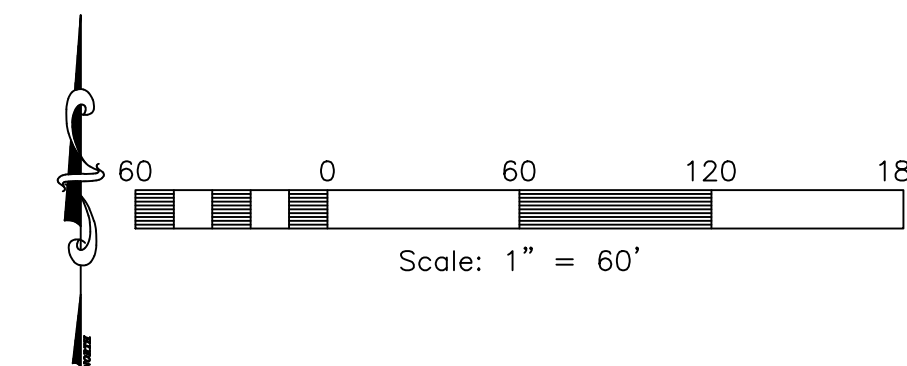
Vicinity Map
NOT TO SCALE



SWPPP Legend

- = PORTABLE TOILET
- = INLET PROTECTION TYP. (SEE DETAIL)
- = SILT FENCE (SEE DETAIL)
- = 50'x20' CONSTRUCTION ENTRANCE W/8" CLEAN GRAVEL
- = CONCRETE WASH AREA (SEE DETAIL) OR AS SELECTED BY CONTRACTOR

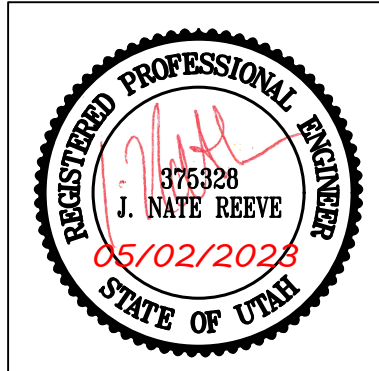
SWPPP NOTES:
 1. ALL VEHICLES EXITING SITE TO PROCEED THROUGH CONSTRUCTION ENTRANCE TO REDUCE AMOUNTS OF SEDIMENT TRACKED ONTO ROADWAYS.
 2. STREETS TO BE SWEEPED WITHIN 1000 FEET OF CONSTRUCTION ENTRANCE DAILY IF NECESSARY



Construction Activity Schedule	
PROJECT LOCATION.....	WEBER COUNTY, (UT)
PROJECT BEGINNING DATE.....	MARCH 2023
BMP'S DEPLOYMENT DATE.....	MARCH 2023
STORM WATER MANAGEMENT CONTACT / INSPECTOR.....	STEVE ANDERSON (801) 430-3996
SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER	

REVISIONS	DESCRIPTION
DATE	

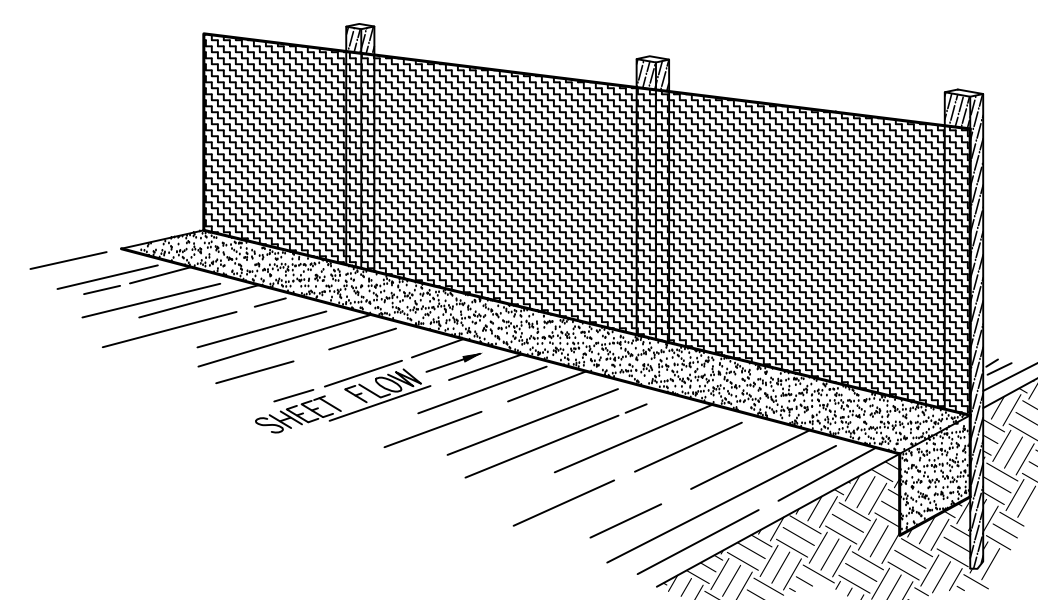
The Grove at JDC Ranch Subdivision
Phase 1 & 2
 WEBER COUNTY, UTAH
Storm Water Pollution
Prevention Plan Exhibit



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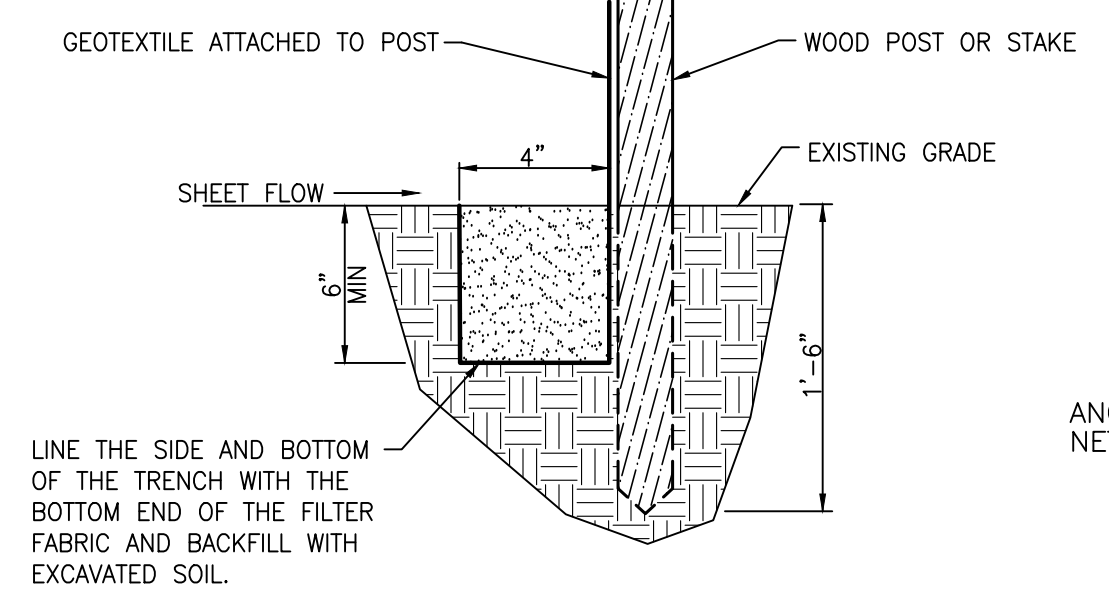
Notes:

- Describe all BMP's to protect storm water inlets:
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
 - Equipment / building / concrete wash areas:
To be performed in designated areas only and surrounded with silt fence barriers.
 - Soil contaminated by soil amendments:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Areas of contaminated soil:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Fueling area:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle maintenance areas:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle parking areas:
To be performed in designated areas only and surrounded with silt fence.
 - Equipment storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Materials storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Waste containment areas:
To be performed in designated areas only and surrounded with silt fence.
 - Service areas:
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
- Construction Vehicles and Equipment:
 - Maintenance
 - Maintain all construction equipment to prevent oil or other fluid leaks.
 - Keep vehicles and equipment clean; prevent excessive build-up of oil and grease.
 - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
 - Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
 - Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
 - Fueling
 - If fueling must occur on-site, use designated areas away from drainage.
 - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
 - Cover retention area with an impervious material and install in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
 - Use drip pans for any oil or fluid changes.
 - Washing
 - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
 - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
 - Use phosphate-free, biodegradable soaps.
 - Do not permit steam cleaning on-site.
- Spill Prevention and Control
 - Minor Spills:
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
 - Contain the spread of the spill.
 - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
 - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up and properly dispose of contaminated soil.
 - If the spill occurs during rain, cover the impacted area to avoid runoff.
 - Record all steps taken to report and contain spill.
 - Major Spills:
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
 - Maintain good housekeeping practices.
 - Enclose or cover building material storage areas.
 - Properly store materials such as paints and solvents.
 - Store dry and wet materials under cover, away from drainage areas.
 - Avoid mixing excess amounts of fresh concrete or cement on-site.
 - Perform washout of concrete trucks offsite or in designated areas only.
 - Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
 - Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
 - All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
 - Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
 - The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
 - A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.
 - Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
 - Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
 - All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
 - Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
 - All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the engineer of record of the governing agency.
 - The placement of additional devices to reduce erosion damage within the site is left to the discretion of the engineer of record.
 - Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
 - Erosion control devices will be modified as need as the project progresses and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
 - Part III.D.4 of general permit UTRC00000 identifies the minimum inspection requirements.
 - Part III.D.4.C identifies the minimum inspection report requirements.
 - Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 300000.



Perspective View

Figure 2



Section

INSTALLATION

The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

Slope Steepness (%)	Max. Slope Length m (ft)
<2%	30.5m (100ft)
2-5%	22.9m (75ft)
5-10%	15.2m (50ft)
10-20%	7.6m (25ft)
>20%	4.5m (15ft)

PREFABRICATED SILT FENCE ROLLS
 *Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
 *Unroll the silt fence, positioning the post against the downstream wall of the trench.
 *Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then abut the end posts to create a tight seal as shown in Figure 1.
 *Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
 *Bury the loose geotextile at the bottom of the trench in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

should generally be less than three (3) times the height of the fence.
 *If a steel or plastic mesh is required to reinforce the geotextile, it shall have a minimum mesh opening of 15.2cm (6").
 *Fasten the mesh to the upslope side of the posts using heavy duty wire staples, tie wires or hog strings. Extend the mesh into the bottom of the trench.
 *The geotextile shall then be stapled or wired to the posts. An extra 20-50cm (8-20") of geotextile shall extend into the trench.

INSPECTION

*Inspect the silt fence daily during periods of rainfall, immediately after significant rainfall event and weekly during periods of no rainfall. Make any repairs immediately.
 *When sediment deposits behind the silt fence are one-third of the fence height, remove and properly dispose of the silt accumulations. Avoid damage to the fabric during cleanout.

REMOVAL

*Silt fence should not be removed until construction ceases and the upslope area has been properly stabilized and/or revegetated.

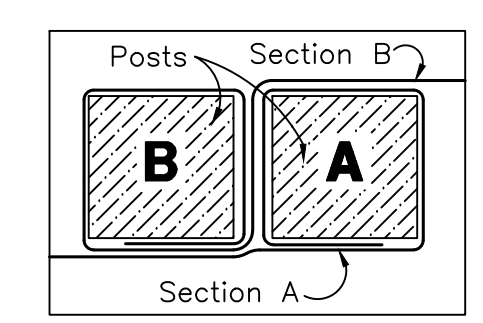
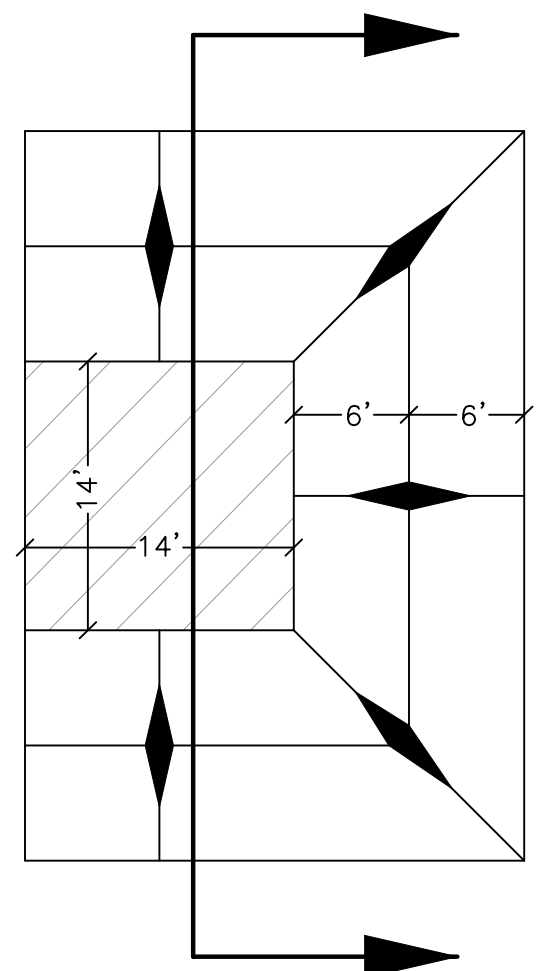


Figure 1: Top View of Roll-to-Roll Connection

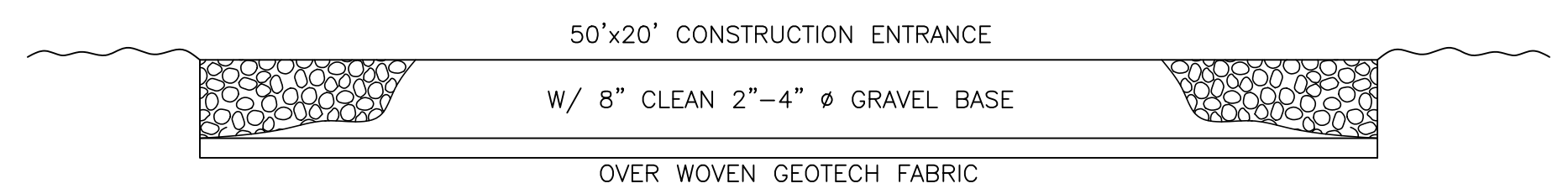
Silt Fence Detail

SCALE: NONE

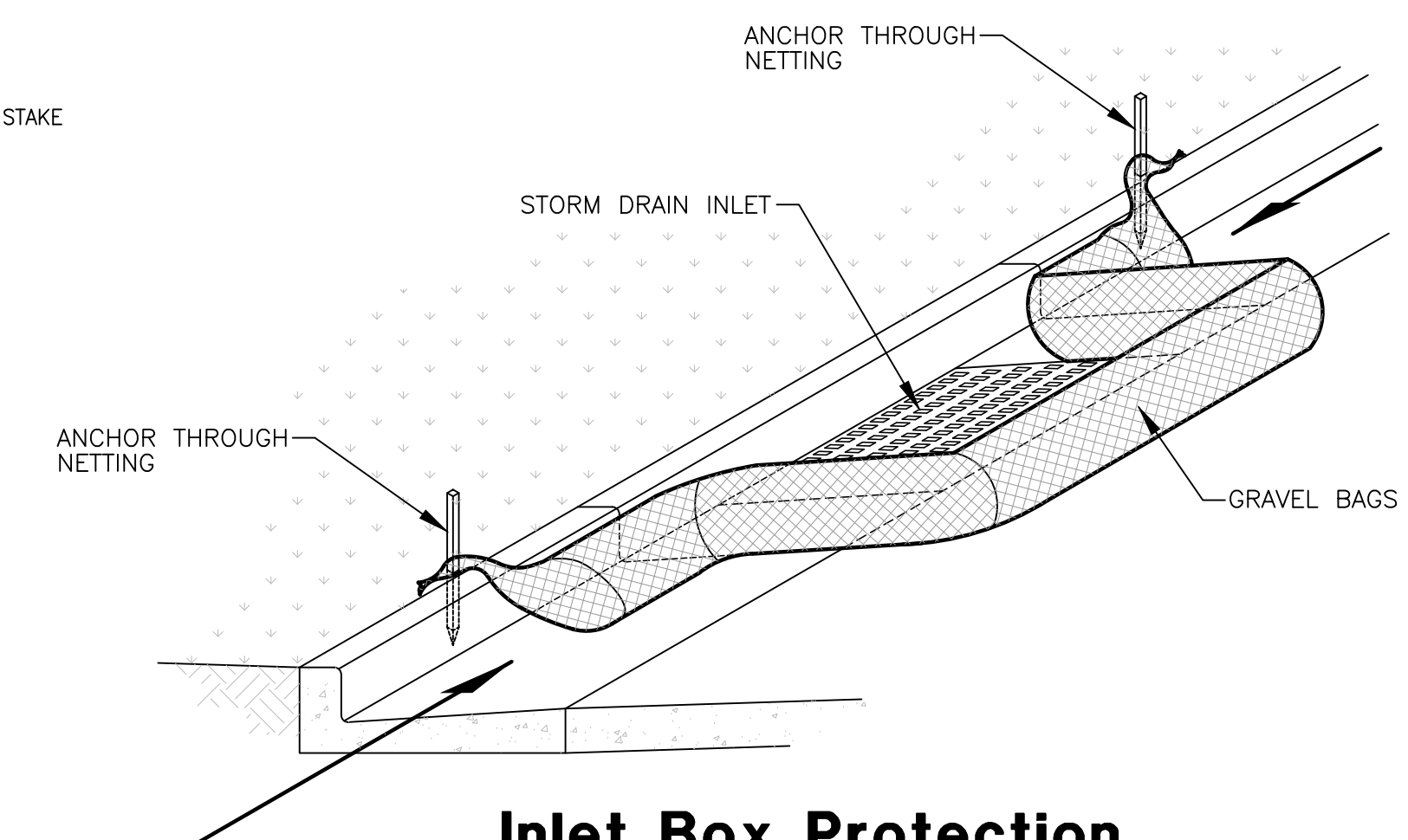


Concrete Washout Area w/ 10 mil Plastic Liner

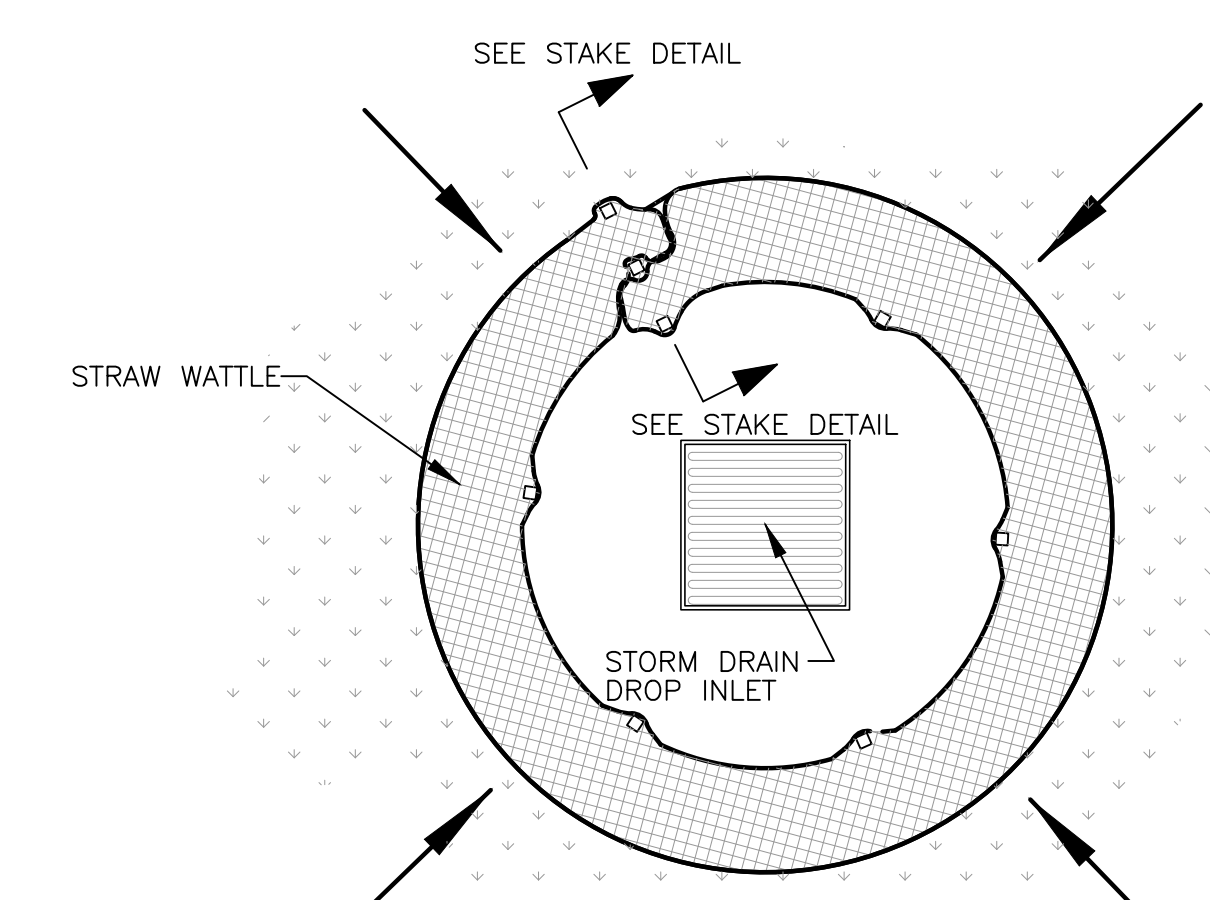
SCALE: NONE



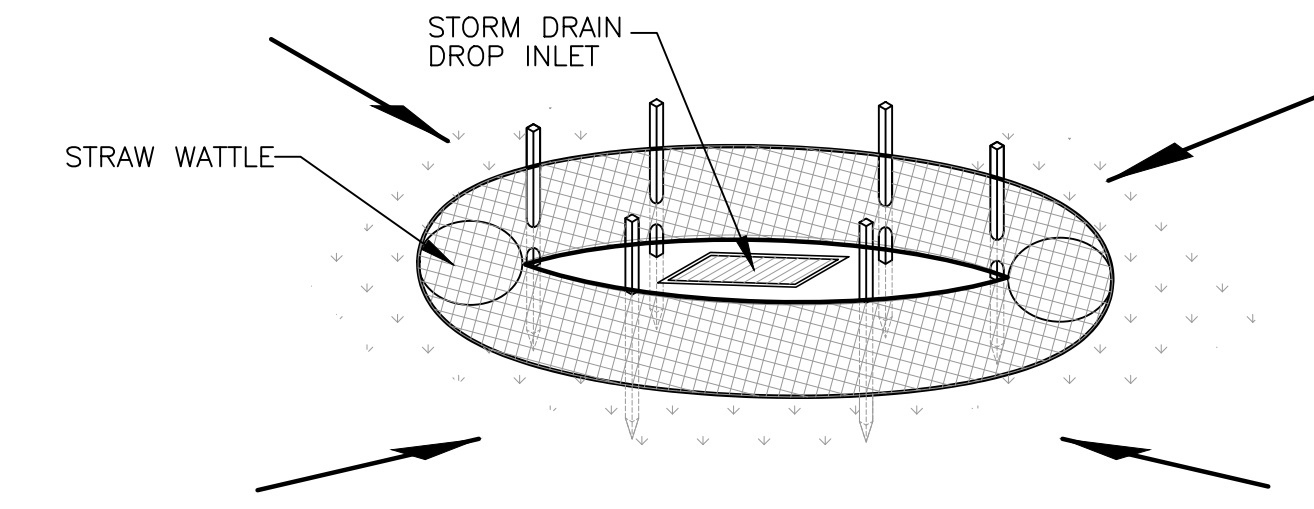
Cross Section 50' x 20' Construction Entrance



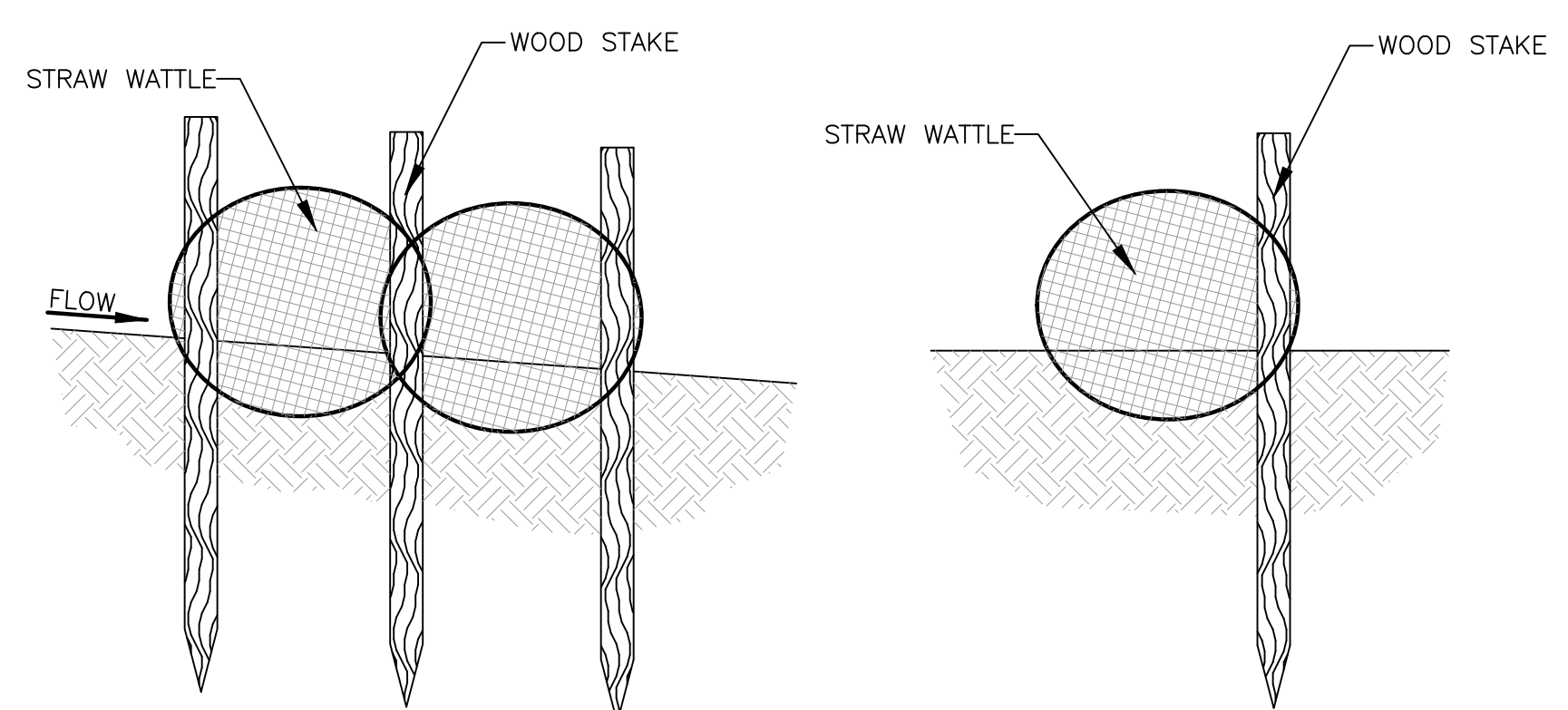
Inlet Box Protection



Plan View



Drop Inlet Protection



Stake Detail

Reeve & Associates, Inc.
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
 TEL: (801) 671-3100 WWW.REEVE.CO

RA

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REVISIONS	DESCRIPTION
DATE	

The Grove at JDC Ranch Subdivision Phase 1 & 2
 WEBER COUNTY, UTAH

Storm Water Pollution Prevention Plan Details

REGISTERED PROFESSIONAL ENGINEER
 J. NATE REEVE
 05/02/2024
 STATE OF UTAH

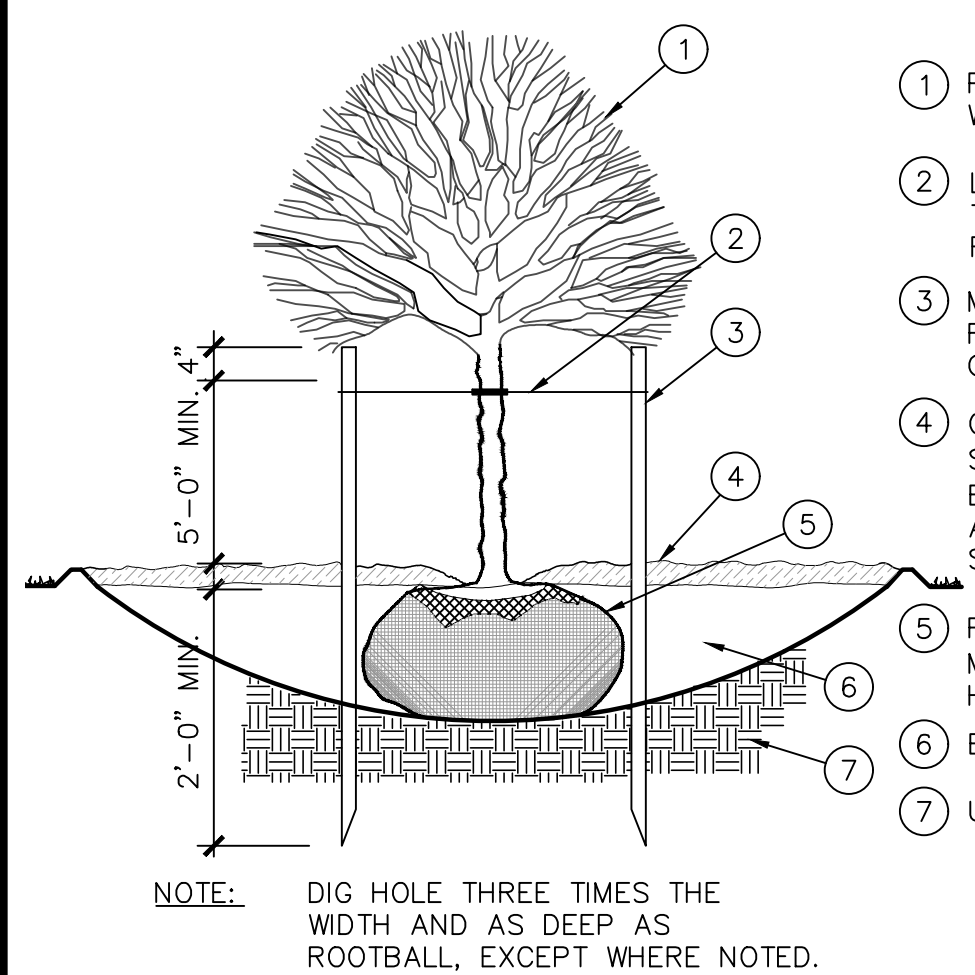
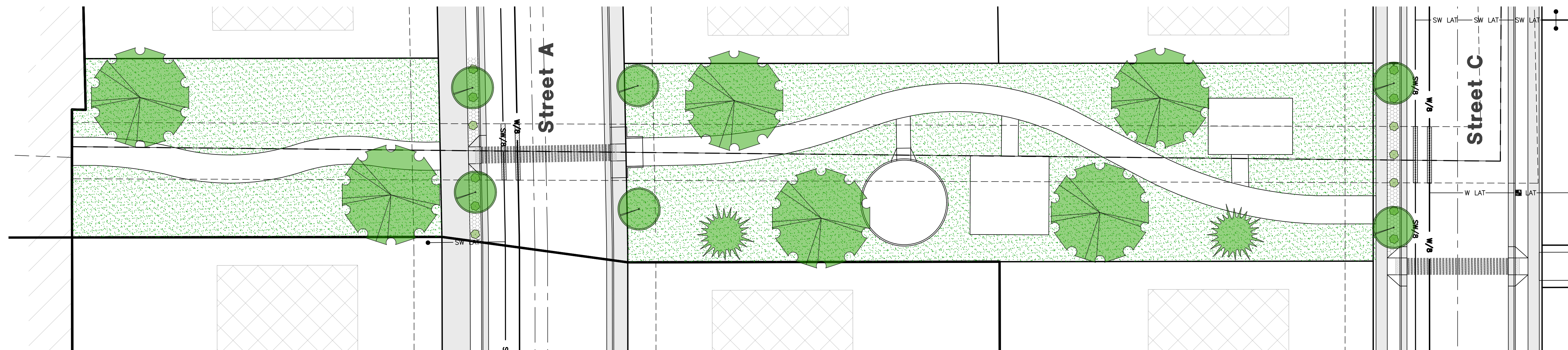
Project Info.
 Engineer: J. NATE REEVE, P.E.
 Drafter: N. FICKLIN
 Begin Date: MARCH 2022
 Name: THE GROVE AT JDC RANCH SUBDIVISION PHASE 1 & 2
 Number: 7152-14

PLANT TABLE

Quantity	Symbol	Scientific Name	Common Name	Size
6		Acer platanoides 'Crimson Sentry'	Crimson Sentry Norway Maple	2" col.
2		Pinus nigra	Austrian Pine	6' Ht
6		Zelkova serrata 'Village Green'	Village Green Zelkova	2" col.

Quantity	Symbol	Scientific Name	Common Name	Size
13		Juniperus communis 'Mondap'	Alpine Carpet Juniper	5 gal.

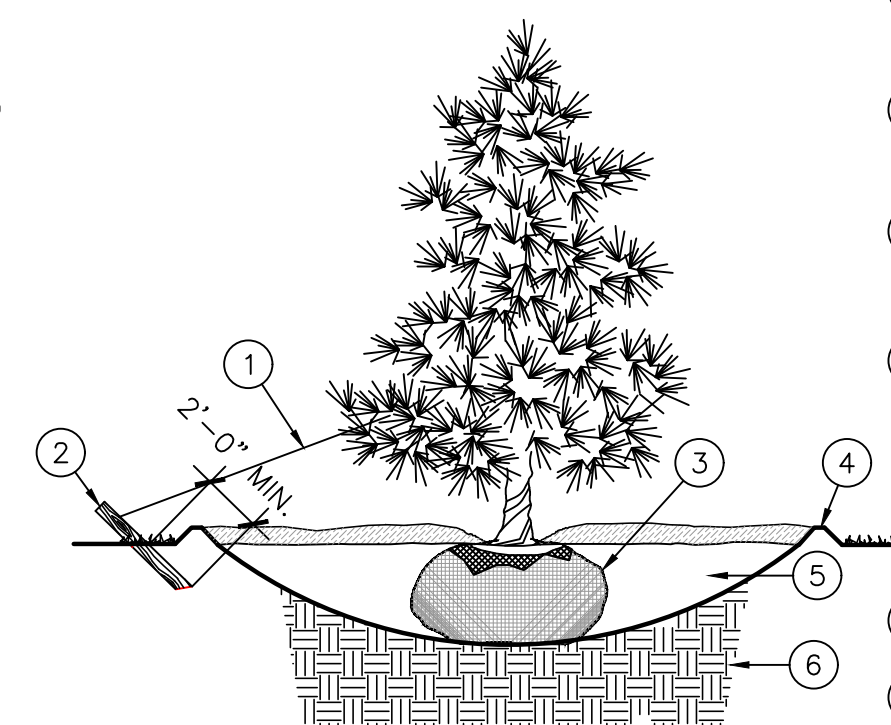
Symbol	Description	Type
	Turf Grass - Sod	Sod
	Kentucky Bluegrass Mix - 3 Species Minimum	Sod
	Rock Mulch	1" Diameter
	Place mulch over 5 ounce Professional weed barrier cloth in all planting beds. Contractor to provide samples to owner for approval prior to delivery.	3" Depth



DECIDUOUS TREE PLANTING

NTS

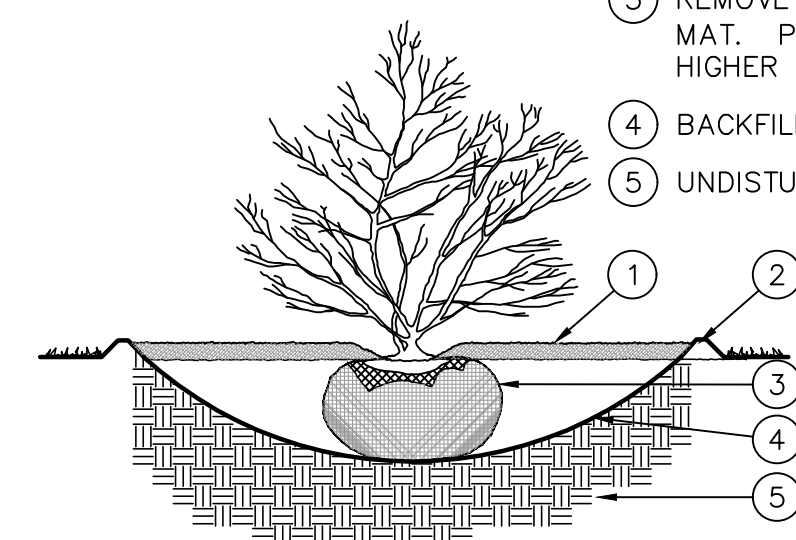
- 1 PRUNE ALL DEAD AND INJURED WOOD. DO NOT CUT LEADER.
- 2 LOOSELY TIE TO ALLOW FOR TREE MOVEMENT, BUT SECURED FOR HIGH WIND CONDITIONS.
- 3 METAL T-POSTS, 2 PER TREE. REMOVE POSTS & TIES AFTER ONE YEAR.
- 4 CONSTRUCT 4" EARTH BERM SAUCER. FILL WITH 3" BARK/ROCK MULCH. BRUSH AWAY FROM TRUNK. REMOVE SAUCER AFTER ONE YEAR.
- 5 REMOVE BURLAP/PACKAGING MAT. PLANT TREES 2"-3" HIGHER THAN GRADE.
- 6 BACKFILL WITH NATIVE SOIL
- 7 UNDISTURBED SOIL



CONIFEROUS TREE PLANTING

NTS

- 1 LOOSELY TIE TO ALLOW FOR TREE MOVEMENT, BUT SECURED FOR HIGH WIND CONDITIONS
- 2 4' x 2" x 2" STAKE AND GUY WIRE (ONE EA. TREE) REMOVE STAKES AFTER ONE YEAR
- 3 REMOVE BURLAP/PACKAGING MAT. PLANT TREES 2"-3" HIGHER THAN GRADE
- 4 CONSTRUCT 4" EARTH BERM SAUCER. FILL WITH 3" BARK/ROCK MULCH - BRUSH MULCH AWAY FROM TRUNK. REMOVE SAUCER AFTER ONE YEAR
- 5 BACKFILL WITH NATIVE SOIL
- 6 UNDISTURBED SOIL



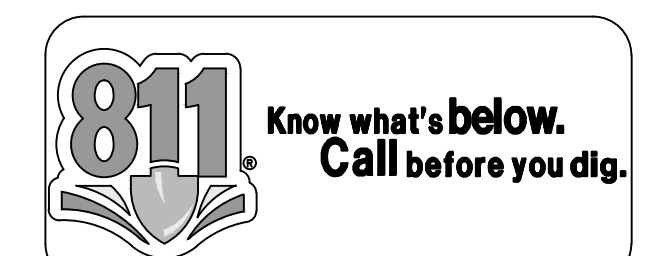
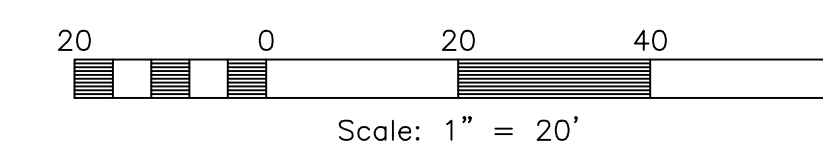
SHRUB PLANTING

NTS

- 1 3" OF BARK/ROCK MULCH. BRUSH AWAY FROM STEM
- 2 3" EARTH BERM SAUCER. REMOVE AFTER ONE YEAR
- 3 REMOVE BURLAP/PACKAGING MAT. PLANT SHRUBS 2"-3" HIGHER THAN GRADE.
- 4 BACKFILL WITH NATIVE SOIL
- 5 UNDISTURBED SOIL

PLANTING NOTES

1. This planting plan is diagrammatic and plant locations are approximate.
2. Field survey, stake, and string the layout and locations of site construction features for approval before actual construction. The layout shall conform to the exact location and grades of the intended work to be done.
3. Coordinate all aspects of the planting plans with the irrigation system and call the attention of the owners representative to any conflict in placement of plants in relation to sprinkler heads, lines and valves at the time the landscape installation phase takes place.
4. Finish grade of soil in lawn areas shall be 2" below pads, walks, paving, headers and curbs to accommodate sod. Grades in areas when seeded shall be 1" lower than adjacent edge.
5. Native topsoil shall be stockpiled and stored on site whenever possible for use in landscape areas.
6. All sod areas shall receive a minimum 4" depth of native topsoil and shrub beds shall receive a minimum of 8" of native topsoil.
7. Imported topsoil, when required, shall come from a reputable source, have a loam consistency and be free of weeds and debris.
8. Face each shrub to give the most pleasing look as seen from a line perpendicular to the wall or walk to/from which it is viewed.
9. Edging or Curbing shall be installed as shown on the plan to separate grass from shrub beds.
10. Shrub beds shall drain properly to prevent standing water from occurring. Call improperly draining planters or planting beds to the attention of the owners representative before planting. Provide positive drainage away from all structures and walls. Slope landscape areas 2% minimum.
11. Place mulch in all shrub beds and perennial areas. See schedule for depth and type. Do not crowd out small perennial plants with excessive mulch.
12. Provide a 3' minimum diameter circle "tree ring" around trees that are placed within lawn areas. Place a 3" min. depth of mulch. Use shredded bark mulch or match mulch being used for shrub beds.
13. The contractor shall maintain all work until work is complete and accepted by the Owner. The contractor shall maintain and guarantee all work for a period of THIRTY DAYS from the date of final acceptance by the Owner. Maintenance shall include mowing, weeding, fertilizing and irrigating.



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REVISIONS	DESCRIPTION
DATE	

West Ridge Phase 3 & 4
 WEBER COUNTY, UTAH

Landscape Plan



Project Info.

Engineer: JEREMY A. DRAPER, P.E.
 Drafter: N. PETERSON
 Begin Date: MARCH 2022
 Name: WEST RIDGE PHASE 3 & 4
 Number: 7152-14

MEMO

To: Western Weber Planning Commission

From: Steve Burton

Date: June 6, 2023

RE: June 13, 2023 Work Session Item: Wilder Rezone to 15,000 square foot lots, located at 600 S and 4700 W, Ogden

The first step in the rezoning process is to have a work session with the Planning Commission before the Planning Commission holds a public hearing. An application was submitted on April 5, 2023 to rezone approximately 25 acres to a zone that allows one-third acre lots. The proposal includes a concept plan showing 50 lots, each at or above 15,000 square feet in area, and each with at least 76 feet of lot width.

The applicant worked closely with staff before submitting to ensure that public street connectivity and appropriate block sizes are provided. The developer will likely be required to dedicated a 60 foot half width street to 4700 W, as the county's street master plan shows 120 foot full right-of-way width. This dedication will decrease lot sizes along 4700 W, however, under the RE-15 zone the applicant may be able to receive approvals for a connectivity incentivized subdivision, in which lot sizes can be reduced to 12,000 square feet with 80 feet width. The developer will likely need to re-draw proposed lot sizes after considering the widening of 4700 W.

The Western Weber General Plan shows this area in 'medium sized residential lots' category and is located just north of the West Weber Village. The applicant has stated that a fee per lot is proposed to contribute toward open space. Attached to this memo is the applicant's project narrative and a concept plan.



WILDER ESTATES SUBDIVISION

600 South 4700 West
West Weber Area

Introduction

The Wilder Estates subdivision is a residential development at the hub of the recently adopted West-Central Weber Future Land Use Map. The project is located on 26 acres (Tax ID# 15-048-0007 & 15-048-0006) and plays a pivotal interconnectivity role in implementing the West Weber plan. School properties lie in proximity to the east. The project will access from 4700 West Street (SR 134) which is a major corridor to Fremont High School to the north. The Terakee Farms residential subdivision borders the site to the south.

Access

Preliminary conversations with UDOT focused on striving to increase entrance separational distance from 400 South Street. The proposed 500 South Street will allow the existing, southerly-bordering duplex entrance to be closed and access from the new street. 600 South Street is located as far distant as possible from 500 South Street. Discussions with Weber County Planning have been confirmatory of the east-west running streets (500 South & 600 South). The property bordering Wilder Estates to the north (15-048-0024) has a long slender 40-foot strip that lends itself to future half-street development of 500 South. The 500 South alignment allows connection to 4450 West and avoids traversing through the existing residence and out-building on 15-528-0002.

600 South could be considered the primary route through Wilder Estates. The supposition is that the route would continue eastward through the KNL property to the School District property, providing a crucial transportation corridor for the school property (which would otherwise likely overwhelm 4450 West Street).

North-south wise, 4600 West aligns to the south with the Terakee Farms development agreement road. The proposed road would afford connectivity to the 400 South / 4600 West intersection.

Zoning

The site is currently zoned A-1. Although the site is accommodating 1/3-acre lots per the adopted future land use map, a rezone process is still required to effectuate the change.

At three lots per acre, theoretically the 26-acre site could afford 78 lots per net density. Due to lot frontages, lot areas, and avoidance of double-fronting lots, the Wilder Estates layout has 49 proposed single-family lots. The lots all exceed 15,000 SF.

Utilities

Sewering will be to a County system. The site will likely be part of a pioneering master sewer plan endeavor for the area - the design will involve close coordination with County Engineering.

Culinary water will be from the Taylor West Weber Water District (TWWW). Such at this early stage has been confirmed by email communications.

The site will be served secondary water by an extension of the Hooper Irrigation pressurized system in 900 South Street.

Implementing the utilities at this hub location in the West Weber plan is no small feat, and is pivotal to the very culmination of the plan.

Storm drainage-wise, the site is very flat and will probably involve the loss of one lot for a drainage pond.

Parks

As mentioned above, the transportation interconnectivity and utility installations are vital for the implementation of the West Weber plan. Any parks contribution is requested to be fulfilled by an in-lieu fee.

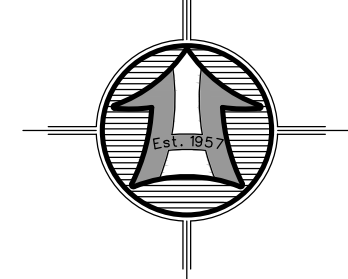
Conclusion

The Wilder Estates subdivision is located at a crucial hub location in the recently adopted West Weber Future Land Use Plan. The advanced layout is based on interconnectivity fulfillment towards the West Weber Plan, as well as UDOT mandates.

WILDER ESTATES



PROJECT DATA	
PROJECT ZONING:	REZONE
TOTAL PROJECT AREA:	1,092,374 S.F. 25.08 Ac.
TAX ID #'S:	15-048-0007 & 0006



LEGEND	
	Subject Property Line
	Interior Lot Lines
	Adjoining Property Line
	Previous Property Line
	Centerline
	Public Utility Easement (PUE)
	Ditch
	Field Separation Line
	Fence Line (Wire)
	Fence Line (wood or Vinyl)
	Street Monument
	Found rebar set by others
	Set 5/8"x24" Rebar With Cap
	Section Corner

Drawn By: MEJ Date: 03/22/23

Designed By: _____

Checked By: _____

Approved By: _____

Scale: 1" = 20'

Drawing File: 21-111_V19.dwg

JOB NUMBER: 21-111

No. _____

Date _____

By _____

Revision _____

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PRELIMINARY OVERALL SUBDIVISION PLAN FOR
WILDER ESTATES
 600 SOUTH 4700 WEST
 WEBER COUNTY, UTAH
 A Part of the Southwest Quarter of Section 25
 Township 9 North, Range 2 West, S.L.B.&M.

Sheet
1
 of
1
 Sheets

MEMO

To: Western Weber Planning Commission
From: Steve Burton
Date: June 6, 2023
RE: June 13, 2023 Work Session Item: Water-wise landscaping restrictions

Weber Basin Water Conservancy District has informed Weber County that they will allow residents of the unincorporated area to participate in the “Flip your Strip” program as long as the county has the following minimum standards in place:

1. No more than 35 % of the front and side yard landscaped area in new residential development be lawn; and
2. Restricting the placement of lawn in parking strips and in areas with widths of less than eight feet.

According to Weber Basin, the ‘Flip your Strip program” is “intended to remove turf from park strips and create attractive, low-water alternatives. Weber Basin will rebate \$1.25 per square foot to homeowners that convert the lawn landscaping in their park strip to a more water-efficient area.” The district plans to administer the program as funds are available until April of 2024.

The attached draft language is intended to implement the requirements of Weber Basin, so that unincorporated residents can participate in the rebate program. The draft language is also intended to require that all residential, commercial, and manufacturing buildings/projects implement water-wise landscaping to help in the greater water conservation effort.



1 [108-7-12 Water-wise Landscaping](#)

2 [The following water-wise landscaping standards apply to all development, including commercial,](#)
3 [manufacturing, and residential projects:](#)

- 4 [\(a\) No more than 35 percent of the front and side yard of a lot or parcel, and no more than 2,000](#)
5 [square feet of the entire lot or parcel, may be irrigated turf grass; and](#)
6 [\(b\) Irrigated turf grass in a parkstrip and any other yard area with a width of less than eight feet is](#)
7 [prohibited.](#)

8
9

10 **Sec 108-1-4 Considerations In Review Of Applications**

11

12 ***(c) Considerations relating to landscaping.***

13 (3) A minimum landscape space of ten percent of the project area shall be provided with
14 consideration of drought resistant and water conserving landscape materials, or as required in
15 Chapter 108-2.

16 (7) ***Landscape standards.*** Plant sizes at the time of installations shall be as follows:

17

18 f. ~~Turf grass, if used, shall be limited to no more than 50 percent of the landscaping~~
19 ~~requirement.~~ [See Sec. 108-7-12 for the maximum area that may be irrigated turf grass.](#)

20 i. ~~Water conserving landscaping methods and materials are recommended and encouraged.~~

21

22

23 **Sec 108-2-5 Minimum Standards And Guidelines; General Landscaping**

24 ***(a) Minimum landscaped area.*** Sites shall have a minimum of 20 percent of the total lot area
25 landscaped, ~~and a minimum of 80 percent of the landscaping shall be living plant materials. In~~
26 ~~Western Weber County, the land use authority may reduce the living plant material to 40~~
27 ~~percent if all landscaped area is xeriscaped with drought tolerant plants and, if necessary for the~~
28 ~~plants to survive, is sufficiently watered with a drip system.~~

29 ***(b) Maximum turf grass area.*** [See Sec. 108-7-12 for the maximum area that may be irrigated turf](#)
30 [grass.](#) ~~A maximum of 50 percent of the total landscaped area shall be planted in turf grass.~~

31

32

33 ***(f) Parkstrips.*** All parkstrips shall be landscaped with [six inch angular rock interspersed with](#)
34 [drought tolerant shrubs, ornamental grasses, or flowering plants.](#) These plants, at maturity, shall

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Numbering Style: a, b, c, ... + Start at: 1 + Alignment:
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Commented [B1]: *Turf grass* means a contiguous area of
grass and the surface layer of earth held together by the grass
roots.

Commented [B2]: *Parkstrip* means, if curb and gutter is
present, the area within the street right-of-way which lies
between the back of curb and the sidewalk or, if the sidewalk
is adjacent to the curb and gutter, it is the area between the
sidewalk and the property line. In areas where no curb and
gutter is present, it is the area between the edge of pavement
and the property line.

35 ~~cover at least 30 percent of the parkstrip area, a native grass mixture that is low growing.~~
36 ~~Automatic watering of parkstrip landscaping shall also be required. Parkstrip landscaping shall~~
37 ~~not be included in the total area and turf grass percentage requirements listed in subsections (a)~~
38 ~~and (c) of this section.~~

39

40 (i) Plant material. Plant material shall be as follows:

41 (1) **Quality.** Initial plantings used in conformance with the provisions of this chapter shall be
42 in good health and capable of flourishing.

43 (2) **Size.** Plant sizes at the time of installation shall be as follows:

44

45 e. Groundcover. Groundcover may be used ~~in place of turf grass~~ **to meet**
46 **landscaping area requirements** provided it is planted densely enough that it will
47 grow into reasonably full and even coverage within two growing seasons after
48 planting.

49 f. Turf grass. Turf grass species shall be hardy to the site and be of the type
50 normally specified for the area. ~~A drought tolerant fescue seed blend is strongly~~
51 ~~encouraged.~~ Turf may be planted by sodding, plugging, sprigging or seeding.
52 Application rates for plugs, sprigs and seed shall be high enough to provide even
53 and uniform coverage of turf within one growing season after planting.

54

55 (3) **Selection.** Plants used in conformance with the provisions of this chapter shall be hardy
56 and capable of withstanding the extremes of the climate of the site. ~~The use of drought~~
57 ~~tolerant and native plants is strongly encouraged where site conditions can support~~
58 ~~them.~~

59

60 Sec 108-2-6 Minimum Standards—Off-Street Parking

61 (a) *Landscaping between parking and street.* A continuous landscape area shall be provided
62 between the edge of an off-street parking area or other vehicular use area and an adjacent
63 street right-of-way. The minimum landscaping shall consist of the following:

64

65 (2) *Shrubs and groundcover.* In addition to trees, the landscape area shall be planted with
66 low shrubs, ~~or~~ groundcovers, ~~or turf grass, provided the turf grass does not exceed the~~
67 ~~requirement of Section 108-2-5(c).~~ The total combined height of earthen berms and
68 plant materials, excluding trees, shall not be less than 18 inches and not more than 48
69 inches. ~~Planting schemes which minimize turf use, and promote xeriscape or water-~~
70 ~~conserving principles are strongly encouraged.~~