

WEBER COUNTY PLANNING DIVISION

Administrative Review Meeting Agenda

March 29, 2023
4:00 p.m.

1. Minutes: March 15, 2023

2. Administrative Items

2.1 LVB110921: Consideration and action on final approval of Buffalo Run Subdivision Phase 1 (5 lots) located at 2400 S 4700 W.

Planner: Felix Lleverino

2.2 UVH022723 - Consideration and action on a request for final approval of Hansen Subdivision, a single-lot subdivision.

Planner: Felix Lleverino

2.3 LVC030623: Consideration and action on a two-lot subdivision, Celeste Hadley Ashment Subdivision, located at approximately 3989 W 900 S, Ogden, UT, 84401, in the A-1 zone. This request for subdivision approval includes road dedication (3 feet) along 900 South St.

Planner: Tammy Aydelotte

2.4. File No.: LVW090821: Consideration and action on a request for final approval of Warren Estates Subdivision consisting of 3 lots.

Planner: Tammy Aydelotte

Adjourn

The meeting will be held in Public Works Conference Room, in the Weber Center, 2nd Floor Suite240, 2380 Washington Blvd, Ogden Utah 84401

****Public comment may not be heard during administrative items. Please contact***

The Planning Division Project Manager at 801 -399-8374 before the meeting if you have questions or comments regarding an item*

In compliance with the Americans with Disabilities Act, persons needing auxiliary services for these meetings should call the Weber County Planning Commission at 801-399-8374

March 15, 2023

Minutes of March 15, 2023, Administrative Review Hearing, held in the Weber County Planning Division Office, 2380 Washington Blvd., Suite 240, Ogden UT, commencing at 4:00 p.m.

Staff Present: Rick Grover, Planning Director; Tammy Aydelotte, Planner; Felix Lleverino, Planner; June Nelson, Secretary

- 1. Minutes: February 15, 2023** -Minutes approved as presented
- 2. Administrative Items**

2.1 LVW090821 - Consideration and action on a request for final approval of Warren Estates Subdivision consisting of 3 lots. Planner: **Tammy Aydelotte (Presented by Felix Lleverino)**

11/16/2021 – Western Weber Planning Commission approval of the access exception request that is mentioned in this staff report, and preliminary approval of this project as a 7-lot subdivision. The applicant has since re-submitted this as a 3-lot subdivision, with the approved access exception to access lots 2 and 3 from 5350 West Street, with an emergency access along the southern boundaries of Lots 1 and two from 5500 West Street.

The applicant is requesting final approval for Warren Estates Subdivision consisting of 3 lots in the A-2 zone.

The proposed subdivision (see **Exhibit A**) and lot configuration are in conformance with the applicable zoning and subdivision requirements as required by the Uniform Land Use Code of Weber County (LUC). The following is a brief synopsis of the review criteria and conformance with LUC.

Director Grover pointed that the access looks different than the previous one that was approved. The owner (Derrick Oman) stated that the County already has access. Director Grover asked about condition 5 in the staff report.

- 5. The applicant shall agree to file the required alternative access covenant, as outlined in LUC §108-7-31, prior to the recording of the subdivision.

Mr Oman stated that it is just about dedicating the hammerhead. Director Grover said that this is not a flag lot. Mr Grover asked the owner if he would be willing to dedicate some of the area for future County use. Felix Lleverino asked Mr Oman for an easement for a future public ROW southward from 5350 W.

Mr Grover felt that the staff recommendations were different enough since the number of lots have changes that we should table this item until things could be updated.

We will table this item until March 29 at 4:00. For the applicant to work with staff on adjusting some of these conditions that may not be applicable with regards to the no climb fence, no- parking signs on the south boundary line. We also look at some kind of future right of way discussion for a connection between 5350 W and 5500 W that more reflects what was discussed in the first access exemption.

Item was tabled with the remarks listed above.

Adjourned 4:25

Respectfully Submitted,
June Nelson
Lead Office Specialist

Summary

The applicant is requesting final approval of Buffalo Run Subdivision Phase 1 (5 lots) at approximately 2400 South 4700 West. The following section is the staff's analysis of the proposal.

Analysis

General Plan: This proposal conforms to pages 1-5 of the West Central Weber General Plan by placing residential development within areas that have a connection to sewer services while protecting property rights.

Zoning: The property is located within the A-1 Zone. The purpose of this zone is stated in the LUC §104-2.

"The purpose of the A-1 Zone is to designate farm areas, which are likely to undergo a more intensive urban development, to set up guidelines to continue agricultural pursuits, including the keeping of farm animals, and to direct orderly low-density residential development in a continuing rural environment."

Small Subdivision: Section 101-2-20 SU (c) defines a "Small Subdivision" as a final subdivision or subdivision phase that has nine or fewer lots, which has a valid preliminary approval by the planning commission and meets all conditions of preliminary approval, including proposed street layouts and phasing plan.

Phase 1 of Buffalo Run conforms to this definition after receiving preliminary approval from the planning commission.

Site Development Standards:

A-1 Zone:

Minimum lot width: 150 feet
Minimum lot area: 40,000 square feet

Connectivity Incentivized Subdivision:

Minimum lot width: 75 feet
Minimum lot area: 20,000 square feet

Each lot within the development conforms to the minimum lot size allowable by the zoning code and the connectivity-incentivized subdivision code. The entire subdivision area, including roads, amounts to 18.83 acres, and the base density of 18.83 acres results in the maximum number of 20 lots.

During preliminary pre-application meetings, the planning division made several recommendations for public road connectivity. The developer voluntarily designed the street layout to conform with Weber County Planning and Engineering's street layout. Section 106-2-4.30 contains provisions for a developer to use up to 1.8 acres taken up by roads towards the net developable acreage.

Road Dedication to 4700 West Street: The phase 1 development plan will dedicate an additional 10' to 4700 West Street, a UDOT Road. This will result in a 100' foot ROW. The 2022 Western Weber General Plan Future Streets Map indicates that 4700 West Street is to become a 120' ROW, however, considering that this development plan was reviewed and designed based on the previous transportation plan, the County Planning and Engineering will not require a 120' ROW for this development.

Flood Zone: This parcel is within an area of minimal flood hazard and determined to be outside the 500-year flood level.

Culinary Water: Taylor West Weber Water District has provided a final will-serve letter stating that the District can serve culinary water for the entire Buffalo Run Subdivision (18 lots).

Irrigation Water: All of the Hooper Irrigation Company requirements are satisfied. The Hooper Irrigation company approves of this development. The final will-serve letter is included as Exhibit C.

Sewer Services: The annexation in the Central Weber Sewer District is complete. The completion documents are uploaded to the project in Frontier.

Review Agencies: The Weber County Planning Division has included final subdivision conditions of approval that will be satisfied before recording the final subdivision plat. The Weber County Engineering Department issues conditional approval with final comments related to subdivision improvements and bond details. Conditions from the County Engineer are included as conditions of approval in this report. The County Surveying Department will conduct a formal review of the latest version of phase 1. Comments related to fire hydrant spacing from the Weber Fire District are satisfied.

Staff Recommendations

Staff recommends final approval of Buffalo Run Subdivision Phase 1, a proposal for a five-lot residential development. This recommendation is based on the following conditions:

1. All subdivision improvements are installed or escrowed before the subdivision plat is recorded.
2. The developer enters into a Monument Improvement Agreement with the County Surveyor's Office.
3. The developer shall install or escrow for the curb, gutter, and sidewalk on 4700 West.
4. The developer shall sign a Storm Drain Water Agreement before recording the plat.

This recommendation is based on the following findings:

1. The proposed subdivision conforms to the West Central Weber General Plan.
2. The proposed subdivision complies with the applicable County codes.
3. The subdivision conforms to zoning and subdivision ordinances.

Exhibits

- A. Buffalo Run Subdivision Phase 1 final plat
- B. Final will serve culinary
- C. Capacity assessment secondary
- D. Civil plans

Area Map

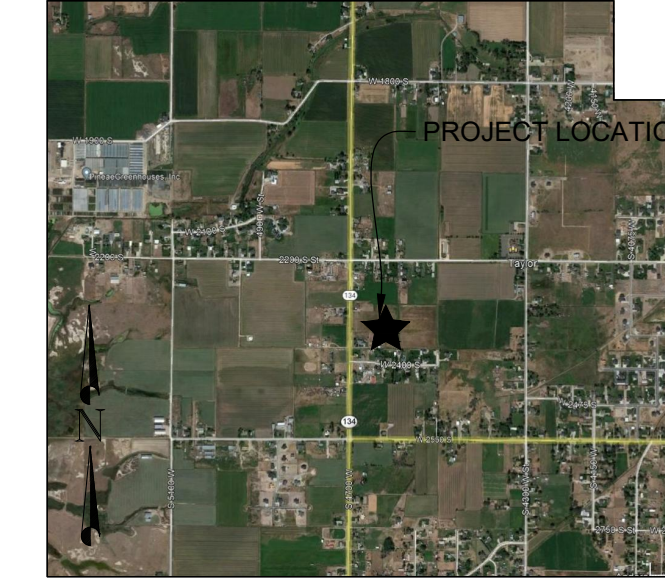


BUFFALO RUN ACRES RUN ACRES SUBDIVISION PHASE 1

A CONNECTIVITY INCENTIVISED SUBDIVISION
 LOCATED IN THE SOUTHEAST QUARTER OF SECTION 29,
 TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN,
 WEBER COUNTY, UTAH
 NOVEMBER 2022

VICINITY MAP

NOT TO SCALE



LEGEND

- ◆ WEBER COUNTY MONUMENT AS NOTED
- SET 24" REBAR AND CAP MARKED GARDNER ENGINEERING
- SUBDIVISION BOUNDARY
- LOT LINE
- ADJACENT PARCEL
- SECTION LINE
- - - - PUBLIC UTILITY EASEMENT
- - - - EXISTING FENCE LINE
- ▨ DETENTION POND EASEMENT

BOUNDARY DESCRIPTION

A PART OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 6 NORTH, RANGE 2 WEST, OF THE SALT LAKE BASE AND MERIDIAN, BEGINNING AT A POINT BEING LOCATED SOUTH 00°40'10" WEST 786.47 FEET ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER AND NORTH 90°00'00" EAST 40.00 FEET FROM THE NORTHWEST CORNER OF SAID SOUTHEAST QUARTER; RUNNING THENCE SOUTH 89°19'49" EAST 312.37 FEET; THENCE SOUTH 0°16'08" WEST 233.99 FEET; THENCE ALONG THE ARC OF A 177.00 FOOT RADIUS CURVE TO THE LEFT 49.47 FEET, HAVING A CENTRAL ANGLE OF 16°00'53" WITH A CHORD BEARING SOUTH 82°01'45" EAST 49.31 FEET; THENCE NORTH 89°57'48" EAST 307.03 FEET; THENCE ALONG THE ARC OF A 167.51 FOOT RADIUS CURVE TO THE LEFT 81.88 FEET, HAVING A CENTRAL ANGLE OF 28°00'16" WITH A CHORD BEARING NORTH 75°57'40" EAST 81.06 FEET; THENCE ALONG THE ARC OF A 243.52 FOOT RADIUS CURVE TO THE RIGHT 20.49 FEET, HAVING A CENTRAL ANGLE OF 4°49'17" WITH A CHORD BEARING NORTH 64°22'10" EAST 20.49 FEET; THENCE SOUTH 17°10'36" EAST 66.51 FEET; THENCE SOUTH 0°51'40" WEST 287.31 FEET; THENCE NORTH 88°59'30" WEST 786.12 FEET; THENCE NORTH 0°40'10" EAST 552.78 FEET TO THE POINT OF BEGINNING, CONTAINING 325,005 SQUARE FEET OR 7.46 ACRES MORE OR LESS.

SURVEYOR'S CERTIFICATE

I, KLINT H. WHITNEY, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD CERTIFICATE NO. 8227228 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY AS SHOWN AND DESCRIBED ON THIS PLAN, AND HAVE SUBDIVIDED SAID PROPERTY INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS BUFFALO RUN ACRES RUN ACRES SUBDIVISION PHASE 1 IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS; THAT THE REFERENCE MONUMENTS SHOWN HEREON ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS SURVEY; THAT ALL LOTS MEET THE REQUIREMENTS OF THE LAND USE CODE; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY.

SIGNED THIS _____ DAY OF _____, 2022.



KLINT H. WHITNEY, PLS NO. 8227228

OWNER'S DEDICATION

I, THE UNDERSIGNED OWNER OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS, PARCELS AND STREETS AS SHOWN ON THIS PLAN AND NAME SAID TRACT:

BUFFALO RUN ACRES RUN ACRES SUBDIVISION PHASE 1

AND HEREBY DEDICATE, GRANT AND CONVEY TO WEBER COUNTY, UTAH ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER, AND ALSO GRANT AND DEDICATE A PERPETUAL EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED ON THE PLAN AS PUBLIC UTILITY, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES, STORM DRAINAGE FACILITIES OR FOR THE PERPETUAL PRESERVATION OF WATER DRAINAGE CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY WEBER COUNTY, UTAH, WITH NO BUILDINGS OR STRUCTURES BEING ERRECTED WITHIN SUCH EASEMENTS AND GRANT, DEDICATE AND GRANT TO WEBER COUNTY THE LAND DESIGNATED AS DETENTION POND EASEMENT FOR STORM WATER DETENTION AND FOR THE MAINTENANCE AND OPERATION OF STORM DRAINAGE FACILITIES.

SIGNED THIS _____ DAY OF _____, 2022.

BY: JAMES MARZIALE,
A.K.A. JAMES R MARZIALE JR.

BY: STEPHANIE MARZIALE
A.K.A. STEPHANIE H MARZIALE

BY: FERRIN JENKINS

ACKNOWLEDGEMENT

STATE OF UTAH)
COUNTY OF WEBER)

On this _____ day of _____, 2022, before me _____, A Notary Public, personally appeared STEPHANIE MARZIALE, also known as, STEPHANIE H MARZIALE, Proved on the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument, and acknowledged (he/she/they) executed the same. Witness my hand and official seal.

STAMP NOTARY PUBLIC
ACKNOWLEDGEMENT

STATE OF UTAH)
COUNTY OF WEBER)

On this _____ day of _____, 2022, before me _____, A Notary Public, personally appeared FERRIN JENKINS, Proved on the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument, and acknowledged (he/she/they) executed the same. Witness my hand and official seal.

STAMP NOTARY PUBLIC

DEVELOPER: JAMES MARZIALE
2360 SOUTH 4700 WEST
TAYLOR, UTAH
801-

S1
1

COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____

FILED FOR AND RECORDED _____

AT _____ IN BOOK _____ OF OFFICIAL

RECORDS, PAGE _____ RECORDED

FOR _____

COUNTY RECORDER

BY: _____

GARDNER ENGINEERING
CIVIL • LAND PLANNING
MUNICIPAL • LAND SURVEYING
5150 SOUTH 875 EAST OGDEN, UT
OFFICE: 801.476.0202 FAX: 801.476.0066

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	78.30	210.00	21°21'44"	S79° 21' 20"E	77.84
C2	78.30	210.00	21°21'43"	S79° 21' 20"E	77.84
C3	98.01	200.51	28°00'16"	N75° 57' 40"E	97.03
C4	14.22	210.52	3°52'11"	N63° 53' 37"E	14.22
C5	90.60	243.00	21°21'44"	S79° 21' 20"E	90.08
C6	16.52	177.00	5°20'51"	S71° 20' 53"E	16.51
C7	7.93	177.52	2°33'39"	N63° 14' 21"E	7.93
C8	114.13	233.51	28°00'16"	N75° 57' 40"E	113.00
C9	90.60	243.00	21°21'43"	S79° 21' 20"E	90.08
C10	65.99	177.00	21°21'44"	S79° 21' 20"E	65.61
C11	30.04	177.00	9°43'22"	S73° 32' 09"E	30.00
C12	35.96	177.00	11°38'22"	S84° 13' 01"E	35.90

ACKNOWLEDGEMENT

STATE OF UTAH)
COUNTY OF WEBER)

On this _____ day of _____, 2022, before me _____, A Notary Public, personally appeared JAMES MARZIALE, also known as, JAMES R MARZIALE JR., Proved on the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument, and acknowledged (he/she/they) executed the same. Witness my hand and official seal.

STAMP NOTARY PUBLIC

NOTES

- ZONE A-1 CURRENT YARD SETBACKS: FRONT 30', SIDE 10' WITH TOTAL WIDTH OF 2 SIDE YARDS NOT LESS THAN 24', REAR 30'
- SUBJECT PROPERTY FALLS WITHIN FEMA FLOOD ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA MAP NO. 49057C0425E WITH AN EFFECTIVE DATE OF DECEMBER 16, 2005.
- DETENTION BASIN TO BE MAINTAINED BY THE OWNER OF LOT 8.

AGRICULTURAL NOTE:
AGRICULTURE IS THE PREFERRED USE IN THE AGRICULTURE ZONES. AGRICULTURE OPERATIONS AS SPECIFIED IN THE ZONING ORDINANCE FOR A PARTICULAR ZONE ARE PERMITTED AT ANY TIME INCLUDING THE OPERATION OF FARM MACHINERY AND NO ALLOWED AGRICULTURE USE SHALL BE SUBJECT TO RESTRICTION ON THAT IT INTERFERES WITH ACTIVITIES OF FUTURE RESIDENTS OF THIS SUBDIVISION.

- SUBJECT PROPERTY SHALL ABIDE WITH THE EXPERIMENTAL WASTEWATER DISPOSAL SYSTEMS DEED COVENANT AND RESTRICTION TO RUN WITH THE LAND RECORDED APRIL 30, 1996 AS ENTRY NO. 1403160 IN BOOK 1804 AT PAGE 698 OF OFFICIAL RECORDS.

NARRATIVE

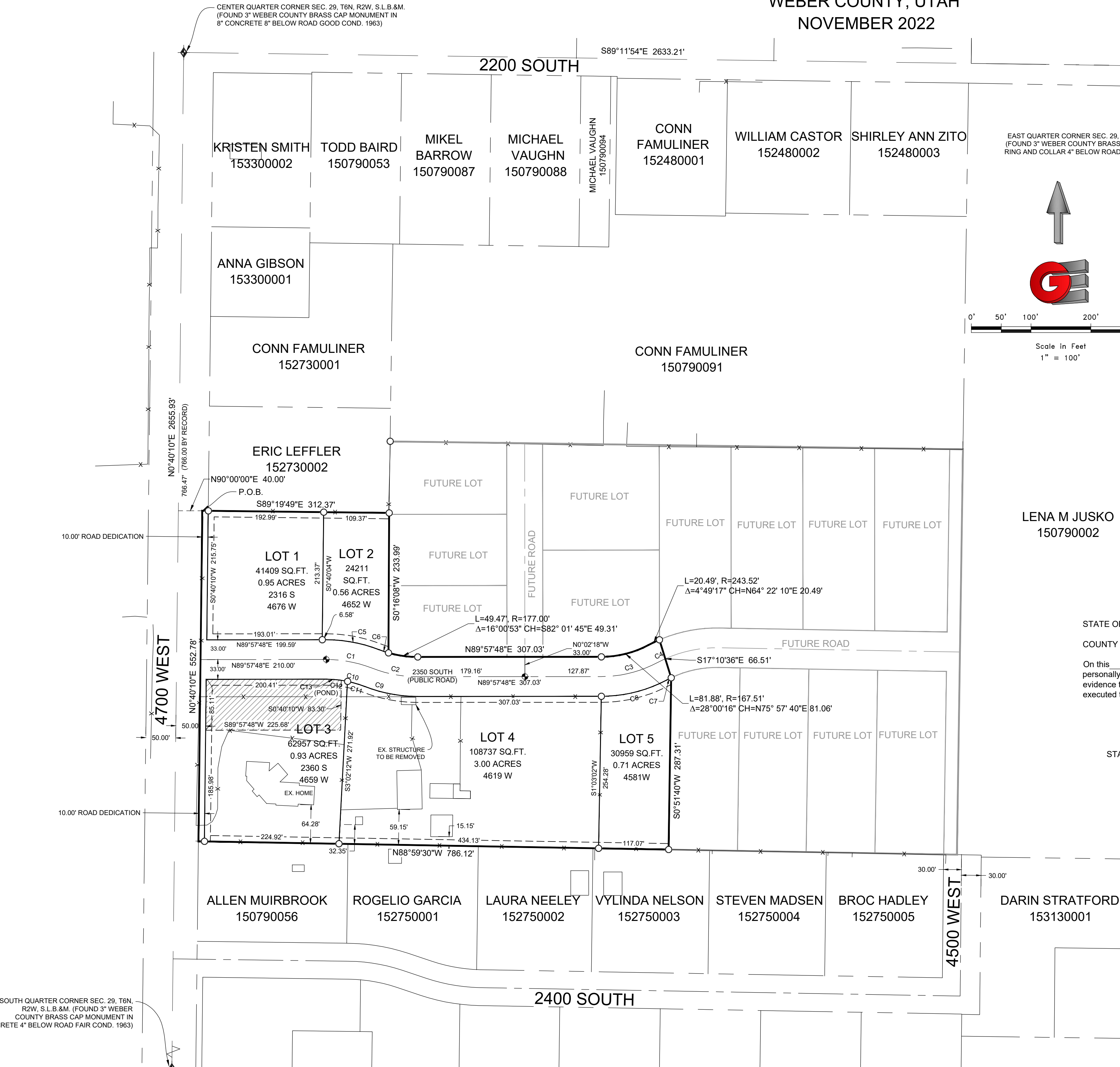
THE PURPOSE OF THIS SURVEY WAS TO CREATE A FIVE LOT SUBDIVISION ON THE PROPERTY AS SHOWN AND DESCRIBED HEREON. THE SURVEY WAS ORDERED BY JAMES MARZIALE. THE CONTROL USED TO ESTABLISH THE BOUNDARY WAS THE EXISTING WEBER COUNTY SURVEY MONUMENTATION SURROUNDING SECTION 29, TOWNSHIP 6 NORTH, RANGE 2 WEST OF THE SALT LAKE BASE AND MERIDIAN AS SHOWN AND NOTED HEREON. THE BASIS OF BEARING IS THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 29, WHICH BEARS SOUTH 00°40'10" WEST WEBER COUNTY, UTAH NORTH, NAD 83 STATE PLANE GRID BEARING. THE RIGHT-OF-WAY OF 4700 STREET WAS ESTABLISHED BY HONORING THE PROJECTED RIGHT-OF-WAY DEDICATION OF THE OLSEN ESTATES SUBDIVISION AND THE NELSON ESTATES SUBDIVISION, WARRANTY DEED RECORDED AS ENTRY NUMBER 3051635 AND 2986547 ALONG WITH DEEDS OF ADJOINING PROPERTIES WERE USED TO DETERMINE BOUNDARY LOCATION.

TAYLOR WEST WEBER WATER DISTRICT

APPROVED BY TAYLOR WEST WEBER IMPROVEMENT DISTRICT

THE _____ DAY OF _____, 2022.

OFFICIAL / REPRESENTATIVE OF TAYLOR WEST WEBER WATER



WEBER COUNTY SURVEYOR
I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAN AND ALL CONDITIONS FOR APPROVAL BY THIS OFFICE HAVE BEEN SATISFIED. THE APPROVAL OF THIS PLAN BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAN FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.
SIGNED THIS _____ DAY OF _____, 2022.
COUNTY SURVEYOR

WEBER COUNTY ATTORNEY
I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAN AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND EFFECT.
SIGNED THIS _____ DAY OF _____, 2022.
COUNTY ATTORNEY

WEBER COUNTY ENGINEER
I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.
SIGNED THIS _____ DAY OF _____, 2022.
COUNTY ENGINEER

WEBER COUNTY COMMISSION ACCEPTANCE
THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAN, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH.
SIGNED THIS _____ DAY OF _____, 2022.
CHAIRMAN, WEBER COUNTY COMMISSION

WEBER COUNTY PLANNING COMMISSION APPROVAL
THIS IS TO CERTIFY THAT THIS SUBDIVISION WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION.
SIGNED THIS _____ DAY OF _____, 2022.
CHAIRMAN, WEBER COUNTY PLANNING COMMISSION

WEBER - MORGAN HEALTH DEPARTMENT
I DO HEREBY CERTIFY THAT THE SOILS, PERCOLATION RATES, AND SITE CONDITION FOR THIS SUBDIVISION HAVE BEEN INVESTIGATED BY THIS OFFICE AND ARE APPROVED FOR ON-SITE WASTEWATER DISPOSAL SYSTEMS.
SIGNED THIS _____ DAY OF _____, 2022.
DIRECTOR WEBER-MORGAN HEALTH DEPT.

R13146 - MARZIALE, JAMES R 201 - 4700 WEST SUBDIVISION SURVEY BUFFALO ACRES SUBDIVISION PHASE 1.DWG



2815 WEST 3300 SOUTH
WEST HAVEN, UTAH 84401
801-731-1668
2/24/2022

Weber County Planning Commission
2380 Washington Boulevard
Ogden, Utah 84401

To Whom It May Concern:

This is to inform you that **Final Will Serve** approval has been given and the Taylor West Weber Water District has the capacity to provide **only** culinary water for Buffalo Run Subdivision this is an 18-lot subdivision. The address is approx. 2360 S. 4700 W. Taylor UT. Plan review and water right fees have been paid. Plans have been reviewed. Installation of water lines must follow Taylor West Weber Water specifications. A pre-construction meeting must happen before installation of water lines. Inspections of the water lines must be completed by a representative of Taylor West Weber Water. Impact fees for each lot must be paid before building permits are issued. All homes must use Hooper Irrigation as their source of secondary water. Hooper water must grant the ability of service before occupancy of any home can occur.

FINAL WARRANTY APPROVAL MUST NOT BE ISSUED UNTIL APPROVAL IS GIVEN BY TAYLOR WEST WEBER WATER.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ryan Rogers", is written over a light blue horizontal line.

Ryan Rogers – Manager

Taylor West Weber Water District



PO Box 184	Phone: (801)985-8429
5375 S 5500 W	Fax: (801)985-3556
Hooper, Utah 84315	hooperirrigationco@msn.com

February 24, 2022

Weber County Planning Commission
2380 Washington Blvd, #240
Ogden, Utah 84401

RE: FINAL WILL SERVE LETTER – Buffalo Run Subdivision

Phase One of the development is located at approximately 2350 South and 4700 West and consists of 18 building lots.

Hooper Irrigation Company has pressure irrigation water available for the above project located at the above address and Hooper Irrigation is willing to provide secondary pressurized water at the time occupancy occurs.

This letter states that the above project is in the boundaries of Hooper Irrigation Company. A formal application has been made to our office and the fee for application as well as the plan review and lot review fees have been paid. There were an adequate number of water shares surrendered for the development water use and the access fees to the Secondary System have been paid.

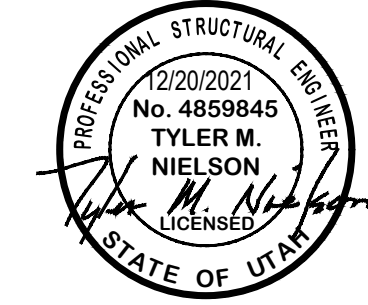
The subdivision utility plans have been reviewed by Hooper Irrigation and changes, if any, have been made and corrected. The plans have been approved for the above subdivision. Hooper Irrigation is willing and able to take responsibility for the installed lines. Only this project is in consideration and guaranteed service and the plan review is good only for a period of one year from the date of this letter, if not constructed.

Hooper Irrigation's specifications are available at the company office. If you have any questions, please call the office at (801)985-8429

Sincerely,

Michelle Pinkston
Office Manager
Board Secretary

BUFFALO RUN ACRES SUBDIVISION



CONSTRUCTION DOCUMENTS TAYLOR, WEBER COUNTY, UTAH

TRAFFIC CONTROL & SAFETY NOTES

1. BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT STATE OF UTAH DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, AND THE CURRENT WEBER COUNTY STANDARD DRAWING, AND SHALL BE APPROVED BY THE WEBER COUNTY ENGINEER PRIOR TO ANY WORK.
2. NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE WEBER COUNTY TRAFFIC ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
3. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
4. DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE WEBER COUNTY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
5. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE WEBER COUNTY TRAFFIC ENGINEER.
6. TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS". THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

SANITARY SEWER GENERAL NOTES

1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN CONFORMANCE WITH CENTRAL WEBER SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
2. SEWER LINE CONSTRUCTION AND MATERIALS SHALL CONFORM TO ASTM STANDARDS AND SPECIFICATIONS.
3. ALL LOW PRESSURE SEWER LINES SHALL BE E-ONE LOW PRESSURE SEWER GRINDER PUMPS (SUPPLIED BY E-ONE). CONTACT KAPONO ISAACS AT DELCO WESTERN (801-608-1280) REGARDING.
4. DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT.
5. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE.
6. ALL SANITARY SEWER MAIN TESTING SHALL BE IN ACCORDANCE WITH THE CENTRAL DAVIS SEWER DISTRICT STANDARDS AND SPECIFICATIONS. COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE SEWER DISTRICT AND ENGINEER PRIOR TO FINAL ACCEPTANCE.
7. COMPACTION TESTING OF ALL TRENCHES WITH THE PROJECT SITE MUST BE ATTAINED AND RESULTS SUBMITTED TO CENTRAL WEBER SEWER DISTRICT AND WEBER COUNTY ENGINEER PRIOR TO FINAL ACCEPTANCE.
7. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING STRUCTURES AND IMPROVEMENTS DURING INSTALLATION OF SANITARY SEWER LINE.
8. WHERE CONNECTION TO EXISTING UTILITY IS PROPOSED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER/ENGINEER IF LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.
9. CAMERA TESTING AND PRESSURE TESTING PER CENTRAL WEBER SEWER DISTRICT STANDARD.

SECONDARY WATER GENERAL NOTES

1. ALL SECONDARY WATER CONSTRUCTION SHALL BE IN CONFORMANCE WITH HOOPER WATER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS.
2. FUTURE LOT OWNER TO PAY REQUIRED WATER FEES TO CONNECT TO HOOPER SECONDARY WATER.

GENERAL NOTES

1. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION OF SITE IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE WEBER COUNTY ENGINEER, PLANNING, CODES AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE DESIGNATED PUBLIC WORKS INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS.
4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH WEBER COUNTY AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE.
5. THE CONTRACTOR SHALL HAVE ONE (1) COPY OF APPROVED PLANS, AND ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
7. IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED AND RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT DRAWINGS ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE, AND AVAILABLE TO THE WEBER COUNTY INSPECTOR AT ALL TIMES.
11. THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER LINES AND DRY UTILITIES.
12. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS CONSISTENT WITH THE CONTRACTORS SCHEDULE FOR THIS PROJECT, WHETHER SHOWN OR NOT SHOWN AS IT RELATES TO THE CONSTRUCTION ACTIVITIES CONTEMPLATED IN THESE PLANS.

SWPPP GENERAL NOTES

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY WEBER COUNTY AND STATE.
2. ALL STRUCTURAL EROSION MEASURES SHALL BE INSTALLED AS SHOWN ON THE SWPPP PLAN, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.

STORM SEWER GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:
A) OBTAIN ALL REQUIRED PERMITS FROM WEBER COUNTY OR REGULATORY AGENCIES, INCLUDING PERMITS TO WORK IN THE RIGHT-OF-WAY.
B) RESTORATION OF EXISTING IMPROVEMENTS INCLUDING BUT NOT LIMITED TO FENCES, SOD, LANDSCAPING, PAVEMENT, SPRINKLER SYSTEM.
C) VERIFICATION AND PROTECTION OF ALL EXISTING IMPROVEMENTS WITHIN THE LIMITS OF CONSTRUCTION.
D) PROVIDING AS-BUILT DRAWINGS TO WEBER COUNTY AND THE ENGINEER.
E) ALL PERMITTING, DEVELOPMENT, LOCATION, CONNECTION AND INSPECTION AND SCHEDULING FOR SUCH.
2. ALL STORM SEWER CONNECTIONS SHALL BE IN CONFORMANCE WITH COUNTY STANDARDS AND SPECIFICATIONS.
3. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT, AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH WEBER COUNTY STANDARDS AND SPECIFICATIONS AND PLANS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO PLACEMENT OF ASPHALT PAVING.
4. COMPACTION OF ALL TRENCHES WITHIN THE PROJECT SITE MUST BE ATTAINED AND COMPACTION RESULTS SUBMITTED TO THE ENGINEER AND WEBER COUNTY PRIOR TO FINAL ACCEPTANCE.
5. ALL STORM DRAIN PIPES IN WEBER COUNTY RIGHT-OF-WAY SHALL BE RCP CL III.
6. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING LIDS. ALL STORM SEWER LIDS SHALL BE LABELED "STORM DRAIN".
7. WHERE CONNECTION TO EXISTING UTILITY IS PROPOSED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER/ENGINEER IF LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.

GENERAL GRADING NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST APWA STANDARDS AND SPECIFICATION FOR PUBLIC WORKS AND WEBER COUNTY STANDARDS. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS AND ENTRIES. FINISHED GRADE AT FOUNDATION FOR WOOD FRAMED STRUCTURES SHALL BE 8 INCHES BELOW TOP OF FOUNDATION AND DRAINAGE SHALL BE A MINIMUM OF 5% WITHIN 10 FEET FROM THE BUILDING.
2. MAXIMUM SLOPES SHALL BE 3:1 FOR CUT AND FILL UNLESS OTHERWISE NOTED.
3. COMPACTION REQUIREMENTS AND TESTING SHALL BE PERFORMED TO MEET WEBER COUNTY STANDARDS.
4. NO FILL SHALL BE PLACED UNTIL VEGETATION HAS BEEN REMOVED AND SUB-GRADE PREPARED PER THE SOILS REPORT.
5. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
6. CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN BY INSTALLING BMP'S PRIOR TO COMMENCEMENT OF EXCAVATION ACTIVITIES. CONTACT THE WEBER COUNTY INSPECTOR FOR INSPECTION.
7. ALL RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ALL SUBSEQUENT REPORTS, ADDENDUM ETC. SHALL BE CONSIDERED A PART OF THIS GRADING PLAN AND SHALL BE COMPLIED WITH.
8. THE CONTRACTOR SHALL CONTACT BLUE STAKES FOR LOCATION MARKING PRIOR TO COMMENCING EXCAVATION ACTIVITIES.
9. WEBER COUNTY MAY REQUIRE A PRE-CONSTRUCTION MEETING BEFORE A PERMIT IS ISSUED.
10. STREETS ADJACENT TO THE PROJECT SHALL BE CLEAN AT ALL TIMES.
11. CONTRACTOR IS RESPONSIBLE FOR ARRANGING FOR ALL REQUIRED INSPECTIONS.
12. PRIOR TO TAKING WATER FROM A WEBER COUNTY FIRE HYDRANT, THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE WATER UTILITY TO OBTAIN A WATER METER.

CULINARY WATER GENERAL NOTES

1. ALL INSTALLATION AND MATERIALS SHALL CONFORM TO TAYLOR WEST WEBER WATER UTILITY STANDARDS, SPECIFICATIONS AND PLANS.
2. THRUST BLOCKING IS REQUIRED AT ALL BENDS AND FITTINGS. THE RODS SHALL BE USED AT ALL BENDS AND FITTINGS WHERE THRUST BLOCKS DO NOT BEAR AGAINST UNDISTURBED SOIL.
3. ALL WATER MAINS AND LATERALS AT SEWER CROSSINGS SHALL BE LOCATED ABOVE AND HAVE AN 18-INCH VERTICAL SEPARATION FROM THE SEWER PIPE.
4. DISINFECTION TESTS SHALL BE PERFORMED BY THE WATER UTILITY WITH COOPERATION FROM THE CONTRACTOR IN PERFORMING ANY NECESSARY EXCAVATION AND SUBSEQUENT BACKFILLING AT NO COST TO THE CITY.
5. CHLORINATION OF COMPLETED WATER LINE. THE NEW WATER LINES SHALL BE DISINFECTED BY CHLORINATION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL RELATED COSTS AND FEES RELATED TO THE CHLORINATION OF THE COMPLETED WATER LINE. THIS TEST SHALL BE PERFORMED PRIOR TO CONNECTION OF THE NEW WATER LINES TO THE EXISTING WATER SYSTEM. THE CONTRACTOR SHALL NOTIFY THE WATER UTILITY AT LEAST 24 HOURS BEFORE THE CHLORINATION IS DESIRED.
6. A MINIMUM HORIZONTAL CLEARANCE OF 10 FEET SHALL BE MAINTAINED FROM SANITARY SEWER MAINS.
7. UNLESS OTHERWISE SPECIFIED, ALL WATERLINES SHALL BE AWWA C900 PVC CLASS 150, PER ASTM D2241.
8. CONTRACTOR SHALL LOCATE VALVES PRIOR TO CONNECTION WITH EXISTING SYSTEM, BUT SHALL NOT OPERATE ANY VALVE WITHOUT PERMISSION FROM THE WATER UTILITY.
9. ALL WATER MAINS, VALVES, FIRE HYDRANTS, SERVICES AND APPURTENANCES SHALL BE INSTALLED, TESTED, AND APPROVED PRIOR TO PAVING.
10. THERE SHALL BE A WATER SUPPLY TO THE DEVELOPMENT BEFORE ANY WOOD CONSTRUCTION STARTS.
11. THE WATER UTILITY REQUIRES THE USE OF CORROSION RESISTANT MATERIALS FOR ALL CULINARY WATER IMPROVEMENTS. SPECIFICALLY, ROMAC BLUE BOLTS OR STAINLESS STEEL BOLTS MUST BE USED ON ALL FITTINGS. FURTHER, ALL METAL FITTINGS SHALL BE POLY WRAPPED.

ALL IMPROVEMENTS TO CONFORM TO CURRENT WEBER COUNTY STANDARDS AND SPECIFICATIONS

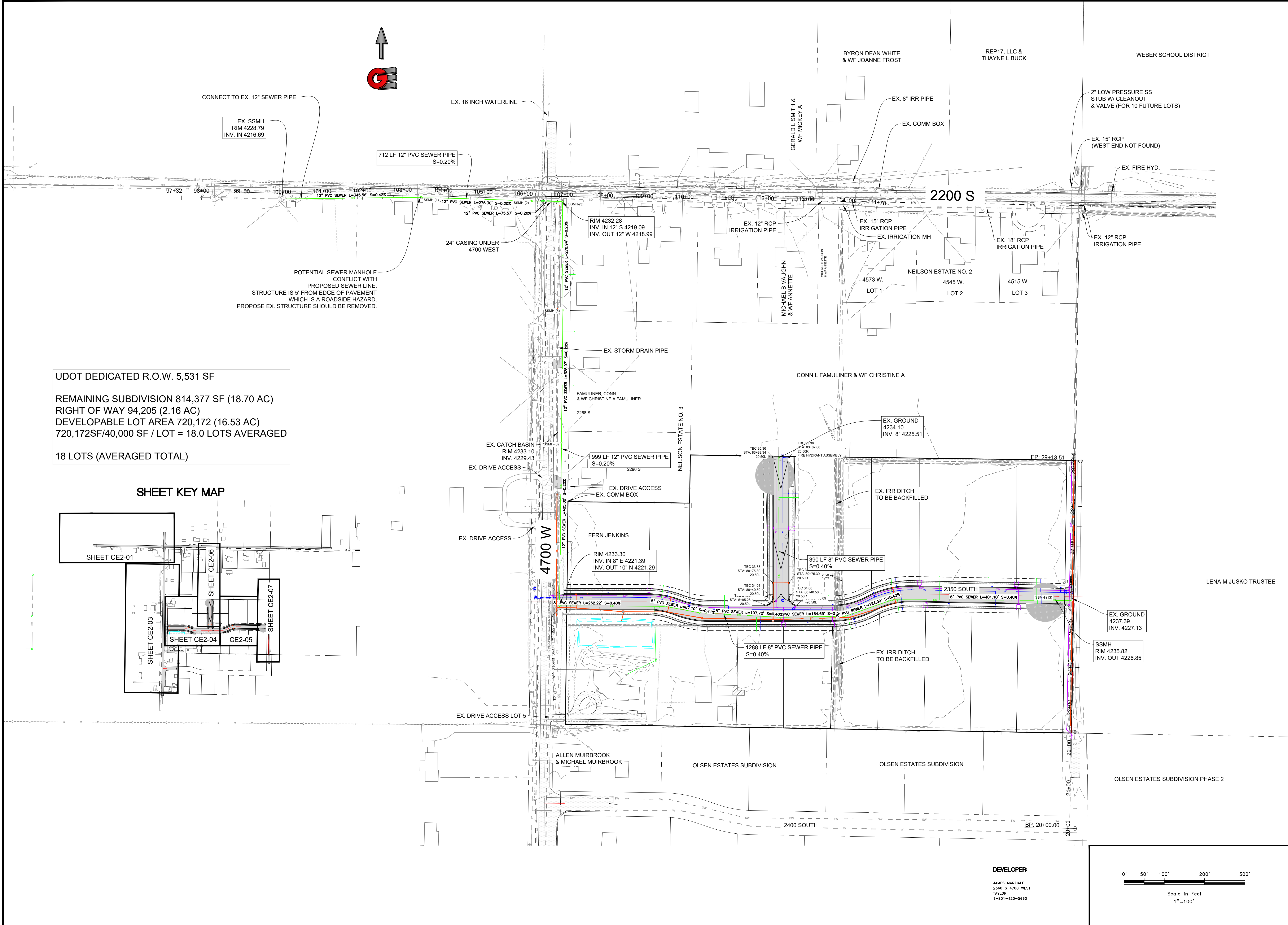
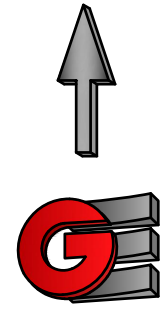
CULINARY WATER IMPROVEMENTS TO CONFORM TO TAYLOR WEST WEBER WATER COMPANY UTILITY STANDARDS AND SPECIFICATIONS

SHEET INDEX

- CE0-01 COVER SHEET
- CE1-01 OVERALL UTILITY PLAN AND KEY MAP
- CE2-01 PLAN AND PROFILE 2200 SOUTH (SEWER OUTFALL)
- CE2-02 PLAN AND PROFILE 4700 WEST (SEWER OUTFALL)
- CE2-03 PLAN AND PROFILE (2300 SOUTH)
- CE2-04 PLAN AND PROFILE (4600 WEST)
- CE3-01 STORM DRAIN CALCS
- CE4-01 DETAILS
- CE4-02 DETAILS
- CE5-01 SWPPP

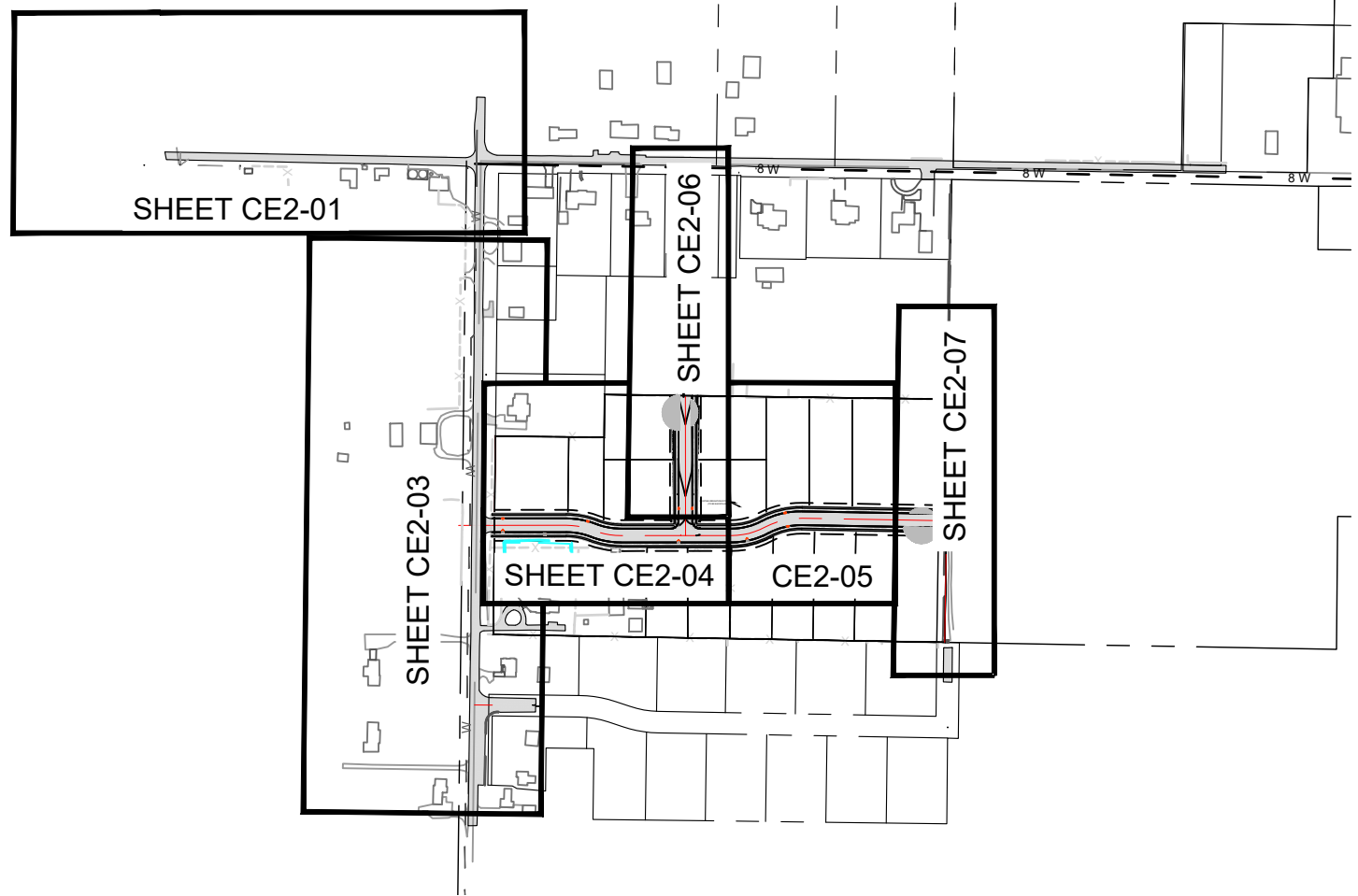


BUFFALO RUN ACRES SUBDIVISION
CONSTRUCTION DOCUMENTS

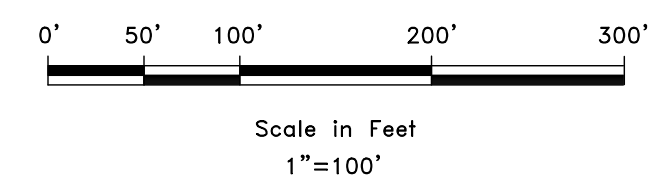


UDOT DEDICATED R.O.W. 5,531 SF
 REMAINING SUBDIVISION 814,377 SF (18.70 AC)
 RIGHT OF WAY 94,205 (2.16 AC)
 DEVELOPABLE LOT AREA 720,172 (16.53 AC)
 720,172SF/40,000 SF / LOT = 18.0 LOTS AVERAGED
 18 LOTS (AVERAGED TOTAL)

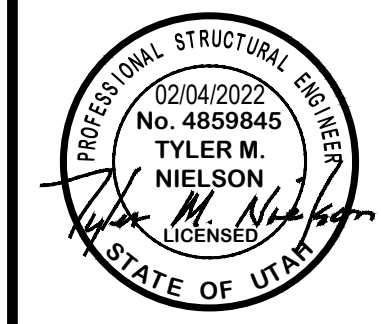
SHEET KEY MAP



DEVELOPER
 JAMES MARZIALE
 2360 S 4700 WEST
 TAYLOR
 1-801-420-5660



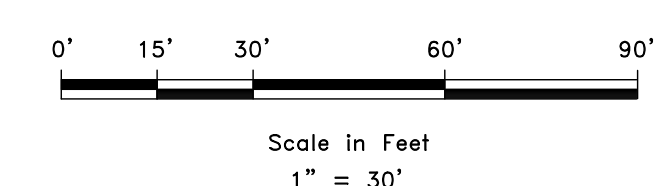
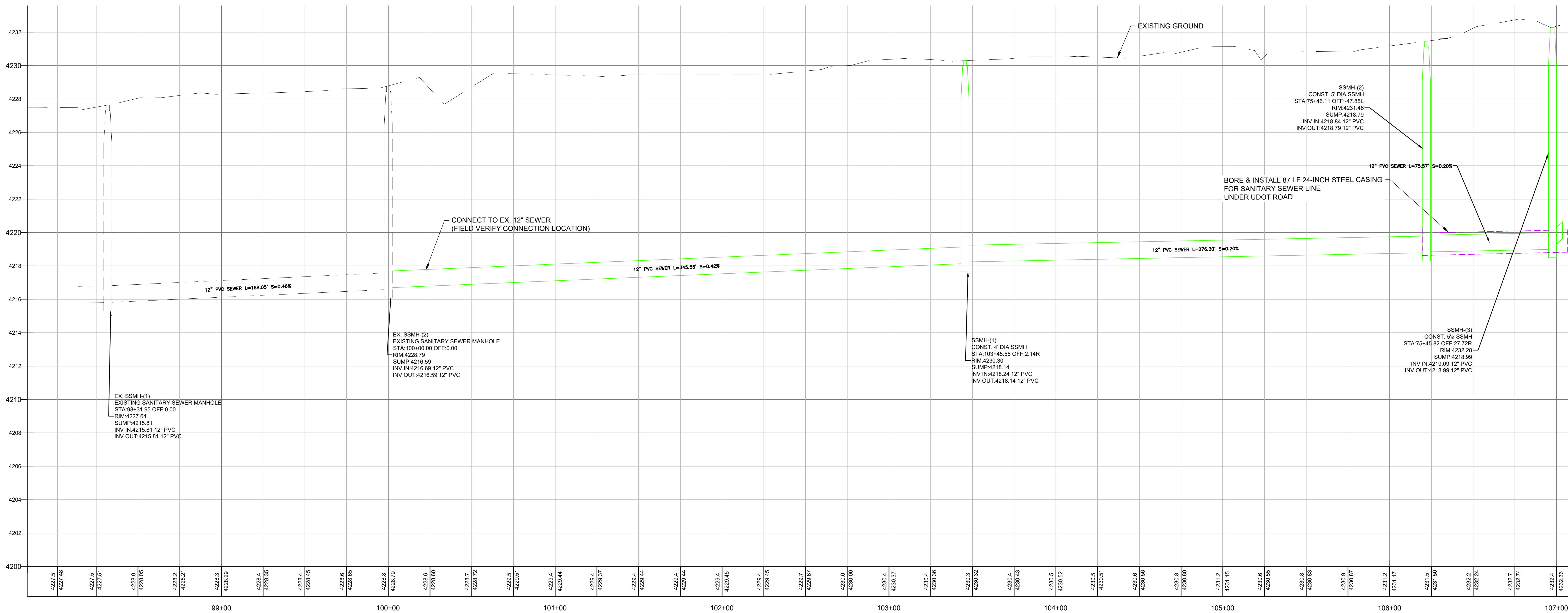
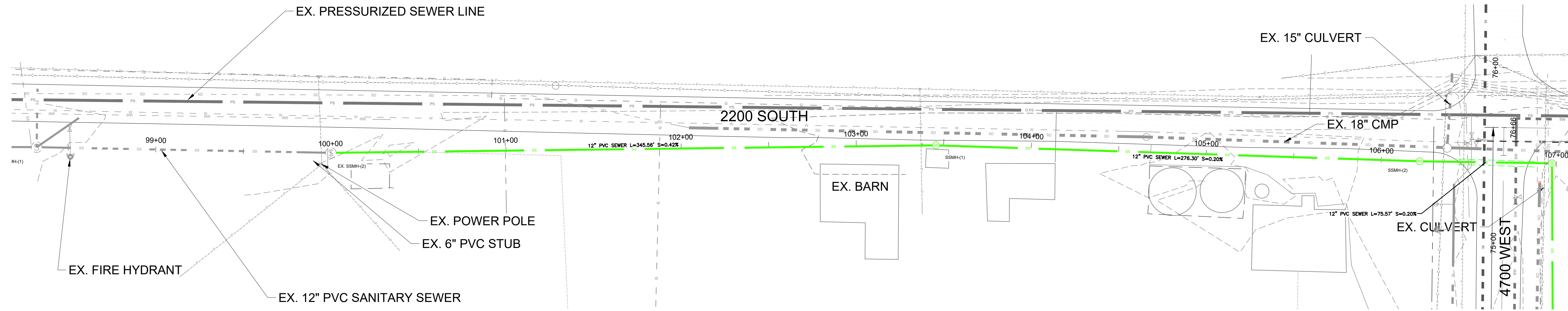
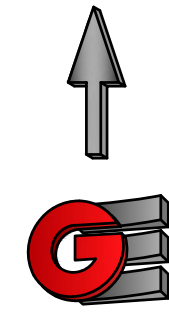
REVISIONS	DATE	DESCRIPTION



OVERALL UTILITY + KEY MAP
BUFFALO RUN ACRES SUBDIVISION
 4700 WEST 2350 SOUTH
 TAYLOR, WEBER COUNTY, UTAH



CE1-01

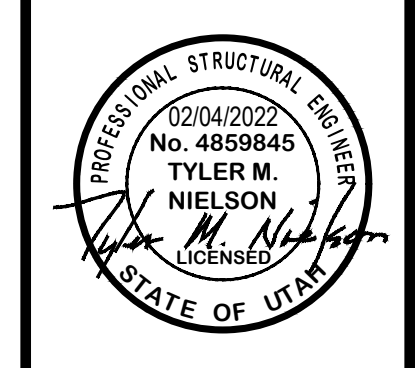


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DATE	9/1/2021
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CHECKED	T.M.

REVISIONS	DESCRIPTION
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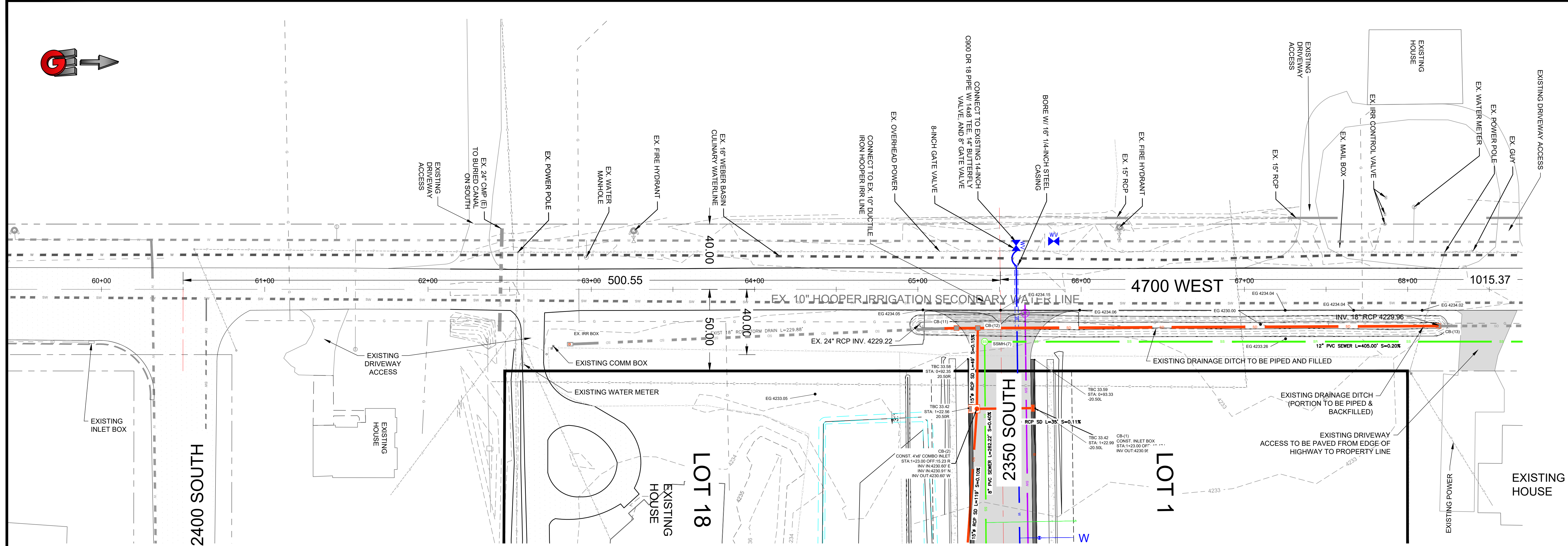
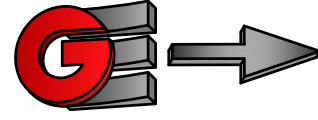


2200 S PLAN AND PROFILE
BUFFALO RUN ACRES SUBDIVISION
4700 WEST 2350 SOUTH
TAYLOR, WEBER COUNTY, UTAH

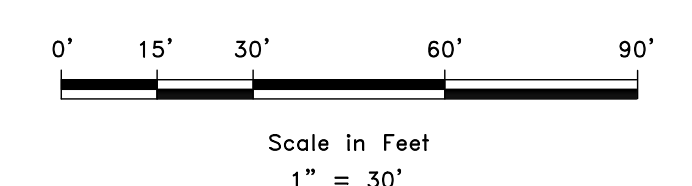
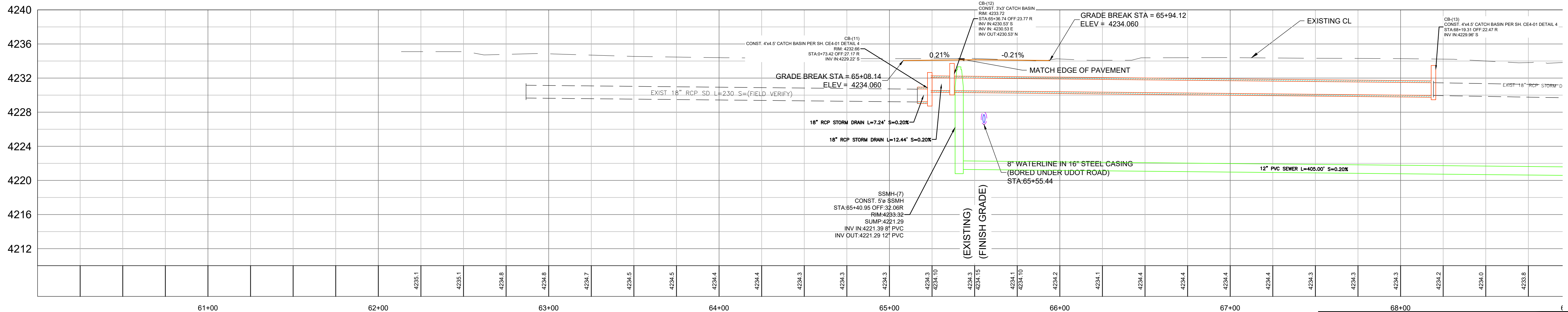
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CE2-01

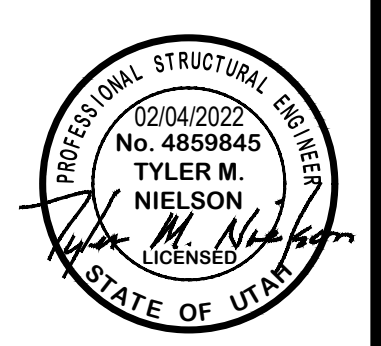
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NOTE:
OWNER TO SIGN DEFERRAL AGREEMENT FOR CURB,
GUTTER, AND SIDEWALK FOR FRONTAGE ALONG 4700 W



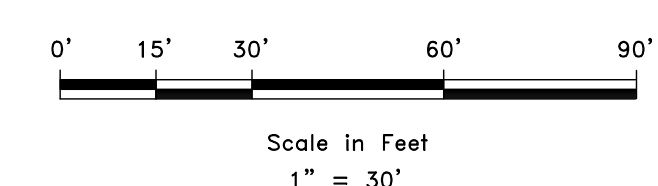
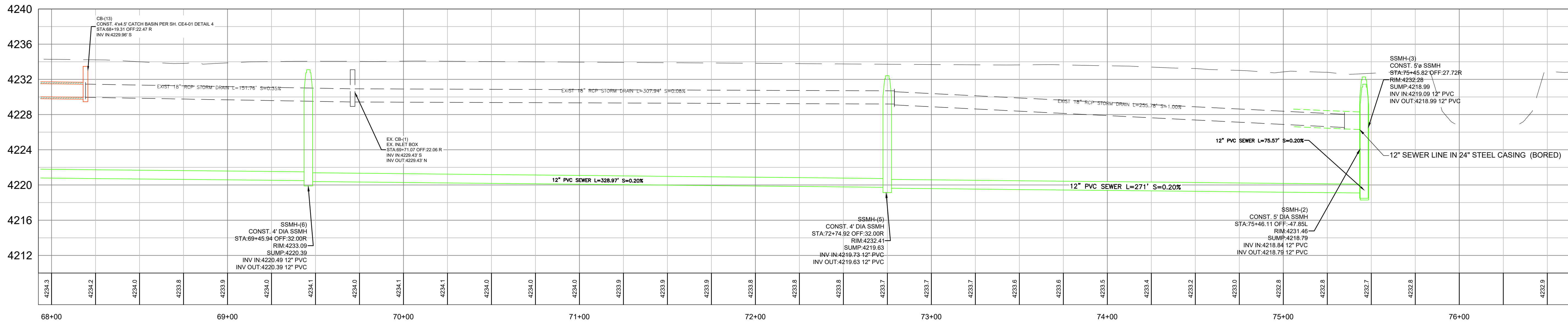
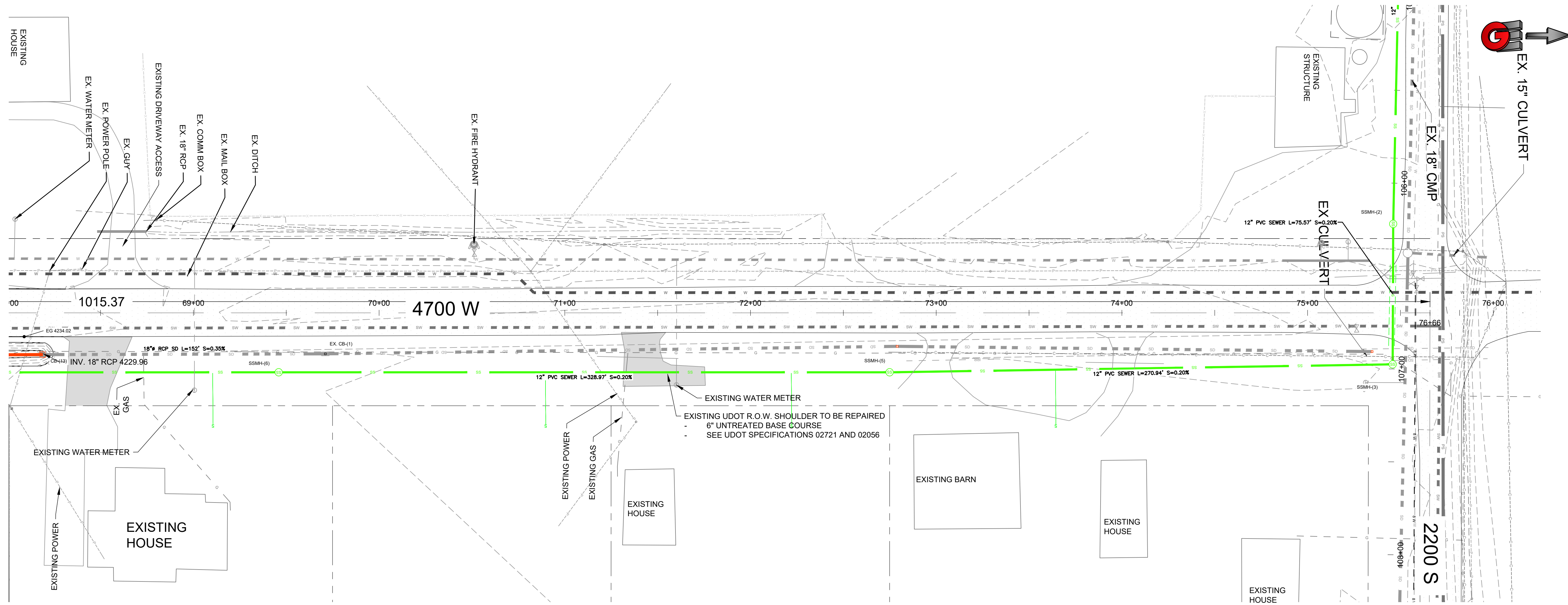
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4700 WEST PLAN AND PROFILE
BUFFALO RUN ACRES SUBDIVISION
4700 WEST 2350 SOUTH
TAYLOR, WEBER COUNTY, UTAH

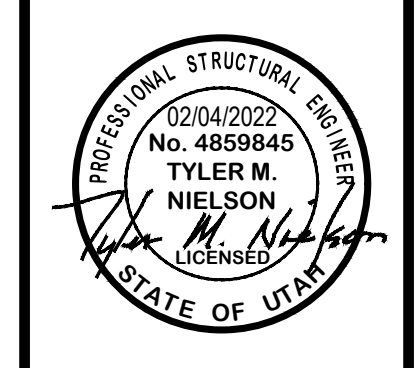
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CE2-02



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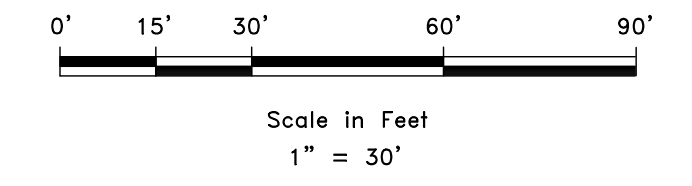
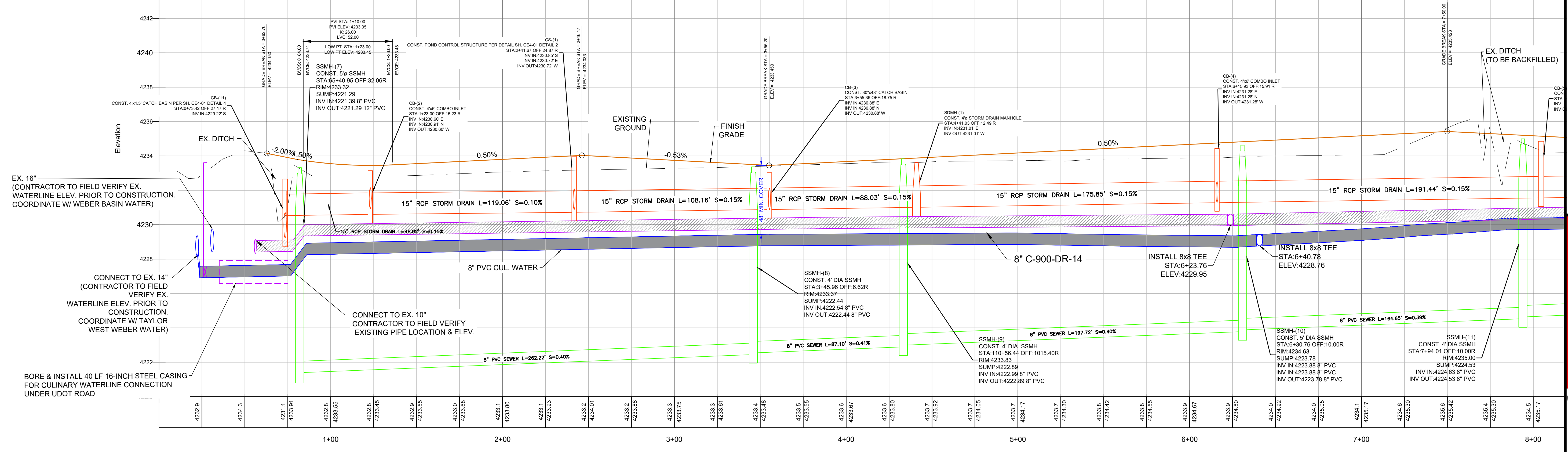
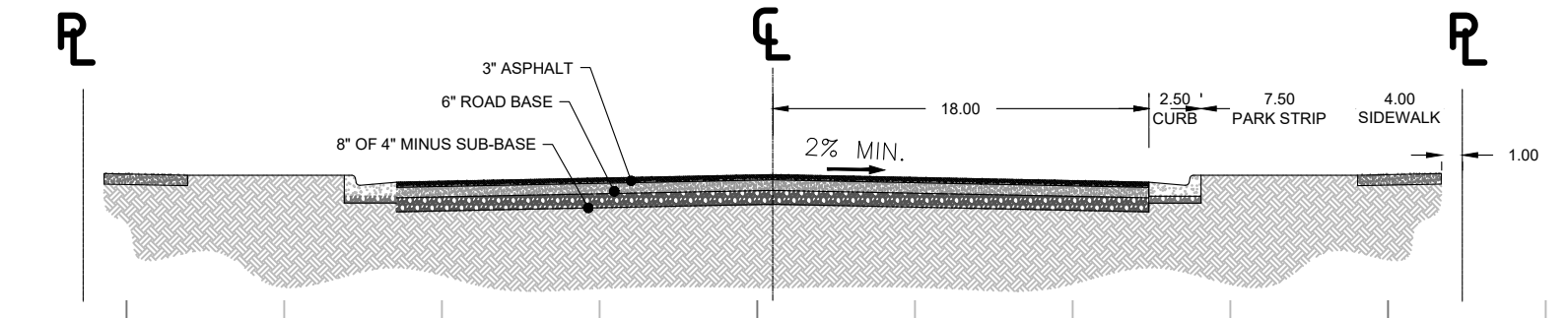
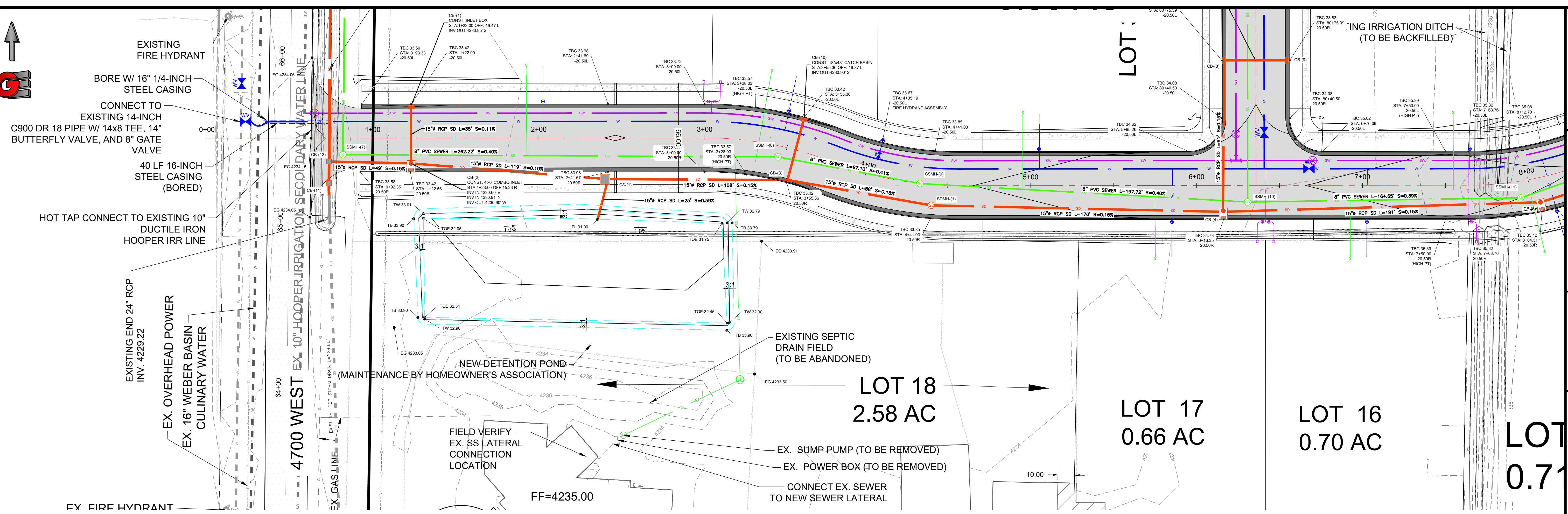
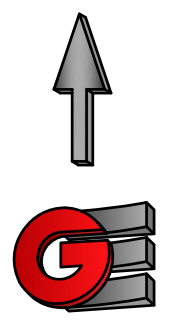


4700 WEST PLAN AND PROFILE
BUFFALO RUN ACRES SUBDIVISION
4700 WEST 2350 SOUTH
TAYLOR, WEBER COUNTY, UTAH

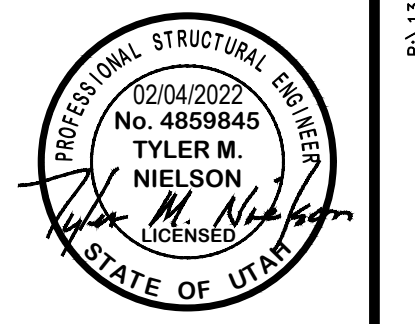
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CE2-03

RW 1345 - MARZALE, JAMES 2101 - 4700 WEST SUBDIVISION DESIGN UTM/CIVIL PLANS.DWG



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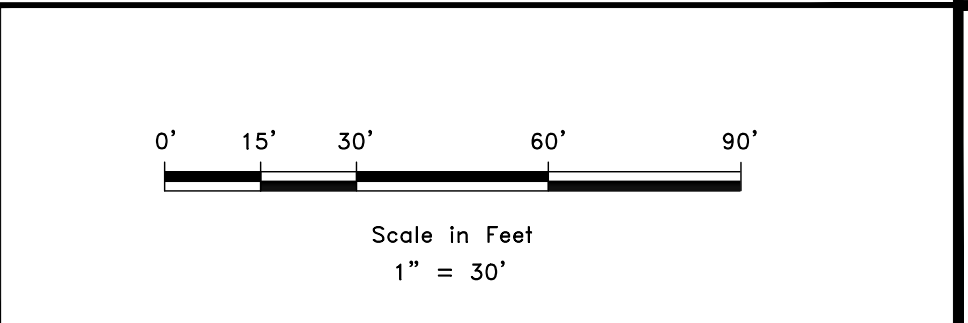
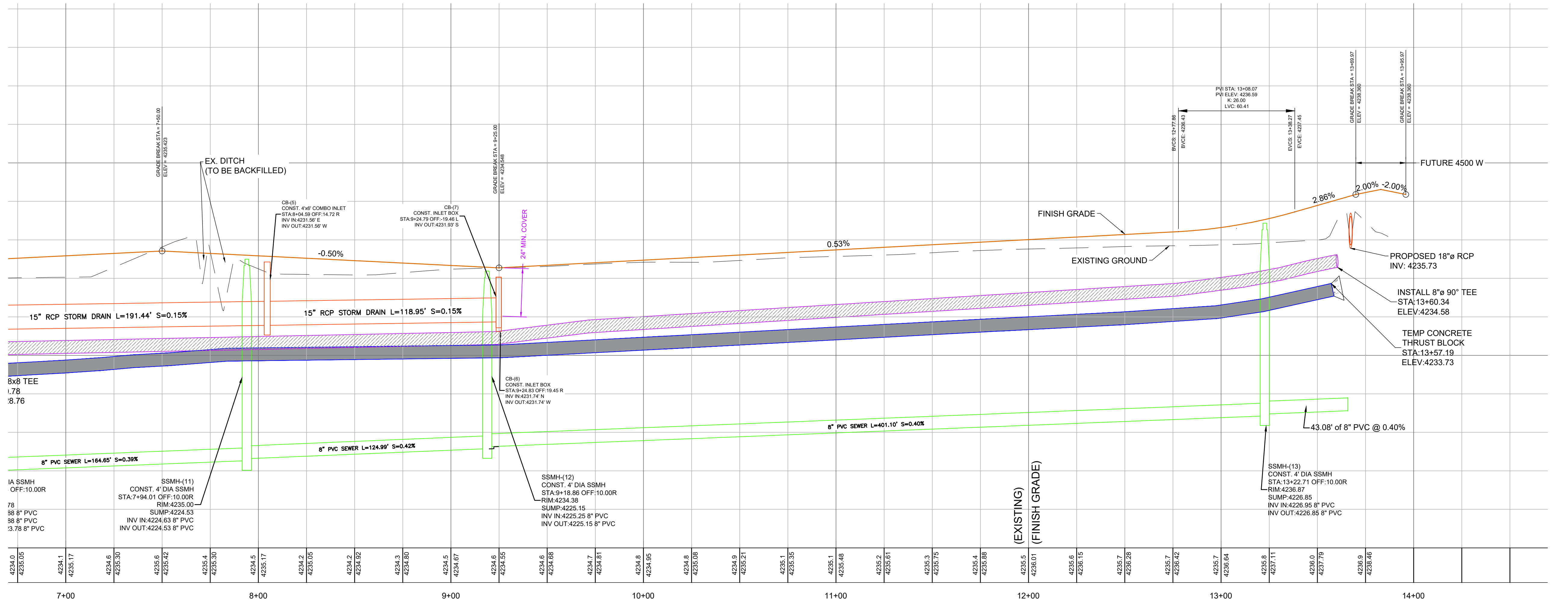
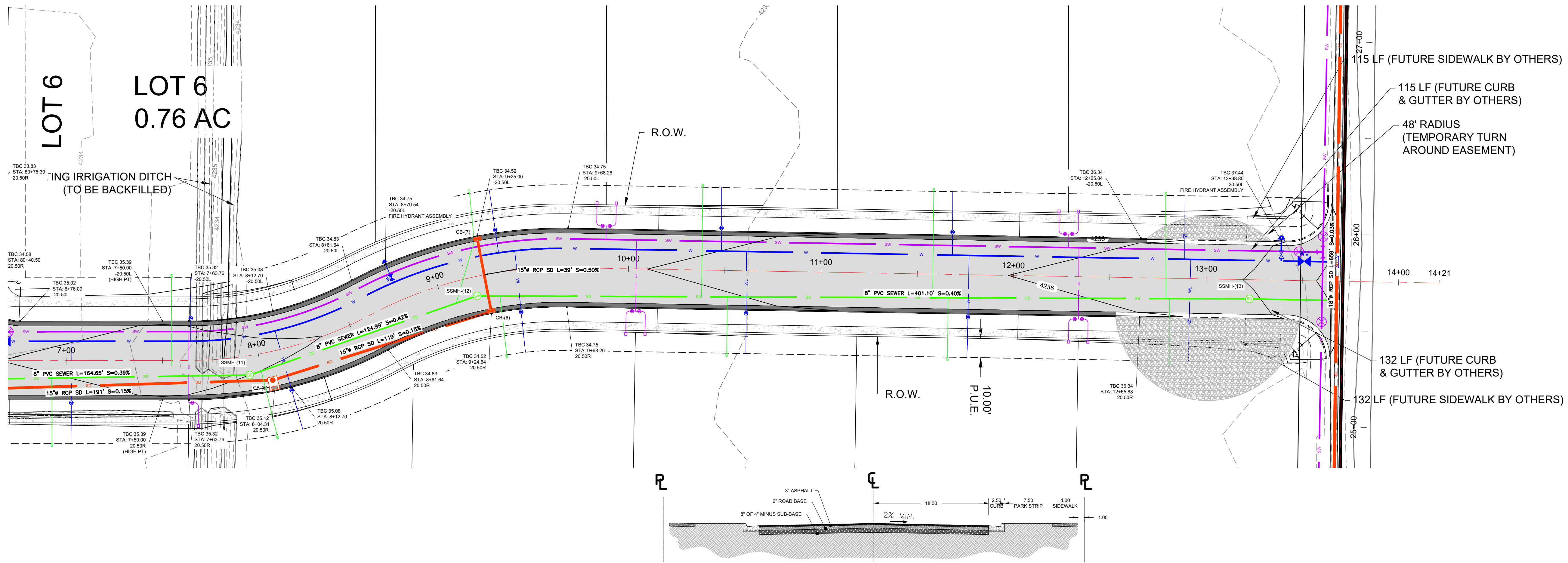
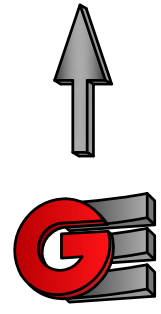
2350 S PLAN AND PROFILE
BUFFALO RUN ACRES SUBDIVISION
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CE2-04

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DATE: 9/1/2021

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DWG: _____

REVISIONS	DATE	DESCRIPTION

2350 S PLAN AND PROFILE

BUFFALO RUN ACRES SUBDIVISION

4700 WEST 2350 SOUTH

TAYLOR, WEBER COUNTY, UTAH

GARDNER ENGINEERING

CIVIL • LAND PLANNING

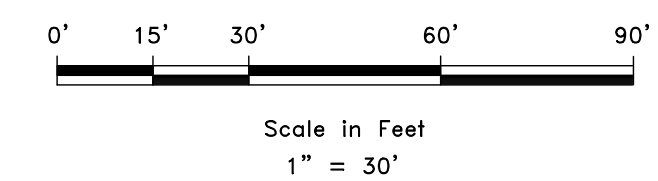
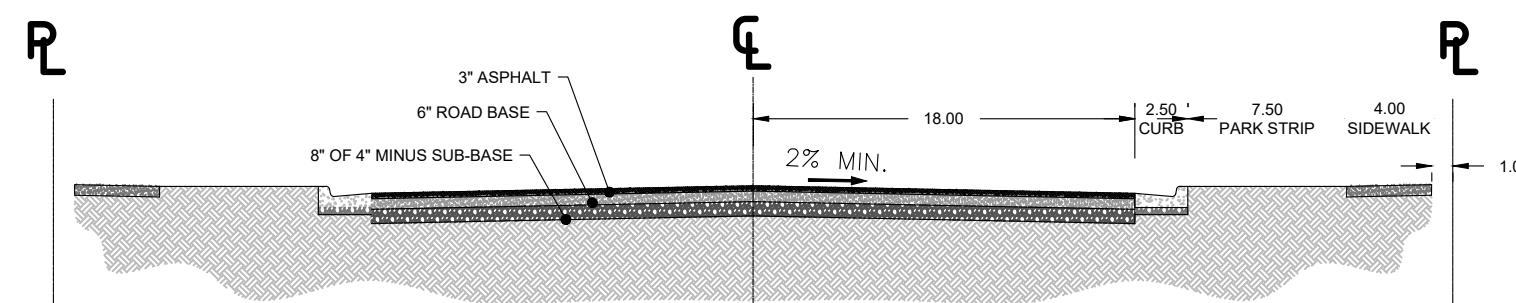
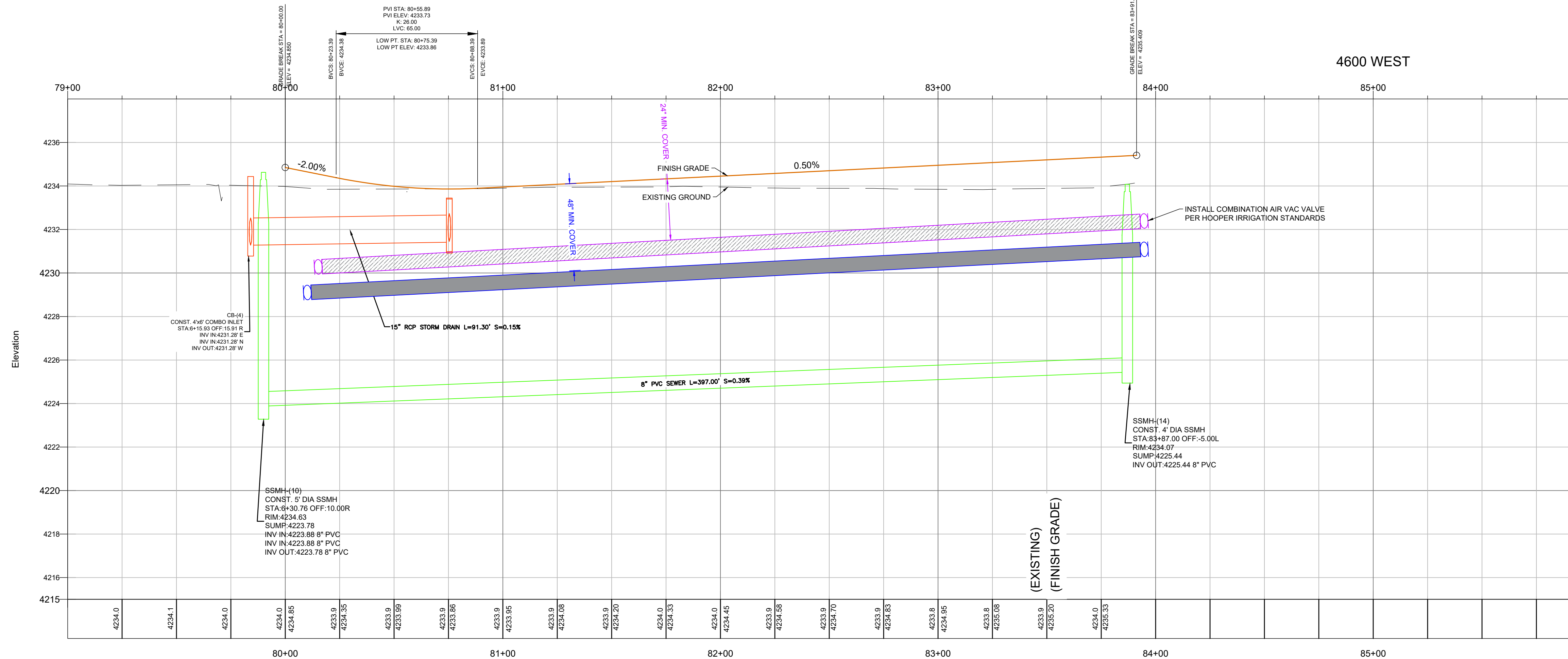
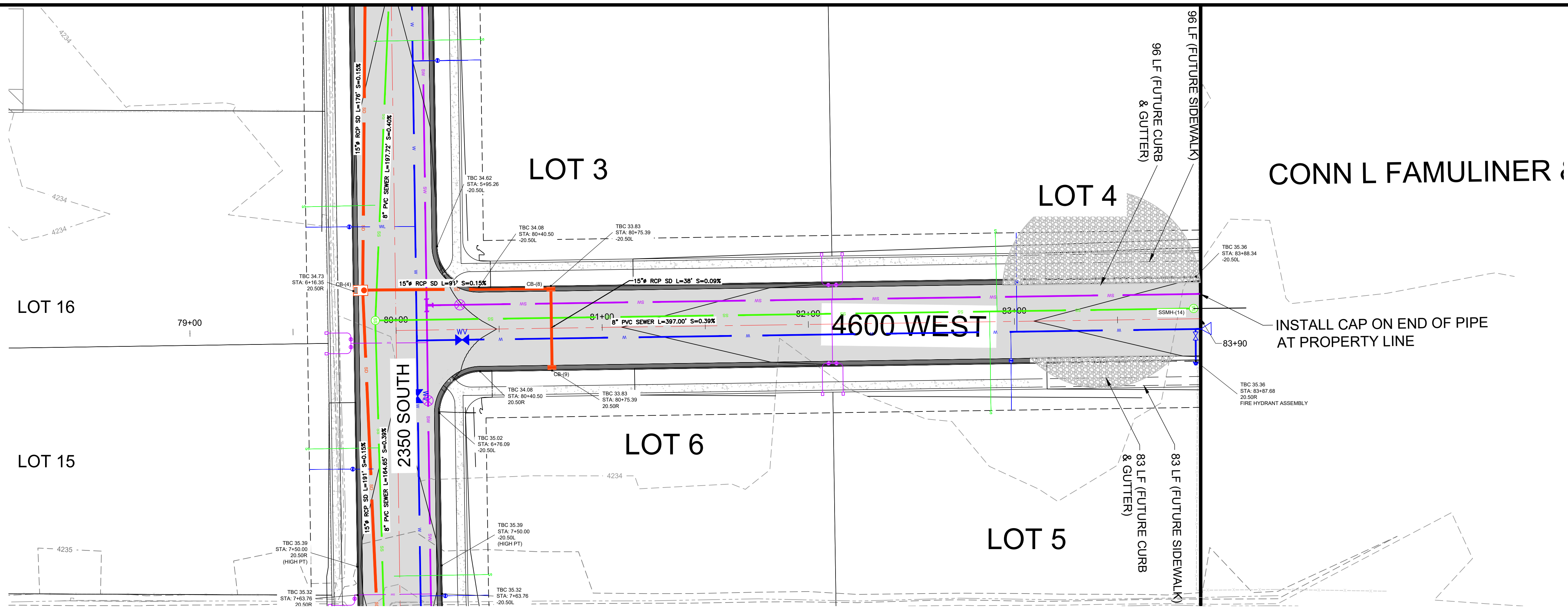
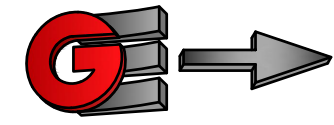
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CE2-05

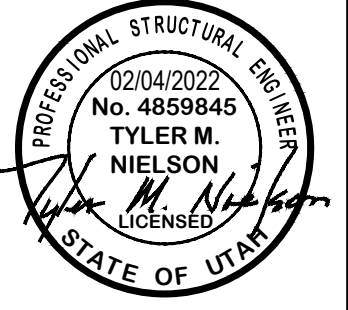
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DESIGN	W.S./A.K.H.
DRAWN	W.S./A.K.H.
CHECKED	T.M.

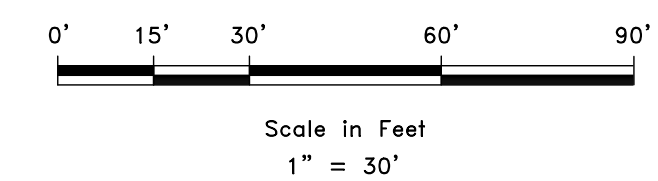
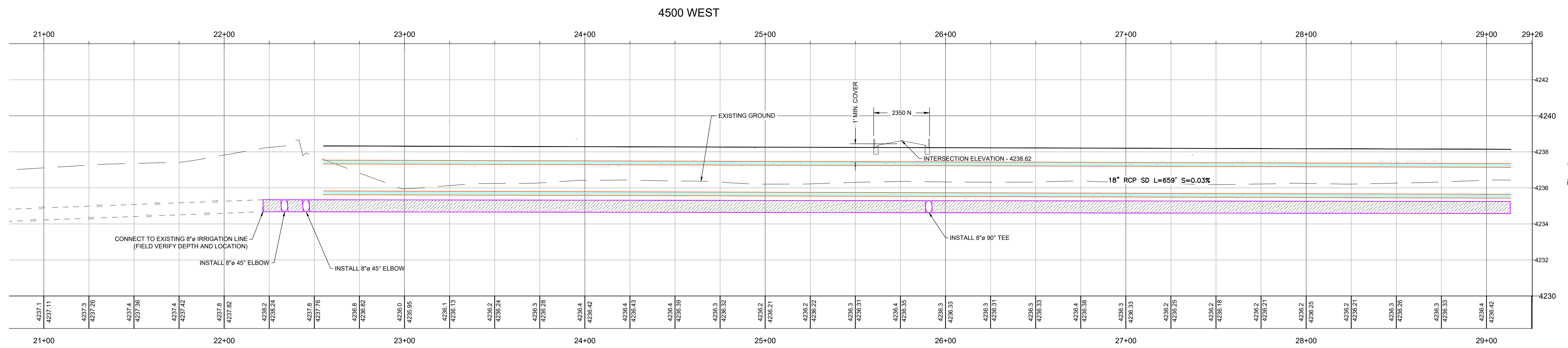
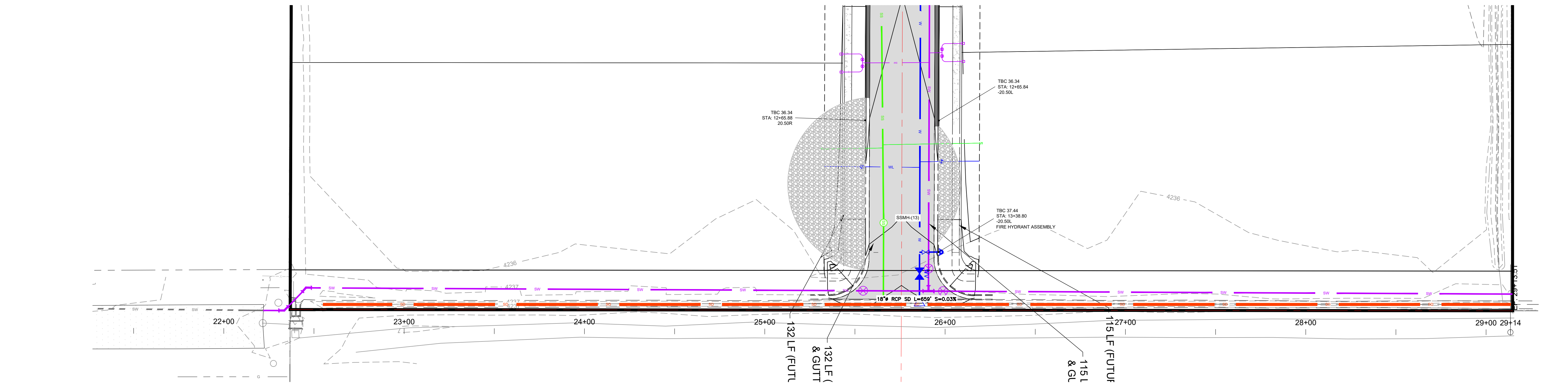
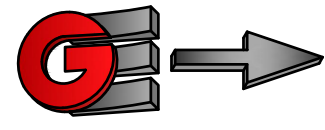
REVISIONS	DATE	DESCRIPTION



4600 W PLAN AND PROFILE
BUFFALO RUN ACRES SUBDIVISION
4700 WEST 2350 SOUTH
TAYLOR, WEBER COUNTY, UTAH

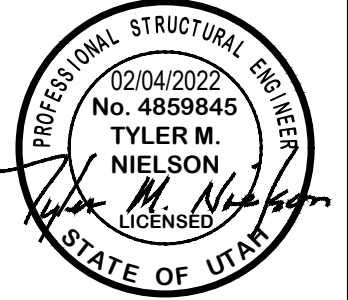
GARDNER ENGINEERING
 CIVIL • LAND PLANNING
 MUNICIPAL • LAND SURVEYING
 51150 SOUTH 375 EAST OGDEN, UT
 OFFICE: 801-476-0202 FAX: 801-476-0066

CE2-06



SCALE	1" = 30'
DATE	9/1/2021
DESIGN	W.S/JKH
DRAWN	W.S/JKH
CHECKED	TJM

REVISIONS	DATE	DESCRIPTION



4500 W PLAN AND PROFILE
 BUFFALO RUN ACRES SUBDIVISION
 4700 WEST 2350 SOUTH
 TAYLOR, WEBER COUNTY, UTAH

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 OFFICE: 801.476.0202 FAX: 801.476.0066

CE2-07

Buffalo Run Acres Subdivision 4700 West 2350 South Taylor, Weber County, Utah

Gardner Engineering

Improved Areas			Total Site (18 Lots)		
	Sq. Ft.	Acres			
Hard Surface	63,868	1.4816	C	0.85	
Gravel Areas	4,140	0.0950		0.50	
Landscape	0	0.0000		0.10	
Detention Ponds	14,879	0.3416		0.10	
Building & Concrete	102,003	2.3417		0.85	
Total/Weighted	184,888	4.2398		0.78	
Undetained Area	0	0.00		0.78	
	190,576	4.3750			

Allow Release Rate (cfs/acre) = 0.100 cfs/acre
Q Allowable (cfs) = 0.44
0.00 cfs
Total Allowed Release = 0.44 cfs
Effective Release Rate per Acre = 0.10 cfs/Acre

100 YEAR STORM RECOMMENDED MIN. VOLUME DETAINED: **18,996** FEET **704** YARDS

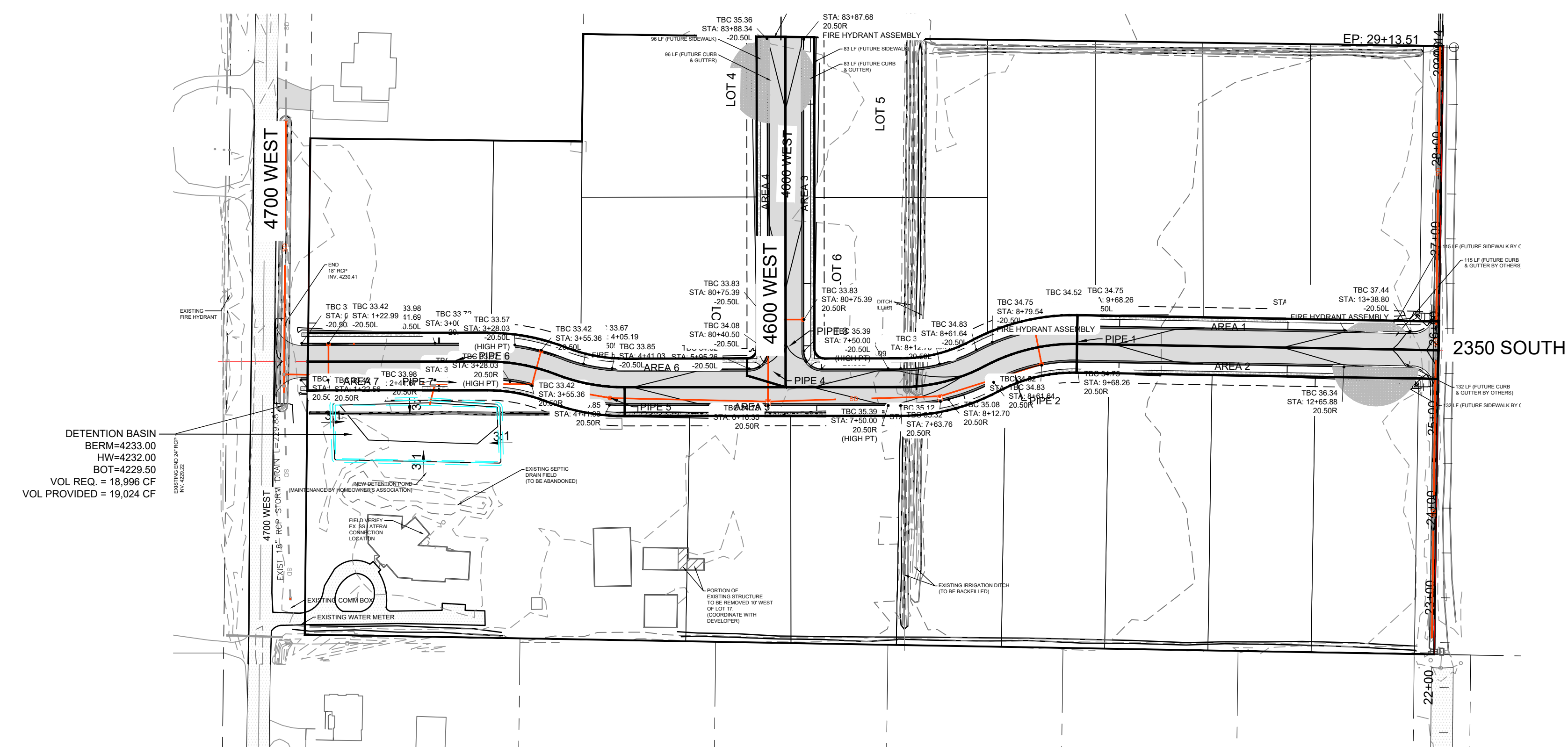
Runoff Vol (cf)	Inch / Hr	Total Vol (cf)	Detain Vol (cf)
Allowable	1100	100 YEAR	Difference
5	131	6,463	6,332
10	263	12,926	12,664
15	394	19,389	19,096
30	788	38,778	38,392
60	1,575	77,556	76,784
120	3,150	155,112	153,568
180	4,725	232,668	230,352
360	9,450	465,336	462,704
720	18,900	930,672	925,408
1440	37,800	1,861,344	1,850,816

NOAA - Atlas 14

Orifice Calculation

H = 2.7 Maximum water height (ft)
Q = 0.44 Flowrate out of orifice (cfs)
Cc = 0.62 Coefficient of Contraction
Cv = 0.98 Coefficient of Velocity
Area = 0.055 Orifice Area (ft²)
g = 32.17 Gravitational Constant
d = 3.16 Orifice Diameter (in)
d = 3 1/8 Orifice

PIPE	CONTRIBUTING BASINS	CONTRIBUTING Area (AC)	REQUIRED FLOW (cfs)	10 Year	PIPE SIZE	SLOPE	Min. PIPE SLOPE %
					(in)	(ft/ft)	
1		0.52	1.01	10 Year	36	3.04E-06	0.000
					30	8.05E-06	0.001
					24	2.65E-05	0.003
					18	0.000123	0.012
					15	0.000325	0.032
					12	0.001067	0.107
2		1.05	2.02	10 Year	36	1.22E-05	0.001
					30	3.22E-05	0.003
					24	0.000106	0.011
					18	0.000491	0.049
					15	0.001298	0.130
					12	0.004268	0.427
3		0.90	1.74	10 Year	36	8.98E-06	0.001
					30	2.37E-05	0.002
					24	7.61E-05	0.008
					18	0.000362	0.036
					15	0.000957	0.096
					12	0.003147	0.315
4		1.41	2.73	10 Year	36	2.21E-05	0.002
					30	5.85E-05	0.006
					24	0.000192	0.019
					18	0.000891	0.089
					15	0.002357	0.236
					12	0.007748	0.775
5		1.71	3.08	10 Year	36	2.83E-05	0.003
					30	7.48E-05	0.007
					24	0.000246	0.025
					18	0.001141	0.114
					15	0.003017	0.302
					12	0.009917	0.992
6		0.65	1.26	10 Year	36	4.72E-06	0.000
					30	1.25E-05	0.001
					24	4.1E-05	0.004
					18	0.00019	0.019
					15	0.000503	0.050
					12	0.001653	0.165
7		4.24	4.54	10 Year	36	6.14E-05	0.006
					30	0.000162	0.016
					24	0.000534	0.053
					18	0.002474	0.247
					15	0.006543	0.654
					12	0.02151	2.151
Orifice Release	3	CFS	0.44		12	0.000109	0.011
					10	0.000287	0.029
					8	0.000944	0.094
					6	0.004379	0.438
					4	0.038066	3.807
					3	0.176552	17.655



SCALE: T=100'

DATE: 9/1/2021

DESIGN: W.S./U.H.

DRAWN: W.S./U.H.

CHECKED: T.M.

REVISIONS

DATE	DESCRIPTION

DWG:

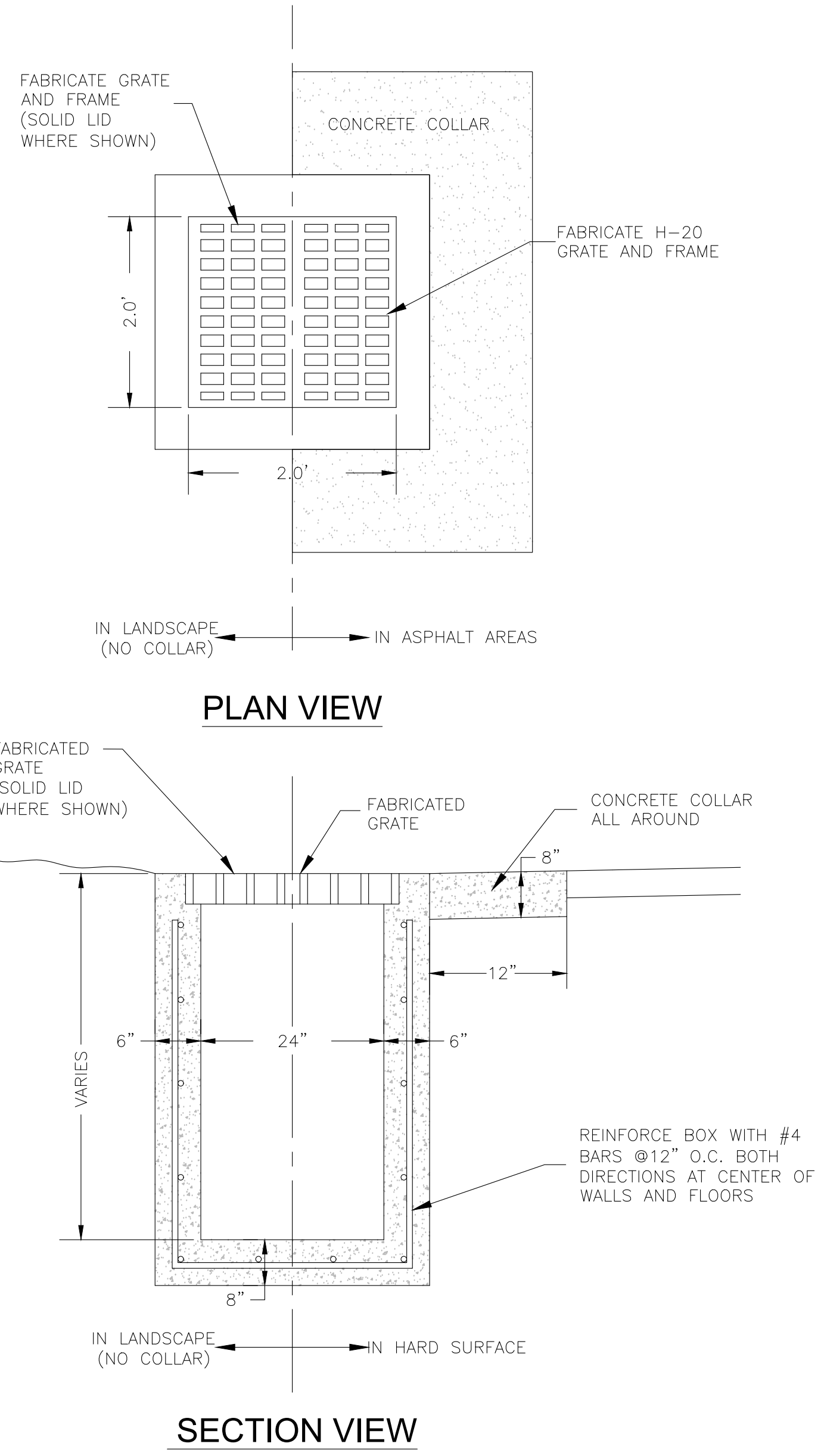
PROFESSIONAL STRUCTURAL ENGINEER
02/04/2022
No. 4859845
TYLER M. NIELSON
LICENSED
STATE OF UTAH

DETENTION CALCS
BUFFALO RUN ACRES SUBDIVISION
4700 WEST 2350 SOUTH
TAYLOR, WEBER COUNTY, UTAH

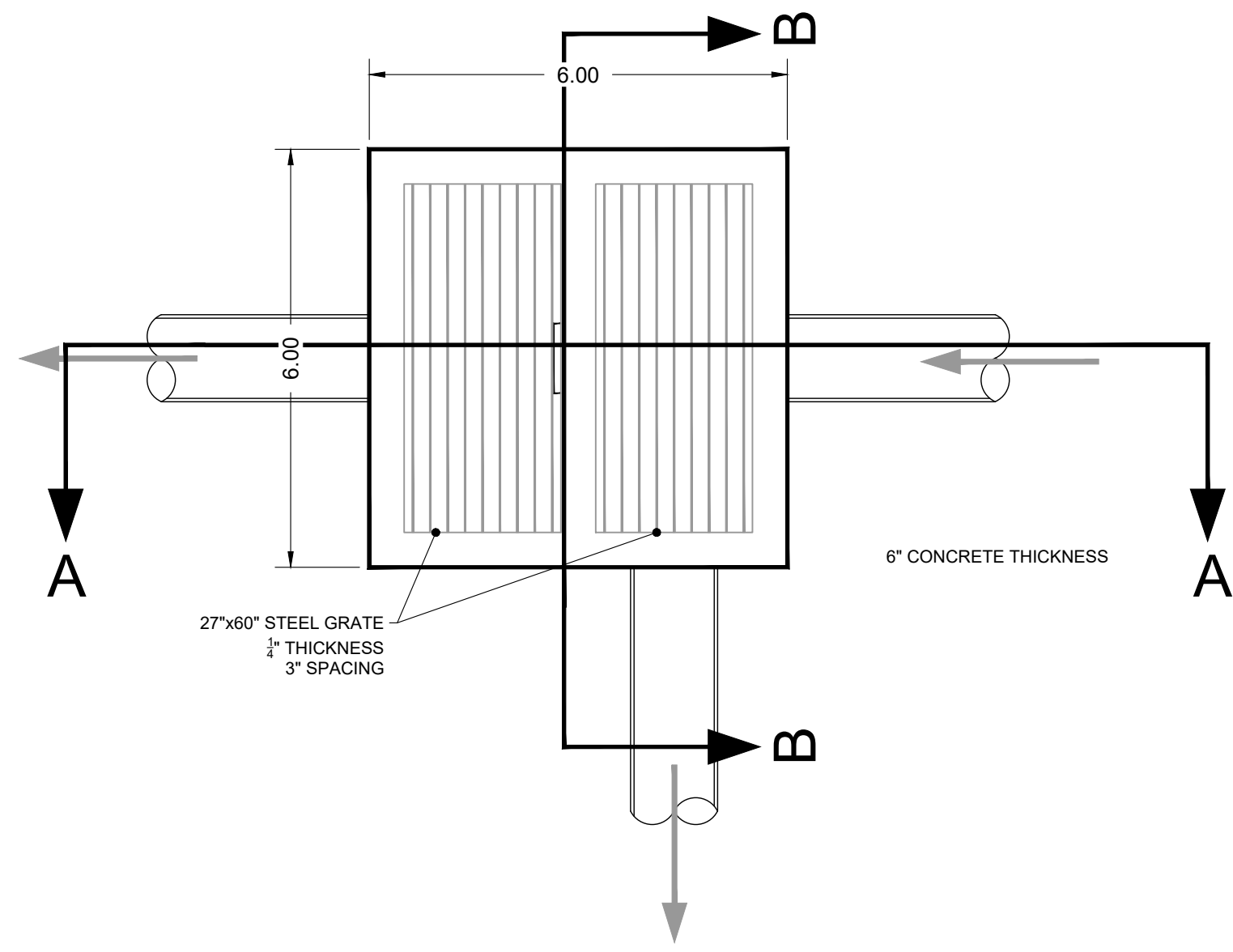
GARDNER ENGINEERING
CIVIL/LAND PLANNING
MUNICIPAL - LAND SURVEYING
5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801.476.0202 FAX: 801.476.0066

CE3-01

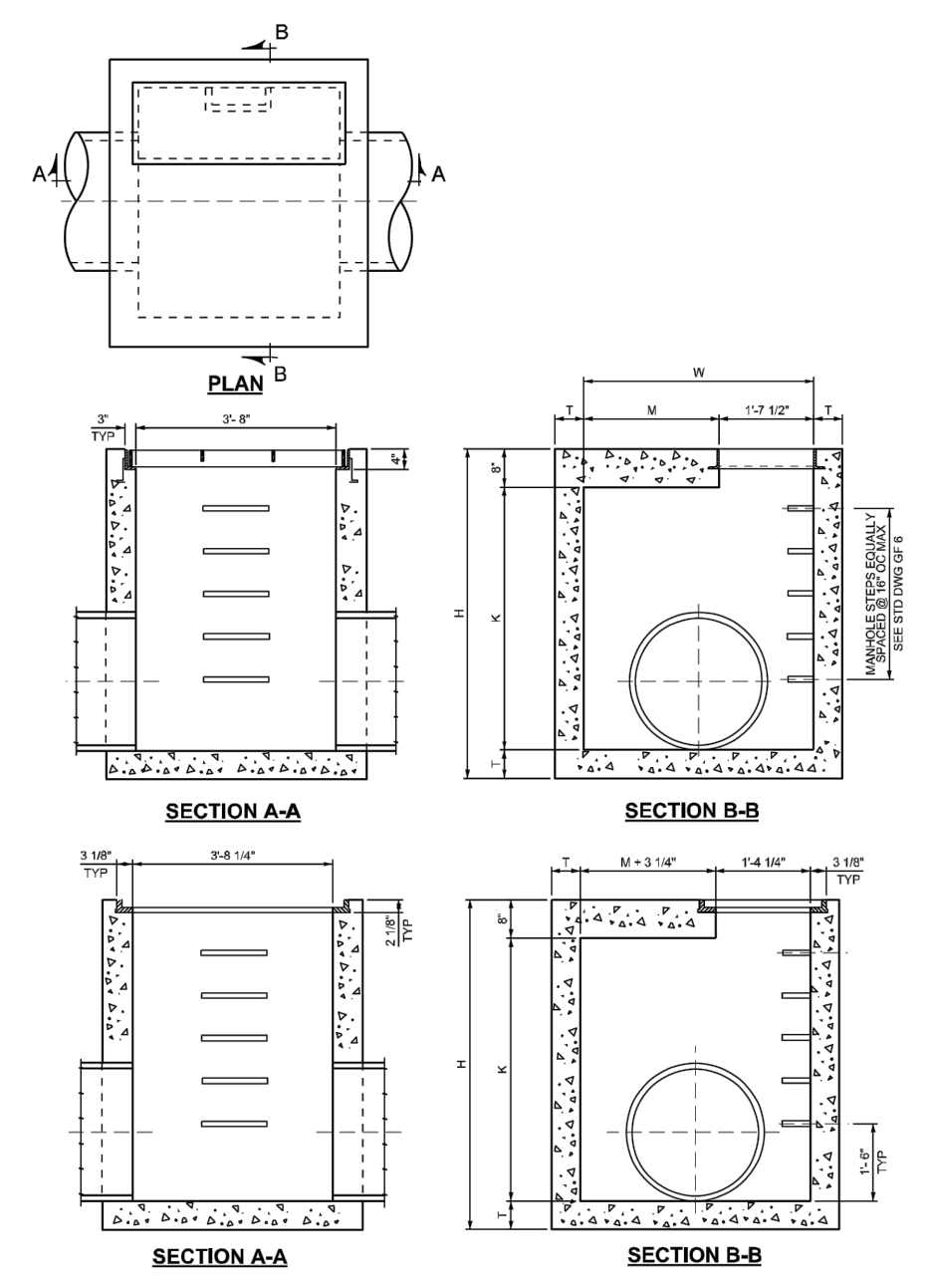
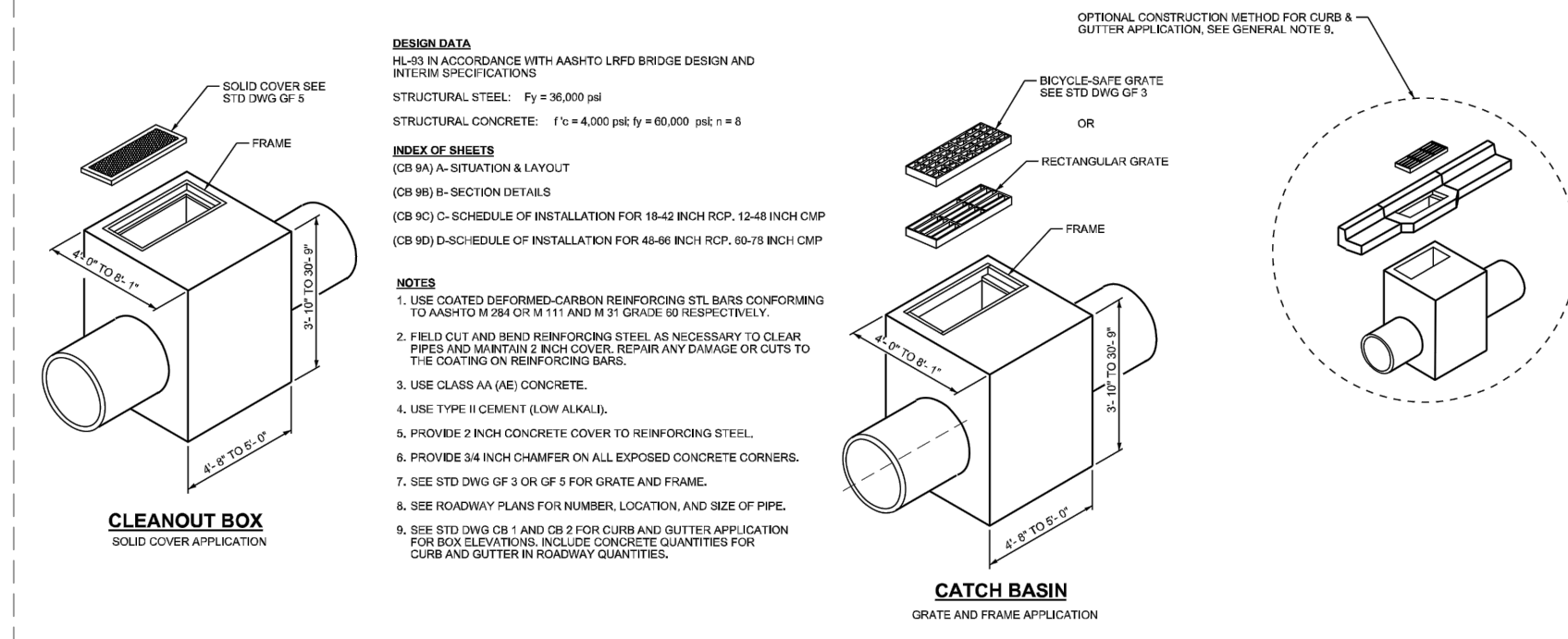
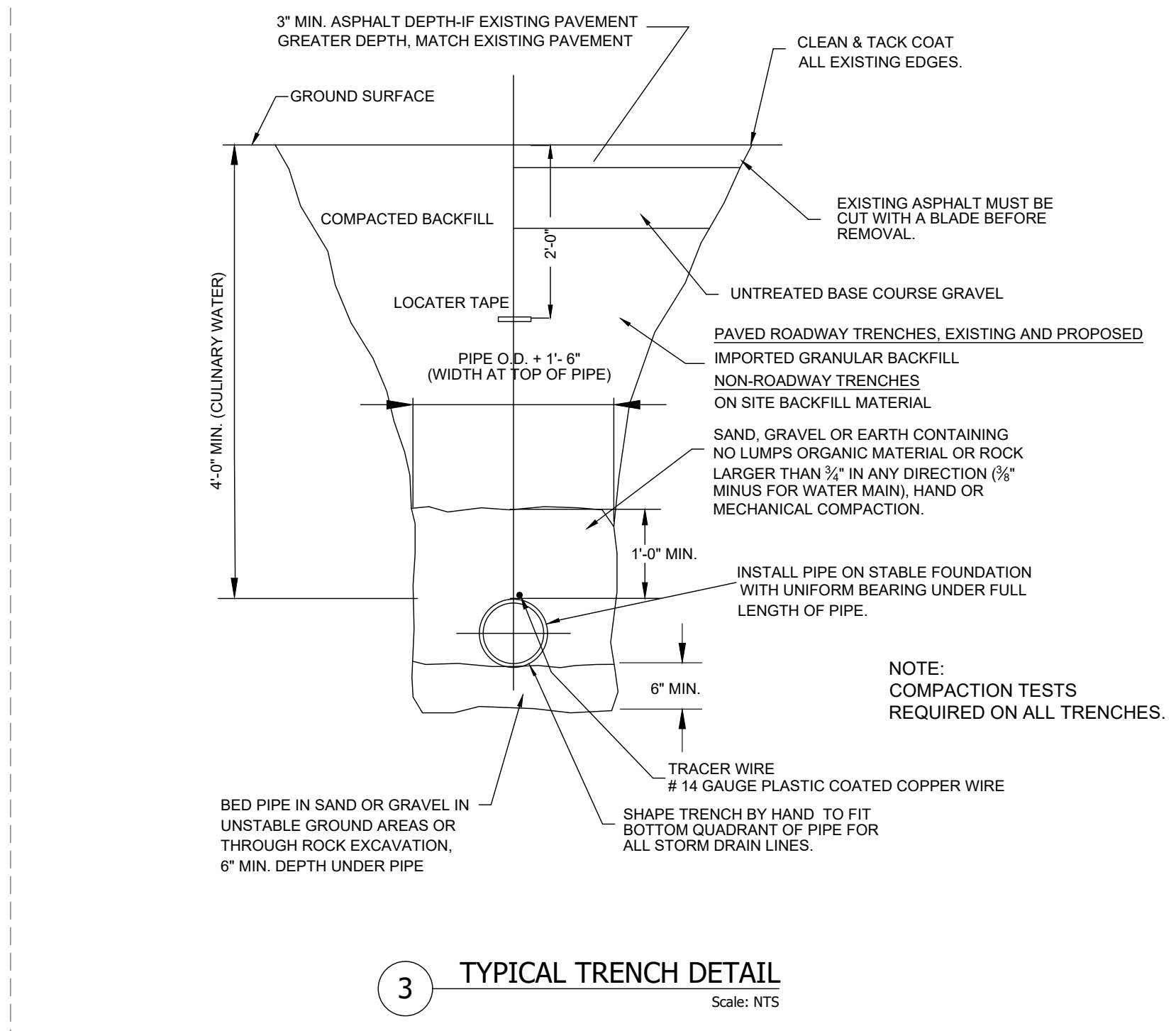
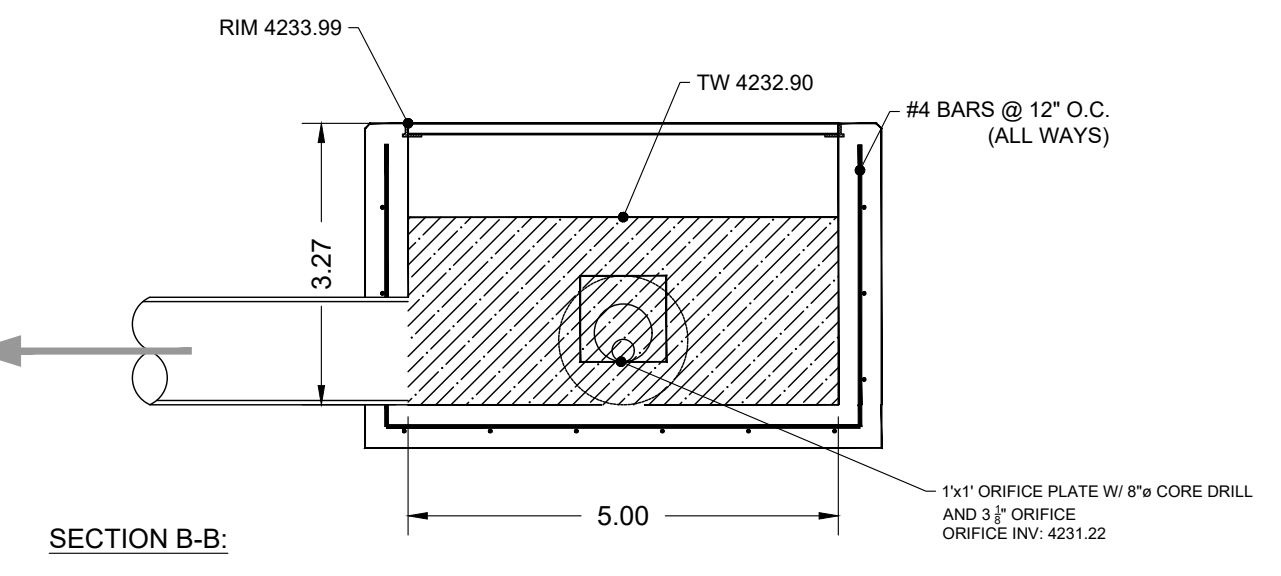
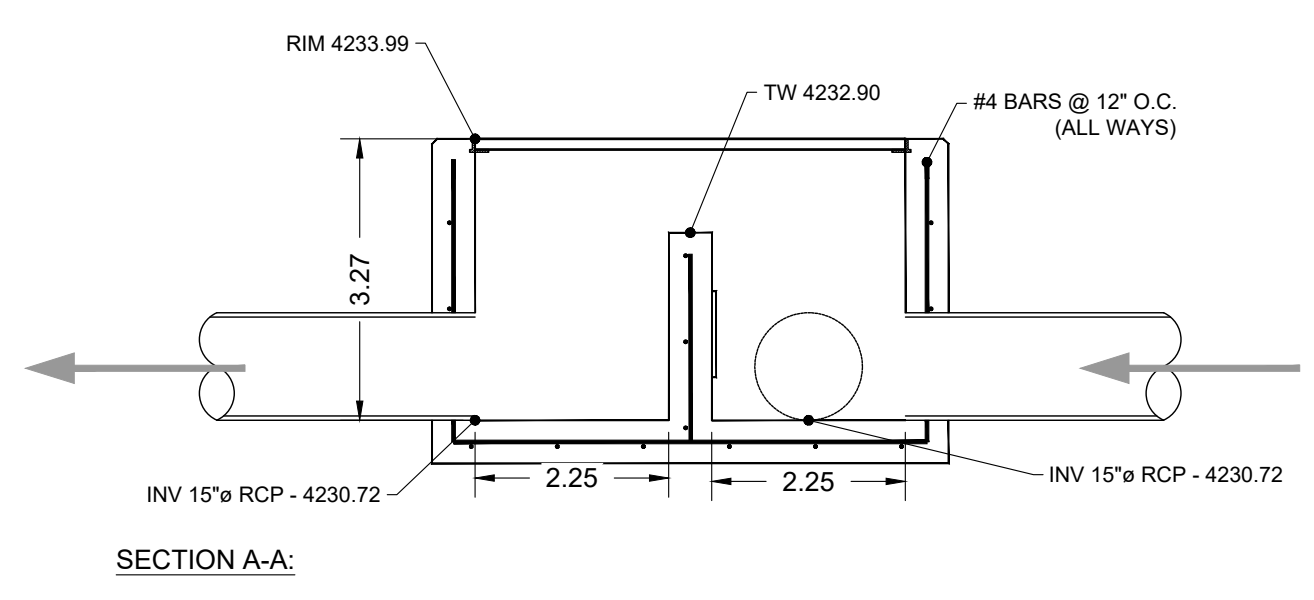
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1 24-INCH CATCH BASIN BOX DETAIL
Scale: (NOT TO SCALE)

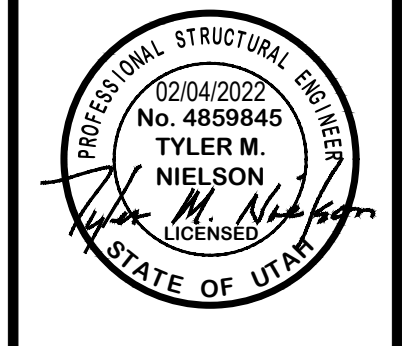


2 5' x 5' STORM DRAIN OUTLET CONTROL BOX-1
Scale: NTS



4 UDOT CB-9A CATCH BASIN
Scale: NTS

SCALE: #44444	DATE: 9/1/2021	DESIGN: WJS/JKH	DRAWN: WJS/JKH	CHECKED: TAN
REVISIONS	DATE	DESCRIPTION		



DETAILS

BUFFALO RUN ACRES SUBDIVISION

4700 WEST 2350 SOUTH

TAYLOR, WEBER COUNTY, UTAH

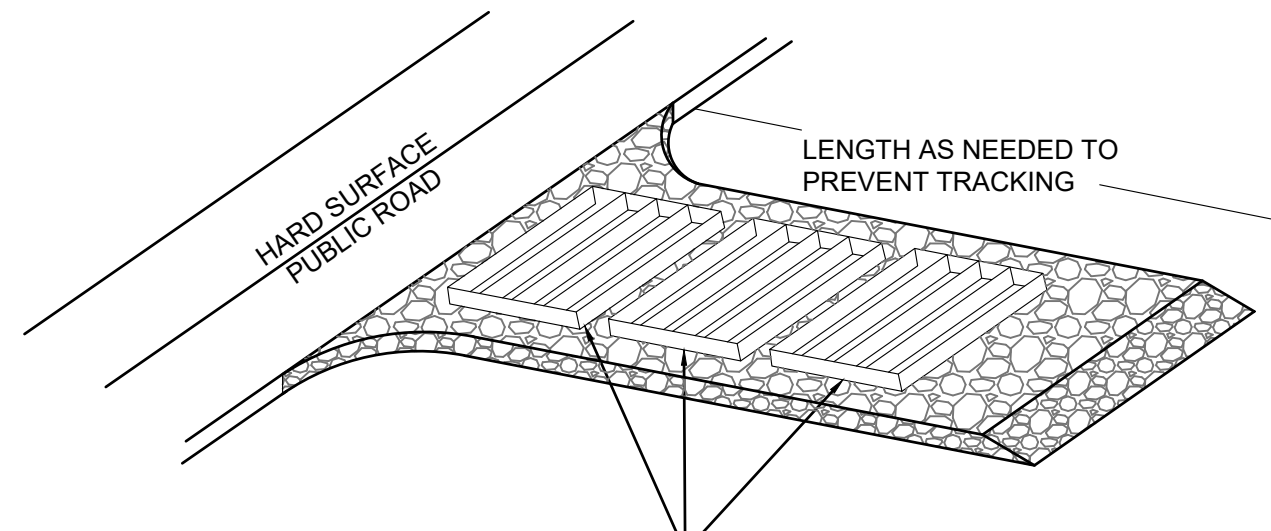
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OFFICE: 801.476.0202 FAX: 801.476.0066

EROSION CONTROL NOTES:

1. SANDBAGS WILL BE PLACED AT DISCHARGE LOCATIONS TO CONTAIN AND DIVERT STORM WATER THROUGH THE INLET PROTECTION.
2. AN EARTHEN BERM 6" HIGH WILL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND DIVERT IT TO DISCHARGE AREAS.
3. STORM WATER WILL BE DISCHARGED INTO AN EXISTING DRAINAGE SYSTEM. EXISTING LINES SHALL BE INSPECTED PRIOR TO CERTIFICATE OF OCCUPANCY AND CLEANED IF NECESSARY.
4. THE STORM WATER POLLUTION PREVENTION PLAN SHALL CONFORM TO ALL STATE DIVISION OF ENVIRONMENTAL PROTECTION REGULATIONS.



A SERIES OF STEEL PLATES (3 OR MORE) WITH RUMBLE STRIPS OR MIN. 3" COARSE AGGREGATE.

ENTRANCE STABILIZATION NOTES:

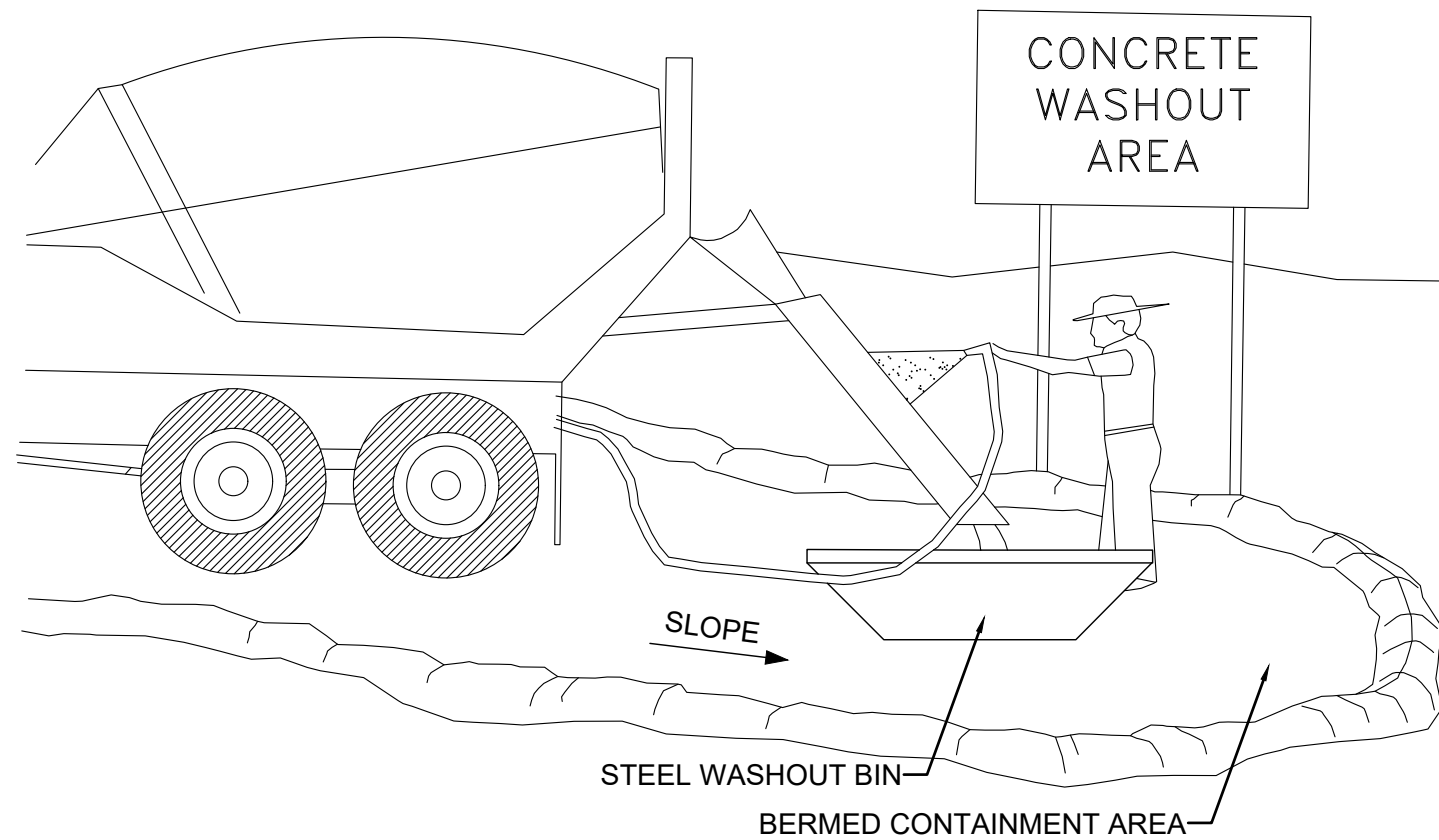
1. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE STORM DRAIN SYSTEMS. DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
2. STABILIZED CONSTRUCTION ENTRANCE SHALL BE:
 - a. LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY AND SIDEWALK OR PARKING AREA.
 - b. A SERIES OF STEEL PLATES WITH "RUMBLE STRIPS", AND/OR MIN. 3" COARSE AGGREGATE WITH LENGTH, WIDTH AND THICKNESS AS NEEDED TO ADEQUATELY PREVENT ANY TRACKING ONTO PAVED SURFACES.
3. ADDING A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER CAN GREATLY IMPROVE EFFICIENCY.
4. ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE SITES.

STREET MAINTENANCE NOTES:

1. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
2. SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
3. PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.

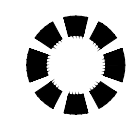
NOTE:

CONTRACTOR SHALL COMPLETE AND SUBMIT A STATE NOTICE OF INTENT (NOI) AND A STORM WATER POLLUTION PREVENTION PLAN BOOKLET

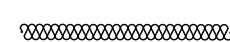


NOTES:

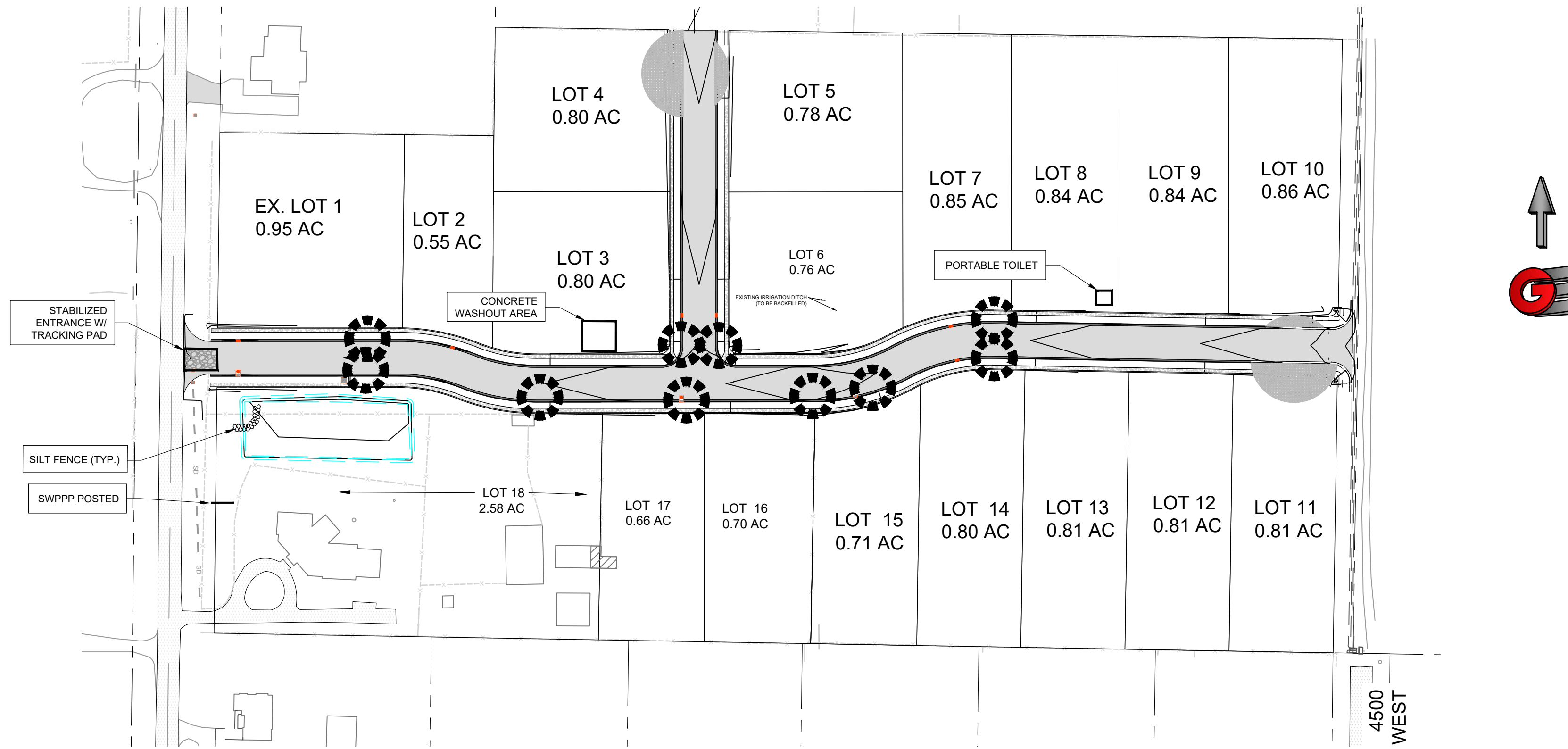
1. EXCESS AND WASTE CONCRETE SHALL BE DISPOSED OF OFF SITE OR AT DESIGNATED AREAS ONLY.
2. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
3. FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS ONSITE, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED.
4. ONSITE CONCRETE WASHOUT CONTAINMENT FACILITY SHALL BE A STEEL BIN OR APPROVED ALTERNATE.
5. SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP AND DISPOSED OF PROPERLY.



INLET PROTECTION (EITHER OPTION)

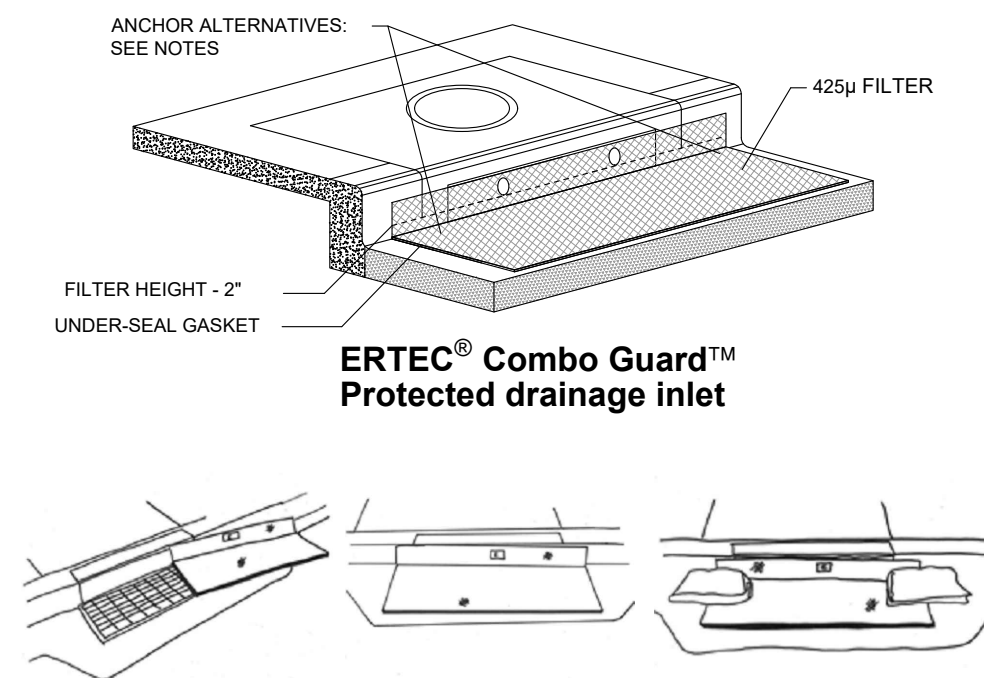


SILT FENCE



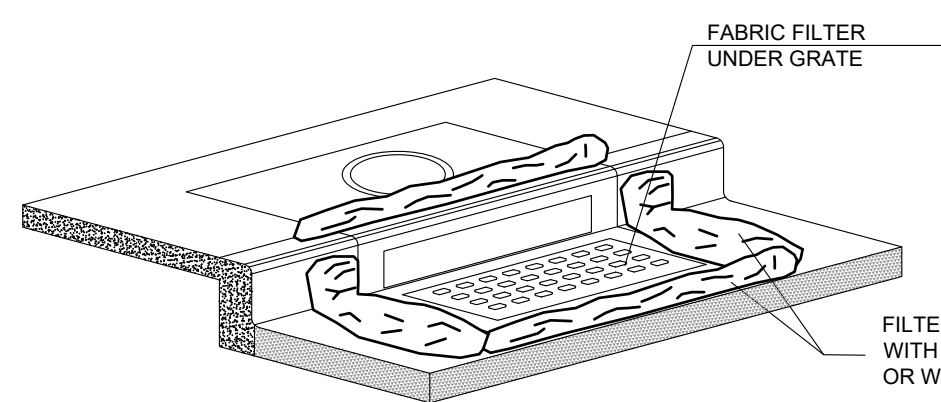
INSTALLATION NOTES

1. PLACEMENT: PLACE CG TIGHTLY AGAINST CURB OPENING AND COVER ENTIRE GRATE. CG SHOULD EXTEND AT LEAST 2 INCHES PAST GRATE TOWARDS STREET.
2. OVERLAP FOR LONG OPENINGS: OVERLAP CG UNITS AT LONGER OPENINGS.
3. ANCHOR: ANCHOR CG SO THAT WATER CANNOT FLOW BEHIND IT.
4. ALTERNATE ANCHOR METHODS: A) INSTALL GRAVEL BAGS AT EACH SIDE OF CG - HALF-ON AND HALF-OFF THE EDGES. USE HALF-FILLED GRAVEL BAGS (15 OR 20 LBS). ROUND ROCK IS RECOMMENDED. OR B) ATTACH WITH 16 GAUGE TIE-WIRE. CUT WIRE TO 18" LENGTH. AT EACH CORNER OF CG, FEED ONE END OF WIRE DOWN THRU CG, AROUND GRATE BAR, AND BACK UP THRU CG. ABOVE GROUND, TWIST WIRES SEVERAL TIMES, CUT-OFF EXCESS. OR C) FASTEN WITH CONCRETE ANCHORS/NAILS AT THE OUTSIDE EDGES OF CG.



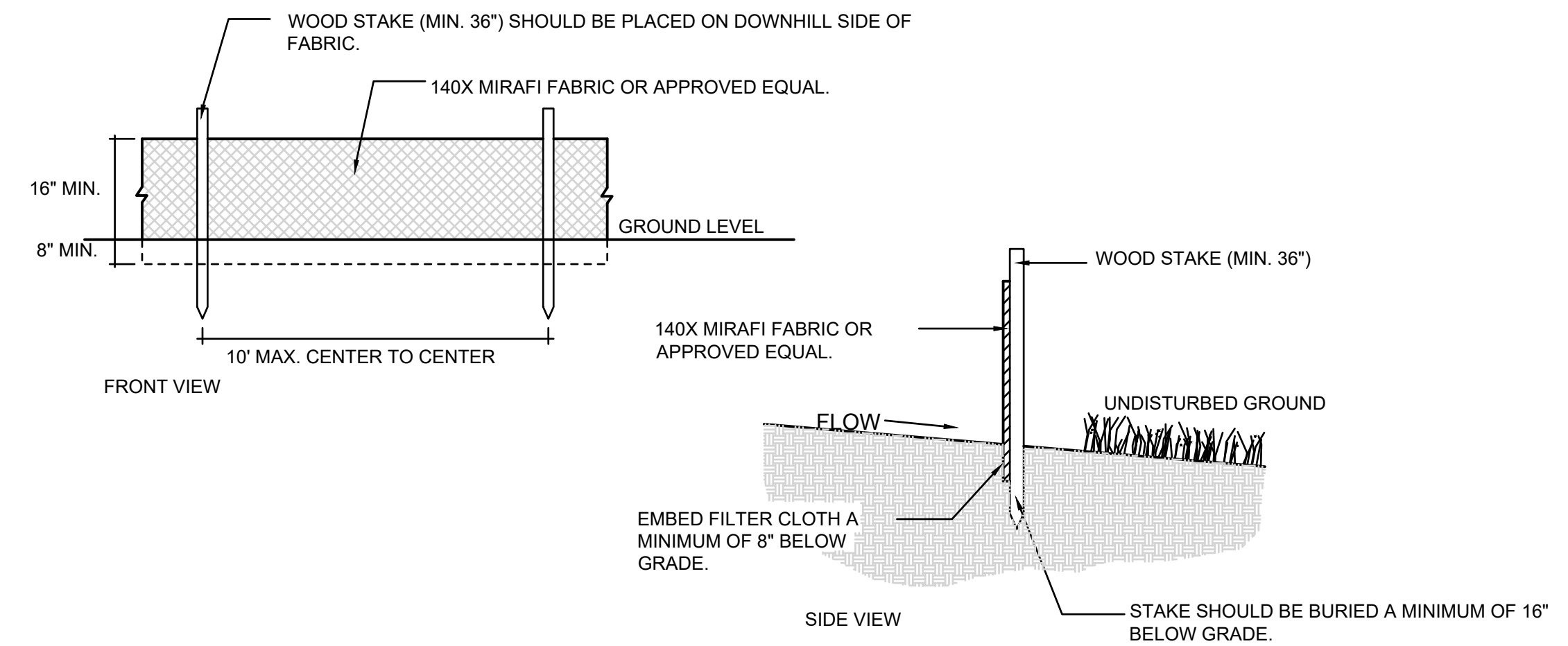
1A INLET PROTECTION - OPTION 1

Scale: NTS



1B INLET PROTECTION - OPTION 2

Scale: NTS

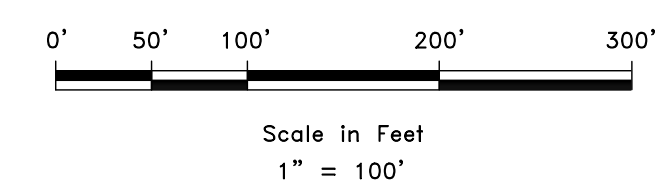


2 SILT FENCE

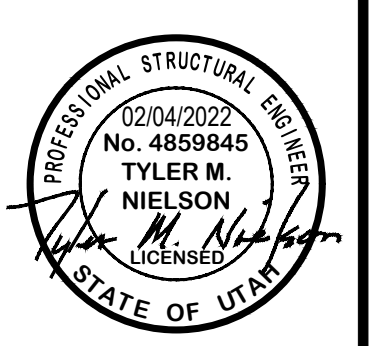
Scale: NTS

DEVELOPER:

JAMES MARZIALE
2360 S 4700 W
TAYLOR UT 84401
1-801-420-5660



SCALE: 1" = 100'	DATE: 9/1/2021	DESIGN: W.S/JKH	DRAWN: W.S/JKH	CHECKED: TMN
REVISIONS	DESCRIPTION	DATE		



SWPPP
BUFFALO RUN ACRES SUBDIVISION
4700 WEST 2350 SOUTH
TAYLOR, WEBER COUNTY, UTAH

GARDNER ENGINEERING
CIVIL-LAND PLANNING
MUNICIPAL-LAND SURVEYING
5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801-476-0202 FAX: 801-476-0066

CE5-01



Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: File Number UVH022723 - Consideration and action on a request for final approval of Hansen Subdivision, a single-lot subdivision.

Type of Decision: Administrative

Agenda Date: Wednesday, March 29, 2023

Applicant: Dave and Chris Hansen

Property Information

Approximate Address: Approximately 1318 Via Monaco Drive, Huntsville, UT

Project Area: 2.13

Zoning: Forest Valley (FV-3)

Existing Land Use: Vacant

Proposed Land Use: Residential Subdivision

Parcel ID: 20-036-0028

Township, Range, Section: T6N, R1E, Section 24

Adjacent Land Use

North:	Residential	South:	Residential
East:	Residential	West:	Residential

Staff Information

Report Presenter: Felix Lleverino
fleverino@co.weber.ut.us
801-399-8767

Report Reviewer: RG

Applicable Ordinances

- Title 101 (General Provisions) 1-7 (Definitions)
- Title 104 (Zones) Chapter 14 (Forest Valley 3 Zone)
- Title 106 (Subdivisions)
- Title 108 (Standards) Chapter 18 (Drinking Water)
- Title 108 (Standards) Chapter 22 (Natural Hazard Areas)

Development History

The Weber County Planning Division conducted research into the creation of this parcel. This parcel is a non-conforming parcel that was described in a contract before July 1, 1992, and conformed to the minimum zoning in effect at the time of its creation. The final requirement to create a lot of record is to complete the county subdivision process to plat this parcel in its current configuration.

The Hansen Subdivision is requesting final approval from the Planning Division in a public meeting held on March 29th, 2023.

Background

The applicant is requesting final approval of the Hansen Subdivision, which is located at approximately 1318 Via Monaco Drive.

As part of the approval process, the proposal has been reviewed against the current Weber County Land Use Code (LUC), and the standards of the FV-3 zone found in LUC §104-14. The following section is a brief analysis of this project against current land use regulations.

Analysis

General Plan: This proposal conforms with the Ogden Valley General Plan (OVGP) by encouraging low-density development (see page 21 of the OVGP).

Zoning: The property is located in the FV-3 Zone. The purpose of this zone is stated in the LUC §104-14-1.

“The purpose of the Forest Valley Zone, FV-3 is to provide an area for residential development in a forest setting at a low density, as well as to protect as much as possible the naturalistic environment of the development.”

Access and Frontage: This entire property fronts on a private road called Via Monaco Drive. The owner of this property is responsible to become part of the homeowners association and be subject to responsibilities of the Summit at Ski Lake HOA. No ROW dedication is needed for this development.

Drinking-Water Source Protection Zone: This parcel is located within a Drinking Water Source Protection Zone 3, in which, the proposed residential uses are not prohibited. For a complete reference see LUC 108-18 **Drinking Water Source Protection**.

Natural Hazards: CMT Technical Services create a Geotechnical Engineering and Geological Reconnaissance Study. The studies were conducted for a potential home site in Exhibit C. The hazards and their associated risk level are as follows:

Earthquake Ground Shaking – Not present at the site

Stream Flooding – “Local sheet flow, slope wash, and seasonally perched soil water typical of sloping areas should be anticipated for the site, and site improvements.”

Shallow Groundwater – Static groundwater was not observed in the test pits. The local static groundwater elevation is projected to below the depths by about 15 to 20 feet for the site.

Page 3 of the report states that once the proposed home locations and associated grading design are completed, CMT must review these plans for consideration with the findings and recommendations provided in this report.

See the Executive Summary on pages 2 and 3 for further professional recommendations from CMT.

Flood Zone: This parcel and the lands surrounding it are within an area of minimal flood hazard and determined to be outside the 500-year flood level.

Secondary and Culinary Water: Lakeview Water Corporation will provide culinary water to this property. Lakeview Water does allow their clients to use the culinary water for irrigation purposes. There is no secondary water service provider in the area.

Sewer District: Mountain Sewer will provide sewer services for this property.

Review Agencies: The Weber County Fire District will complete a more thorough review following administrative approval from the Planning Division. Weber County Surveyor is currently reviewing the final plat based on final subdivision criteria. Weber County Engineering review has posed several questions that can be easily addressed by written responses and minor plat revisions.

Staff Recommendation

Staff recommends final approval of Hansen Subdivision, consisting of one lot, based on the following conditions:

1. Before recording, all county review agency requirements are satisfied.

The following findings are the basis for the staff's recommendation:

1. The proposed subdivision conforms to the Ogden Valley General Plan.
2. The proposed subdivision complies with the applicable County codes.

Exhibits

- A. Hansen Subdivision plat
- B. Lakeview Water and Mountain Sewer letter
- C. Geologic Reconnaissance select pages



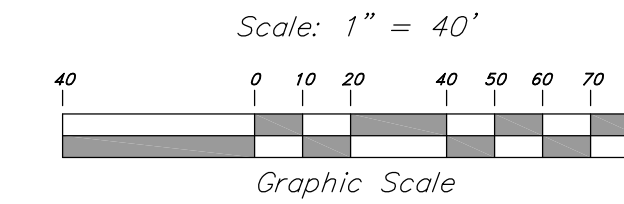
Hansen Subdivision

A part of the Northeast 1/4 of Section 24, T6N, R1E, SLB & M., U.S. Survey
Huntsville District, Weber County, Utah
March 2023



LEGEND

- Found Rebar & Cap w/Fencepost Set 5/8" Rebar (24" long) & cap w/Fencepost
- ◆ Section corner
- ⊙ Monument
- ⊙ GREAT BASIN NORTH
- CAP DETAIL



SURVEYOR'S CERTIFICATE

I, Mark E. Babbitt, do hereby certify that I am a Registered Professional Land Surveyor in the State of Utah, and that I hold Certificate No. 166484 in accordance with Title 58 Chapter 22, Professional Engineers and Land Surveyors Licensing Act. I also do hereby certify this plat of Schlaf Subdivision in Weber County, Utah has been correctly drawn to the designated scale and is a true and correct representation of the following description of lands included in said subdivision based on data compiled from records in the Weber County Recorder's Office, and of a survey made on the ground in accordance with Section 17-23-17. Monuments have been set as depicted on this drawing.

I also certify that all the lots within this plat of Hansen Subdivision meet the frontage and area requirements of the Weber County Zoning Ordinance.

Signed this _____ day of _____, 2023.

166484
License number

Mark E. Babbitt

OWNER'S DEDICATION

I, the undersigned owner of the herein described tract of land, do hereby set apart and subdivide the same into lots and private street as shown on this plat, and name said tract Hansen Subdivision and do hereby dedicate and reserve unto themselves, their heirs, their grantees and assigns, a right of way to be used in common with all others within said subdivision (and those adjoining subdivisions that may be subdivided by the undersigned owners, their successors, or assigns) on, over and across all those portions or parts of said tract of land designated on said plat as Private Street (Private Right of Way) as access to the individual lots, to be maintained by The Summit at Ski Lake Owners Association whose membership consists of said owners, their grantees, successors, or assigns, and also grant and dedicate a perpetual right and easement over, upon and under Private Streets and the lands designated hereof as sanitary sewer easements, slope and public utility/drainage easements, the same to be used for the installation, maintenance and operation of public utility service lines, storm drainage/detention facilities, sanitary sewer facilities, grading, or for the perpetual preservation of water drainage channels in their natural state whichever is applicable as may be authorized by the governing authority with no buildings or structures being erected within such easements, and hereby grant a temporary turn around easement as shown hereon to be used by the public until such time that the road is extended. The temporary turn around easement shall be revoked and nullified at the event of the extension of the road without further written document and the encumbered land within the affected lots shall be released for the full and exclusive use and benefit of the lot owners.

Signed this _____ day of _____, 2023.

David Pete Hansen

BOUNDARY DESCRIPTION

A part of the Northeast Quarter of Section 24, Township 6 North, Range 1 East, Salt Lake Base and Meridian, U.S. Survey:
Beginning at the Northeast corner of The Summit at Ski Lake No. 9, a subdivision in Weber County, Utah, which is South 02°54' West 1717.93 feet, East 437.92 feet and South 77°20'18" East 115.72 feet from the North Quarter Corner of said Section 24; running thence South 77°20'18" East 539.57 feet to the boundary line of The Summit at Ski Lake No. 9, Weber County, Utah; thence along said boundary the following (4) courses: South 12°39'42" West 69.67 feet, Southwesterly along the arc of a 84.52 foot radius curve to the right a distance of 121.34 feet (Long Chord bears S 53°47'22" W 111.18'), North 85°04'57" West 441.52 feet and North 4°55'03" East 214.87 feet to the Point of Beginning.

Contains 92,782.8 square feet
Or 2.13 acres

State of _____ } ss
County of _____

The foregoing instrument was acknowledged before me this _____ day of _____, 2023 by _____.

Residing at: _____ A Notary Public commissioned in Utah
Commission Number: _____ Print Name
Commission Expires: _____

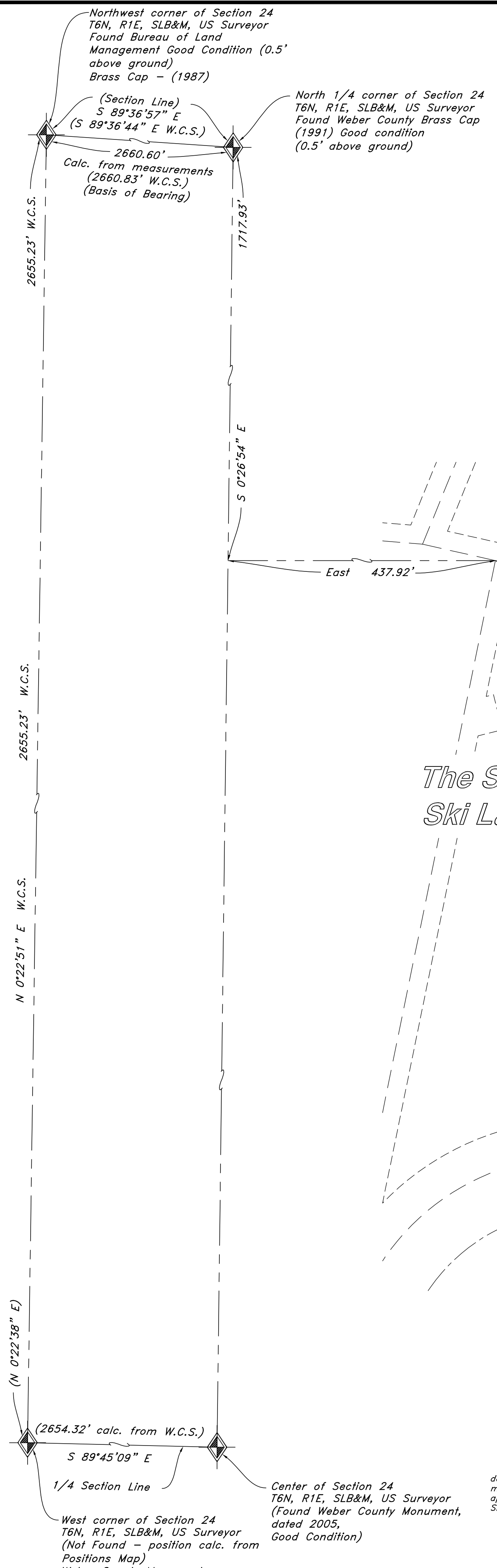
NARRATIVE

At the request of Dave Hansen, owner of property, this property is an undeveloped parcel of land located on an existing private street (Via Monaco) adjacent to the South Boundary of Valley Lake Estates No. 3 and the North Boundary of the Summit at Ski Lake No. 12. The basis of bearing for this plat is S 89°36'57" E between a Brass Cap found at the Northwest corner and the remnant stem of a monument at the North 1/4 corner of Section 24, Township 6 North, Range 1 East, Salt Lake Base & Meridian, U.S. Survey. This bearing base has been used throughout the Ski Lake Developments adjacent to this property. Valley Lake Estates No. 3 rotated 00°15'03" clockwise to match bearing base of subdivision.

- Note:
- 10' wide Public Utility and Drainage Easements each side of Property line as indicated by dashed lines, except as otherwise shown.
 - Private Streets also serve as Public Utility Easements
 - This lot is located in a geologic study area. A Geotechnical Evaluation and a Geological Reconnaissance Study by CMT Engineering Laboratories, dated January 9, 2023, Project #19413, is available for review at the Weber County Planning Office.
 - Due to the topography and the location of this subdivision, all owners will accept responsibility for any storm water runoff from the road adjacent to this property until curb and gutter is installed.
 - An excavation permit is required for all work done within existing Right-of-Way.

WEBER COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____
FILED FOR RECORD AND
RECORDED _____ AT
_____ IN BOOK _____ OF OFFICIAL
RECORDS, PAGE _____, RECORDED
FOR _____
WEBER COUNTY RECORDER
BY: _____ DEPUTY



The Summit at
Ski Lake No. 9

34 Valley Lake Estates
No. 3

Schlaf
Subdivision
1

LOT 1
92,782.8 SF
2.13 Acres

The Summit at
Ski Lake No. 11

The Summit at
Ski Lake No. 12

45-R

WEBER COUNTY ATTORNEY
I have examined the financial guarantee and other documents associated with this subdivision plat and in my opinion they conform with the County Ordinance applicable thereto and now in force and effect.
Signed this _____ day of _____, 2023.

WEBER COUNTY ENGINEER
I hereby certify that the required public improvement standards and drawings for this subdivision conform with county standards and the amount of the financial guarantee is sufficient for the installation of these improvements.
Signed this _____ day of _____, 2023.

WEBER COUNTY COMMISSION ACCEPTANCE
This is to certify that this subdivision plat, the dedication of streets and other public ways and financial guarantees of public improvements associated with this subdivision, thereon are hereby approved and accepted by the Commissioners of Weber County, Utah this _____ day of _____, 2023.

WEBER COUNTY SURVEYOR
I hereby certify that the Weber County Surveyor's Office has reviewed this plat and all conditions for approval by this office have been satisfied. The approval of this plat by the Weber County Surveyor does not relieve the Licensed Land Surveyor who executed this plat from the responsibilities and/or liabilities associated therewith.
Signed this _____ day of _____, 2023.

PLANNING COMMISSION

This is to certify that this subdivision plat was duly approved by the Planning Commission on the _____ day of _____, 2023.

Chair, Planning Commission - Signature

Developer:
Dave Hansen
6819 East 1100 South
Huntsville, Utah 84317

Lakeview Water Corp and Mountain Sewer Corp

P. O. Box 314

Huntsville, Utah 84317

(801) 745-2639

Weber County

RE: Sewer and Water services to Address(s):

Parcel #20-036-0028 Via Monaco Huntsville, Utah

To whom it may concern,

This letter confirms that Lakeview Water and Mountain Sewer has determined it will provide culinary water and sewer services to the above referenced address(s).

Except for scheduled maintenance and construction, power failures, natural disasters, and unforeseen circumstances, water and sewer services will be provided in accordance with applicable federal, state and local statutes, laws, rules, regulations, ordinances and standards.

Culinary water and Sewer services to the above lot(s) are subject to and contingent on the following:

1. Compliance with Lakeview Water and Mountain Sewer policies and procedures as those policies and procedures may change from time to time;
2. Natural fluctuations in water supplies;
3. Subsequent decisions and regulation by local government, the Utah State Engineer, Utah Division of Water Resources, the United States Department of the Interior, or any other applicable governmental agency;
4. Payment of hook up costs and standard billings for service. Failure to pay these costs and billings will result in temporary suspension and/or permanent cessation of service.

As recipient of said service, you agree to the above terms and to the terms set forth in the Lakeview Water and Mountain Sewer policies and procedures as those policies may change from time to time. If you have any questions regarding the contents of this letter, please contact our office.

Lakeview Water and Mountain Sewer



Date: _____

2/23/2023



**GEOTECHNICAL ENGINEERING AND
GEOLOGICAL RECONNAISSANCE STUDY**

Proposed Hansen Property Subdivision

About 6875 East 1100 South Street
Huntsville, Weber County, Utah

CMT PROJECT NO. 19413

FOR:
Mr. Dave Hansen
6819 East 1100 South Street
Huntsville, Utah 84317

January 9, 2023

ENGINEERING • GEOTECHNICAL • ENVIRONMENTAL (ESA I & II) •
MATERIALS TESTING • SPECIAL INSPECTIONS •
ORGANIC CHEMISTRY • PAVEMENT
DESIGN • GEOLOGY

1. To provide geological reconnaissance studies as specified by Weber County Code, Section 108-22 Natural Hazard Areas guidelines and standards (Weber County, 2022). The reconnaissance level geological study was performed to assess whether all or parts of the site are exposed to the hazards that are included in the code, including, but not limited to; alluvial fan processes including flash flooding and debris flow hazards, surface fault rupture hazards, liquefaction hazards, rockfall hazards, and avalanche hazards (snow avalanche). The geotechnical study was performed to define and evaluate the subsurface soil, and groundwater conditions on the site.
2. To provide appropriate foundation and earthwork recommendations as well as geoseismic information to be utilized in the design and construction of the proposed residence including a field program consisting of the excavating, logging, and sampling of three test pits, and a laboratory soils testing program.
3. An office program consisting of the correlation of available data, engineering and geological analyses, and the preparation of this summary report.

1.3 Authorization

Authorization was provided by Mr. Hansen by returning a signed copy of our Proposal dated October 10, 2022.

2.0 EXECUTIVE SUMMARY

The following is a brief summary of our findings and conclusions:

The results of our analyses indicate that the proposed residential structures may be supported upon conventional spread and/or continuous wall foundations established upon Suitable natural soil or structural fill extending to suitable natural soils.

The most significant geotechnical/geological aspects of the site are:

1. The site surface was found to be covered with fills and residual soils that were underlain by stiff to hard weathered bedrock of the Norwood Formation, and Quaternary landslide deposits as mapped by Utah Geological Survey (UGS) geologist (King and others, 2008). The surface fills encountered at test pits TP-2 and TP-3 extended to depths of about 7.0 feet below the existing surface, are undocumented, exhibit variable engineering characteristic, and considered to be non-engineered. The depth and lateral extend must be anticipated to vary across the site. The undocumented fills must be removed below the home footprint. This may be completed with the construction of a sublevel or by removing and replacing with structural fill.
2. Steep slope conditions and landslide deposits were encountered on the north side of the subject property, these areas should be avoided for any construction and site grading improvements for the proposed subdivision development and use.

The surface of the site slopes moderately to steeply (30.9 percent) to the north. Static groundwater is projected to be below project depths, approximately 15 to 20 feet for the site. The soils encountered in the test pits were generally comprised of fine-grained CLAY and silty/clayey fine SAND.

A site-specific slope stability analysis was conducted for the site to evaluate the existing site slopes along cross section A-A shown on **Figure 5 Site Evaluation**. The proposed home loading was placed along the roughly 60 foot wide, moderately flat area at the top of the lot directly north of 1100 South Street. Foundations near slopes must be embedded such that an imaginary line, no steeper than one horizontal to one vertical drawn from the outside edge of the footing, does not exit the adjacent slope and the edge of footing be a minimum 4 feet horizontal away from the slope face. Unbraced slopes at the site must not be steepened to more than about 4 horizontal to 1 vertical (4H:1V). All retaining walls at the site must be properly engineered. Rockery walls less than 4 feet in height with adjacent tiers separated by at least 2 times the height of the tallest wall, may be considered as landscaping walls.

Once the proposed home locations and associated grading design are completed, CMT must review these plans for consideration with the findings and recommendations provided in this report.

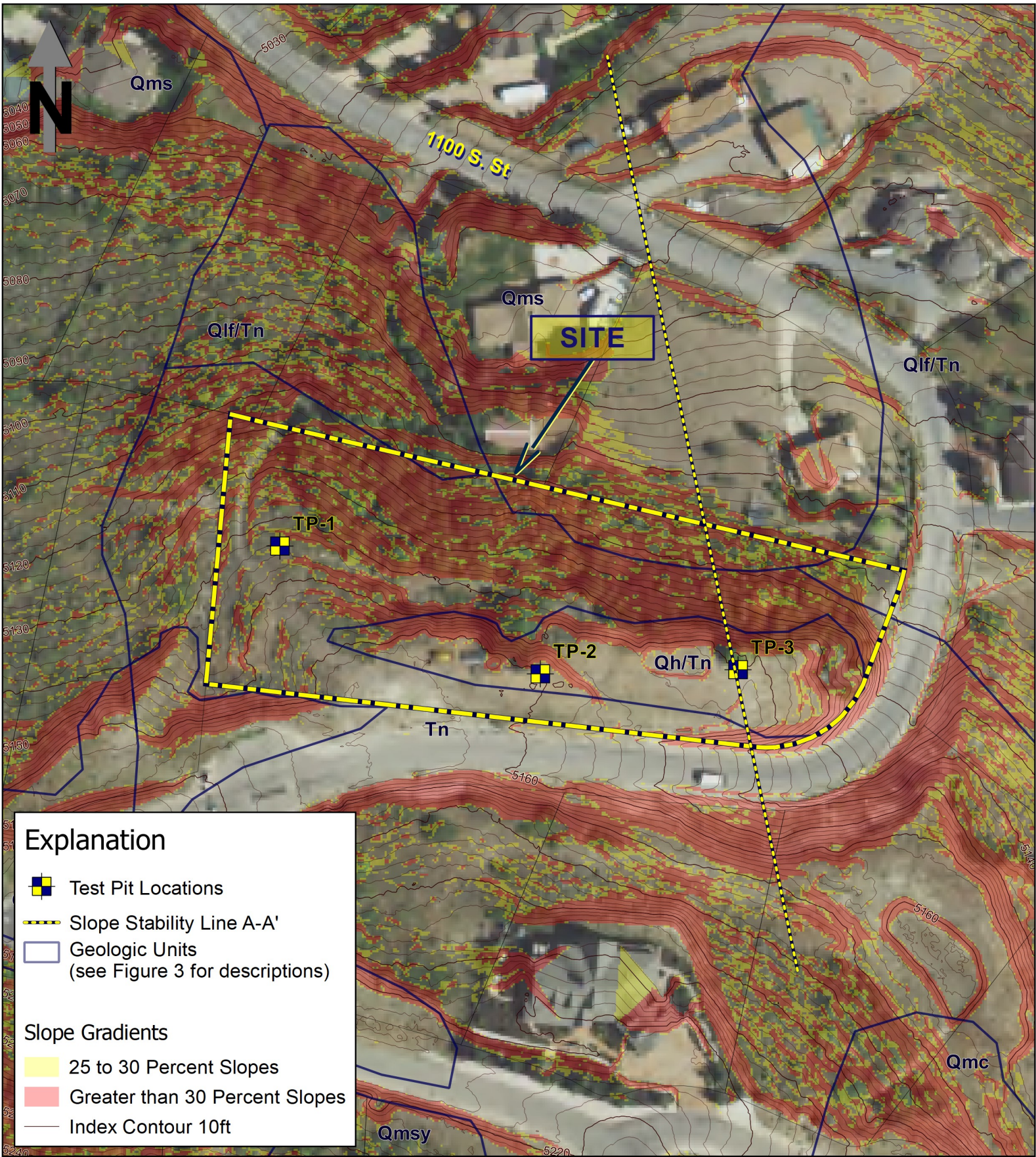
At the time of construction, a geotechnical engineer from CMT will need to verify that all non-engineered fill material and topsoil/disturbed soils have been completely removed and suitable natural soils encountered prior to the placement of structural fills, floor slabs, footings, or foundations.

In the following sections, detailed discussions pertaining to the proposed construction, field exploration, the geologic setting and mapped hazards, geoseismic setting of the site, earthwork, foundations, lateral pressure and resistance, floor slabs, slope stability and subdrains are provided.

3.0 DESCRIPTION OF PROPOSED CONSTRUCTION

The proposed project is to be the development of a two-lot residential subdivision on the 2.13-acre property parcel. The proposed residences will likely be of single-family use, and likely be of conventional wood-framed construction and founded on spread footings with basements. Maximum continuous wall and column loads are anticipated to be 1,000 to 3,000 pounds per lineal foot and 10,000 to 50,000 pounds, respectively.

Site development will require a moderate amount of earthwork in the form of site grading. A proposed grading plan was not provided; however, some fill had been spread over the surface of the property prior to our field investigation up to as much as about 7 feet at two of the field exploration locations which are undocumented, exhibit variable engineering characteristics, and must be considered as non-engineered. If more than 2 feet of additional site grading fill is anticipated over the existing ground surface we should be notified and allowed to review our recommendations and make any appropriate changes as needed.



Explanation

- Test Pit Locations
- Slope Stability Line A-A'
- Geologic Units (see Figure 3 for descriptions)

Slope Gradients

- 25 to 30 Percent Slopes
- Greater than 30 Percent Slopes
- Index Contour 10ft

Base:
 2021 0.6m NAIP Orthoimagery
 from Utah UGRC; <http://gis.utah.gov/>

0 100 200 ft



1:1,200

Hansen Property 6875 East 1100 South Huntsville, Weber County, Utah			Figure 5
	Site Evaluation	Date: 21 Dec.-22 CMT No.: 19413	

staff feels that the applicant has met the minimum requirements for a two-lot subdivision in the A-1 zone. This determination is based on the review and analysis of the information provided by the applicant.

Connectivity: The applicant is dedicating 3' road width along the frontage of lots 1 (206.32' wide) and 2 (310.12' wide) that sits on 900 South St. A deferral agreement for sidewalk/pathway curb and gutter will be recorded with the final plat. 900 South Street in this area is shown on the Future Streets and Transit Map as a Minor Neighborhood Street (50'-60' wide).

Culinary Water, Sanitary Sewer: Taylor West Weber Water has issued a preliminary will-serve letter for this proposed subdivision. Final approval from Taylor West Weber Water will be required prior to recording this final plat. Hooper Irrigation has issued a final approval/will-serve letter for this project. Central Weber Sewer will service this proposed subdivision.

Review Agencies: *To date, the proposed subdivision has been approved by the Weber County Surveyor, and Weber Fire District. Weber County Engineering has not yet reviewed this proposal. All review agency requirements must be addressed and completed prior to this subdivision being recorded.*

Tax Clearance: *The 2022 property taxes have been paid in full. The 2023 taxes are will be due in full November 30, 2023.*

Staff Recommendation

Staff recommends approval of the Celeste Hadley Ashment Subdivision, a two-lot subdivision consisting of approximately 7.55 acres, located at approximately 3989 W 900 S, Ogden, UT, 84401. This recommendation is subject to all review agency requirements, and the following condition:

1. Taylor West Weber Water District will need to sign the final plat prior to recording.

This recommendation is based on the following findings:

1. The proposed subdivision conforms to the Western Weber General Plan.
2. With the recommended conditions, the proposed subdivision complies with all previous approvals and the applicable County ordinances.

Exhibits

- A. Application
- B. Proposed Plat
- C. Water & Septic Feasibility

Location map



Exhibit A-Application

Celeste Hadley Ashment Subdivision

[+ Add Follower](#)
[✎ Change Status](#)
[✎ Edit Project](#)

Address: 3989 W 900 S , Ogden, UT, 84404
Maps: [County Map](#), [Google Maps](#)
Project Type: Subdivisions
Sub Type: Subdivisions
Created By: [Farr Built Homes](#)
Created On: 3/6/2023

Project Status: Accepted
Status Date: 3/6/2023
File Number: LVC030623
Project Manager: Tammy Aydelotte

Application

Documents 13

Comments 3

Reviews 3

Followers 15

History

Reminder 0

Payments 1

Area Fees

Application

[+ Add Building](#)
[+ Add Parcel](#)
[+ Add a Contractor](#)
[✎ Edit Application](#)
[🖨 Print](#)

Project Description Celeste Hadley Ashment Subdivision

Property Address: 3989 W 900 S
Ogden, UT, 84404
Property Owner: Celeste Ashment
801-644-9892
ashment6@yahoo.com
Representative: Tyler Farr
801-941-3790
farrbulthomes@gmail.com

Accessory Dwelling Unit: False
Current Zoning: A-1
Subdivision Name: celeste hadley ashment
Number of new lots being created: 0
Number of lots affected: 0
Number of lots approved: 0
Lot Number: 1
Lot Size: 3.322
Frontage: 206
Culinary Water Authority: Taylor-West Weber Water District
Secondary Water Provider: Hooper Irrigation Company
Sanitary Sewer Authority: Central Weber Sewer
Nearest Hydrant Address: 4078 W 900 S
Signed By: Representative, Tyler Farr

Parcel Number

✖ Remove 150460073 - [County Map](#)

Exhibit B-Proposed Plat

Celeste Hadley Ashment Subdivision WEBER COUNTY, UTAH A PART OF THE SOUTHWEST QUARTER OF SECTION 16, AND NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN SEPTEMBER 2022



LEGEND

- Subject Property Line
- - - Interior Lot Lines
- - - Adjoining Property Line
- - - Previous Property Line
- - - Centerline
- - - Public Utility Easement (P.U.E.)
- - - Existing Sewer Line
- - - Proposed Sewer Line
- - - Existing Water Line
- - - Proposed Water Line
- - - Existing 5.0' Contour
- - - Existing 1.0' Contour
- - - Fence Line
- Street Monument to be set
- Found rebar set by others
- ⊙ Set 5/8" x 24" Rebar With Cap
- ⊙ Section Corner

WEBER COUNTY PLANNING COMMISSION APPROVAL

This is to Certify that this Subdivision Plat was Duly Approved by the Weber County Planning Commission.
Signed this _____ Day of _____, 2023.

Chairman, Weber County Planning Commission

NOTE:

- 1 - All public utility easements (P.U.E.) are 10.0 feet wide unless otherwise noted.
- 2 - Rebar and cap found or set on all lot corners.
- 3 - Due to the topography and the location of this subdivision all owners will accept responsibility for any storm water runoff from the road adjacent to the property until catch and gutter is installed.

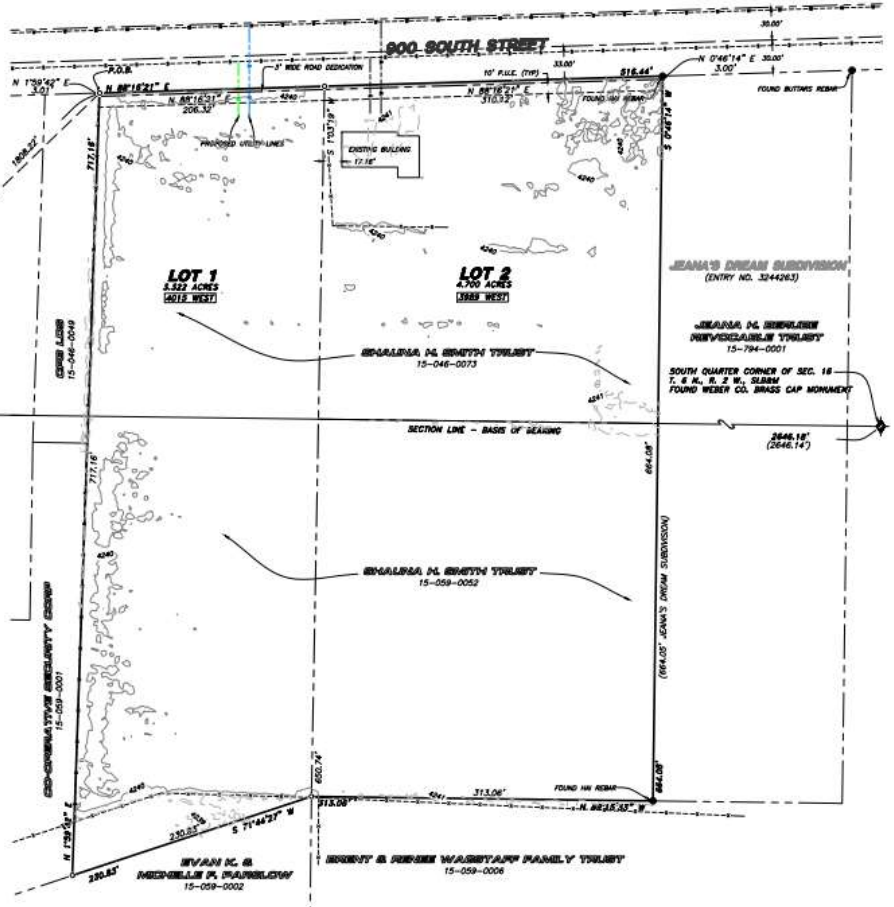
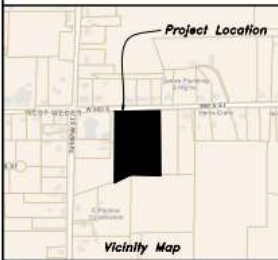


Exhibit C-Water & Septic Feasibility



**2815 WEST 3300 SOUTH
WEST HAVEN, UTAH 84401
801-731-1668
2/9/2023**

Weber County Planning Commission
2380 Washington Boulevard
Ogden, Utah 84401

To Whom It May Concern:

This is to inform you that **Preliminary approval** has been given and the Taylor West Weber Water District ("the District") has the capacity to provide **only** culinary water for lot 1 of the Celeste Hadley Ashment Subdivision. The property is located near 3989 W. 900 S. West Weber UT. The District has the capacity to serve this lot for culinary purposes only. Taylor West Weber Water specifications and standards must be followed in all installation procedures.

Hooper Irrigation available This lot will need to connect to the new Hooper Irrigation line if it is available. Plans to install this line are being implemented now. If the Hooper Irrigation line is not available when occupancy is desired a letter from Hooper stating that fees have been paid and an estimated time as to when the pressurized secondary water will be finished will be required. No outdoor watering with Taylor West Weber Water.

Hooper Irrigation not available If the Hooper line is not installed and plans change ½ a share of Hooper Irrigation water will be required to be deposited into Taylor West Weber Water in Taylor West Weber Waters name (held by district clerk). A higher indoor/outdoor impact fee will be assessed at this time. Once pressurized secondary is available the resident will be required to connect. An agreement to do so will need to be signed with the Taylor West Weber Water District clerk. The agreement will be recorded at Weber County.

Requirements before subdivision approval:

- Plan review fee= \$100 per lot
- Plan approval
- Water rights impact fee= \$1,078.00 per lot

Requirements after subdivision approval:

- Secondary Water= Connect to Hooper Irrigation. **See above**
- Impact fee=\$5,875.00 per lot this fee will be collected at the time building permits are requested.
- Connection fee=\$2,335.00 this includes the cost of the meter, fittings, and installation of the service. If an asphalt patch is needed the cost of the patch and roadwork will be assessed at that time.
- Taylor West Weber Water District reserves the right to make or revise changes as needed or as advised by the district engineer or the district attorney.

FINAL APPROVAL AND SUBDIVISION APPROVAL MUST NOT BE ISSUED UNTIL APPROVAL IS GIVEN BY TAYLOR WEST WEBER WATER. THIS LETTER EXPIRES SIX MONTHS FROM THE DATE IT IS ISSUED. Water right and plan review fees must be paid before approval for construction of the water infrastructure is given.

Expires 8/9/23

Sincerely, 

Ryan Rogers – Manager

Taylor West Weber Water District



PO Box 184	Phone: (801)985-8429
5375 S 5500 W	Fax: (801)985-3556
Hooper, Utah 84315	hooperirrigationco@msn.com

March 3, 2023

Weber County Planning Commission
2380 Washington Blvd, #240
Ogden, Utah 84401

RE: FINAL WILL SERVE LETTER – Celeste Hadley Ashment Subdivision

The development is located at approximately 900 South and 4100 West and consists of 2 lots. One lot is an existing home, and one lot is a proposed new construction residence.

Hooper Irrigation Company is in the process of installing pressure irrigation water in the project area. The installation will be completed in the next 90 days. Hooper Irrigation will provide secondary pressurized water at the time occupancy begins for the residential lot.

This letter states that the above project is in the boundaries of Hooper Irrigation Company. A formal application has been made to our office. There were an adequate number of water shares surrendered for the development water use.

The subdivision utility plans have been reviewed by Hooper Irrigation and changes, if any, have been made and corrected. The plans have been approved for the above subdivision. Hooper Irrigation is willing and able to take responsibility for the installed lines. Only this project is in consideration and guaranteed service and the plan review is good only for a period of one year from the date of this letter, if not constructed.

Hooper Irrigation's specifications are available at the company office. If you have any questions, please call the office at (801)985-8429.

Sincerely,

Michelle Pinkston
Office Manager
Board Secretary

WILL SERVE LETTER REQUEST
CENTRAL WEBER SEWER IMPROVEMENT DISTRICT
2618 West Pioneer Road, Ogden, Utah 84404
Telephone 801-731-3011

Date: 2-9-23

What city/county is the development in? WEBER COUNTY / WEST WEBER

Name and email address of City/County officer: STEVE BURTON /

sburton@webercountyutah.gov

Name and email address of Developer (requestor): TYLER FARR / farrhuilt homes@aol.com

Name/Address of proposed Development:

Name: Celeste Hadley Assment subdivision

Address: 3989 W 900 S Ogden UT 84404

Development Details:

Usage: Residential How many proposed residences? 1

Commercial What type of business? _____

What is the total square footage? _____

or

What is the estimated indoor water usage or discharge to the sewer?

Industrial* What type of industry? _____

What is the total square footage? _____

or

What is the estimated indoor water usage or discharge to the sewer?

*Industrial users may be monitored by the CWSID Pretreatment Program. For questions concerning pretreatment, please contact Brett Nelson, Pretreatment Coordinator at the District Office 801-731-3011.



Staff Report for Administrative Review

Weber County Planning Division

Synopsis

Application Information

Application Request:	Consideration and action on a request for final approval of Warren Estates Subdivision consisting of 3 lots.
Type of Decision:	Administrative
Agenda Date:	Wednesday, March 15, 2023
Applicant:	Derrick Oman, Owner
File Number/s:	LVW090821

Property Information

Approximate Address:	550 N. 5500 W. Unincorporated Weber County
Project Area:	10.131 acres
Zoning:	Agricultural (A-2)
Existing Land Use:	Agriculture
Proposed Land Use:	Residential
Parcel ID:	15-024-0004
Township, Range, Section:	T6N, R2W, Section 7 SE

Adjacent Land Use

North:	Residential	South:	Weber River Spillway/Agriculture
East:	Weber River/Agriculture	West:	Agriculture

Staff Information

Report Presenter:	Tammy Aydelotte taydelotte@webercountyutah.gov
Report Reviewer:	SB

Applicable Land Use Codes

- Title 106 (Subdivisions)
- Title 104 (Zones) Chapter 2 (Agricultural Zones)
- Title 108 (Standards) Chapter 7 (Supplementary and Qualifying Regulations)

Background and Summary

11/16/2021 – Western Weber Planning Commission approval of the access exception request that is mentioned in this staff report, and preliminary approval of this project as a 7-lot subdivision. The applicant has since re-submitted this as a 3-lot subdivision, with the approved access exception to access lots 2 and 3 from 5350 West Street, with an emergency access along the southern boundaries of Lots 1 and two from 5500 West Street.

The applicant is requesting final approval for Warren Estates Subdivision consisting of 3 lots in the A-2 zone.

The proposed subdivision (see **Exhibit A**) and lot configuration are in conformance with the applicable zoning and subdivision requirements as required by the Uniform Land Use Code of Weber County (LUC). The following is a brief synopsis of the review criteria and conformance with LUC.

Analysis

General Plan: The proposal conforms to the Western Weber General Plan by creating lots for the continuation of single-family residential development that is currently dominant in the area.

Zoning: The subject property is located in the A-2 Zone, and is a standard subdivision (LUC 106-2-4.20). Single-family dwellings are a permitted use in the A-2 Zone.

Lot area, frontage/width and yard regulations: In the LUC § 104-2, the A-2 zone requires a minimum lot area of 40,000 square feet for a single family dwelling and a minimum lot width of 150 feet.

As part of the subdivision process, the proposal has been reviewed for compliance with the current subdivision ordinance in the LUC § 106-1, and the A-2 zone standards in LUC § 104-2. The proposed subdivision will be accessed by a private access easement (approved 11/16/2021) due to the limited depth available to provide a county-standard right-of-way.

Alternative Access Exemption: The alternative access option was created as a means for landowners to provide access over, and across areas that restrict the construction of a standard County 66-foot right-of-way. Alternative access applications should be approved as long as the design standards can be implemented during the subdivision process, and the application meets the criteria in LUC §108-7-31(1)(c) which states:

*Based on substantial evidence, it shall be shown that it is unfeasible or impractical to extend a street to serve such lot/parcel. Financial adversity shall not be considered; however, circumstances that may support an approval of a private right-of-way/access easement as access to a lot/parcel may include but not be limited to unusual soil, topographic, or **property boundary conditions**.*

The applicant has already received approval for their access exception request, however, an access easement from 5500 West Street, for emergency purposes only, shall be shown on the final plat.

Culinary and Secondary Water: West Warren-Warren Water Improvement District has provided a preliminary culinary water will-serve letter for 7-lots (see **Exhibit B**). Mountain View Irrigation has provided a final will-serve letter for pressurized secondary water to the subdivision (see **Exhibit C**).

As a condition of approval, unconditional final approval letters for a 3-lot subdivision will need to be provided by both West Warren-Warren Water Improvement District and Mountain View Irrigation.

Sanitary Sewage Disposal: Sanitary sewage will be accommodated by on-site waste water disposal systems (septic). The property underwent wastewater site and soils evaluation back in 1997 (see **Exhibit D**). Prior to final approval, the applicant will need to provide a current Feasibility Letter from the health department that references each of the 3 lots.

Review Agencies: To date, the Planning Division, Engineering Division, and Weber Fire District have reviewed the proposed subdivision. All review agency requirements including the surveyor's office must be addressed and completed prior to this subdivision being forwarded for final approval.

As a condition of final approval, the Engineering Division have requested to have the southern boundary of the subdivision fenced with a no-climb fence to protect the adjacent Weber River flood channel. This fence line is shown on the proposed plat document.

As a condition of final approval, the Fire Marshal has asked that there be no parking along at least one side of the access easement. Planning staff recommend that no-parking signs be installed along the no-climb fence that will be installed along the southern boundary line. The fire marshal has also indicated that fire hydrants will need to be installed at a spacing of no more than 500' apart. These hydrants will need to be installed or escrowed for prior the recording of the final plat mylar.

Tax Clearance: There are no outstanding tax payments related to the subject parcel.

Staff Recommendation

Staff recommends final approval of Warren Estates Subdivision. This recommendation is subject to all review agency requirements, and the following conditions:

1. Prior to final approval, the applicant will need to provide a current Feasibility Letter from the health department that references each of the 3 lots.
2. An improvement deferral agreement will need to be signed and recorded concurrently with the final plat mylar for curb, gutter, sidewalk, and asphalt for the subdivision's frontage with 5500 West.
3. Unconditional final approval letters will need to be provided by both West Warren-Warren Water Improvement District and Mountain View Irrigation for a 3lot subdivision prior to recording the final plat mylar.
4. A no-climb fence along the southern boundary of the subdivision to protect the adjacent Weber River flood channel will need to be installed or escrowed for prior to recording the final plat mylar.

This recommendation is based on the following findings:

1. The proposed subdivision conforms to the Western Weber General Plan
2. The proposed subdivision complies with applicable county ordinances

Exhibits

- A. Warren Estates Subdivision plat
- B. Culinary Water Will-Serve Letter
- C. Secondary Water Will-Serve Letter
- D. Septic Feasibility Documentation

Area Map



Exhibit A - Warren Estates Subdivision Plat

HEET 1 OF 1

WARREN ESTATES SUBDIVISION

PART OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, US SURVEY
WEBER COUNTY, UTAH
FEBRUARY, 2023



VICINITY MAP
SCALE: NONE

SOIL TEST PIT INFORMATION

EXPLANATION PIT #LOT 1 (LOT 12 AND 83 040801 E 456801 N)
 17-17" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE MEDIUM TO FINE
 17-44" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 37-44" S&T LOAM NEAR SLTY CLAY LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 100' PERCOLATION TEST HOLE IS AT 30 INCHES DEEP FROM THE ORIGINAL GRADE.

EXPLANATION PIT #LOT 2 (LOT 12 AND 83 040802 E 456804 N)
 15-23" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 23-40" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE, MOTTLES
 40-77" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE, MOTTLES
 100' PERCOLATION TEST HOLE IS AT 30 INCHES AND 54 INCHES DEEP FROM THE ORIGINAL GRADE.

EXPLANATION PIT #LOT 3 (LOT 12 AND 83 040803 E 456805 N)
 11-14" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 11-24" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 24-39" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 39-77" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 100' PERCOLATION TEST HOLE IS AT 18 INCHES AND 36 INCHES DEEP FROM THE ORIGINAL GRADE.

EXPLANATION PIT #LOT 4 (LOT 12 AND 83 040710 E 456801 N)
 10-10" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 10-34" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 34-60" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 60-80" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 100' PERCOLATION TEST HOLE IS AT 30 INCHES DEEP FROM THE ORIGINAL GRADE.

EXPLANATION PIT #LOT 5 (LOT 12 AND 83 040715 E 456804 N)
 10-10" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 10-34" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 34-60" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 60-80" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 100' PERCOLATION TEST HOLE IS AT 30 INCHES DEEP FROM THE ORIGINAL GRADE.

EXPLANATION PIT #LOT 6 (LOT 12 AND 83 040717 E 456804 N)
 10-10" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 10-34" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 34-60" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 60-80" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 100' PERCOLATION TEST HOLE IS AT 30 INCHES DEEP FROM THE ORIGINAL GRADE.

EXPLANATION PIT #LOT 7 (LOT 12 AND 83 040718 E 456804 N)
 10-10" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 10-34" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 34-60" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 60-80" S&T LOAM, MASSIVE STRUCTURE, SAND SIZE FINE
 100' PERCOLATION TEST HOLE IS AT 30 INCHES DEEP FROM THE ORIGINAL GRADE.

NARRATIVE

THE PURPOSE OF THIS PLAT IS TO DIVIDE THE BELOW DESCRIBED PROPERTY INTO LOTS AS SHOWN. ALL NEAR LOT CORNERS SET WITH A 5/8" X 3/4" IRON AND PLASTIC CAP CHANGED "AS IS" ACCORDING TO THE BOUNDARY BEG. ESTABLISHED ON THE NORTH BY INCLUDING THE SOUTHERLY LINE OF FENSTER FARM PHASE 1. IN THE BEST LINE WITH THE SOUTHERLY LINE OF WAY TO BE DEDICATED MATCHING FENSTER FARM PHASE 1.

BASIS OF BEARINGS

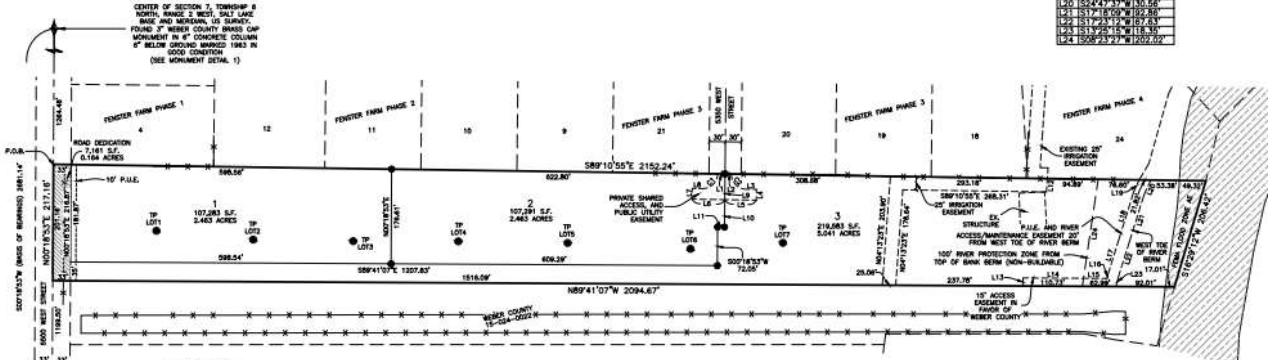
THE BASIS OF BEARINGS FOR THIS PLAT IS THE SECTION LINE BETWEEN THE CENTER OF SECTION 7 AND THE SOUTHWEST CORNER OF SECTION 7, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, SHOWN HEREON AS S007°18'57"W.

LINE TABLE

LINE NO.	BEARING	DISTANCE
1	S89°10'55"E	113.92'
2	S89°10'55"E	112.25'
3	S89°10'55"E	112.25'
4	S89°10'55"E	112.25'
5	S89°10'55"E	112.25'
6	S89°10'55"E	112.25'
7	S89°10'55"E	112.25'
8	S89°10'55"E	112.25'
9	S89°10'55"E	112.25'
10	S89°10'55"E	112.25'
11	S89°10'55"E	112.25'
12	S89°10'55"E	112.25'
13	S89°10'55"E	112.25'
14	S89°10'55"E	112.25'
15	S89°10'55"E	112.25'
16	S89°10'55"E	112.25'
17	S89°10'55"E	112.25'
18	S89°10'55"E	112.25'
19	S89°10'55"E	112.25'
20	S89°10'55"E	112.25'
21	S89°10'55"E	112.25'
22	S89°10'55"E	112.25'
23	S89°10'55"E	112.25'
24	S89°10'55"E	112.25'

BOUNDARY DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:
 BEARING AT A POINT ON THE SECTION LINE, SAID POINT BEING S007°18'57"W 1284.48 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 7; THENCE S89°10'55"E ALONG THE SOUTHERLY LINES OF FENSTER FARM PHASE 2 AND 3, 2152.24 FEET; THENCE S89°10'55"E 2152.24 FEET; THENCE N89°41'07"W 2094.67 FEET TO THE SECTION LINE; THENCE S007°18'57"W ALONG SAID SECTION LINE, 571.18 FEET TO THE POINT OF BEGINNING.
 CONTAINING 441.318 SQUARE FEET OR 10.131 ACRES MORE OR LESS.



LEGEND

- SECTION CORNER
- SET 5/8" X 3/4" IRON AND PLASTIC

AGRICULTURAL STATEMENT

"AGRICULTURE IS THE PREFERRED USE IN THE AGRICULTURAL ZONES. AGRICULTURAL OPERATIONS AS SPECIFIED IN THE ZONING ORDINANCE FOR A PARTICULAR ZONE ARE PERMITTED ON ANY TRACT WITHIN THE PERMITS OF A...

CURVE TABLE

LINE NO.	BEARING	DISTANCE
1	S89°10'55"E	113.92'
2	S89°10'55"E	112.25'
3	S89°10'55"E	112.25'
4	S89°10'55"E	112.25'
5	S89°10'55"E	112.25'
6	S89°10'55"E	112.25'
7	S89°10'55"E	112.25'
8	S89°10'55"E	112.25'
9	S89°10'55"E	112.25'
10	S89°10'55"E	112.25'
11	S89°10'55"E	112.25'
12	S89°10'55"E	112.25'
13	S89°10'55"E	112.25'
14	S89°10'55"E	112.25'
15	S89°10'55"E	112.25'
16	S89°10'55"E	112.25'
17	S89°10'55"E	112.25'
18	S89°10'55"E	112.25'
19	S89°10'55"E	112.25'
20	S89°10'55"E	112.25'
21	S89°10'55"E	112.25'
22	S89°10'55"E	112.25'
23	S89°10'55"E	112.25'
24	S89°10'55"E	112.25'

Exhibit B – Culinary Water Will-Serve Letter

West Warren-Warren Water Improvement District
1561 S. 7500 W.
Ogden, UT 84404
801-259-7614
westwarrenwtr@gmail.com

10/10/2022

To Whom It May Concern:

RE: CULINARY WATER WILL-SERVE LETTER FOR Warren Estates c/o Derrick Oman

This proposed development is located approximately 510 N. 5500 W. in Warren, UT, Weber County, Parcel #150-240-004 and consists of 7 lots. The West Warren-Warren Water Improvement District (hereafter the District) will supply culinary water to this proposed development.

Derrick Oman has presented the board with proof of secondary water from the Mountain View Irrigation and will have a pressurized system according to the District's standards. The board has voted and approved CULINARY WATER WILL-SERVE LETTER for the future use on said property, contingent upon the following conditions:

- The Capital Facilities Impact Fee and Connection fee Without Existing Service Lateral or Connection Fee With Existing Service Lateral, must be paid prior to installation of a meter and water connection lines and materials. Per the water district's contract with Weber Basin, no water can be delivered until all fees have been paid.
- All water lines, materials and installations must be done to the specification of the WWWWID board, and must be inspected by the board chairman, or his designee, along with any necessary bacterial testing required by the state.
- A deposit of \$100.00 for metered water to be used during construction, must be paid prior to the commencement of construction.

Should you have clerical questions or comments, please contact the district clerk. Please direct questions regarding water systems, materials, etc., to (801-791-7368) Randy Giordano, Chairman of the WWWWID Board. This letter expires 1 year from the day it is issued.

Sincerely,



Melissa Murray, Clerk
West Warren-Warren Water Improvement District

Exhibit C – Secondary Water Will-Serve Letter

MT VIEW IRRIGATION

5238 W 2150 N

OGDEN, UT 84404

11-8-2022

To: Whom it May Concern

Re: Warren Estates Subdivision

Dear Sirs,

Mt. View Irrigation has the capacity to serve secondary water to the 7 lot Warren Estates Subdivision. The owner of the subdivision has completed the development agreement, which includes a provision to provide the needed water shares to supply the project and approval of plans for the pipelines and laterals. Before final approval and building permits can be issued, the improvements must be installed, inspected and approved by Mt View Irrigation, as-built plans must be submitted and any notices required are to be filed with the County Recorder. Upon completion of these items, Mt. View Irrigation will deliver pressurized secondary water to the project. Please note that proof of payment of the secondary water connection fee is to be submitted before a building permit is issued. Each lot owner will become shareholders in the company and will be bound by its By-laws

Signed



Kami Marriott

Secretary

Exhibit D – Septic Feasibility Documentation

December 1, 2021

Derrick Oman
1990 N 2000 W
Farr West, Utah 84404

RE: Wastewater Site and Soils Evaluation #15306
510 N 5500 W Warren, UT
Parcel # 15-024-0004

An evaluation of the site and soils at the above-referenced address was completed by staff of this office on December 1, 2021. The exploration pit(s) is located at the referenced GPS coordinate and datum. The soil texture and structure, as classified using the USDA system, are as follows:

Exploration Pit #Lot 1 (UTM Zone 12 Nad 83 0406831 E 4569091 N)
0-22" Loam, Granular Structure, sand size medium to fine
22-37" Clay Loam, Massive Structure, sand size fine,
37-64" Silt Loam (near silty clay loam), Massive Structure, sand size fine,
Groundwater Encountered at time of soil evaluation at 58" below grade

Lot 1: Conduct the required percolation test so that the bottom of the percolation test hole is at 30 inches deep from the original grade.

Exploration Pit #Lot 2 (UTM Zone 12 Nad 83 0406886 E 4569086 N)
0-15" Loam, Granular Structure, sand size medium to fine
15-23" Fine Sandy Loam, Massive Structure, sand size fine, dense, Mottles common below 19"
23-40" Silt Loam (near silty clay loam), Massive Structure, sand size fine, Mottles common
40-72" Clay Loam, Massive Structure, sand size fine, Mottles common

Lot 2: Conduct the required percolation test so that the bottom of the percolation test hole is at 30 inches and 46 inches deep from the original grade.

Exploration Pit #Lot 3 (UTM Zone 12 Nad 83 0406943 E 4569085 N)
0-11" Silt Loam, Granular Structure, sand size fine
11-26" Silt Clay Loam, Massive Structure, sand size very fine
26-79" Silt Clay, Massive Structure, sand size very fine
Groundwater Encountered at time of soil evaluation at 79" below grade

Lot 3: Conduct the required percolation test so that the bottom of the percolation test hole is at 18 inches and 36 inches deep from the original grade.

Exploration Pit #Lot 4 (UTM Zone 12 Nad 83 0406831 E 4569091 N)
0-15" Loam, Granular Structure, sand size medium to fine
15-49" Silty Clay Loam, Massive Structure, sand size fine, Mottles few below 46 inches, perc?
49-77" Fine Sandy Loam, Massive Structure, sand size fine, Mottles common perc.

Lot 4: Conduct the required percolation test so that the bottom of the percolation test hole is at 28 inches deep from the original grade.

Exploration Pit #Lot 5 (UTM Zone 12 Nad 83 0407065 E 4569084 N)
0-17" Fine Sandy Loam (near sandy clay loam), Granular Structure, sand size fine, dense
17-48" Silt Clay Loam, Massive Structure, sand size fine, Mottles common
48-62" Clay Loam, Massive Structure, sand size fine, Mottles common

Lot 5: Conduct the required percolation test so that the bottom of the percolation test hole is at 30 inches deep from the original grade.

Exploration Pit #Lot 6 (UTM Zone 12 Nad 83 0407135 E 4569081 N)

0-10" Loam, Granular Structure, sand size medium to fine

10-30" Clay Loam, Massive Structure, sand size fine

30-52" Silty Loam (near silty clay loam), Massive Structure, sand size fine, Mottles common

52-65" Fine Sandy Loam, Massive Structure, sand size fine, Mottles common

Lot 6: Conduct the required percolation test so that the bottom of the percolation test hole is at 24 inches deep from the original grade.

Exploration Pit #Lot 7 (UTM Zone 12 Nad 83 0407187 E 4569084 N)

0-13" Loam, Granular Structure

13-42" Silt Clay Loam, Massive Structure, sand size fine, Mottles common

42-61" Clay Loam, Massive Structure, very fine sands and high silt content

Lot:7 Conduct the required percolation test so that the bottom of the percolation test hole is at 30 inches deep from the original grade.

Exploration pits should be backfilled immediately upon completion to prevent a hazardous environment that may cause death or injury to people or animals.

Due to the soil types existing on this property, the final readings of the **percolation tests will need to be witnessed by a representative from the Health Department**. Please make the percolation tester aware of the requirement so that arrangements can be made. Test results will not be accepted if this requirement is not met.

Percolation tests may be completed by any individual on the enclosed list. The stabilized percolation test results are to be submitted to this office for review prior to the recommendation for further development to the appropriate planning agency or prior to the issuance of a wastewater disposal permit.

Monitoring of the maximum ground water table is required in the location of the above listed exploration pits. Please complete the enclosed application for maximum ground water table monitoring and return it along with the appropriate fees. The wells should be constructed in accordance with the enclosed diagram in order to provide the most accurate water table readings possible.

If you have any further questions, contact this office at your convenience.

Sincerely,

Summer Day, LEHS III, Program Manager
Environmental Health Division
801-399-7160

WEBER-MORGAN DISTRICT HEALTH DEPARTMENT
DIVISION OF ENVIRONMENTAL HEALTH
2570 Grant Ave., Ogden, Utah 84401 399-8381

APPLICATION FOR INDIVIDUAL WASTEWATER SITE AND SOILS EVALUATION

Fee Paid ~~0000~~ 75.00 Fee Owing _____ Date of Soil Log _____ Soil Log No. 1406

Site Address Approx 550 N 5500w East Side Land Serial No. _____

Subdivision _____ Lot No. _____

Owner Dax Kelson Phone H 294-4012
W 364 4071

Mailing Address 116 N Main North Salt City 84054

Water Supply Taylor West Water Proposed No. Bedrooms 3

Completed evaluation is to be [] mailed [] held for pick-up left on site.

A \$25 fee is required for each on-site evaluation and includes one one test pit evaluation. Each additional test pit evaluation per site visit is \$10.

*Hole dug on Oct 12 (Sunday)
Hopefully check on Oct 13 or 14 MAP on back*

Signature Roger Wilder Date Oct 3, 97

SOIL PROFILE

SITE EVALUATION

Date _____ By _____

Depth of Test Hole _____

Depth of Perc Test _____

Observed Water Table _____

Monitoring Well Required () yes () no

Site Conditions _____

Dorothy Mitchell
5500w.

0-32 Silty Sand
32-64 Sandy silt
64-80 Sand (med)

10-15-97 Hole Dry
& 80"

Well in place 5' deep

Hole 150' WEST OF RIVER
Perk at 36"

Health Dept

Roger Wilde
2396 West 5650 South
Roy, Utah 84067
(801)773-2257

Randy Wilde
227 South 500 West
Brigham City, Utah 84302
(435)723-0891

Percolation Test and Soil Exploration Results

Name of Developer / Development Dorothy Mitchel/ Kelson Date 1016-97

Developers Address 302 S. 5900 W. Warren Phone Number 731-6655

Location of Property Approx 550 N. 5500 W. (road north of slugh)

Name of Person(s) Performing Test(s) Roger Wilde

Test Hole # 1 Total Depth 42" Period of Time 21hrs Depth to Water 6' +
No. Of Hole Hole Saturated Table

INITIAL DEPTH TO WATER	TIME BEGAN	FINAL DEPTH TO WATER	TIME ENDED	DISTANCE WATER DROPPED	ELAPSED TIME IN MINUTES	PERCOLATION RATE IN MINUTES/INCH
8 1/2"	2:05pm	10 1/4"	2:15	1 3/4"	10	
8 1/2"	2:15	9 7/8"	2:25	1 3/8"	10	
8 1/2"	2:25	9 3/4"	2:35	1 1/4"	10	
8 1/2"	2:35	9 1/2"	2:45	1"	10	
8 1/2"	2:45	9 1/2"	2:55	1"	10	
8 1/2"	2:55	9 1/2"	3:05	1"	10	10 MPI

COMMENTS

Test pit and perc located at rear of property, approx 700 feet from road (5500 W.).

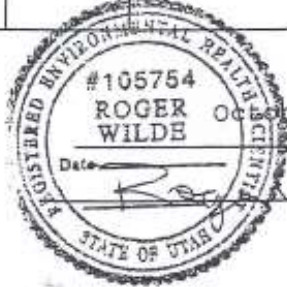
No water in test pit, 6' deep.

Soil damp below 32" on sidewalls.

Test Hole No. Total Depth of Hole Period of Time Hole Saturated Depth to Water Table

INITIAL DEPTH TO WATER	TIME BEGAN	FINAL DEPTH TO WATER	TIME ENDED	DISTANCE WATER DROPPED	ELAPSED TIME IN MINUTES	PERCOLATION RATES IN MINUTES/INCH

I certify that percolation tests have been conducted on the above property in accordance with requirements specified in the Code of Waste Disposal Regulations, Parts IV and V, adopted by the Utah State Board of Health and the Utah Water Pollution Control Board, and that, to the best of my knowledge, the foregoing information is true and correct.



Date October 16, 1997
SIGNED Roger Wilde, EHS

1996

Gave to me By ROGER WILDE - 773-2257

NAME	ADDRESS					2/20	2/22	2/23	2/27	3/6	3/11	3/14
M. PARKER	400 N 6700 W					41"	12"	10"	8"	13"	22"	16"
GAGE/GFA	300 N 6700 W (N) 1					2"	1"	2"	2"	1"	2"	0"
	2					5"	10"	12"	13"	15"	18"	11"
	3					15"	15"	14"	17"	21"	28"	17"
	4					36"	19.5	16"	16"	21"	27"	16"
	(S) 5					23"	13.5	12"	9"	13"	23"	10"
MIVAS	300 S 6700 W								15"	19"	21"	18.5"
PILARCZK.	700 S 7500 W								>42"	39" 3/7 40"	39" -	40"
HANSEN	1010 S 7500 W								1/2"	3/7 20"	3"	0"
D. MITCHL.	300 N 5555 W								3/5 5"	3/7 6.5"	13"	
G Joints?	350 N 5555 W									3"	11"	
PENMAN	800 N 4700W (E)					44"			37"	>40"	>39"	
	(W)					45"			36"	39"	43"	
M. STOREY	1000 N 4500W (E)							>61"	>71"	3/5 >56"	>59"	
	(C)							>60"	>66"	3/5 >64"	>64"	
	(W)							>60"	>63"	>60"	>59"	
	780 N 4400 W					42"		24"	19"	17"	22"	
MCQUENN	800 N 4400 W								34"	19"	22"	