

WESTERN WEBER PLANNING COMMISSION MEETING

MEETING AGENDA

November 15, 2022

Pre-meeting 4:30/Regular meeting 5:00 p.m.

- ***Pledge of Allegiance***
- ***Roll Call:***

1. Minutes: November 1, 2022

2. Consent Items:

2.1 DR 2022-03 – Request for approval of a design review application, for an office warehouse project, located at approximately 2167 Rulon White Blvd., in the M-1 zone. **Planner Tammy Aydelotte**

Petitions, Applications, and Public Hearings:

3. Administrative items:

3.1 DR 2022-04 - Consideration and action on a design review for a 50,000-square-foot building with employee parking around the perimeter, located at 791 S 9350 W, Ogden, UT. **Planner Felix Lleverino**

4. Public Comment for Items not on the Agenda:

5. Remarks from Planning Commissioners:

6. Planning Director Report:

7. Remarks from Legal Counsel

Adjourn to Work Session

WS1 Work session regarding Halcyon Estates Open Space - Keith Ward and Tylor Brenchley

WS2 Discussion Regarding Black Pine Zoning Map Amendment

WS3 Discussion of Terakee Village Rezone

WS4 Discussion of General Plan Priorities

The regular meeting will be held in the Weber County Commission Chambers, in the Weber Center, 1st Floor, 2380 Washington Blvd., Ogden, Utah.

Public comment may not be heard during administrative items. Please contact the Planning Division Project Manager at 801-399-8374 before the meeting if you have questions or comments regarding an item.

A Pre-Meeting will be held at 4:30 p.m. The agenda for the pre-meeting consists of discussion of the same items listed above, on the agenda for the meeting. No decisions are made in the pre-meeting, but it is an open public meeting.

In compliance with the Americans with Disabilities Act, persons needing auxiliary services for these meetings should call the Weber County Planning Commission at 801-399-8374

Meeting Procedures

Outline of Meeting Procedures:

- ❖ The Chair will call the meeting to order, read the opening meeting statement, and then introduce the item.
- ❖ The typical order is for consent items, old business, and then any new business.
- ❖ Please respect the right of other participants to see, hear, and fully participate in the proceedings. In this regard, anyone who becomes disruptive, or refuses to follow the outlined procedures, is subject to removal from the meeting.

Role of Staff:

- ❖ Staff will review the staff report, address the approval criteria, and give a recommendation on the application.
- ❖ The Staff recommendation is based on conformance to the general plan and meeting the ordinance approval criteria.

Role of the Applicant:

- ❖ The applicant will outline the nature of the request and present supporting evidence.
- ❖ The applicant will address any questions the Planning Commission may have.

Role of the Planning Commission:

- ❖ To judge applications based upon the ordinance criteria, not emotions.
- ❖ The Planning Commission's decision is based upon making findings consistent with the ordinance criteria.

Public Comment:

- ❖ The meeting will then be open for either public hearing or comment. Persons in support of and in opposition to the application or item for discussion will provide input and comments.
- ❖ The commission may impose time limits for comment to facilitate the business of the Planning Commission.

Planning Commission Action:

- ❖ The Chair will then close the agenda item from any further public comments. Staff is asked if they have further comments or recommendations.
- ❖ A Planning Commissioner makes a motion and second, then the Planning Commission deliberates the issue. The Planning Commission may ask questions for further clarification.
- ❖ The Chair then calls for a vote and announces the decision.

Commenting at Public Meetings and Public Hearings

Public comment may NOT be heard during Administrative items, the Planning Division Project Manager may be reached at 801-399-8371 before the meeting if you have questions or comments regarding an item.

Address the Decision Makers:

- ❖ When commenting please step to the podium and state your name and address.
- ❖ Please speak into the microphone as the proceedings are being recorded and will be transcribed to written minutes.
- ❖ All comments must be directed toward the matter at hand.
- ❖ All questions must be directed to the Planning Commission.
- ❖ The Planning Commission is grateful and appreciative when comments are pertinent, well organized, and directed specifically to the matter at hand.

Speak to the Point:

- ❖ Do your homework. Obtain the criteria upon which the Planning Commission will base their decision. Know the facts. Don't rely on hearsay and rumor.
- ❖ The application is available for review in the Planning Division office.
- ❖ Speak to the criteria outlined in the ordinances.
- ❖ Don't repeat information that has already been given. If you agree with previous comments, then state that you agree with that comment.
- ❖ Support your arguments with relevant facts and figures.
- ❖ Data should never be distorted to suit your argument; credibility and accuracy are important assets.
- ❖ State your position and your recommendations.

Handouts:

- ❖ Written statements should be accurate and either typed or neatly handwritten with enough copies (10) for the Planning Commission, Staff, and the recorder of the minutes.
- ❖ Handouts and pictures presented as part of the record shall be left with the Planning Commission.

Remember Your Objective:

- ❖ Keep your emotions under control, be polite, and be respectful.
- ❖ It does not do your cause any good to anger, alienate, or antagonize the group you are standing in front of.

November 1-2022 Minutes

Minutes for Western Weber Planning Commission meeting of November 1, 2022, held in the Weber County Commission Chamber, 2380 Washington Blvd. Floor 1 Ogden UT at 5:00 pm.

Members Present: Andrew Favero—Chair
Cami Clontz
Casey Neville
Sarah Wichern
Wayne Andreotti

Excused: Bren Edwards
Jed McCormick

Pledge of Allegiance

Staff Present: Rick Grover, Director; Charlie Ewert, Principal Planner; Bill Cobabe, Planner; June Nelson, Secretary

1. Training-Making Motions: Liam Keogh

2. Minutes: October 18, 2022 Approved

3. Public Comment for Items not on the Agenda: None

4. Remarks from Planning Commissioners: Several of the Commissioners spoke about the Land Use Conference that they just attended. They received lots of good information about affordable housing, water and other land use issues. It is also good to get the views from other parts of the state.

5. Planning Director Report: None

6. Remarks from Legal Counsel: None

Adjourn to Work Session

WS1: Discussion Regarding Moderate Income Housing: **Planner Bill Cobabe**

WS2: Discussion Regarding Western Weber General Plan Priorities: **Planner Charlie Ewert**

Adjourn

Respectfully Submitted,

June Nelson

Lead Office Specialist



Staff Report to the Western Weber Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Request for approval on a design review application for Jeffrey Leeper, located at 2167 Rulon White Blvd., Ogden, UT.

Agenda Date: Tuesday, November 15, 2022

Applicant: Jeffrey Leeper, Owner

File Number: DR 2022-03

Property Information

Approximate Address: 2167 N. Rulon White Blvd., Ogden, UT 84404

Project Area: 3.09 acres

Zoning: Manufacturing Zone (M-1)

Existing Land Use: Commercial/Manufacturing

Proposed Land Use: Commercial/Manufacturing

Parcel ID: 19-065-0016

Township, Range, Section: T7N, R2W, Section 36 SE

Adjacent Land Use

North: Commercial	South: Gun Range
East: Rulon White Blvd.	West: Tesoro Logistics Northwest Pipeline LLC

Staff Information

Report Presenter: **Tammy Aydelotte**
taydelotte@co.weber.ut.us
801-399-8794

Report Reviewer: SB

Applicable Ordinances

- Weber County Land Use Code Title 101 Chapter 1 General Provisions, Section 7 Definitions
- Weber County Land Use Code Title 104 Chapter 22 (M-1 Zone)
- Weber County Land Use Code Title 108 Chapter 1 (Design Review)
- Weber County Land Use Code Title 108 Chapter 7 (Parking Lot Design and Maintenance)

Summary and Background

The applicant is requesting approval of a design review for Jeffrey Leeper, to add 48,000 square feet of warehouse office space to a vacant lot in a new subdivision, located in the M-1 zone at 2458 N Rulon White Blvd, Ogden, UT, 84404.

The application is being processed as an administrative review due to the approval procedures in Uniform Land Use Code of Weber County, Utah (LUC) §108-1-2 which requires the planning commission to review and approve applications for conditional use permits and design reviews.

Analysis

General Plan: The proposal conforms to the Weber County Land Use Code, as warehousing is a permitted use in the M-1 zone.

Zoning: The subject property is located within the Manufacturing (M-1) Zone. The purpose of the M-1 Zone can be further described in LUC §104-22-1 as follows:

The purpose of the light manufacturing zone is to provide suitable areas that will accommodate the need for light intensity type manufacturing and its associated accessory uses, some of which may have an environmental impact requiring public review and regulation.

- (c) The applicable standards are as follows:

- Minimum front yard setback: 30 feet
- Minimum side yard setback: None, except 20 feet where a building is adjacent to a residential zone, or for a side yard on a corner lot.
- Minimum rear yard setback: None, except 20 feet where a building rear on a residential zone.
- Maximum building height: None
- Maximum lot coverage: 80% of lot area by buildings

Design Review: The M-1 zone and the proposed use mandate a design review as outlined in LUC §108-1 to ensure that the general design, layout and appearance of the building remains orderly and harmonious with the surrounding neighborhood. As part of this review, the Planning Commission shall consider the applicable matters based on the proposed use and impose conditions to mitigate deficiencies where the plan is found deficient. The matters for consideration are as follows:

Considerations relating to traffic safety and traffic congestion: The proposal includes a site plan that identifies the location of the proposed warehouse office space, as well as the plan to continue the traffic pattern from the east lot that fronts on Rulon White Blvd.

Access to the proposed area will not change from the current access off of Rulon White Blvd (see exhibit B). Staff feels that the proposed parking is adequate for the proposed warehouse office space.

Considerations relating to landscaping. As a condition of approval, the applicant will need to submit a landscaping plan that meets the minimum requirements of Weber County LUC 108-1-4(c), as well as a more detailed site plan.

Considerations relating to buildings and site layout. The proposal meets site development standards of the M-1 Zone. The applicant has proposed 21,300 square feet of warehouse office space. The setbacks can be met, and a more detailed site plan will be required, as well as subdivision approval obtained, before written approval of this design review can be issued.

Considerations relating to utility easements, drainage, and other engineering questions. The applicant will need to adhere to all conditions of the Engineering Division including but not limited to recommendations regarding retention ponds and a SWPP. There is a 30' access and utility easement along the northern lot boundary, and a 36' access and utility easement along the western lot boundary.

Considerations relating to prior development concept plan approval associated with any rezoning agreement, planned commercial or manufacturing rezoning, or planned residential unit development approval. The proposed site does not have any type of development agreement associated with the property; therefore considerations pertaining to this portion of the code are not applicable at this time.

Review Agencies: To date, the design review has been reviewed, but not yet approved by the Weber Fire District, and County Engineering. Weber County Planning is recommending conditional approval. All review agency requirements must be addressed and completed prior to the written approval of the design review being issued.

Tax Clearance: 2021 and 2022 property taxes are paid in full.

Staff Recommendation

Staff recommends approval of the Jeffrey Leeper Design Review Application. This recommendation is conditioned upon all review agency requirements, and the following conditions:

1. A detailed landscaping plan, that meets minimum requirements of Weber County LUC 108-1-4(c).
2. Any signage will need to be approved by Weber County Planning and Engineering, prior to implementation/installation.
3. Written approval of this design review application will be issued once subdivision approval has been issued by Weber County.

This recommendation is based on the following findings:

Exhibits

- A. Application
- B. Site Plan, Landscaping Plan & Elevations

Map 1



Exhibit A - Application

Leeper-Jeffrey-Design Reviews

[+ Add Follower](#) [Change Status](#)

Address: 2167 Rulon White Blvd., Ogden, UT, 84404
Maps: [County Map](#), [Google Maps](#)
Project Type: Design Reviews
Sub Type: Design Reviews
Created By: [Jeffrey Leeper](#)
Created On: 9/20/2022
Project Status: Accepted
Status Date: 9/22/2022
File Number: DR 2022-03
Project Manager

[Application](#) [Documents](#) **6** [Comments](#) **2** [Reviews](#) **3** [Followers](#) **5** [History](#) [Payments](#) **1**

Application

[+ Add Building](#) [+ Add Parcel](#) [+ Add a Contractor](#) [Edit Application](#)

Project Description New 21,300 SF Industrial Building

Property Address 2167 Rulon White Blvd.
Ogden, UT, 84404

Property Owner Jeffrey Leeper
949-922-1669
jeff@bv-am.com

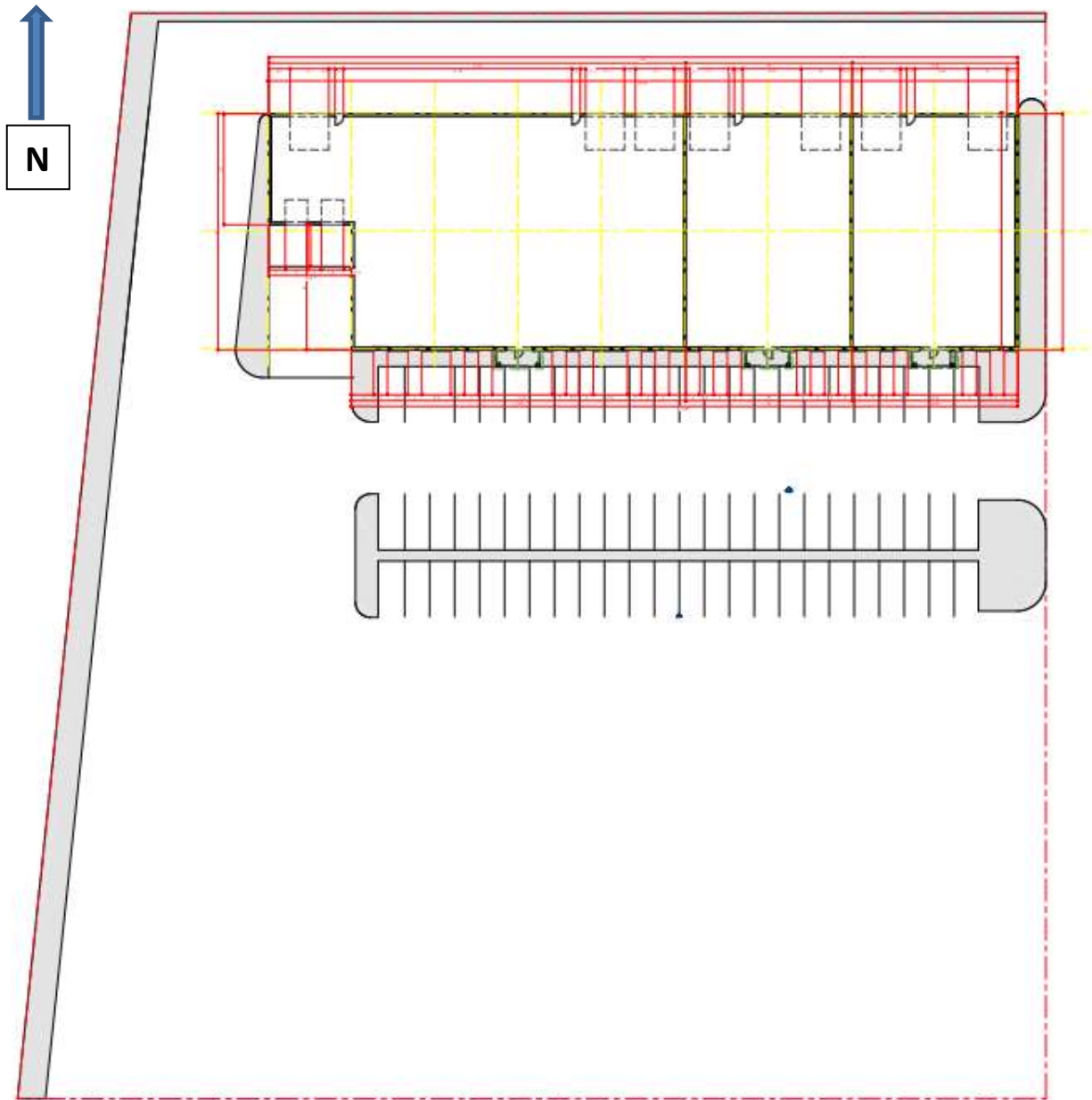
Representative --

Accessory Dwelling Unit False
Current Zoning M-1
Subdivision Name JNL Business Park
Number of Lots
Lot Number 1
Lot Size 60000 SF
Frontage 0
Culinary Water Authority Bona Vista Water Improvement District
Secondary Water Provider Pineview Water
Sanitary Sewer Authority Central Weber Sewer
Nearest Hydrant Address 2147 Rulon White Blvd.
Signed By Owner, Jeffrey A. Leeper

Parcel Number

[✖ Remove](#) [190650016](#) - [County Map](#)

Exhibit B – Site Plan & Elevations





FRONT ELEVATION VIEW



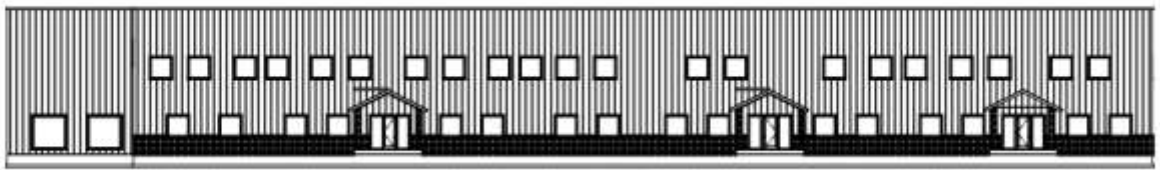
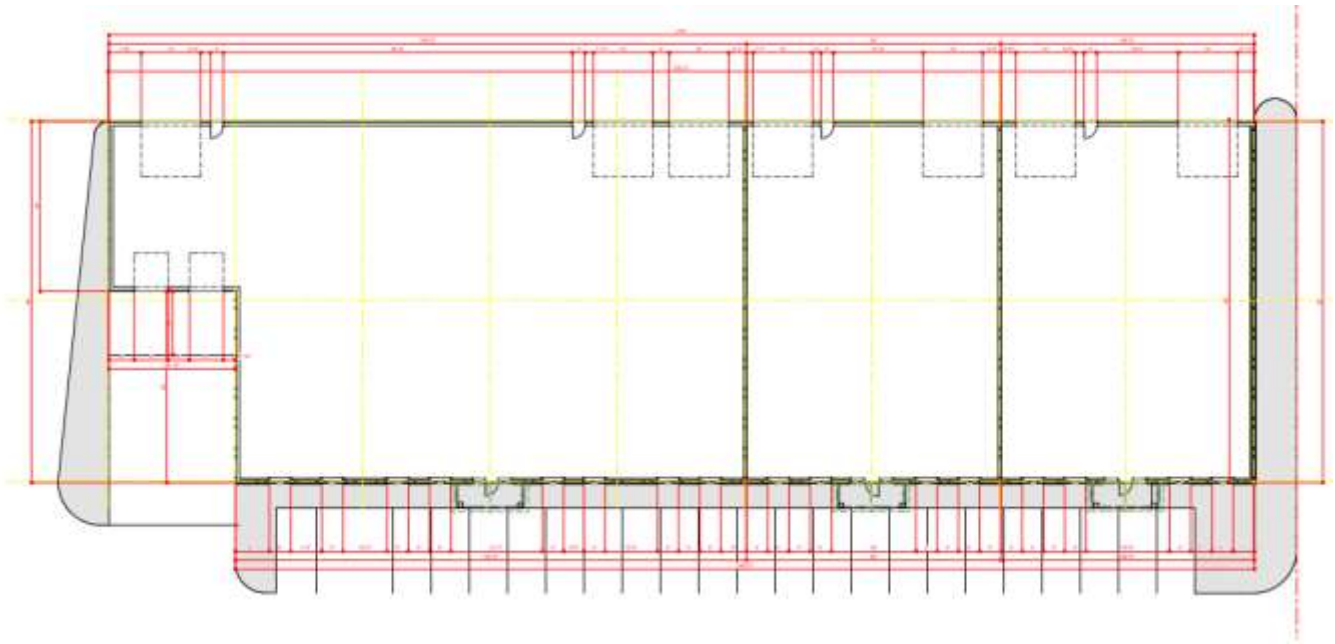
LEFT ELEVATION VIEW



RIGHT ELEVATION VIEW



REAR ELEVATION VIEW



Elevation 2



Design Review Staff Report for Administrative Approval

Weber County Planning Division

Synopsis

Application Information

Application Request:	Consideration and action on a design review for a 50,000-square-foot building with employee parking around the perimeter, located at 791 S 9350 W, Ogden.
Agenda Date	November 15 th , 2022
Type of Decision:	Administrative
Applicant:	Ryan Brown (Owner)
Authorized Agent:	Chadwick Spencer
File Number:	DR 2022-04

Property Information

Approximate Address:	791 S 9300 W, Ogden, UT, 84404
Project Area:	50,000 sq. ft. on a 36.81-acre parcel
Zoning:	Manufacturing (M-3)
Existing Land Use:	Manufacturing
Proposed Land Use:	Manufacturing
Parcel ID:	10-038-0017
Township, Range, Section:	Township 6 North, Range 3 West, Section 17

Adjacent Land Use

North:	Vacant	South:	900 South Street
East:	9350 West Street	West:	Vacant

Staff Information

Report Presenter:	Felix Lleverino flleverino@webercountyutah.gov
Report Reviewer:	SB

Applicable Ordinances

- Title 104, Chapter 25 Manufacturing Zone (M-3)
- Title 108, Chapter 1 Design Review, Application and Review
- Title 108, Chapter 7 Supplementary and Qualifying Regulations

Summary and Background

The applicant is proposing a manufacturing building that will be available to tenants who may conduct a wide range of business activities within. New development on the site is in addition to the two businesses that are already in place. Harvest and Pinnacle Manufacturing are currently operating under legitimate approvals from the Weber County Business licensing and the Planning Division. Site preparation includes the construction of a 50,000-square-foot insulated metal building, a new compacted gravel access point from 9350 W Street, new storm water detention facilities, and a compacted gravel parking area (see Exhibit A). The proposed application has been reviewed against certain standards in the Uniform Land Use Code of Weber County, Utah (LUC), and meets these standards. The following is the staff's evaluation of the request.

Analysis

General Plan: The proposed use conforms to the Western Weber General Plan by encouraging commercial development within established commercial areas and enforcing the adopted “quality development standards” to ensure compatibility with surrounding development.

Design Review: The manufacturing zone mandates a design review as outlined in LUC §108-1 to ensure that the general design, layout, and appearance of the building remain orderly and harmonious with the surrounding neighborhood. Certain areas of the design review are only applicable to the current amendment application, such as the signage, landscaping, and site layout. As part of this review, consideration has taken into account the applicable matters based on the proposed amendment and imposed conditions to mitigate deficiencies. The matters for consideration are as follows:

Considerations related to safety and traffic congestion: There will be two access points available. One existing asphalt access from 900 South, and a new compacted gravel access point from 9350 West.

Consideration related to outdoor advertising: The owners do not intend to have any business signage onsite. At the time when a business occupies the space, each business is required to obtain a land use permit for the building and the outdoor advertising.

Consideration related to landscaping: Landscaping shall consist of xeriscape products, which are a mix of rock, bark, and full sun hardy plantings that are fed by an automatic drip irrigation system. Desert landscaping is preferable due to the site conditions that make it difficult to maintain live plants. Landscape development of 10,000 square feet exceeds the minimum 10% required by code § 108-2-5.

Considerations relating to buildings and site layout. The proposal includes the construction of a 50,000-square-foot building to provide space for various industrial and manufacturing businesses. The proposal matches the architecture and appearance of the existing buildings on the same parcel. Minimum yard setbacks for the M-3 zone and the Western Weber Transportation plan are satisfied.

Consideration relating to utility easements, drainage, and engineering questions: Storm water will be managed by a retention pond located to the north of the building

Staff Recommendation

The Planning Division recommends approval of file# DR2022-04, design review for the Ryan Brown industrial building. This recommendation is subject to all review agency requirements and the following conditions:

1. If signage is used, all signage must comply with LUC 110-1-7 Sign/Zone regulations for the M-3 zone.
2. Landscaping shall be complete before the issuance of the land use permit.
3. Building tenants shall obtain the appropriate review, permits, and licenses from Weber County before business operations may begin.
4. Requirements from the Weber Fire District are satisfied before the issuance of a land use permit.
5. Requirements from the Weber County Engineering Department are satisfied before final occupancy is given.

This recommendation for approval is based on the following findings:

1. The proposed use conforms to the Western Weber General Plan.
2. The proposal, if conditions are imposed, will not be detrimental to public health, safety, or welfare.
3. The proposal, if conditions are imposed, will comply with applicable County ordinances.
4. The proposed design implements quality development standards and will not deteriorate the environment of the general area to negatively impact surrounding properties and uses.

Exhibits

- A. Building Site Plan
- B. Landscape plan
- C. Building plans

Map 1



811
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK
NORTH QUARTER CORNER OF SECTION 20,
TOWNSHIP 6 NORTH, RANGE 3 WEST
SALT LAKE BASE AND MERIDIAN
ELEV = 4220.00'

Exhibit A

- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 EXISTING ASPHALT
 - 2 INSTALL ASPHALT PER DETAIL 7/C-400.
 - 3 MATCH EXISTING IMPROVEMENTS
 - 4 INSTALL COMPACTED GRAVEL PER DETAIL 9/C-400
 - 5 EXISTING POWER POLE
 - 6 EXISTING OVERHEAD POWER LINE
 - 7 INSTALL 6" SIDEWALK PER DETAIL 6/C-400
 - 8 INSTALL CONCRETE PAVEMENT PER DETAIL 8/C-400
 - 9 NOT USED
 - 10 INSTALL FIRE HYDRANT WITH VALVE COMPLETE PER WEBER COUNTY STANDARDS AND SPECIFICATIONS

- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
 4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
 5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOO, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
 6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
 7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
 8. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 9. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
 10. ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
 11. ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
 12. DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 13. PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
 14. THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
 15. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
 16. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 17. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

EN SIGN
THE STANDARD IN ENGINEERING

LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SALT LAKE CITY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

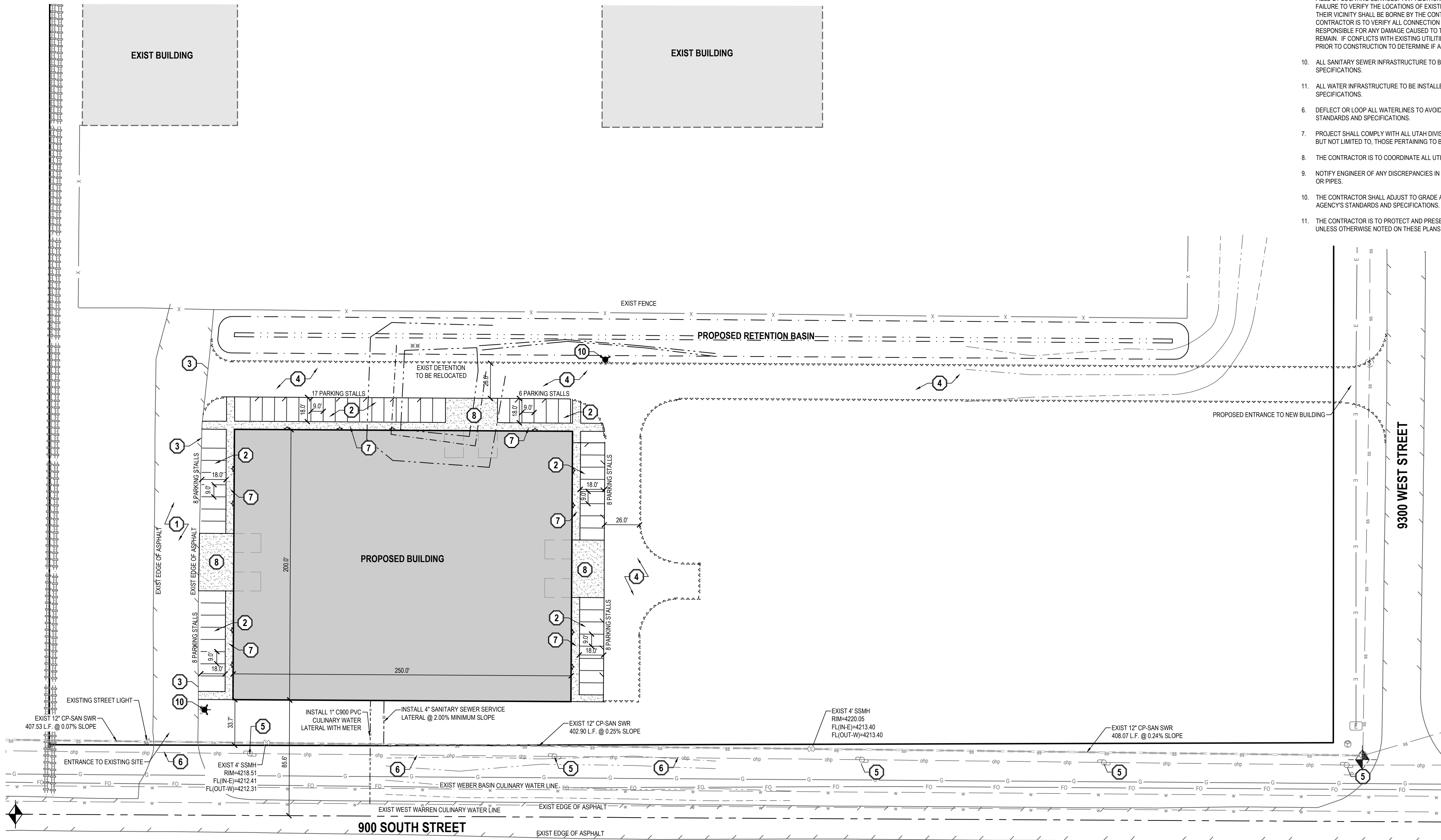
CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
KHR HOLDINGS, LLC
8488 STATE STREET
MIDVALE, UTAH 84047

CONTACT:
RYAN BROWN
PHONE: 801-514-6406



KHR SITE DEVELOPMENT

9350 WEST 791 SOUTH

WEST WEBER COUNTY, UTAH



NO.	DATE	REVISION	BY
1		FOR REVIEW	
2			
3			
4			
5			
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7			
8			

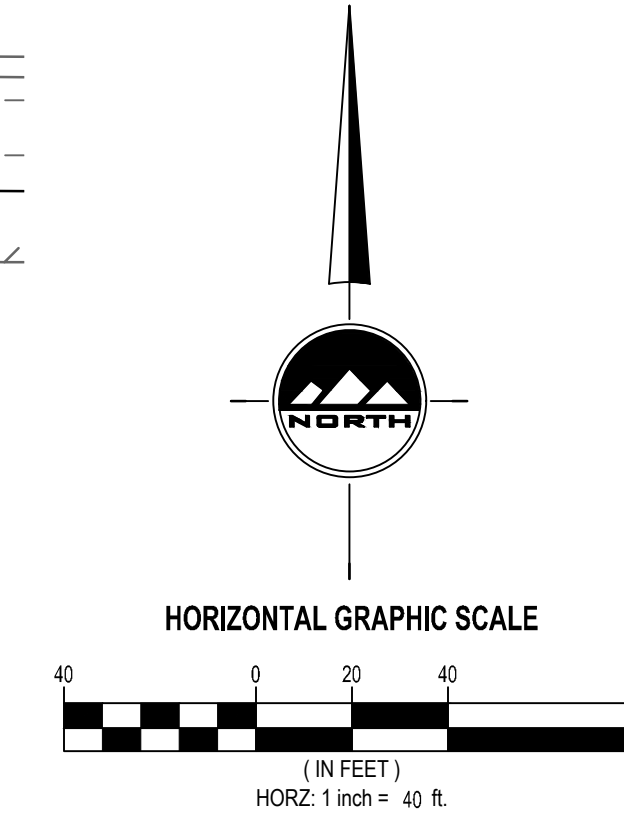
SITE AND UTILITY PLAN

PROJECT NUMBER: 11590
PRINT DATE: 10/11/22

DRAWN BY: J.MOSS
CHECKED BY: I.BUCKLEY

PROJECT MANAGER: C.PRESTON

C-100





BENCHMARK
 NORTH QUARTER CORNER OF SECTION 20,
 TOWNSHIP 6 NORTH, RANGE 3 WEST,
 SALT LAKE BASE AND MERIDIAN
 ELEV = 4220.00'

Exhibit B



LAYTON
 919 North 400 West
 Layton, UT 84041
 Phone: 801.547.1100

SALT LAKE CITY
 Phone: 801.255.0529

TOOELE
 Phone: 435.843.3590

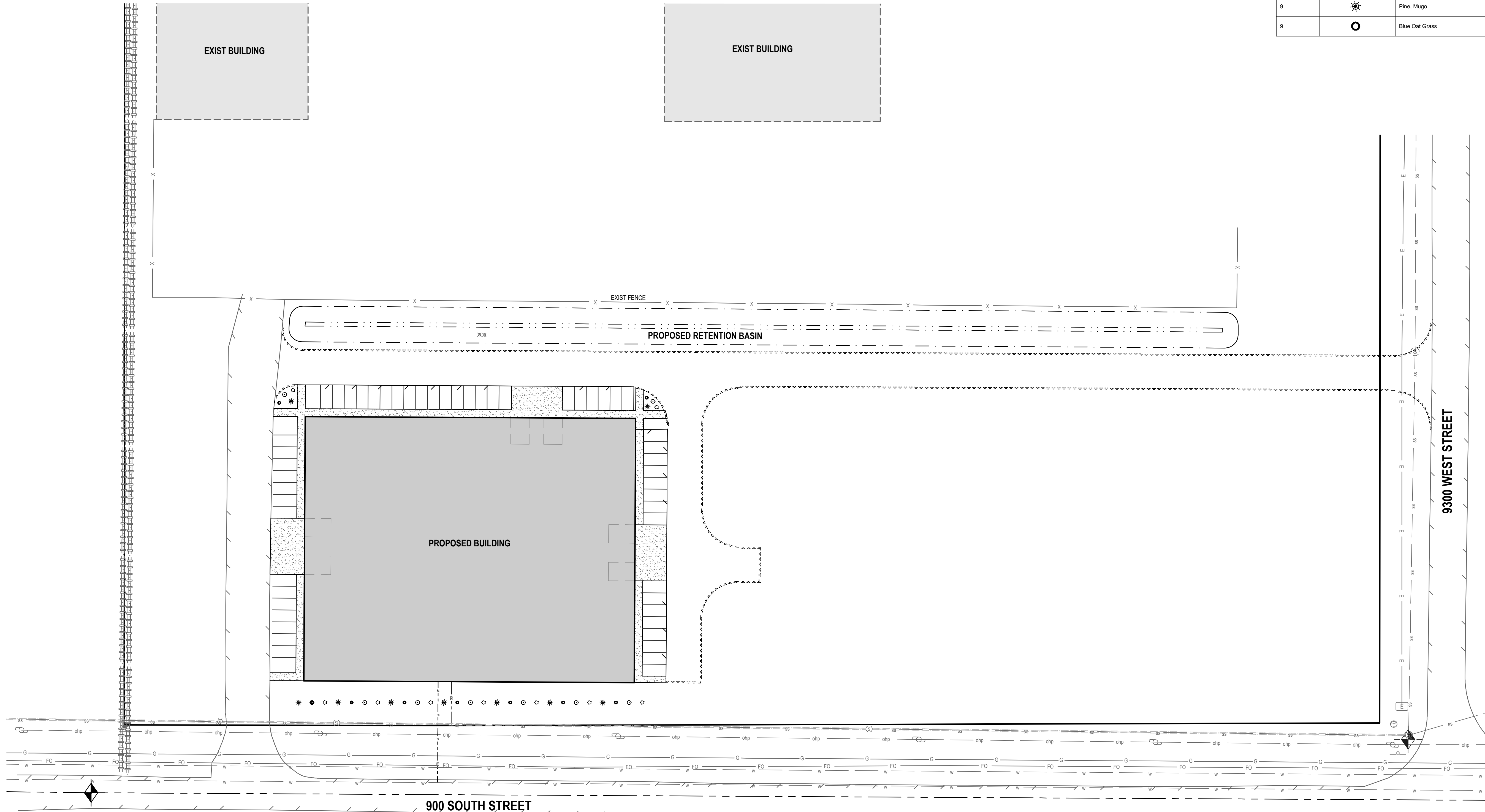
CEDAR CITY
 Phone: 435.865.1453

RICHFIELD
 Phone: 435.896.2983

WWW.ENSGNENG.COM

FOR:
 KHR HOLDINGS, LLC
 8488 STATE STREET
 MIDVALE, UTAH 84047

CONTACT:
 RYAN BROWN
 PHONE: 801-514-6406



Qty	Symbol	Common Name	Scientific Name	Plant Size
9	◡	Cinquefoil	Potentilla fruticosa 'Abbotswood'	5 Gallon
9	◯	Barberry, Crimson Pygmy	Berberis thunbergii atropurpurea nana	5 Gallon
9	⊛	Pine, Mugo	Pinus mugo 'Compacta'	5 Gallon
9	◯	Blue Oat Grass	Helictotrichon sempervirens	5 Gallon

KHR SITE DEVELOPMENT

9350 WEST 791 SOUTH

WEST WEBER COUNTY, UTAH

NO.	DATE	REVISION	BY
1		FOR REVIEW	
2			
3			
4			
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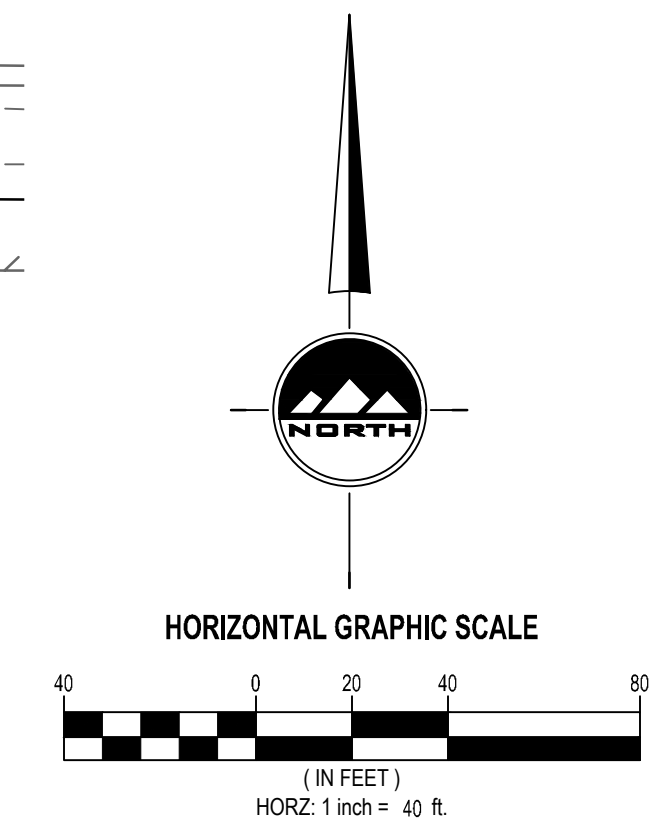
LANDSCAPE PLAN

PROJECT NUMBER: 11590
 PRINT DATE: 10/11/22

DRAWN BY: J.MOSS
 CHECKED BY: I.BUCKLEY

PROJECT MANAGER:
 C.PRESTON

L-100





BENCHMARK
 NORTH QUARTER CORNER OF SECTION 20,
 TOWNSHIP 6 NORTH, RANGE 3 WEST
 SALT LAKE BASE AND MERIDIAN
 ELEV = 4220.00'

Exhibit C

KHR SITE DEVELOPMENT

**9350 WEST 791 SOUTH
 WEBER COUNTY, UTAH**

INDEX OF DRAWINGS

- C-001 GENERAL NOTES
- C-100 SITE AND UTILITY PLAN
- C-200 GRADING AND DRAINAGE PLAN
- C-300 EROSION CONTROL PLAN
- C-400 DETAILS
- L-100 LANDSCAPING PLAN

FOR REVIEW
 NOT FOR CONSTRUCTION

DATE PRINTED
 October 11, 2022

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

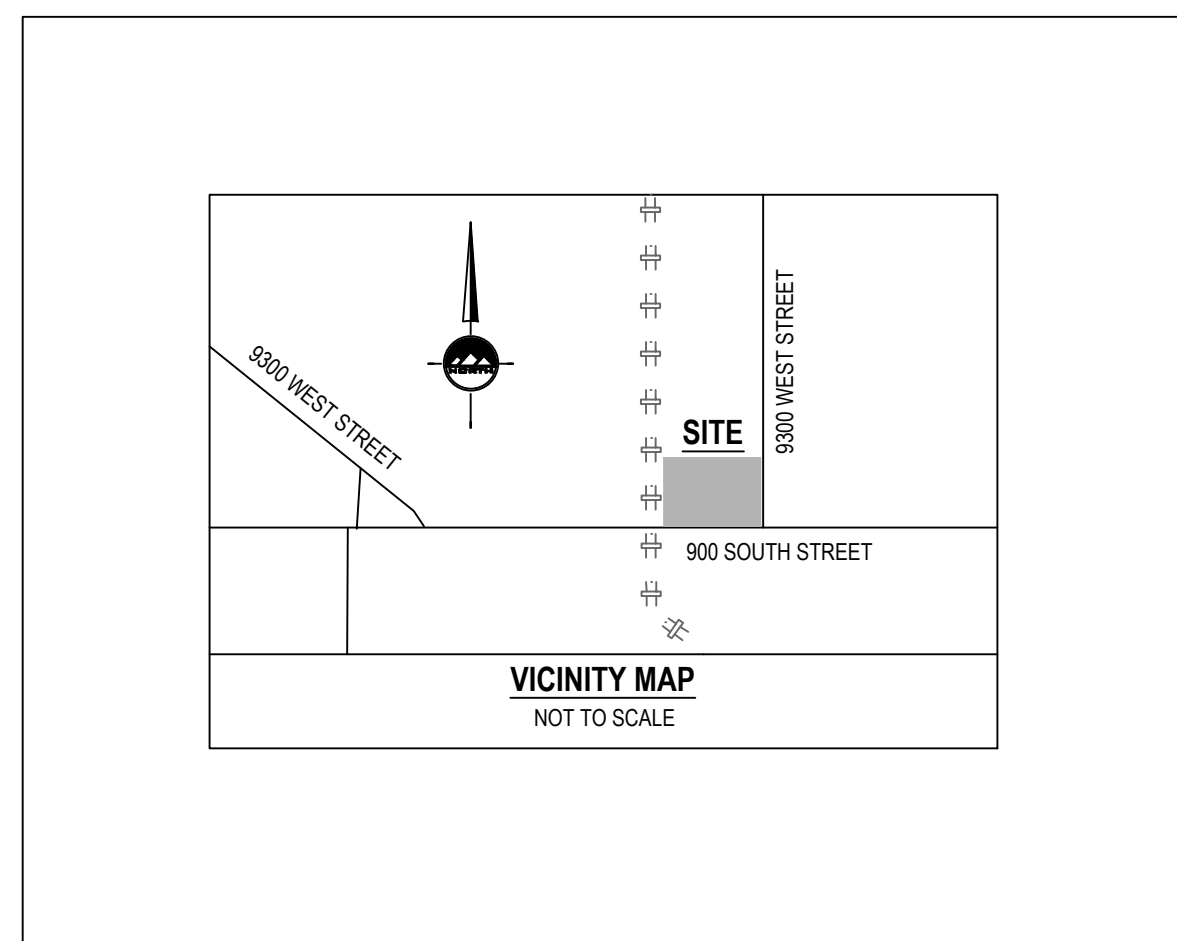
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTICE TO DEVELOPER/CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



GENERAL NOTES

- ALL WORK SHALL CONFORM TO WEBER COUNTY STANDARDS & SPECIFICATIONS.
- CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.



LAYTON
 919 North 400 West
 Layton, UT 84041
 Phone: 801.547.1100

SALT LAKE CITY
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TOOELE
 Phone: 435.843.3590

CEDAR CITY
 Phone: 435.865.1453

RICHFIELD
 Phone: 435.896.2983

WWW.ENSGNENG.COM

FOR:
 KHR HOLDINGS, LLC
 8488 STATE STREET
 MIDVALE, UTAH 84047

CONTACT:
 RYAN BROWN
 PHONE: 801-514-6406

KHR SITE DEVELOPMENT
9350 WEST 791 SOUTH
WEST WEBER COUNTY, UTAH



NO.	DATE	REVISION	BY
1		FOR REVIEW	
2			
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COVER

PROJECT NUMBER: 11590 PRINT DATE: 10/11/22
 DRAWN BY: J.MOSS CHECKED BY: I.BUCKLEY
 PROJECT MANAGER: C.PRESTON

EN SIGN
THE STANDARD IN ENGINEERING

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1		FOR REVIEW	
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GENERAL NOTES

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DRAWN BY J.MOSS	CHECKED BY I.BUCKLEY
PROJECT MANAGER C.PRESTON	

C-001

LEGEND

	SECTION CORNER		EXISTING EDGE OF ASPHALT
	EXISTING MONUMENT		PROPOSED EDGE OF ASPHALT
	PROPOSED MONUMENT		EXISTING STRIPING
	EXISTING REBAR AND CAP		PROPOSED STRIPING
	SET ENSIGN REBAR AND CAP		EXISTING FENCE
	EXISTING WATER METER		PROPOSED FENCE
	PROPOSED WATER METER		EXISTING FLOW LINE
	EXISTING WATER MANHOLE		PROPOSED FLOW LINE
	PROPOSED WATER MANHOLE		GRADE BREAK
	EXISTING WATER BOX		EXISTING STORM DRAIN LINE
	EXISTING WATER VALVE		PROPOSED STORM DRAIN LINE
	PROPOSED WATER VALVE		ROOF DRAIN LINE
	EXISTING FIRE HYDRANT		CATCHMENTS
	PROPOSED FIRE HYDRANT		HIGHWATER LINE
	PROPOSED FIRE DEPARTMENT CONNECTION		EXISTING SANITARY SEWER
	EXISTING SECONDARY WATER VALVE		PROPOSED SANITARY SEWER LINE
	PROPOSED SECONDARY WATER VALVE		PROPOSED SAN. SWR. SERVICE LINE
	EXISTING IRRIGATION BOX		EXISTING LAND DRAIN LINE
	EXISTING IRRIGATION VALVE		PROPOSED LAND DRAIN LINE
	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
	EXISTING SANITARY SEWER MANHOLE		EXISTING CULINARY WATER LINE
	PROPOSED SANITARY SEWER MANHOLE		PROPOSED CULINARY WATER LINE
	EXISTING SANITARY CLEAN OUT		PROPOSED CULINARY WATER SERVICE LINE
	EXISTING STORM DRAIN CLEAN OUT BOX		EXISTING SECONDARY WATER LINE
	PROPOSED STORM DRAIN CLEAN OUT BOX		PROPOSED SEC. WATER SERVICE LINE
	EXISTING STORM DRAIN INLET BOX		EXISTING IRRIGATION LINE
	EXISTING STORM DRAIN CATCH BASIN		PROPOSED STORM DRAIN CATCH BASIN
	PROPOSED STORM DRAIN CATCH BASIN		EXISTING OVERHEAD POWER LINE
	EXISTING STORM DRAIN COMBO BOX		EXISTING ELECTRICAL LINE
	PROPOSED STORM DRAIN COMBO BOX		EXISTING GAS LINE
	EXISTING STORM DRAIN CLEAN OUT		EXISTING TELEPHONE LINE
	EXISTING STORM DRAIN CULVERT		PROPOSED STORM DRAIN CULVERT
	PROPOSED STORM DRAIN CULVERT		ACCESSIBLE ROUTE
	TEMPORARY SAG INLET PROTECTION		SAW CUT LINE
	TEMPORARY IN-LINE INLET PROTECTION		STRAW WATTLE
	ROOF DRAIN		TEMPORARY BERM
	EXISTING ELECTRICAL MANHOLE		TEMPORARY SILT FENCE
	EXISTING ELECTRICAL BOX		LIMITS OF DISTURBANCE
	EXISTING TRANSFORMER		EXISTING WALL
	EXISTING UTILITY POLE		PROPOSED WALL
	EXISTING LIGHT		EXISTING CONTOURS
	EXISTING GAS METER		PROPOSED CONTOURS
	EXISTING GAS MANHOLE		BUILDABLE AREA WITHIN SETBACKS
	EXISTING GAS VALVE		PUBLIC DRAINAGE EASEMENT
	EXISTING TELEPHONE MANHOLE		EXISTING ASPHALT TO BE REMOVED
	EXISTING TELEPHONE BOX		PROPOSED ASPHALT
	EXISTING TRAFFIC SIGNAL BOX		EXISTING CURB AND GUTTER
	EXISTING CABLE BOX		PROPOSED CURB AND GUTTER
	EXISTING BOLLARD		PROPOSED REVERSE PAN CURB AND GUTTER
	PROPOSED BOLLARD		TRANSITION TO REVERSE PAN CURB
	EXISTING SIGN		CONCRETE TO BE REMOVED
	PROPOSED SIGN		EXISTING CONCRETE
	EXISTING SPOT ELEVATION		PROPOSED CONCRETE
	PROPOSED SPOT ELEVATION		BUILDING TO BE REMOVED
	EXISTING FLOW DIRECTION		EXISTING BUILDING
	EXISTING TREE		PROPOSED BUILDING
	DENSE VEGETATION		

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.

GRADING AND DRAINAGE NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL RELATED ADDENDUMS.
- THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
- THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELTERIOUS MATERIALS PRIOR TO PLACING GRADING FILL OR BASE COURSE. THE AREA SHOULD BE PROOF-ROLLED TO IDENTIFY ANY SOFT AREAS. WHERE SOFT AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE SOIL AND REPLACE WITH COMPACTED FILL.
- ALL DEBRIS PILES AND BERMS SHOULD BE REMOVED AND HAULED AWAY FROM SITE OR USED AS GENERAL FILL IN LANDSCAPED AREAS.
- THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAD TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT, AND STRICTLY ADHERE TO THE SITE PREPARATION AND GRADING REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL GRADE THE PROJECT SITE TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING ASPHALT, CURB AND GUTTER, AND ADJOINING SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THOSE STREETS.
- THE CONTRACTOR SHALL BE FAMILIAR WITH ALL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT AND TAKE ALL NECESSARY PRECAUTIONS AND RECOMMENDED PROCEDURES TO ASSURE SOUND GRADING PRACTICES.
- THE CONTRACTOR SHALL TAKE APPROPRIATE GRADING MEASURES TO DIRECT STORM SURFACE RUNOFF TOWARDS CATCH BASINS.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON ON-SITE SURVEY. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND SLOPES SHOWN.
- THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT. ALL CONTRACTOR ACTIVITIES 1 ACRE OR MORE IN SIZE ARE REQUIRED TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN.
- ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
- THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GOVERNING AGENCY.
- THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY-OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.

ABBREVIATIONS

APWA	AMERICAN PUBLIC WORKS ASSOCIATION
AR	ACCESSIBLE ROUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWWA	AMERICAN WATER WORKS ASSOCIATION
BOS	BOTTOM OF STEP
BVC	BEGIN VERTICAL CURVE
CB	CATCH BASIN
CF	CURB FACE OR CUBIC FEET
CL	CENTER LINE
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
CONT	CONTINUOUS
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
ELEC	ELECTRICAL
ELEV	ELEVATION
EOA	EDGE OF ASPHALT
EVC	END OF VERTICAL CURVE
EW	EACH WAY
EXIST	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE OR FLANGE
GB	GRADE BREAK
GF	GARAGE FLOOR
GV	GATE VALVE
HE	HANDICAP
HP	HIGH POINT
IRR	IRRIGATION
K	RATE OF VERTICAL CURVATURE
LD	LAND DRAIN
LF	LINEAR FEET
LP	LOW POINT
MEX	MATCH EXISTING
MH	MANHOLE
MJ	MECHANICAL JOINT
NG	NATURAL GROUND
NIC	NOT IN CONTRACT
NO	NUMBER
OC	ON CENTER
OCEW	ON CENTER EACH WAY
OHP	OVERHEAD POWER
PCC	POINT OF CURVATURE OR PRESSURE CLASS
PI	POINT OF INTERSECTION
PIV	POST INDICATOR VALVE
PL	PROPERTY LINE
PRC	POINT OF REVERSE CURVATURE
PRO	PROPOSED
PTO	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RD	ROOF DRAIN
ROW	RIGHT OF WAY
S	SLOPE
SAN SWR	SANITARY SEWER
SD	STORM DRAIN
SEC	SECONDARY
SS	SANITARY SEWER
STA	STATION
SW	SECONDARY WATER LINE
TBC	TOP BACK OF CURB
TOG	TOP OF GRATE
TOA	TOP OF ASPHALT
TOC	TOP OF CONCRETE
TOF	TOP OF FOUNDATION
TOW	TOP OF WALL
TOS	TOP OF STEP
TYP	TYPICAL
VC	VERTICAL CURVE
WV	WALL INDICATOR VALVE
W	WATER LINE

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

UTILITY NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, CITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE, AND POWER.
- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS BASED ON ON-SITE SURVEY. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-862-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT CONTRACTOR'S EXPENSE.
- TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS (CURRENT EDITION), SECTION 33 05 20 - BACKFILLING TRENCHES, OR AS REQUIRED BY THE GEOTECHNICAL REPORT IF NATIVE MATERIALS ARE USED. NO NATIVE MATERIALS ARE ALLOWED IN THE PIPE ZONE. THE MAXIMUM LIFT FOR BACKFILLING EXCAVATIONS IS DETERMINED BY THE GEOTECHNICAL RECOMMENDATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES AND FOR THE PROTECTION OF WORKERS.
- THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR ASSESSMENTS FROM THE APPROPRIATE GOVERNING ENTITY (AND/OR INDIVIDUAL PROPERTY OWNER(S)) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.
- ALL WATER LINE AND SEWER LINE INSTALLATION AND TESTING TO BE IN ACCORDANCE WITH LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL MANHOLES, HYDRANTS, VALVES, CLEANOUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER APWA (CURRENT EDITION) STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS, AND VALVES PER APWA STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION.
- SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DEWATERED CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, EDGE TO EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, CONSTRUCT PER GOVERNING AGENCY'S MINIMUM SEPARATION STANDARDS.
- CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.

TRAFFIC CONTROL AND SAFETY NOTES

- TRAFFIC CONTROL AND STRIPING TO CONFORM TO THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT M.U.T.C.D.
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AGENCY, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE GOVERNING AGENCY FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE GOVERNING AGENCY.
- TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
- ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
- THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.

DEMOLITION NOTES

- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND MAY NOT BE LOCATED CORRECTLY AND IS NOT ALL INCLUSIVE. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES WITHIN THE PROJECT LIMITS BEFORE BEGINNING DEMOLITION/CONSTRUCTION.
- THERE MAY BE BURIED UTILITIES WITHIN THE LIMITS OF DISTURBANCE THAT ARE NOT SHOWN ON THE PLANS DUE TO LACK OF MAPPING OR RECORD INFORMATION. CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN UNEXPECTED UTILITIES ARE DISCOVERED.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LOCATING AND PROTECTING FROM DAMAGE ALL EXISTING UTILITIES AND IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. THE FACILITIES AND IMPROVEMENTS ARE BELIEVED TO BE CORRECTLY SHOWN BUT THE CONTRACTOR IS REQUIRED TO SATISFY HIMSELF AS TO THE COMPLETENESS AND ACCURACY OF THE LOCATIONS. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY, OR INDIRECTLY, FROM HIS OPERATIONS, WHETHER OR NOT SAID FACILITIES ARE SHOWN ON THESE PLANS.

GENERAL NOTES

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: THE DESIGN ENGINEER, LOCAL AGENCY JURISDICTION, APWA (CURRENT EDITION), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- CONTRACTOR TO STRICTLY FOLLOW THE MOST CURRENT COPY OF THE SOILS REPORT FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH SOILS REPORT.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY, STATE, OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND/OR UTILITY MAPPING PROVIDED TO THE ENGINEER, AND THEREFORE UTILITIES MAY NOT BE LOCATED CORRECTLY, EITHER HORIZONTALLY OR VERTICALLY, AND MAY NOT BE ALL INCLUSIVE. CONTRACTOR IS REQUIRED TO FOLLOW THE PROCEDURE OUTLINED BELOW:
 - CONTRACTOR IS REQUIRED TO LOCATE AND POTHOLE ALL EXISTING UTILITY LINES (BOTH HORIZONTALLY AND VERTICALLY) THAT AFFECT THE PROJECT CONSTRUCTION, EITHER ON-SITE OR OFF-SITE, AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE DESIGN OF THE SITE AS SHOWN ON THE APPROVED PLANS PRIOR TO ANY CONSTRUCTION. IF IT IS DETERMINED THAT CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) THE ENGINEER MUST BE NOTIFIED IMMEDIATELY TO CORRECT THE CONFLICTS BEFORE ANY WORK CAN BEGIN. IF THE CONTRACTOR FAILS TO FOLLOW THIS ABSOLUTE REQUIREMENT AND CONFLICTS ARISE DURING CONSTRUCTION THE CONTRACTOR WILL BEAR THE SOLE RESPONSIBILITY TO FIX THE CONFLICTS.
 - CONTRACTOR IS REQUIRED TO VERIFY THAT PROPER COVER AND PROTECTION OF EXISTING UTILITY LINES IS MAINTAINED OR ATTAINED WITHIN THE DESIGN ONCE VERIFICATION OF THE EXISTING UTILITIES IS COMPLETED AS OUTLINED IN 16.1 ABOVE.
 - IN ADDITION TO 16.1 AND 16.2 ABOVE THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY "POTHOLES" A MINIMUM OF 300 FEET AHEAD OF PROPOSED PIPELINE CONSTRUCTION TO AVOID POTENTIAL CONFLICTS WITH DESIGNED PIPELINE ALIGNMENT AND GRADE AND EXISTING UTILITIES.
 - IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) AS DETERMINED UNDER 16.1, 16.2 OR 16.3 THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY TO RESOLVE THE CONFLICT.
 - IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO IDENTIFY AND/OR "POTHOLE" EXISTING UTILITIES AS REQUIRED IN 16.1, 16.2 AND 16.3 ABOVE, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT REQUIRED BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- CONTRACT

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PRIOR TO THE
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BENCHMARK

NORTH QUARTER CORNER OF SECTION 20,
TOWNSHIP 6 NORTH, RANGE 3 WEST,
SALT LAKE BASE AND MERIDIAN

ELEV = 4220.00'

Retention Calculations (100-year storm)

	C	Area ft ²
Hardscape	0.9	150000
Landscape	0.25	115937
Total Area		265937
Runoff coefficient C:	0.62	
1 hr Intensity:	1.67	
	Required Storage	Storage Provided
	Area (ft ²)	Area (ft ²)
	265937	31964

Pipe Design (10-year storm)

Pipe	Tributary	Surface	Upstream	Pipe Flow	Total	Pipe	Diameter	Pipe Type	Full Flow	% of Full-
RD 1	2	0.663		0.663	0.50%	8	ADS	1.013	65.5%	
SD-1			RD1	0.663	0.663	12	RCP	2.526	26.3%	
SD-2			RD2	0.663	0.663	12	RCP	2.526	26.3%	
RD 2	3	0.663		0.663	0.50%	8	ADS	1.013	65.5%	

Catchment Calculations (10-year storm)

Time of Concentration: 15 min
Rainfall Intensity I: 2.00 in/hr
Mannings N: 0.013

Catchment	Area (SF)	C	Flow (CFS)	Destination
1	215,937	0.573	5,729	
2	25,000	0.573	0,663	SD-1
3	25,000	0.573	0,663	SD-2

GENERAL NOTES

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
- ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. XX.XX REPRESENTS AN ELEVATION OF 48XX.XX ON THESE PLANS.
- LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
- ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
- ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.



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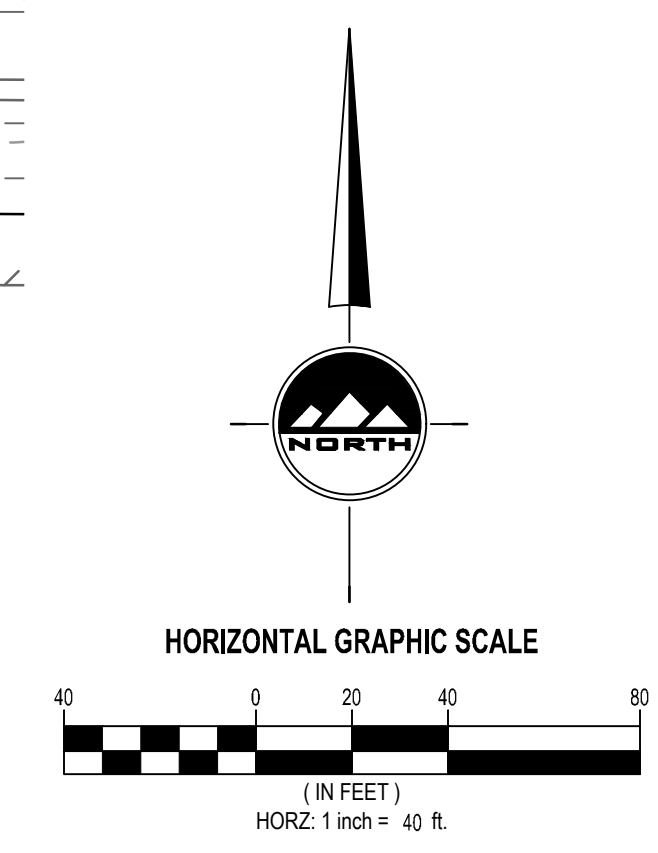
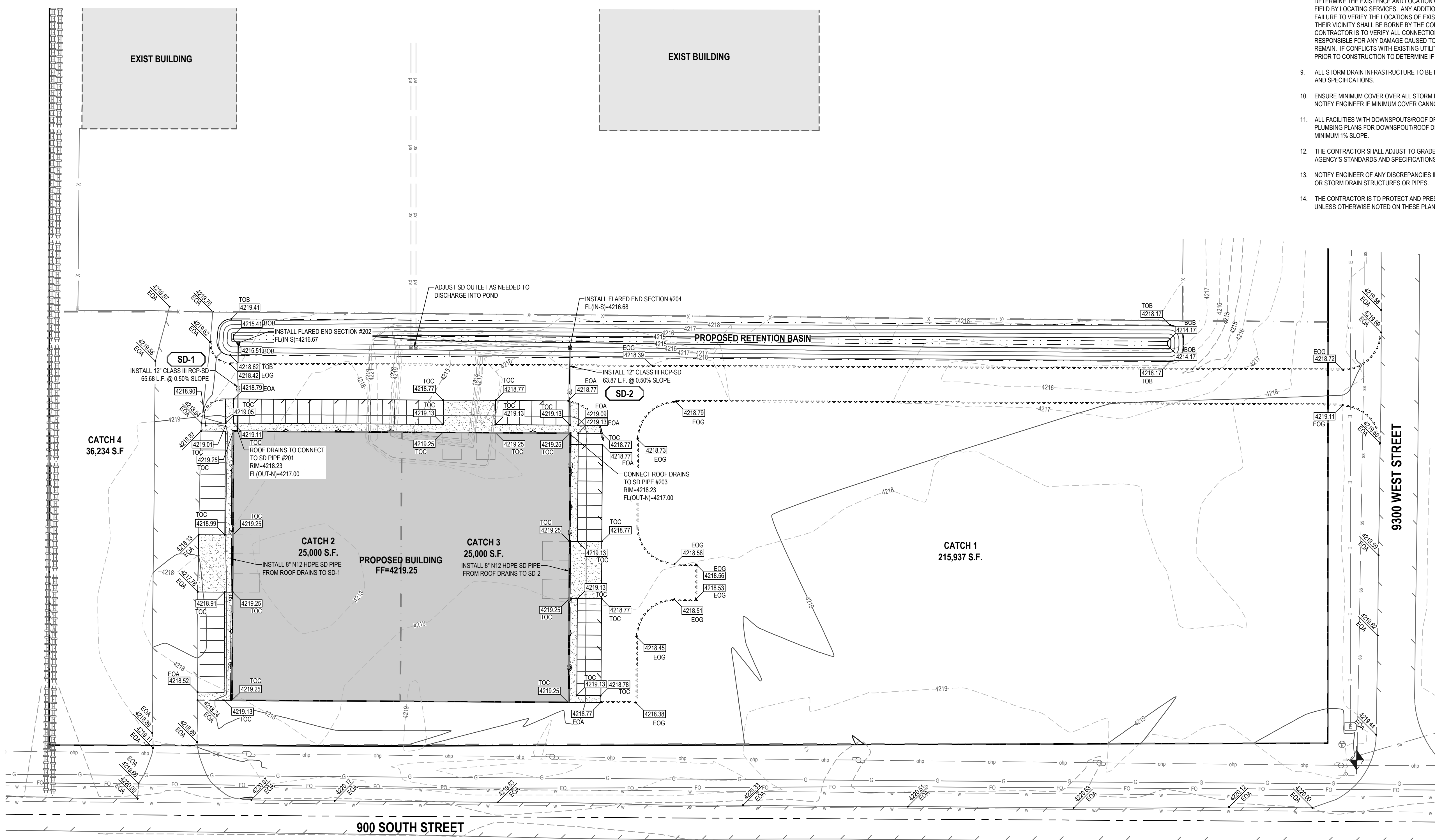
GRADING AND DRAINAGE PLAN

PROJECT NUMBER: 11590
PRINT DATE: 10/11/22

DRAWN BY: J.MOSS
CHECKED BY: I.BUCKLEY

PROJECT MANAGER: C.PRESTON

C-200



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SALT LAKE BASE AND MERIDIAN
ELEV = 4220.00'

REVISION SCHEDULE			
NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE
1			
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- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.
- 1 VEHICLE WASHDOWN AND STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 1/C-400.
 - 2 SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
 - 3 CONCRETE CLEANOUT LINED BASIN OR DUMPSTER
 - 4 LIMITS OF DISTURBANCE
 - 5 INSTALL TEMPORARY SILT FENCE PER DETAIL 4/C-400
 - 6 INSTALL TEMPORARY OUTLET PROTECTION PER DETAIL 5/C-400

- GENERAL NOTES**
1. THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMPs) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
 2. DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
 3. RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
 4. DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
 5. VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMPs TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
 6. NOT ALL POSSIBLE BMPs HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
 7. A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

ENSIGN
THE STANDARD IN ENGINEERING

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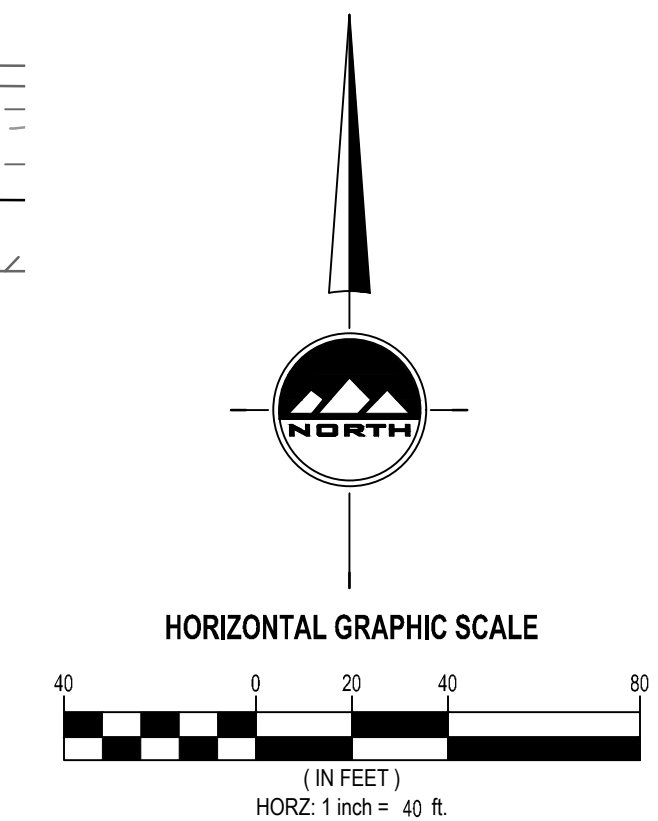
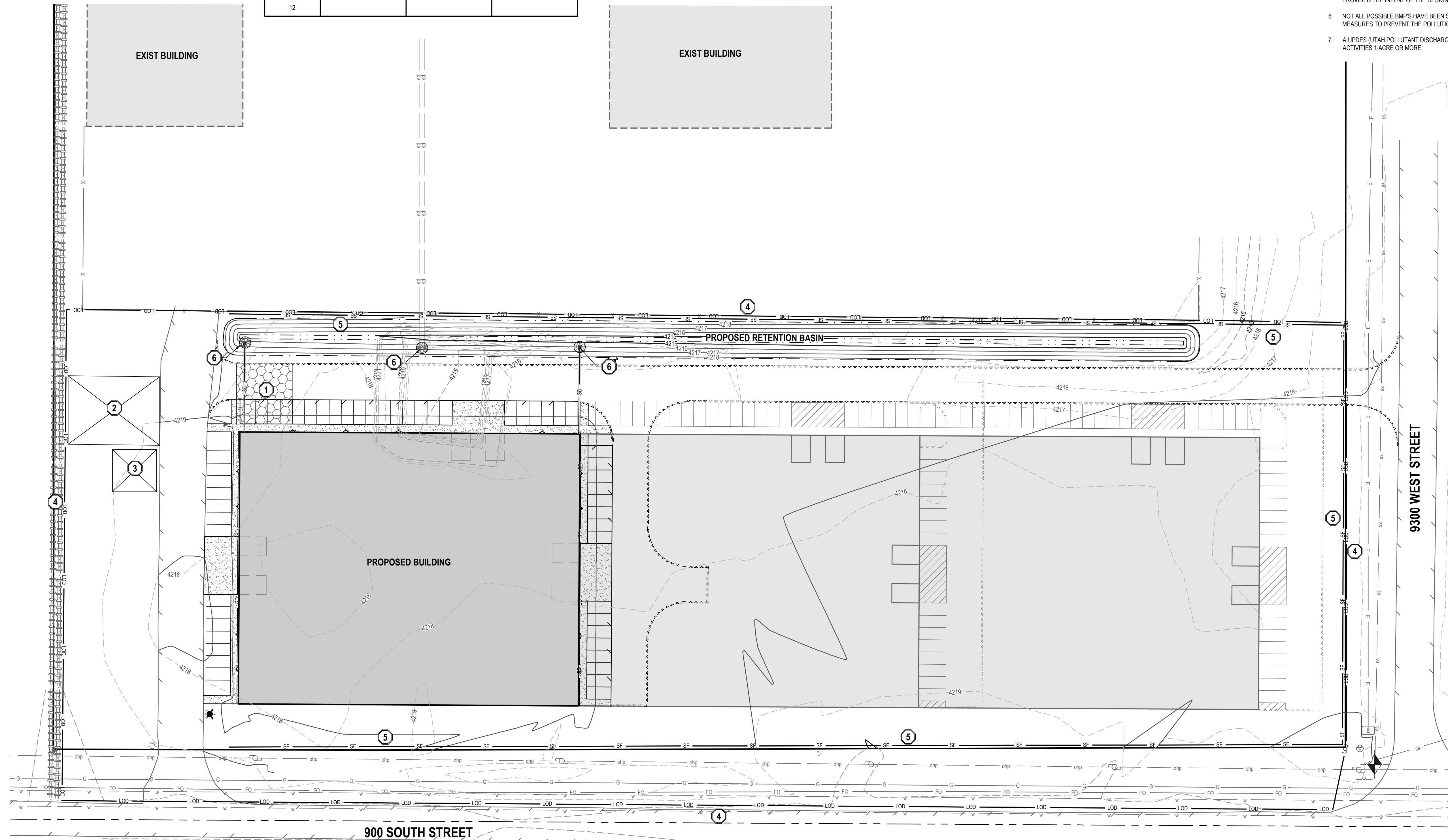


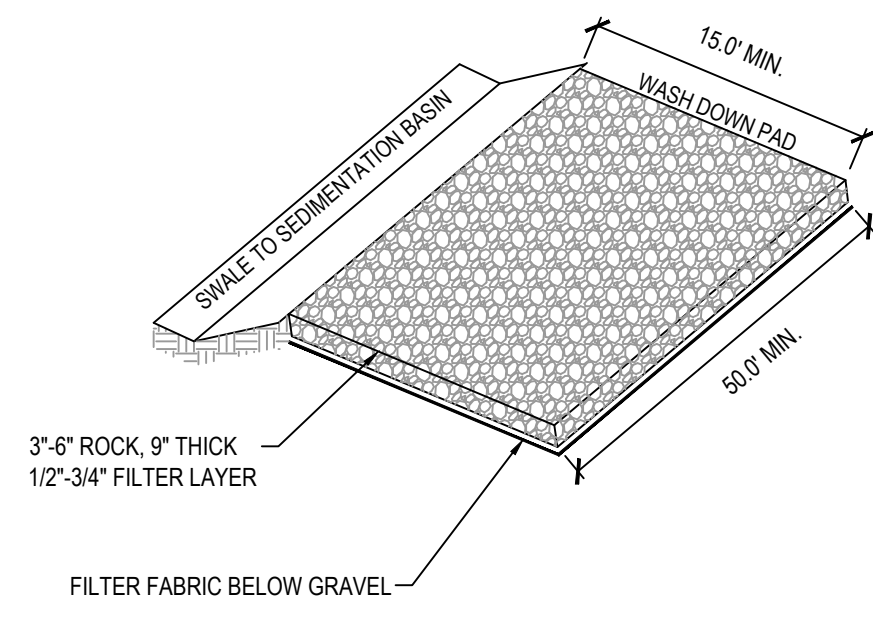
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EROSION CONTROL PLAN

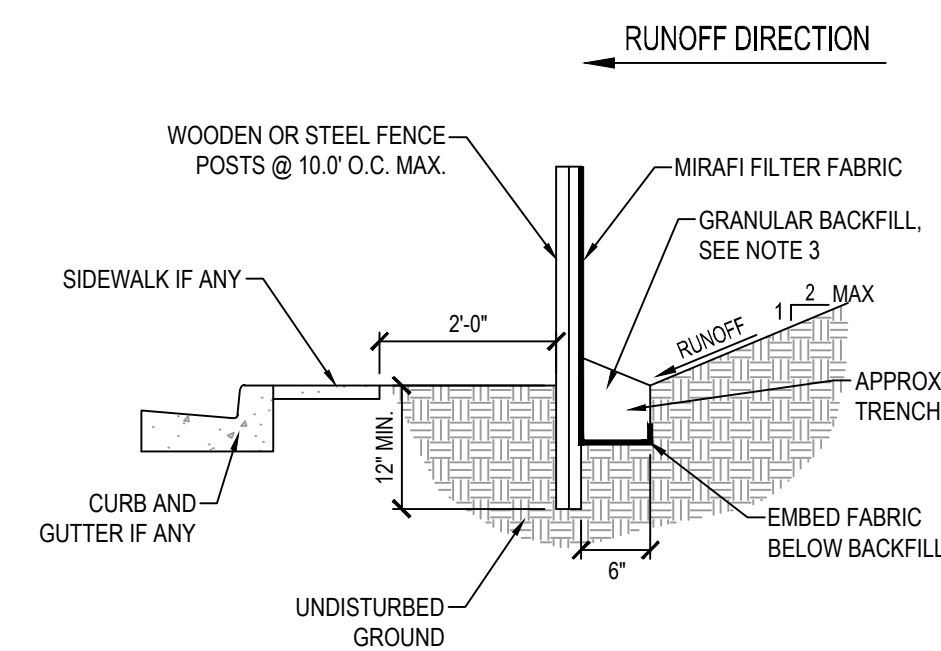
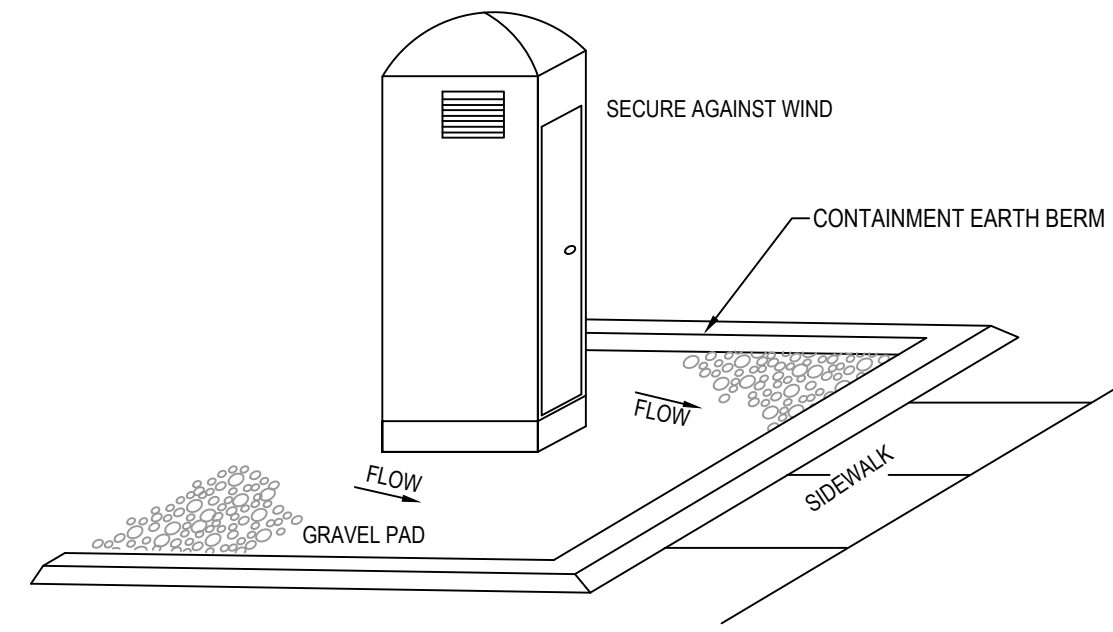
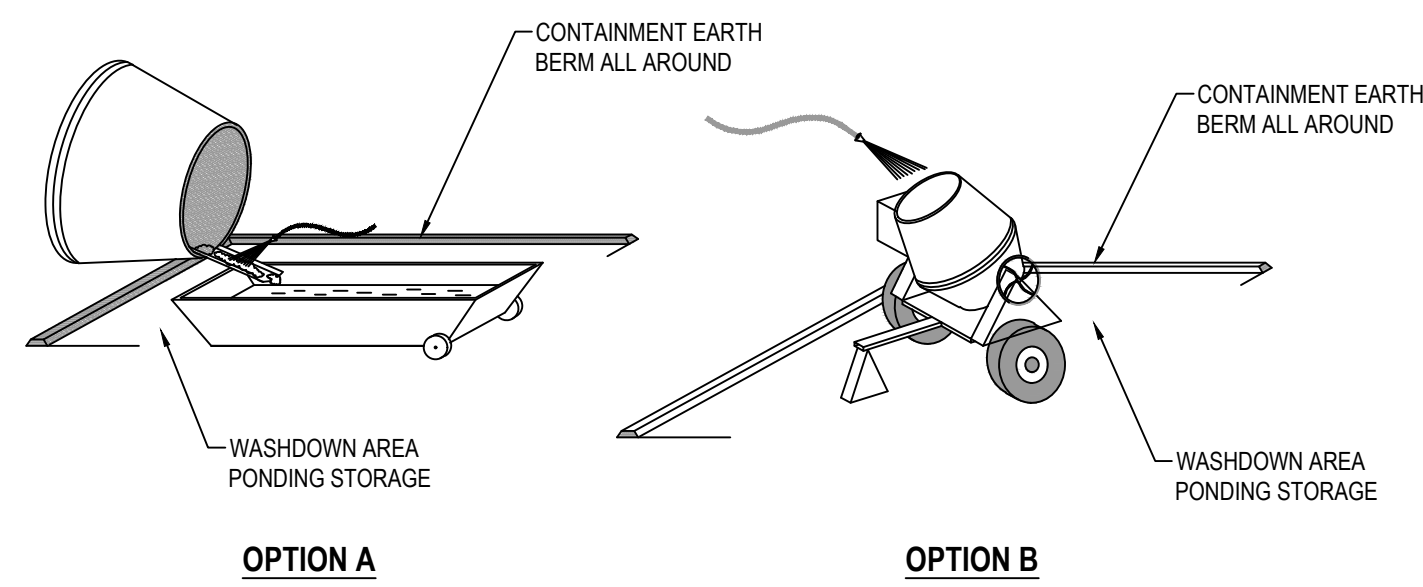
PROJECT NUMBER: 11590
PRINT DATE: 10/11/22
DRAWN BY: J.MOSS
CHECKED BY: I.BUCKLEY
PROJECT MANAGER: C.PRESTON

C-300



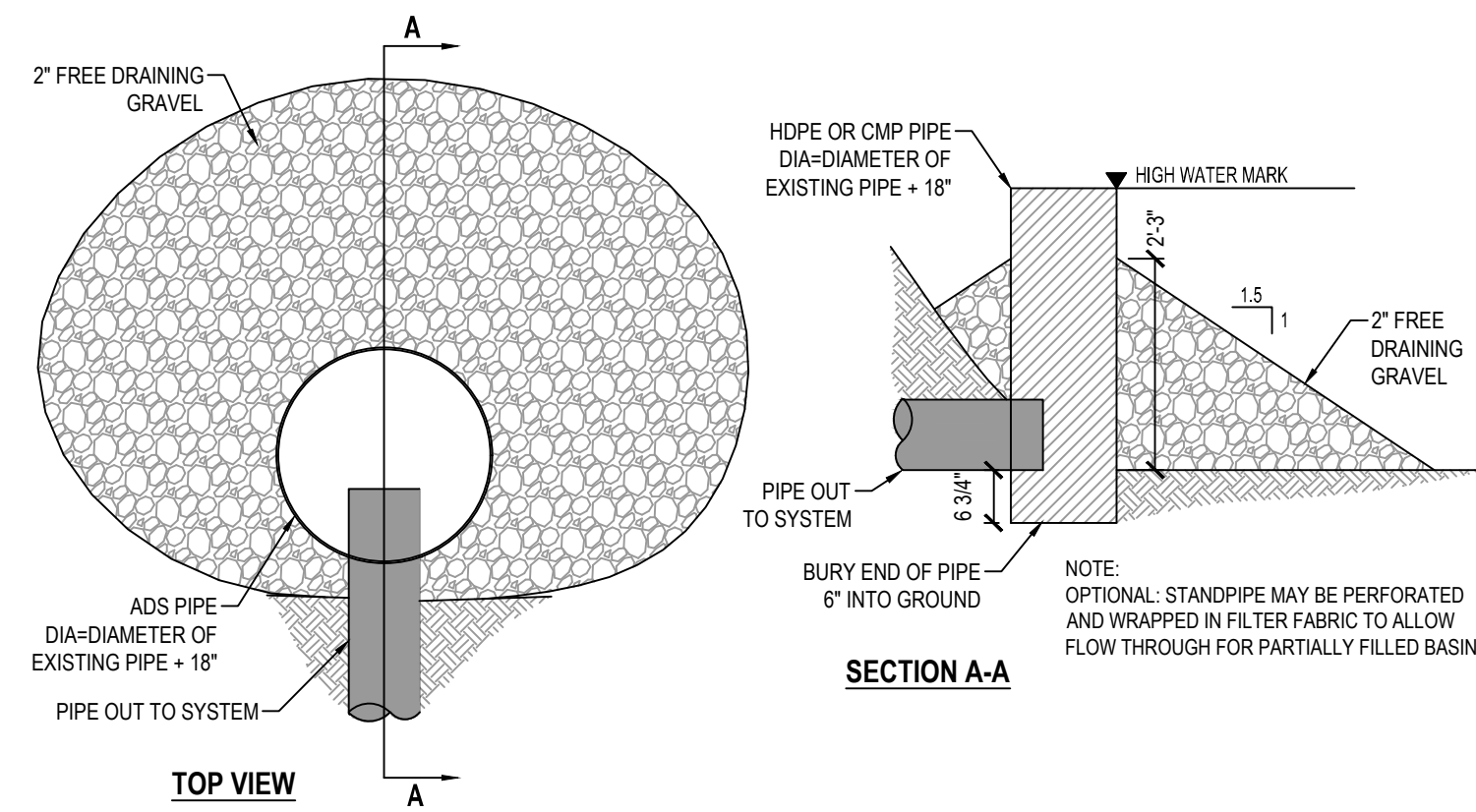


- NOTE:**
1. PLACE SIGN ADJACENT TO ENTRANCE * CONSTRUCTION TRAFFIC ONLY - ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT SITE AT THIS LOCATION*

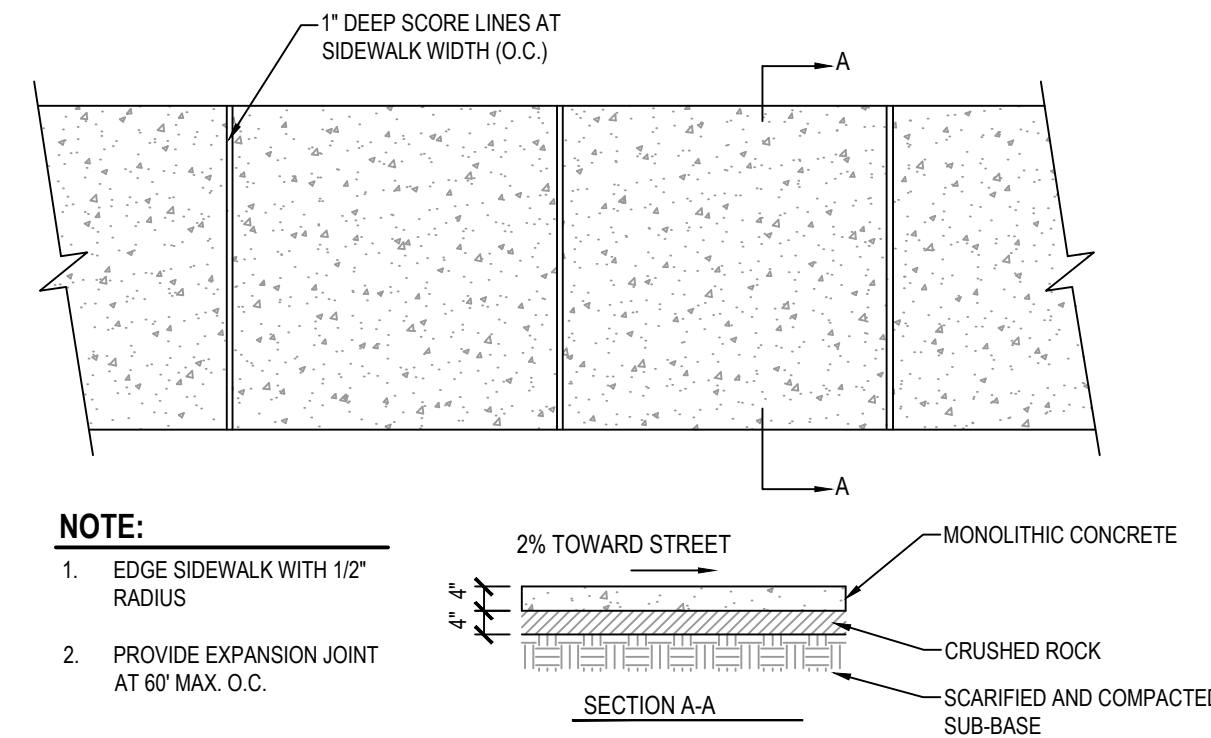


- NOTES:**
1. EXCAVATE 6"x6" TRENCH ALONG LIMITS OF DISTURBANCE AS SHOWN ON CONSTRUCTION DRAWINGS. POSTS SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
 2. LAY TOE-IN FABRIC FLAP IN BOTTOM OF TRENCH. BACKFILL TRENCH WITH FREE DRAINING GRANULAR MATERIAL. COMPACT TRENCH TO SATISFACTION OF THE ENGINEER OF RECORD.
 3. SILT FENCE GEOTEXTILE SHALL MEET AASHTO M288-92 REQUIREMENTS.
 4. REMOVE & DISPOSE OF SEDIMENT WHEN ACCUMULATION IS 50% OF EXPOSED FENCE HEIGHT.
 5. 10' MAX. SPACING BETWEEN STAKES.
 6. SILT FENCES SHALL BE INSTALLED ALONG CONTOURS, NOT UP AND DOWN SLOPES, WITH 10' OVERLAP AT BREAKS.

1 STABILIZED CONSTRUCTION ENTRANCE SCALE: NONE

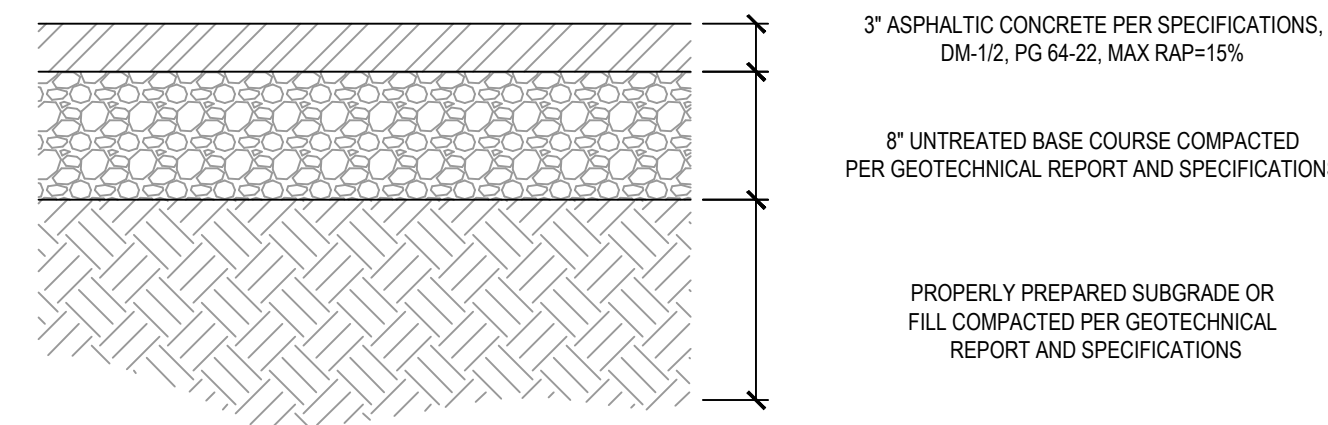


2 CONCRETE WASTE MANAGEMENT SCALE: NONE



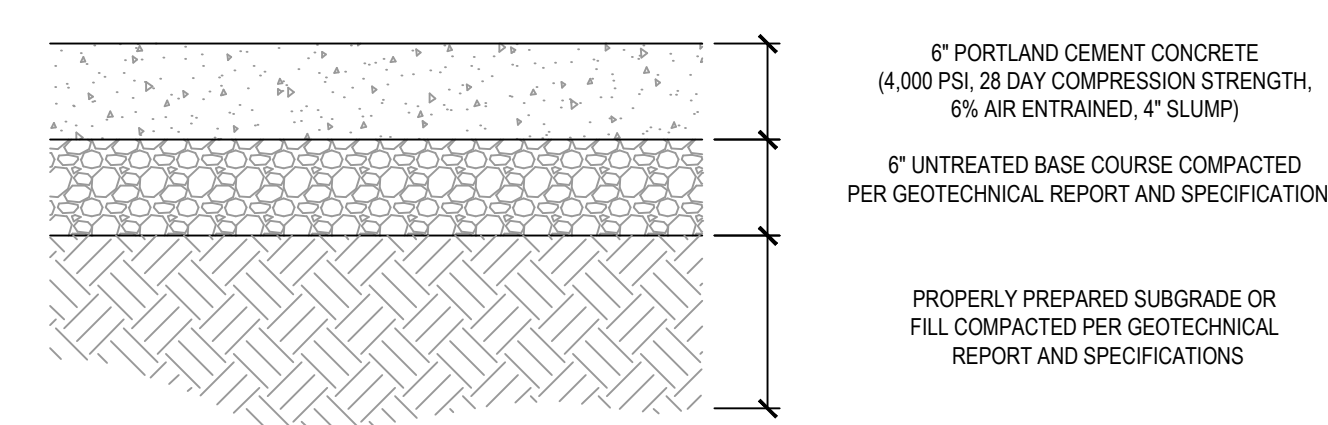
3 PORTABLE TOILET SCALE: NONE

- ASPHALT NOTES**
1. ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
 2. ALL STRUCTURAL FILL TO BE PLACED AND COMPACTED PER THE PROJECT GEOTECHNICAL REPORT OR TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-180 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD BE PLACED PER GEOTECHNICAL RECOMMENDATIONS BUT SHOULD NOT EXCEED 8" IN LOOSE THICKNESS.
 3. REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.

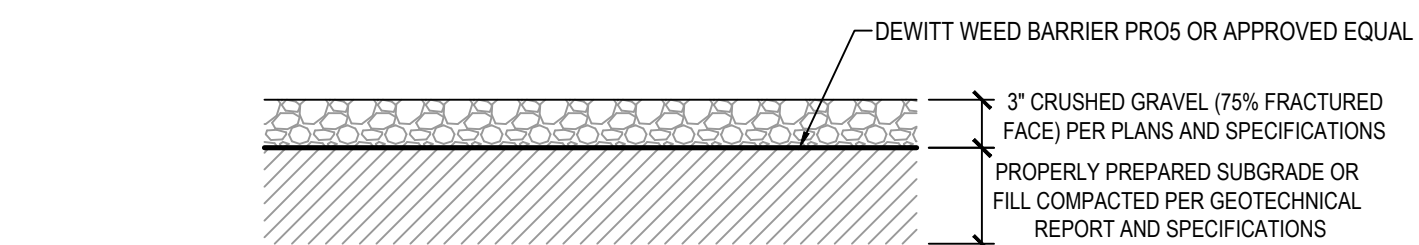


4 TEMPORARY SILT FENCE SCALE: NONE

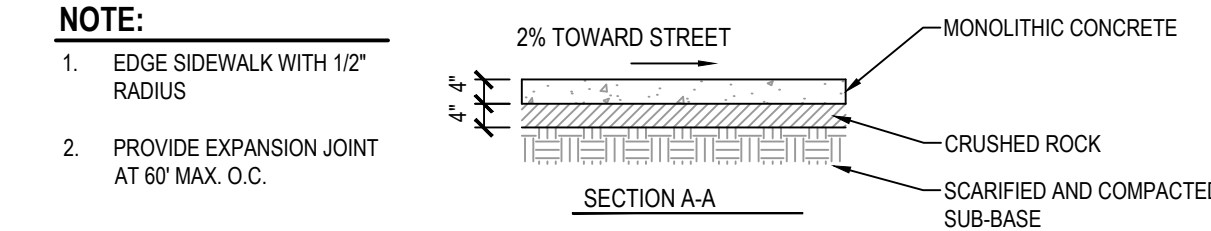
- CONCRETE NOTES**
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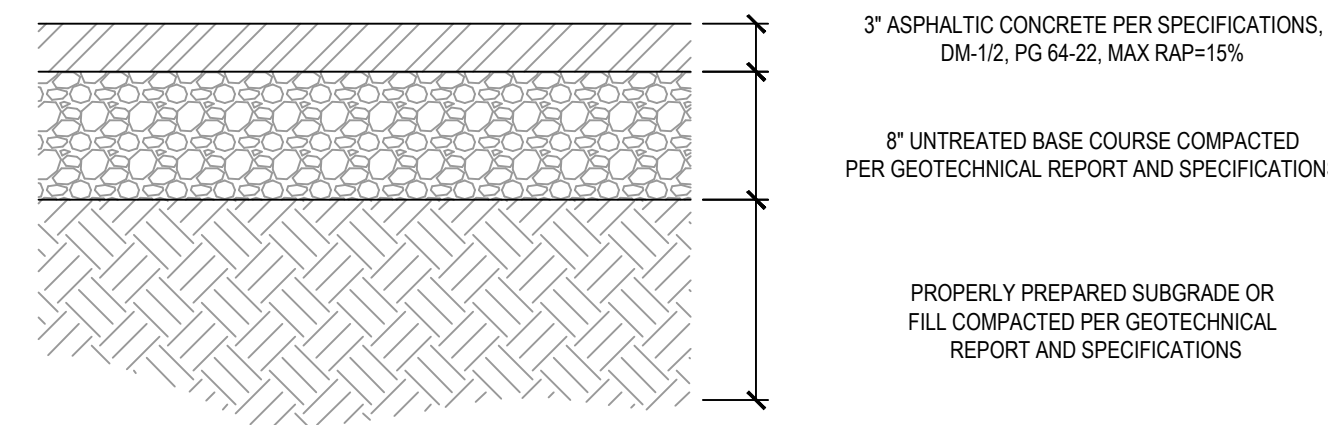
5 TEMPORARY BASIN OUTLET PROTECTION SCALE: NONE



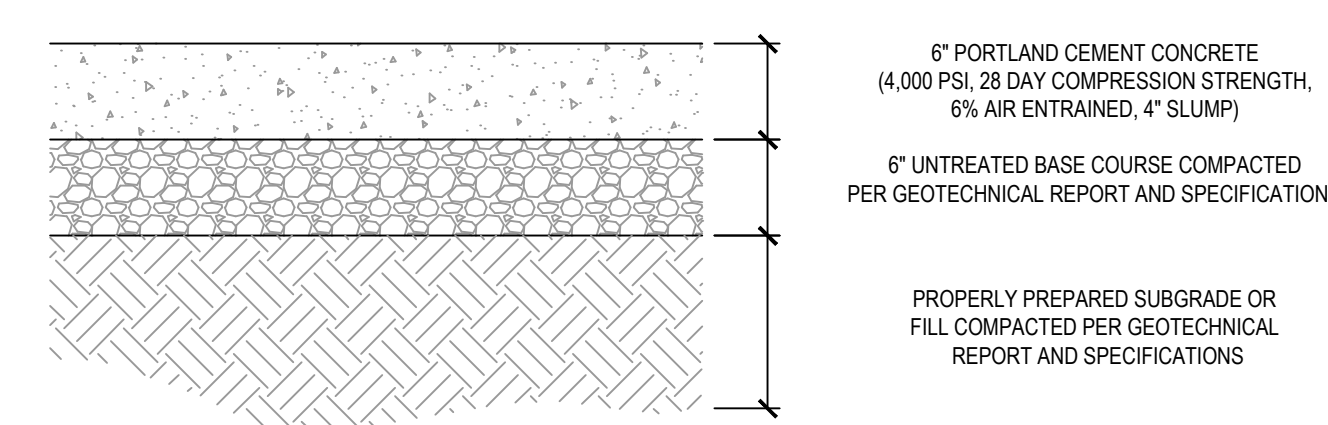
6 CONCRETE SIDEWALK SCALE: NONE



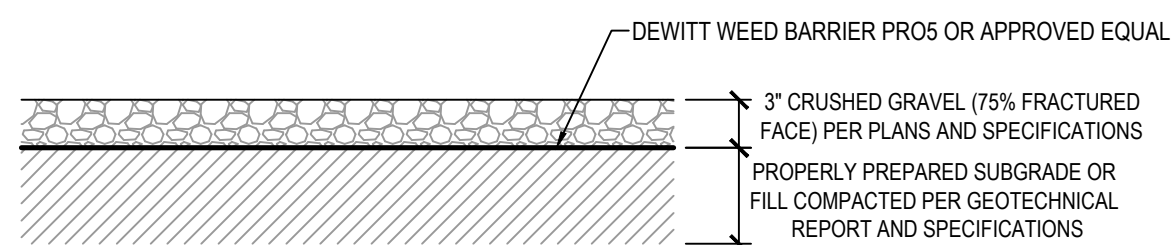
7 STANDARD ASPHALT SECTION SCALE: NONE



8 CONCRETE PAVEMENT SECTION SCALE: NONE



9 GRAVEL SECTION SCALE: NONE



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DETAILS

PROJECT NUMBER: 11590
PRINT DATE: 10/11/22

DRAWN BY: J.MOSS
CHECKED BY: I.BUCKLEY

PROJECT MANAGER: C.PRESTON

C-400

WESTERN STEEL BUILDINGS

300076 – OGDEN WAREHOUSE

FO# 26004

Building 1 of 1



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5	Anchor Bolt Details	0
6	Roof Framing	0
7	Roof Panel Layout	0
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23		0
24		0
25		0
26		0
27		0
28		0
29		0
30		0
31		0
32		0

GENERAL

All materials included in the Metal Building System are in accordance with the manufacturer's standard materials and details unless otherwise specified on the order documents. (MBMA 2018 Metal Building Systems Manual, Part IV, Section 2.1)

DESIGN RESPONSIBILITY

The manufacturer is responsible only for the structural design of the Metal Building System it sells to the purchaser / customer. Neither the manufacturer nor the manufacturer's engineer is the design professional or engineer of record for the construction project. The manufacturer is not responsible for the design of any component or materials not sold by it, or their interface and connection with Metal Building System unless such design responsibility is specifically required by the order documents. (MBMA 2018 Metal Building Systems Manual, Part IV, Section 3.1)

FOUNDATION DESIGN AND ANCHOR BOLTS

The manufacturer is not responsible for the design, materials, and workmanship of the foundation. The anchor bolt plans prepared by the manufacturer are intended to show only the anchor bolt location, diameter (based on ASTM A36 bolts), and quantity required to connect the Metal Building System to the foundation. (MBMA 2018 Metal Building Systems Manual, Part IV, Section 3.2.2). It is the responsibility of the end customer to ensure that adequate provisions are made for specifying bolt embedment, bearing angles, tie rods, and / or associated items embedded in the concrete foundation, as well as foundation design based on the loads imposed by the Metal Building System, or other imposed loads, and the bearing capacity of the soil and other conditions of the building site. (MBMA 2018 Metal Building Systems Manual, Part IV, Section 3.2.2) U.S.-Anchor bolts shall be accurately set to a tolerance of +/- 1/8 in both elevation and location (AISC Code of Standard Practice for Steel Buildings and Bridges). Canada -Anchor bolts shall be accurately set in accordance with CISC Code of Standard Practice, June 2008, Clause 7.7.1

ADJACENT EXISTING BUILDINGS

The manufacturer does not investigate the influence of the Metal Building System on adjacent existing buildings or structures. The end customer assures that such buildings and structures are adequate to resist snow loads or other conditions as a result of the presence of the Metal Building System. (MBMA 2018 Metal Building Systems Manual, Part IV, Section 3.2.5)

SHOP-PRIMED STEEL

All structural members of the Metal Building System not fabricated of corrosion resistant material or protected by corrosion resistant coating are painted with one coat of shop primer. All surfaces to receive shop primer are cleaned of loose rust, loose mill scale and other foreign matter by using, as a minimum the hand tool cleaning method SSPC-SP2 (Steel Manual, Structures Painting Council) prior to painting. The coat of shop primer is intended to protect the steel framing for only a short period of exposure to ordinary atmospheric conditions. Shop-primed steel should be placed on blocking to prevent contact with the ground, and so positioned as to minimize water holding pockets, dust, mud and other contamination of the primer film. Repairs of damage to primed surfaces and or removal of foreign material due to improper field storage or site conditions are not the responsibility of the manufacturer. (CISC Code of Standard Practice, June 2008, Clause 6.8; (MBMA 2018 Metal Building Systems Manual, Part IV, Section 4.2.4).

ERECTION-GENERAL

The erector, by entering into contract to erect the building, holds itself out as skilled in the erection of Metal Building Systems and is responsible for complying with all applicable local, federal, and state construction and safety regulations including OSHA regulations as well as any applicable requirements of local, national, or international union rules or practices. (CISC Code of Standard Practice, June 2008, Clause 7.2; (MBMA 2018 Metal Building System Manual, Part IV, Section 6.9).

The erector shall erect the Metal Building System in accordance with the erection drawings, the Erection and Detail Manual (February 2012), and / or the Seam-Lok Technical - Erection manual (May 2012) as furnished by the manufacturer. The aforementioned erection information is intended to illustrate the layout of the framing members, provide the associated connection details, and suggests sequence of erection. It is not intended to specify any particular method of erection to be followed by the erector. The erector remains solely responsible for the safety and appropriateness of all techniques and methods utilized by its crews in the erection of the Metal Building System. The erector is responsible for supplying any safety devices such as scaffolds, runways, nets, et, which may be required to safely erect the Metal Building System. (MBMA 2018 Metal Building Systems Manual, Part IV, Section 6.9) The manufacturer expressly disclaims any responsibility for injury to persons in the course of erection or for damages to the product itself. Field erection of a Pre-Engineered Metal Building, as in all construction projects, involves hazards to persons within the area of the construction and risk of damage to the property itself. Only experienced persons who are skilled and qualified in the erection of Metal Building Systems should be permitted to field-erect a building due to the hazards of this construction activity. The manufacturer is not responsible for the erection of the Metal Building System, the supply of any tools or equipment, or any other field work. The manufacturer provides no field supervision for the erection of the structure nor does the manufacturer perform any intermediate or final inspections of the Metal Building System during or after erection.

The erector shall furnish temporary guys and bracing where needed for squaring, plumbing, and securing the structural framing against loads, such as wind loads acting on the exposed framing as well as loads due to erection equipment and erection operation, but not including loads resulting from the performance of work by others. Bracing furnished by the manufacturer for the Metal Building System cannot be assumed to be adequate during erection. Temporary supports such as temporary guys, braces, false work, cribbing, or other elements required for the erection operation will be determined, erected, and installed by the erector. (AISC Code of Standard Practice for Steel Buildings and Bridges, April 14, 2010, Section 7.10.3; CISC Code of Standard Practices, June, 2008, Clause 1.5; MBMA 2018 Metal Buildings System Manual, Part IV, Section 6.2.1.5).

ERECTION TOLERANCES

U.S. ; Erection tolerances are those set forth in AISC code of standard practice except individual members are considered, plumb, level and aligned if the deviation does not exceed 1:500. (AISC Code of Standard Practice for Steel Buildings and Bridges April 14, 2010 Section 7.13.1; MBMA 2018 Metal Building Systems Manual, Part IV, Section 6.8) Canada; Erection tolerances are those set forth in CISC Code of Standard Practice except individual members are considered plumb, level and aligned if the deviation does not exceed 1:500. (CISC Handbook of Steel Construction, Tenth Edition, Second Revised Printing, Part 1, Clause 29.3; MBMA 2018 Metal Building Systems Manual, Part IV, Section 6.8)

BOLT TIGHTENING

The proper tightening and inspection of all fasteners is the responsibility of the erector (Reference RCSC for structural joints using high strength bolts; August 1, 2014). All high strength (ASTM F3125, A325, A490) bolts and nuts must be tightened by the "turn-of-the-nut" method unless otherwise specified by the end customer in the contract documents. Inspection of high strength bolt and nut installation by other than the erector must also be specified in the contract documents and the erector is responsible for ensuring that the installation procedures are compatible prior to the start of erection (CISC Handbook of Steel Construction, Tenth Edition, Second Revised Printing, Part 1, Clause 23.8.2), (MBMA 2018 Metal Building Systems Manual, Part IV, Section 6.9).

MATERIALS	ASTM DESIGNATION	MINIMUM YIELD	MATERIALS	ASTM DESIGNATION	MINIMUM YIELD
Hot-Rolled Mill Sections	A 36, A 572, A 992	Fy = 36 ksi and/or 50 ksi	Roof and Wall Sheeting	A 792, Gr. 50 Class 1 A 792, Gr. 80	Fy = 50 ksi Fy = 80 ksi
Structural Steel Plates	A 572, A 1011	Fy = 55 ksi	Mild Steel Bolts	A 307	Fy = 36 ksi
Structural Steel Bars	A 572 or A 529	Fy = 55 ksi	High Strength Bolts	F3125: A 325-N A 490-N	Fy = 92 or 81 ksi N/A
Cold Formed Light Gauge Shapes	A 653 Gr. 55	Fy = 55 ksi	Anchor Rods (If supplied)	A 36	Fy = 36 ksi
Cable Bracing	A 475, EHS	N/A	Pipe and Hollow Structural Sections	A 500 Gr. B	Fy = 42 ksi, 46 ksi
Rod Bracing	A 36	Fy = 36 ksi			

CORRECTION OF ERRORS AND REPAIRS

The correction of minor misfits by the use of drift pins to draw the components into line, shimming, moderate amounts of reaming, chipping, and cutting, and the replacement of minor shortages of material are a normal part of erection and are not subject to claim. (AISC Code of Standard Practice for Steel Buildings and Bridges, April 14, 2010, Section 7.14; CISC Code of Standard Practice, June 2008, Clause 7.15; MBMA 2018 Metal Building Systems Manual, Part IV, Section 6.10).

DRAWING DISCREPANCIES

In case of discrepancies between the manufacturers steel plans and plans for other trades, the manufacturers steel plans govern. (AISC Code of Standard Practice for Steel Buildings and Bridges, April 14, 2010, Section 3.3; CISC Code of Standard Practice, June 2008, Clause 3.4; MBMA 2018 Metal Building Systems Manual, Part IV, Section 3.1).

DELIVERIES

Delivery of any material by the manufacturers carrier, a common carrier, or to purchasers/ customers own leased, chartered, or authorized conveyance shall constitute delivery to builder, and thereafter, such material shall be at builders risk. If builder chooses to use its own, or private carrier, it shall be solely responsible for compliance with all applicable government regulations. All charges shall be borne by the builder. The manufacturers responsibility for damage or loss ceases upon delivery of shipment to carrier. The manufacturer will endeavor to deliver on the required date. The manufacturers truck is not considered as being late if deliveries are between 8am - 12pm (morning) and 12pm - 5pm (afternoon). However, the manufacturer cannot be held responsible for circumstances beyond our control. For deliveries via the manufacturers truck, the manufacturer will only honor claims that were approved by the customer service department at the time of delivery. For deliveries via contract carriers, it is the responsibility of the customer to file claims with the carrier. The manufacturer cannot assume any liability for the claim.

SHORTAGES

The purchaser /customer should make an inspection upon arrival of all building components. The purchaser/customer must note on the freight bill any missing item(s) and notify the manufacturers customer service department immediately; otherwise, the manufacturer cannot be held responsible for any shortages. If any item is damaged, note on the bill of lading and file a claim with the freight agent. Concealed shortages must be reported to the manufacturers customer service department within the following time frames (date from receipt of first delivery), based on the project shipment size, i.e., number of truck loads used in delivery.

1 to 3 loads...2 weeks 4 loads and over...3 weeks The manufacturers responsibility for shortages expires at the end of these time periods.

FABRICATION ERRORS

The purchaser/customer is responsible for contacting the customer service department to advise the manufacturer of fabrication problems and corresponding cost estimates. The manufacturer will be responsible for providing the builder with verbal approval to proceed with appropriate field corrections. This will be done in a timely manner. IF THE BUILDER PROCEEDS WITH CORRECTIVE WORK WITHOUT THE MANUFACTURERS APPROVAL, HE DOES SO AT HIS OWN RISK. The manufacturer shall not be responsible for any claims where the purchaser/customer has not documented the problem, its correction, and reasonable costs for repair, and submitted this documentation for payment within 30 days of the occurrence.

INVOICE PAYMENT


By acceptance of the materials of services set forth in the invoice, the purchaser/customer agrees to pay the invoice amount within the time period specified on the invoice. AT NO TIME IS IT ACCEPTABLE TO DEDUCT A BACK CHARGE OR SHORTAGE FROM AN INVOICE.

SAFETY PROCEDURES

The manufacturer is committed to manufacturing a quality product that can be erected safely. Although good job site practices and a commitment to safety by the erector are beyond the control of the manufacturer, the manufacturer highly recommends the erector provide good, safe working conditions on the job site. The erector should follow all local, state, and federal health and safety regulations at all times. Accident prevention practices should be implemented and each employee should know emergency procedures. The manufacturer also recommends daily meetings to discuss erection safety procedures. For additional information concerning federal health and safety regulations, contact the occupational safety and health administration (osha).

U.S. Department of Labor
Occupational Safety and Health Administration
200 Constitution Avenue, N.W.
Washington, DC 20210
www.osha.gov

The manufacturer shall not be responsible for personal injury or property damage as a result of failure to follow all applicable safety regulations and material handling and installation recommendations.



300076-OGDEN WAREHOUSE

200'-0" x 250'-0" x 28'-0"

DATE: 5/ 5/22 REVISION: 0

ENG: AJR DWN: BJC APPD: AJR

F.O.26004

DATE	DESCRIPTION

300076-OGDEN WAREHOUSE

DRAWING STATUS

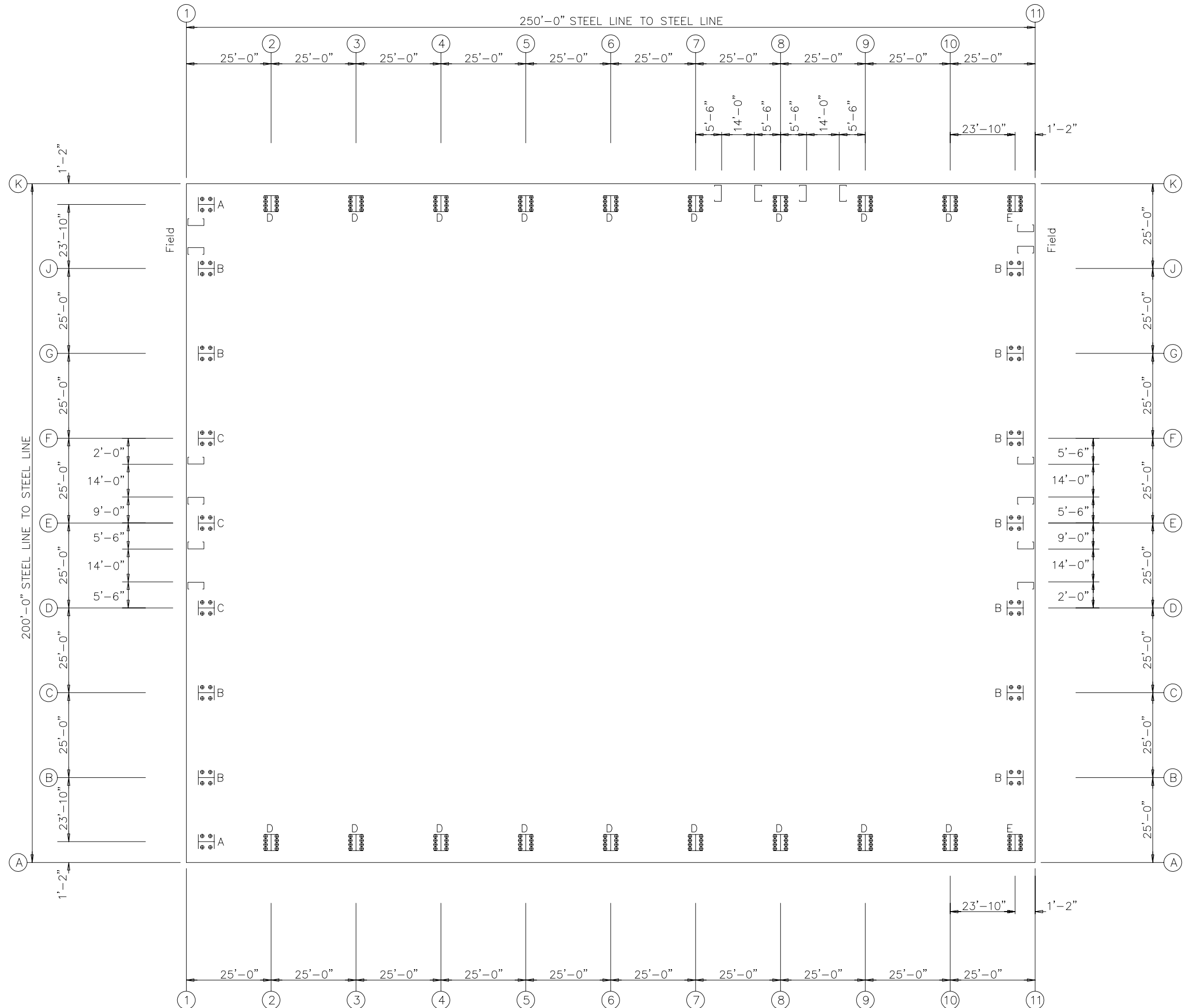
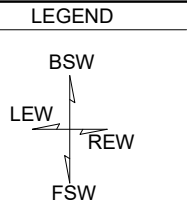
FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL, AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.

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FOR CONSTRUCTION: FINAL DRAWINGS.

REVISION HISTORY

REV. DESCRIPTION



ANCHOR BOLT PLAN
 NOTE: All Base Plates @ 100'-0" (U.N.)
 Finished Floor @ 100'-0"

DRAWING IS NOT TO SCALE

300076-OGDEN WAREHOUSE

F.O. 26004



300076-OGDEN WAREHOUSE
 200'-0" x 250'-0" x 28'-0"

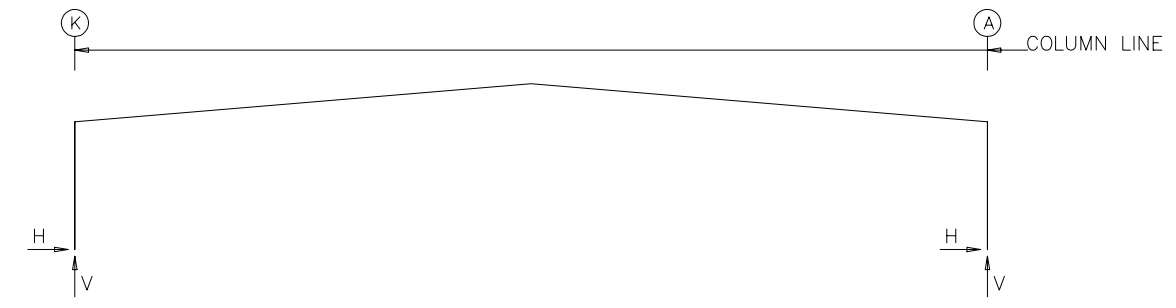
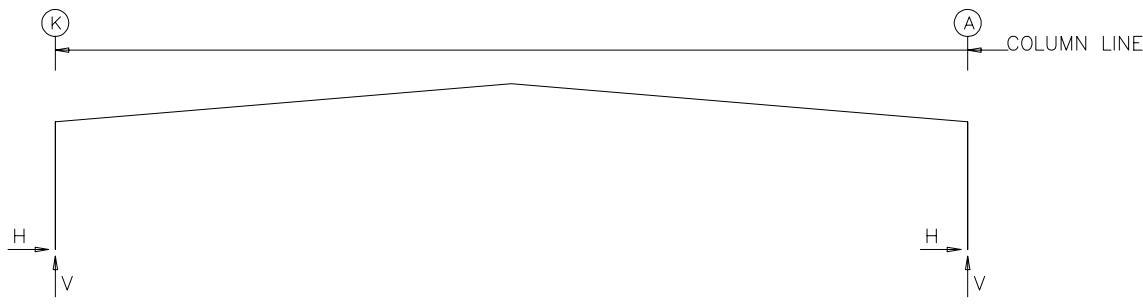
DATE: 5/ 5/22 REVISION: 01
 ENG: AJR DWN: BJC APPD: AJR

REVISION HISTORY

REV.	DESCRIPTION	DATE
01	UPDATED WINDOW LOCATION	5-10-22

DRAWING STATUS

- FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL, AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.
- FOR PERMIT: THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.
- FOR CONSTRUCTION: FINAL DRAWINGS.



RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Line	Column Line	---Dead---		---Collateral---		---Live---		---Snow---		---Wind_Left1---		---Wind_Right1---	
		Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert
2*	K	17.7	18.5	14.5	12.5	57.9	50.0	75.0	64.8	-41.7	-37.3	-28.3	-28.2
2*	A	-17.7	18.5	-14.5	12.5	-57.9	50.0	-75.0	64.7	28.3	-28.2	41.7	-37.3
Frame Line	Column Line	--Wind_Left2--		--Wind_Right2--		--Wind_Long1--		--Wind_Long2--		--Seismic_Left		Seismic_Right	
		Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert
2*	K	-25.0	-19.5	-11.8	-10.4	-35.3	-47.3	-36.6	-39.7	-11.9	-3.0	11.9	3.0
2*	A	11.8	-10.4	25.0	-19.5	36.6	-39.7	35.3	-47.3	-11.9	3.0	11.9	-3.0
Frame Line	Column Line	--Seismic_Long		--MIN_SNOW--		F1UNB_SL_L--		F1UNB_SL_R--					
		Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert				
2*	K	0.0	-42.1	57.9	50.0	63.6	63.7	63.6	37.7				
2*	A	0.0	-42.1	-57.9	50.0	-63.6	37.7	-63.6	37.7				
Frame Line	Column Line	---Dead---		---Collateral---		---Live---		---Snow---		---Wind_Left1---		---Wind_Right1---	
		Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert
11	K	17.7	18.5	14.5	12.5	57.8	50.0	74.8	64.7	-55.0	-51.5	-41.4	-37.5
11	A	-17.7	18.5	-14.5	12.5	-57.8	50.0	-74.8	64.7	41.4	-37.5	55.0	-51.5
Frame Line	Column Line	--Wind_Left2--		--Wind_Right2--		--Wind_Long1--		--Wind_Long2--		--Seismic_Left		Seismic_Right	
		Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert
11	K	-37.2	-33.7	-23.6	-19.6	-35.2	-39.0	-36.6	-31.3	-14.0	-3.5	14.0	3.5
11	A	23.6	-19.6	37.2	-33.7	36.6	-31.3	35.2	-39.0	-14.0	3.5	14.0	-3.5
Frame Line	Column Line	--MIN_SNOW--		F2UNB_SL_L--		F2UNB_SL_R--							
		Horiz	Vert	Horiz	Vert	Horiz	Vert						
11	K	57.8	50.0	63.4	63.7	63.5	37.7						
11	A	-57.8	50.0	-63.5	37.7	-63.4	63.7						
2*	Frame lines:	2	3	4	5	6	7	8	9	10			

RIGID FRAME: ANCHOR BOLTS & BASE PLATES

Frm Line	Col Line	Anc. Qty	Bolt Dia	Base_Plate (in)			AFF/BFF (in)					
				Width	Length	Thick						
2*	K	8	1.250	12.00	26.50	0.500	0.0					
2*	A	8	1.250	12.00	26.50	0.500	0.0					
2*	Frame lines:			2	3	4	5	6	7	8	9	10

RIGID FRAME: ANCHOR BOLTS & BASE PLATES

Frm Line	Col Line	Anc. Qty	Bolt Dia	Base_Plate (in)			AFF/BFF (in)
				Width	Length	Thick	
11	K	8	1.250	12.00	26.50	0.500	0.0
11	A	8	1.250	12.00	26.50	0.500	0.0



300076-OGDEN WAREHOUSE
 200'-0" x 250'-0" x 28'-0"
 DATE: 5/5/22 REVISION: 0
 ENG: AJR DWN: BJC APPD: AJR

F.O. 26004

300076-OGDEN WAREHOUSE

REV.	DESCRIPTION	DATE

DRAWING STATUS

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FOR CONSTRUCTION: FINAL DRAWINGS.

BASIC COLUMN REACTIONS (k)														
Frm Line	Col Line	Dead Vert	Collat Vert	Live Vert	Snow Vert	Wind_Left1 Horz	Wind_Left1 Vert	Wind_Right1 Horz	Wind_Right1 Vert	Wind_Left2 Horz	Wind_Left2 Vert	Wind_Right2 Horz	Wind_Right2 Vert	Wind Press Horz
1	K	0.9	0.7	2.6	3.4	0.0	-3.1	0.0	-2.1	0.0	-2.0	0.0	-1.0	-3.0
1	J	1.8	1.8	7.3	9.4	-2.1	-11.5	0.0	-2.4	-2.1	-9.0	0.0	0.2	-6.1
1	G	1.6	1.6	6.3	8.2	0.0	-5.7	2.1	-7.0	0.0	-3.4	2.1	-4.7	-6.7
1	F	2.1	1.6	6.6	8.5	0.0	-5.7	0.0	-4.7	0.0	-3.4	0.0	-2.3	-7.1
1	E	2.1	1.6	6.5	8.4	0.0	-4.1	0.0	-4.1	0.0	-2.1	0.0	-2.1	-7.6
1	D	2.1	1.6	6.6	8.5	0.0	-4.7	0.0	-5.7	0.0	-2.3	0.0	-3.4	-7.1
1	C	1.6	1.6	6.3	8.2	-2.1	-7.0	0.0	-5.7	-2.1	-4.7	0.0	-3.4	-6.7
1	B	1.8	1.8	7.3	9.4	0.0	-2.4	2.1	-11.5	0.0	0.2	2.1	-9.0	-6.1
1	A	0.9	0.7	2.6	3.4	0.0	-2.1	0.0	-3.1	0.0	-1.0	0.0	-2.0	-3.0

Frm Line	Col Line	Wind Suct Horz	Wind_Long1 Horz	Wind_Long2 Horz	Seis_Left Horz	Seis_Left Vert	Seis_Right Horz	Seis_Right Vert	-MIN Horz	-SNOW Horz	-E1UNB Horz	-SL_L- Vert
1	K	3.5	0.0	-3.5	0.0	-2.1	0.0	0.1	0.0	0.0	2.7	3.4
1	J	6.8	0.0	-8.3	0.0	-5.8	0.0	10.7	0.0	7.3	0.0	9.4
1	G	7.4	0.6	-8.5	0.0	-3.8	0.0	9.7	8.3	-10.4	0.0	8.0
1	F	7.8	0.0	-8.4	0.0	-4.4	0.0	0.2	0.0	6.6	0.0	14.9
1	E	8.3	0.0	-5.7	0.0	-5.7	0.0	0.0	0.0	6.5	0.0	9.0
1	D	7.8	0.0	-4.4	0.0	-8.4	0.0	-0.2	0.0	6.6	0.0	1.7
1	C	7.4	0.0	-3.8	0.0	-8.5	0.0	9.7	0.0	6.3	0.0	2.7
1	B	6.8	0.6	-5.8	0.0	-8.3	0.0	10.7	8.3	-10.0	0.0	2.8
1	A	3.5	0.0	-2.1	0.0	-3.5	0.0	-0.1	0.0	0.1	0.0	1.0

Frm Line	Col Line	E1UNB Horz	SL_R- Vert
1	K	0.0	1.0
1	J	0.0	2.8
1	G	0.0	2.7
1	F	0.0	1.7
1	E	0.0	9.0
1	D	0.0	14.9
1	C	0.0	8.0
1	B	0.0	9.4
1	A	0.0	3.4

Frm Line	Col Line	Dead Vert	Wind Press Horz	Wind Suct Horz
11	B	0.4	-5.4	5.9
11	C	0.4	-5.8	6.4
11	D	0.5	-6.2	6.9
11	E	0.5	-6.6	7.3
11	F	0.5	-6.2	6.9
11	G	0.4	-5.8	6.4
11	J	0.4	-5.4	5.9

Qty	Locate	Dia (in)	Type
⊕ 64	Endwall	3/4"	
⊕ 160	Frame	1 1/4"	

Wall Loc	Col Line	Reactions in plane of wall ± Reactions(k)	Panel Shear (lb/ft)	Note
Loc	Line	Wind Horz	Seismic Vert	Wind Seis
L_EW	1	J,G	Bracing, see EW reactions	
F_SW	A	C,B	Bracing, see EW reactions	
		2,3	8.1 * 40.9 *	
		4,5	8.1 * 40.9 *	
		9,10	8.1 * 40.9 *	
R_EW	11	K	10.9	8.1 * 40.9 *
B_SW	K		5,4	8.1 * 40.9 *
			3,2	8.1 * 40.9 *

(h) Rigid frame at endwall

*See RF reactions table for vertical and horizontal reactions in plane of the rigid frame.

Frm Line	Col Line	Anc_Bolt Qty	Anc_Bolt Dia	Base_Plate Width	Base_Plate Length	Base_Plate Thick	AFF/BFF (in)
1	K	4	0.750	6.000	12.00	0.375	0.0
1	J	4	0.750	6.000	12.00	0.375	0.0
1	G	4	0.750	6.000	12.00	0.375	0.0
1	F	4	0.750	8.000	12.19	0.375	0.0
1	E	4	0.750	8.000	12.19	0.375	0.0
1	D	4	0.750	8.000	12.19	0.375	0.0
1	C	4	0.750	6.000	12.00	0.375	0.0
1	B	4	0.750	6.000	12.00	0.375	0.0
1	A	4	0.750	6.000	12.00	0.375	0.0
11	B	4	0.750	6.000	12.00	0.375	0.0
11	C	4	0.750	6.000	12.00	0.375	0.0
11	D	4	0.750	6.000	12.00	0.375	0.0
11	E	4	0.750	6.000	12.00	0.375	0.0
11	F	4	0.750	6.000	12.00	0.375	0.0
11	G	4	0.750	6.000	12.00	0.375	0.0
11	J	4	0.750	6.000	12.00	0.375	0.0

DESIGN INFORMATION

- All loading conditions are examined and only the maximum / minimum H or V and the corresponding H or V are reported.
- Positive reactions are shown in the sketch. Foundation loads are in opposite directions.
- Bracing reactions are in the plane of the brace with the H pointing away from the braced bay. The vertical reaction is downward.
- Building reactions are based on the following building data:

DESIGN CRITERIA	SEISMIC CRITERIA	DEFLECTION LIMITS
Width (ft) =200	Seismic Importance = 1.00	ENDWALL COLUMN L/ 120
Length (ft) =250	Risk Category =II - Normal	ENDWALL RAFTER (Live) L/ 180
Eave Height (ft) =28		ENDWALL RAFTER (Wind) L/ 180
Roof Slope (rise/12) =1.0: 12	Mapped Spectral Response Accelerations Ss =1.3874	WALL GIRTS L/ 90
Building Code =IBC 18	S1 =0.5081	PURLIN (LIVE) L/ 180
Local Code (State/Prov) =IBC 18	---Spectral Response Coefficients---	PURLIN (WIND) L/ 150
Dead Load (psf) =2.250	Sds =1.1096	WALL PANEL L/ 90
Collateral Load (psf) =5.00	Sd1 =0.6069	ROOF PANEL (Live) L/ 180
Roof Live Load (psf) =20.00	Site Class =d	ROOF PANEL (Wind) L/ 120
Frame Live Load (psf) =20.00	Seismic Design Category =D	Main Frame (Horiz) H/ 60
Snow: Ground Snow Load (psf) =37.00	-----Base Shear-----	Main Frame (Vert) L/ 180
Snow Importance =1.00	Expanded Formula = 0.667*Ie*Fa*Ss*W/R	WIND BRACING H/ 60
Thermal Coefficient =1.00	Longitudinal Base Shear (k) =188.8	Main Frame (Crane) H/ 100
Snow Exposure Factor =1.0000	Transverse Base Shear (k) =198.4	Main Frame (Seismic) H/ 65
Slippery Roof =N	---Seismic Response Coefficients---	SEISMIC BRACING H/ 65
Roof Snow Load, Pf (psf) =25.9	Frame =0.342	PARTITION COLUMN L/ 120
Min Roof Snow Load, Pmin (psf)=20.0000	FSW =0.342	PARTITION GIRT L/ 120
Wind: Ultimate Wind Speed (mph) =105 mph	BSW =0.342	PARTITION PANEL L/ 120
Risk Category =II - Normal	---Response Modification Factors---	
Importance - Wind = 1.00	Frame =3.25	
Wind Exposure =C	FSW =3.25	
Enclosure Classification =C	BSW =3.25	
---Internal Pressure Coefficients---		
Pressure =0.18		
Suction =-0.18		
----Components & Cladding----		
Design Pressure: Pressure (psf) =21.39		
Suction (psf) =-28.52		

Equivalent Lateral Brace Force Procedure.

WESTERN STEEL BUILDINGS

300076-OGDEN WAREHOUSE

200'-0" x 250'-0" x 28'-0"

DATE: 5/ 5/22 REVISION: 0

ENG: AJR DWN: BJC APPD: AJR

300076-OGDEN WAREHOUSE

F.O. 26004

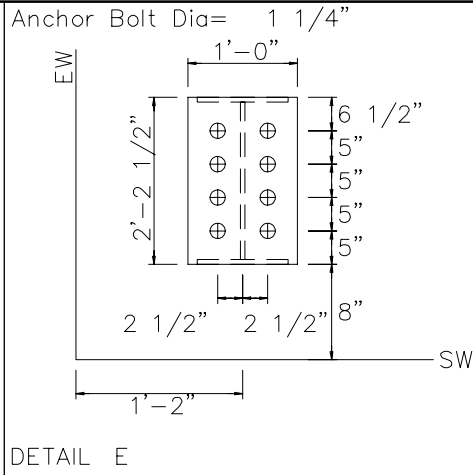
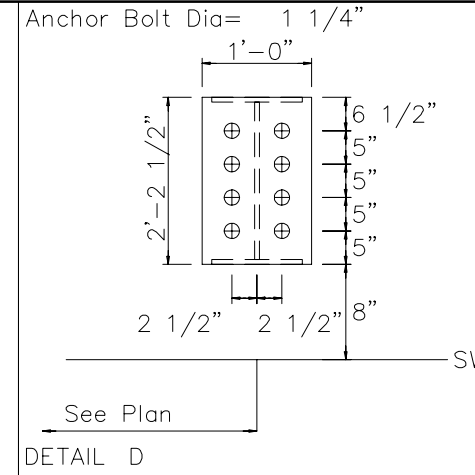
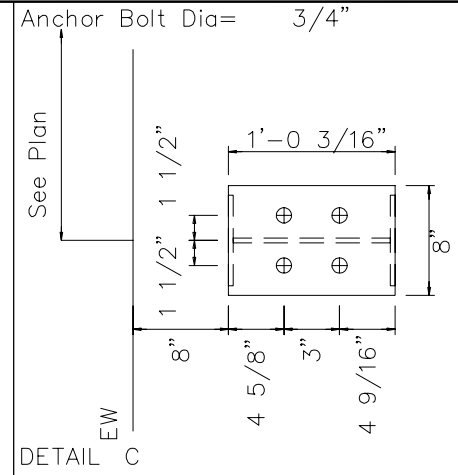
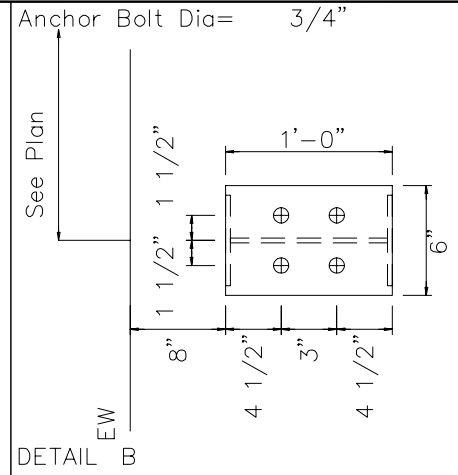
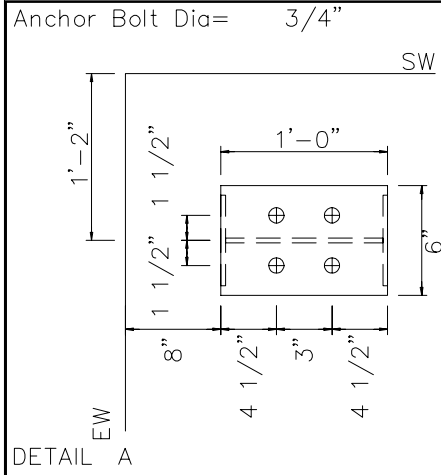
REV.	DESCRIPTION	DATE

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300076-OGDEN WAREHOUSE

F.O. 26004

300076-OGDEN WAREHOUSE
 200'-0" x 250'-0" x 28'-0"
 DATE: 5/5/22 REVISION: 0
 ENG: AJR DWN: BJC APPD: AJR

DRAWING STATUS		REVISION HISTORY	
REV.	DESCRIPTION	REV.	DATE

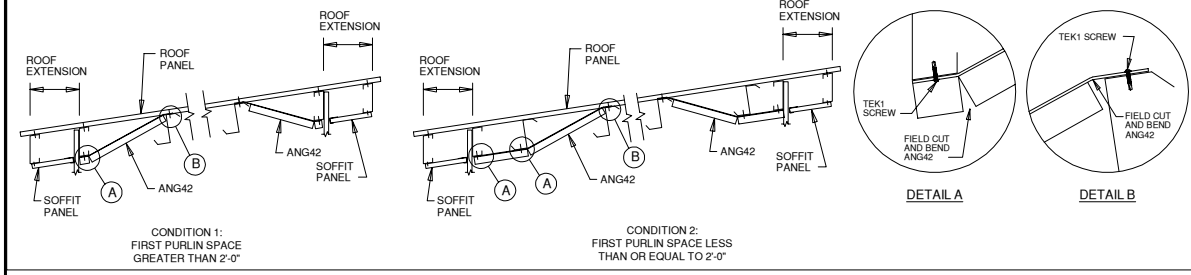
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FOR CONSTRUCTION: FINAL DRAWINGS.

STANDARD EAVE STRUT BRACING DETAIL

NOTE 1: SPACE BRACES EVENLY ACROSS BAYS



MEMBER TABLE
ROOF PLAN

QUAN	MARK	PART	LENGTH
24	P-1	08X25Z12	28'-1 1/2"
106	P-2	08X25Z13	31'-3 1/2"
278	P-3	08X25Z14	31'-3 1/2"
24	P-4	08X25Z12	28'-1 1/2"
24	P-5	08X25Z12	28'-1 1/2"
24	P-6	08X25Z12	28'-1 1/2"
6	P-7	08X25Z10	31'-3 1/2"
1	E-1	08X35E13	24'-11 1/2"
16	E-2	08X35E13	24'-11 1/2"
1	E-3	08X35E13	24'-11 1/2"
1	E-4	08X35E13	24'-11 1/2"
1	E-5	08X35E13	24'-11 1/2"
12	CB-4	L6x3 1/2x1/2	32'-8 13/16"
24	CB-5	CABLE500	31'-9 13/16"
24	CB-6	CABLE500	32'-2"
24	CB-7	CABLE500	32'-0 1/4"

SPECIAL BOLTS
ROOF PLAN

Ø ID	QUAN	TYPE	DIA	LENGTH	WASH
1	4	A325	1/2"	1 1/2"	0
2	6	A325	1/2"	1 1/2"	0
3	4	A325	1/2"	1 1/4"	0
4	6	A325	1/2"	1 1/4"	0

WESTERN STEEL BUILDINGS

300076-OGDEN WAREHOUSE

200'-0" x 250'-0" x 28'-0"

DATE: 5/ 5/22 REVISION: 0

ENG: AJR DWN: BJC APPD: AJR

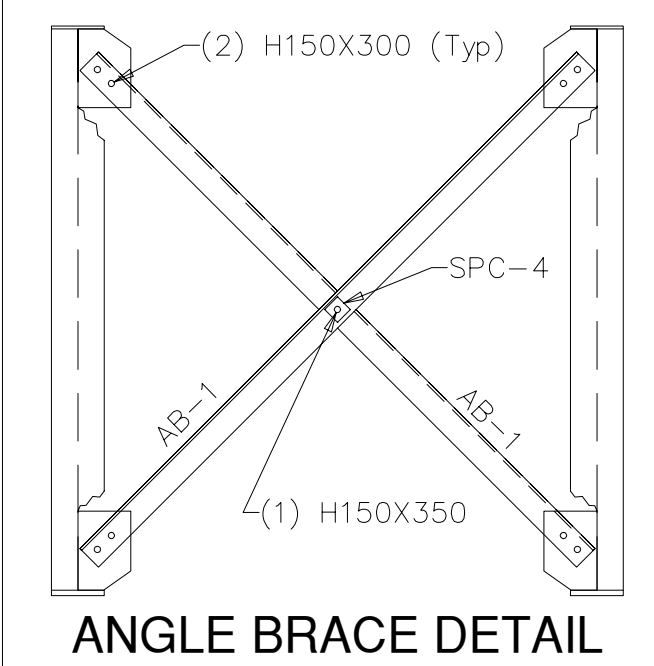
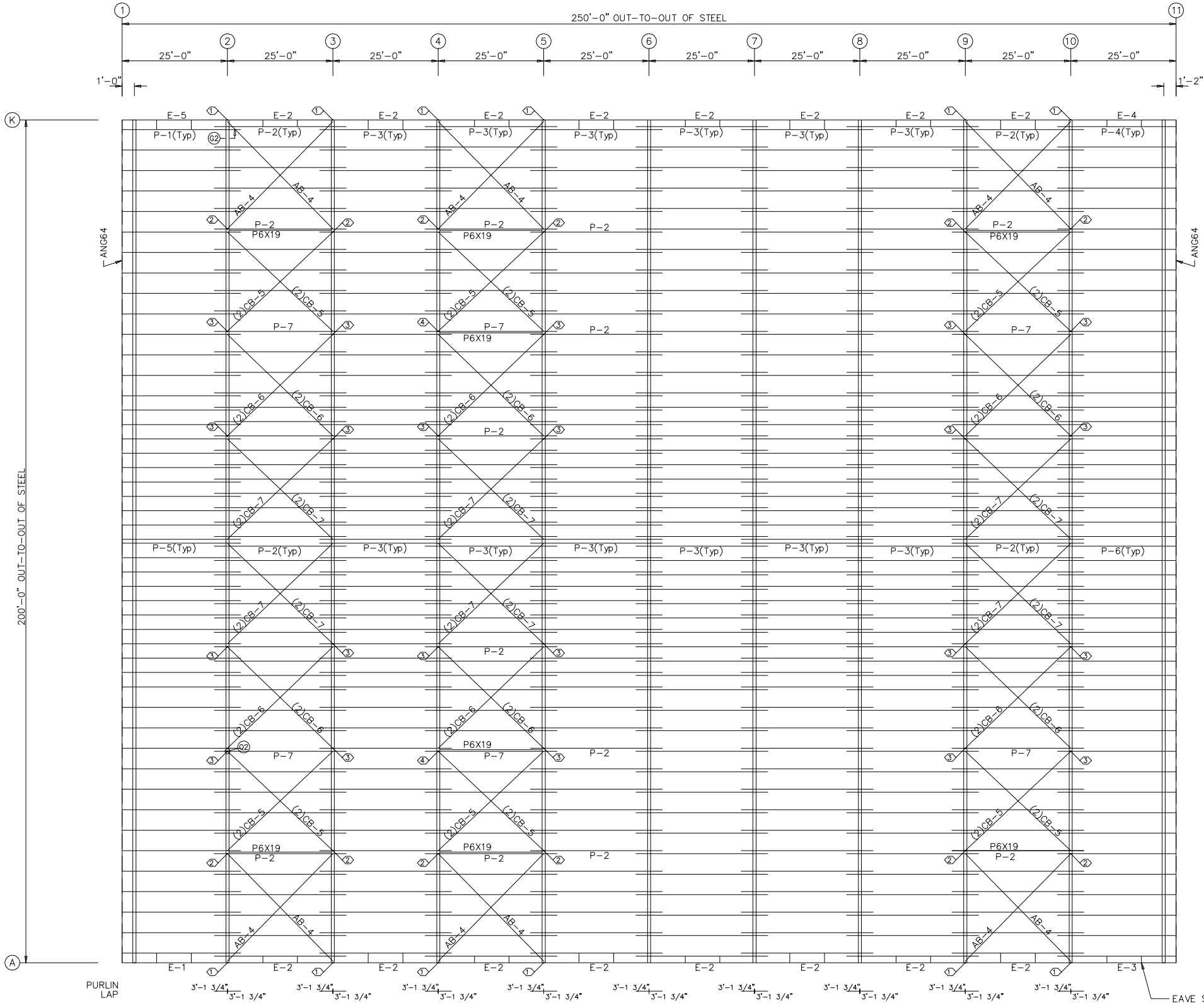
F.O. 26004

REVISION HISTORY

REV.	DESCRIPTION	DATE

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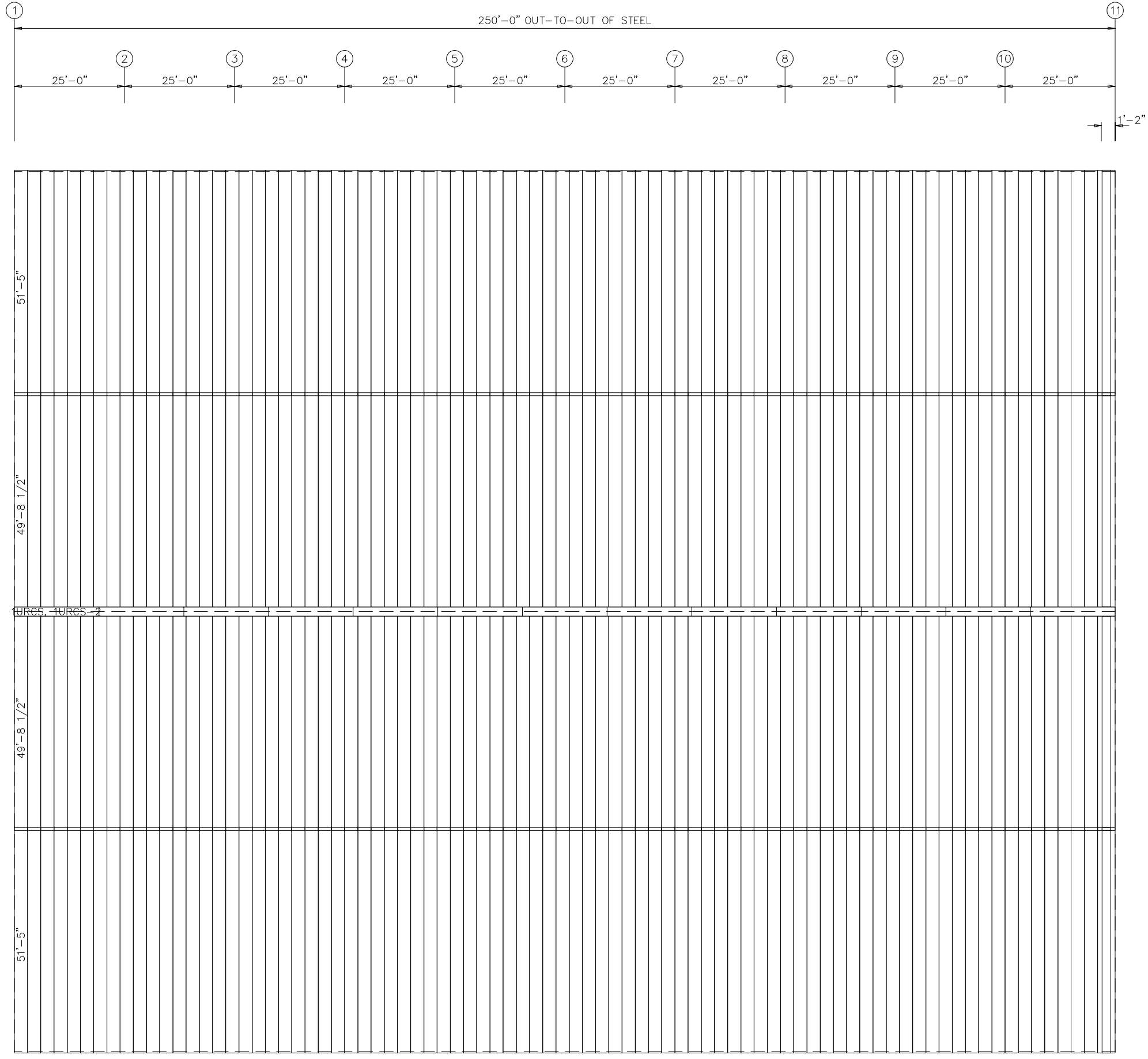
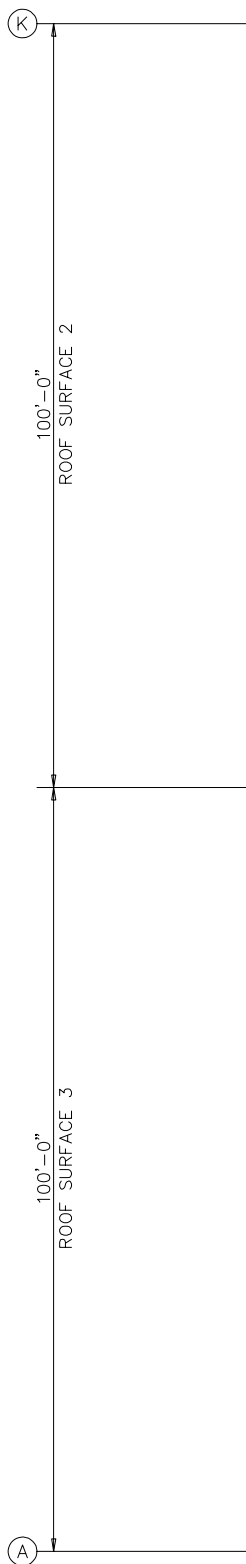
GENERAL NOTES:

- Screw Down Roof: Use TEK5WW screws in place of SD150 panel screws at all 10 gage purlins, eave struts, or roof joists.
- Standing Seam Roof: Use FST#6 in place of FST#1 clip to purlin screws at all 10 gage purlins, eave struts, or at roof joists.

ROOF FRAMING PLAN

EAVE STRUT BRACING TYP.

DRAWING IS NOT TO SCALE



GENERAL NOTES:
 Panel "Start" and "End" dimensions must be followed for the proper installation of the gable trim(s) provided.

ROOF SHEETING PLAN
 PANELS: 26 Ga. R - Galvalume

DRAWING IS NOT TO SCALE

300076-OGDEN WAREHOUSE

F.O. 26004



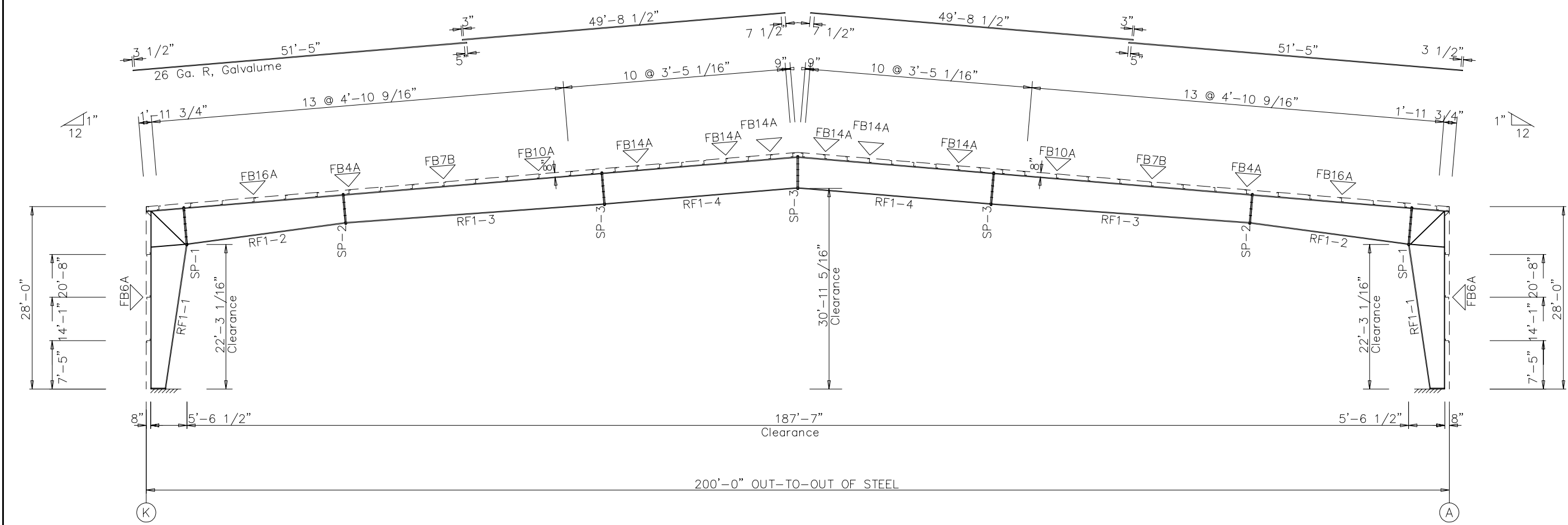
300076-OGDEN WAREHOUSE
 200'-0" x 250'-0" x 28'-0"
 DATE: 5/5/22 REVISION: 0
 ENG: AJR DWN: BJC APPD: AJR

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<input type="checkbox"/>	FOR CONSTRUCTION: FINAL DRAWINGS.		

SPLICE BOLT TABLE						
Mark	Qty		Int	Type	Dia	Length
	Top	Bot				
SP-1	6	4	8	A325	1.500	4.25
SP-2	4	4	6	A325	1.500	4.25
SP-3	4	4	8	A325	1.250	3.50

MEMBER TABLE										
Mark	Web Depth		Web Thick	Plate Length	Outside Flange			Inside Flange		
	Start	End			W	Thk	Length	W	Thk	Length
RF1-1	25.0	61.8	0.313	240.0	12 x 1/2"	x	120.0	12 x 1"	x	264.2
	61.8	65.0			12 x 3/4"	x	207.1			
RF1-2	65.0	56.2	0.313	172.7	12 x 1"	x	52.7	12 x 1"	x	293.0
	56.2	50.1			12 x 3/4"	x	120.0			
RF1-3	50.0	52.8	0.250	270.0	10 x 5/8"	x	120.0	10 x 1"	x	120.0
	52.8	55.0			10 x 1/2"	x	120.0			
RF1-4	55.0	55.0	0.250	270.0	10 x 3/4"	x	120.0	10 x 3/8"	x	115.7
	55.0	55.0			10 x 1"	x	115.7			
			0.250	90.0	10 x 1"	x	360.0	10 x 3/8"	x	355.4

▽ FLANGE BRACES: Both Sides(U.N.)
 FBxxA(1)
 A - L15X1/8
 B - L20X3/16



RIGID FRAME ELEVATION: FRAME LINE 2 3 4 5 6 7 8 9 10

GENERAL NOTES:
 1. See Detail Sheets for Connection Information.
 2. See Shipping List for Flange Brace Lengths.

DRAWING IS NOT TO SCALE

WESTERN
STEEL BUILDINGS

300076-OGDEN WAREHOUSE
 200'-0" x 250'-0" x 28'-0"
 DATE: 5/5/22 REVISION: 0
 ENG: AJR DWN: BJC APPD: AJR

F.O. 26004

300076-OGDEN WAREHOUSE

DRAWING STATUS	
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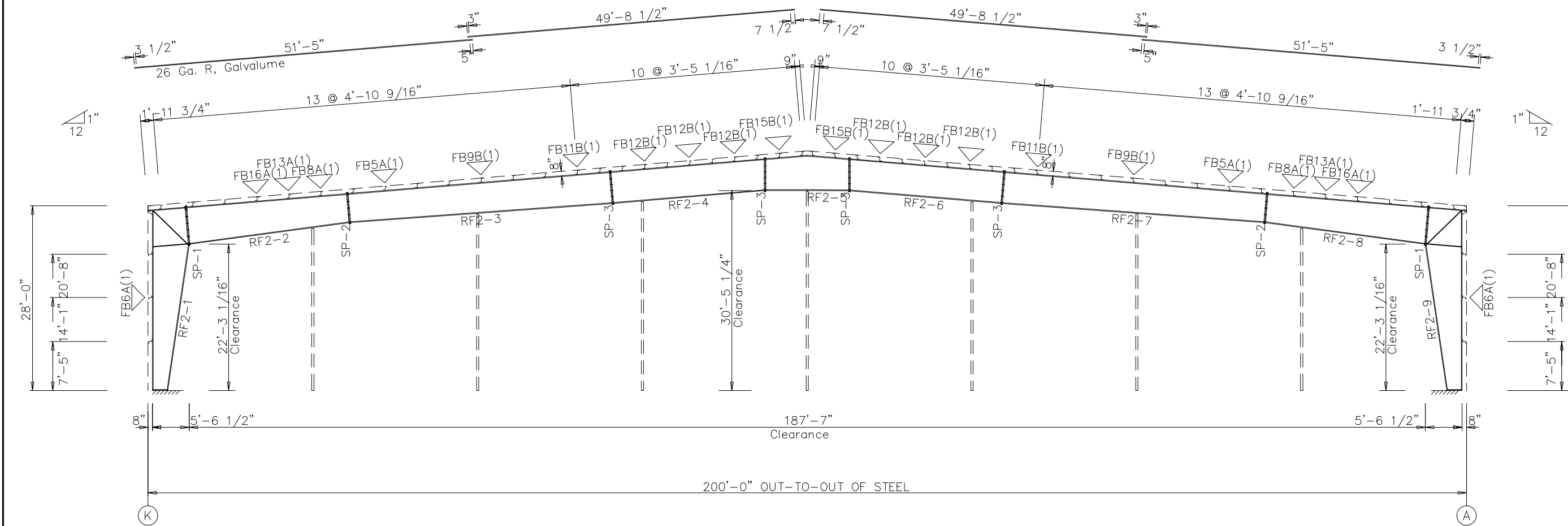
REVISION HISTORY	
REV.	DESCRIPTION

DATE

SPLICE BOLT TABLE						
Mark	Qty		Int	Type	Dia	Length
	Top	Bot				
SP-1	6	4	8	A325	1.500	4.25
SP-2	4	4	6	A325	1.500	4.25
SP-3	4	4	8	A325	1.250	3.50

▽ FLANGE BRACES: Both Sides(U.N.)
 FBxxA(1)
 A - L15X1/8
 B - L20X3/16

Mark	Web Depth		Web Plate Length	Outside Flange			Inside Flange		
	Start/End	Thick		W	Thk	Length	W	Thk	Length
RF2-1	25.0/61.8	0.313	240.0	12 x 1/2"	x 120.0	12 x 1"	x 264.2		
	61.8/65.0	0.375	92.1	12 x 3/4"	x 207.1				
				12 x 1"	x 67.8				
RF2-2	65.0/56.2	0.313	172.7	12 x 1"	x 52.7	12 x 1"	x 293.0		
	56.2/50.1	0.250	120.0	12 x 3/4"	x 120.0				
				12 x 1/2"	x 120.0				
RF2-3	50.0/52.8	0.250	270.0	10 x 3/4"	x 477.8	10 x 3/4"	x 120.0		
	52.8/55.0	0.250	207.8			10 x 5/8"	x 357.8		
RF2-4	55.0/55.0	0.250	225.4	10 x 3/4"	x 285.4	10 x 1/2"	x 280.8		
	55.0/55.0	0.250	60.0						
RF2-5	55.1/61.2	0.313	142.5	10 x 3/4"	x 71.4	10 x 1/2"	x 142.5		
				10 x 3/4"	x 71.4				
RF2-6	55.0/55.0	0.250	60.0	10 x 3/4"	x 285.4	10 x 1/2"	x 280.8		
	55.0/55.0	0.250	225.4						
RF2-7	55.0/52.8	0.250	207.8	10 x 3/4"	x 477.8	10 x 5/8"	x 357.8		
	52.8/50.0	0.250	270.0			10 x 3/4"	x 120.0		
RF2-8	50.1/56.2	0.250	120.0	12 x 1/2"	x 120.0	12 x 1"	x 293.0		
	56.2/65.0	0.313	172.6	12 x 3/4"	x 120.0				
				12 x 1"	x 52.6				
RF2-9	65.0/61.8	0.375	92.1	12 x 1"	x 67.8	12 x 1"	x 264.2		
	61.8/25.0	0.313	240.0	12 x 3/4"	x 207.1				
				12 x 1/2"	x 120.0				



RIGID FRAME ELEVATION: FRAME LINE 11

GENERAL NOTES:
 1. See Detail Sheets for Connection Information.
 2. See Shipping List for Flange Brace Lengths.

DRAWING IS NOT TO SCALE

WESTERN
STEEL BUILDINGS
 300076-OGDEN WAREHOUSE
 200'-0" x 250'-0" x 28'-0"
 DATE: 5/5/22 REVISION: 0
 ENG: AJR DWN: BJC APPD: AJR

300076-OGDEN WAREHOUSE
F.O. 26004

REV.	DESCRIPTION	DATE

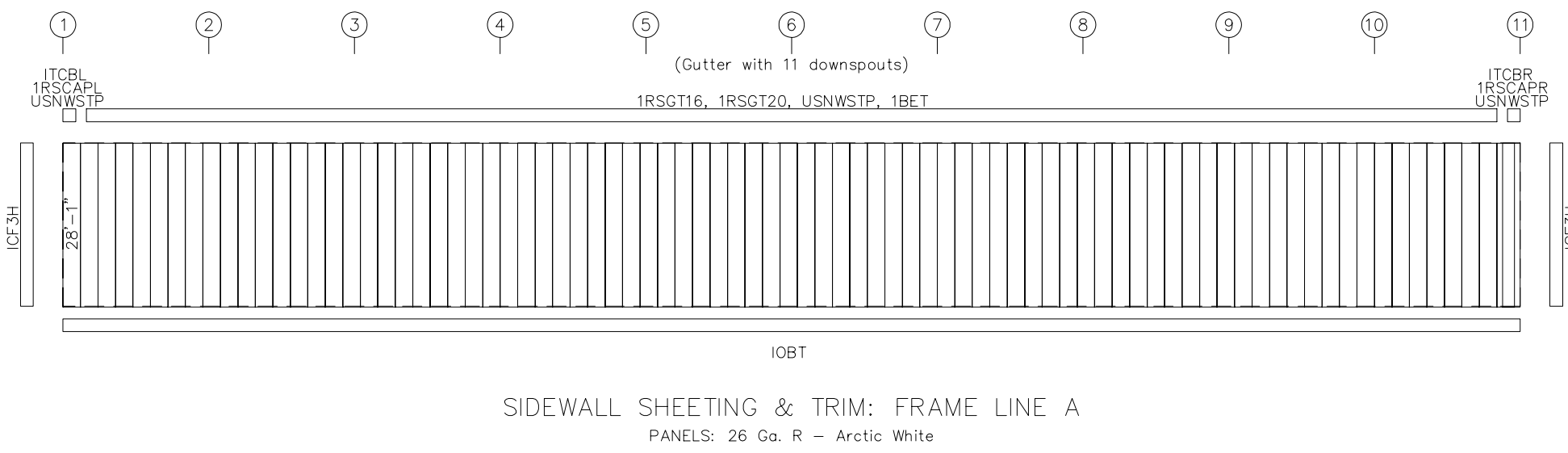
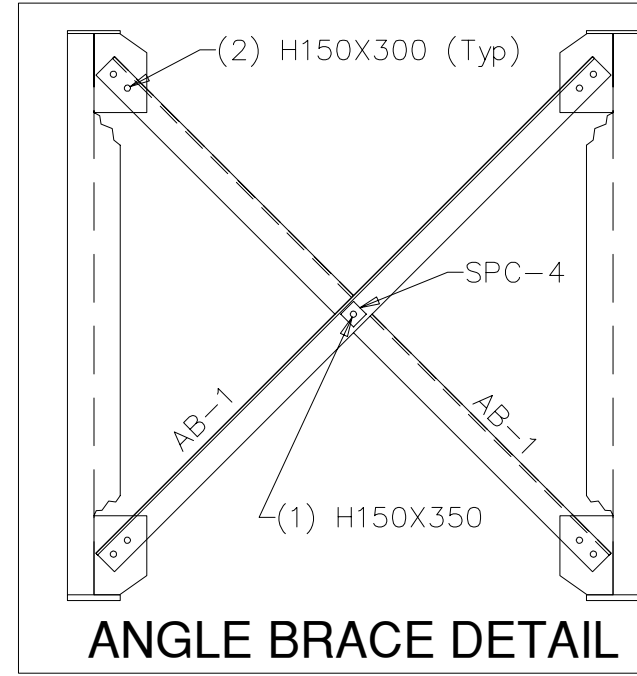
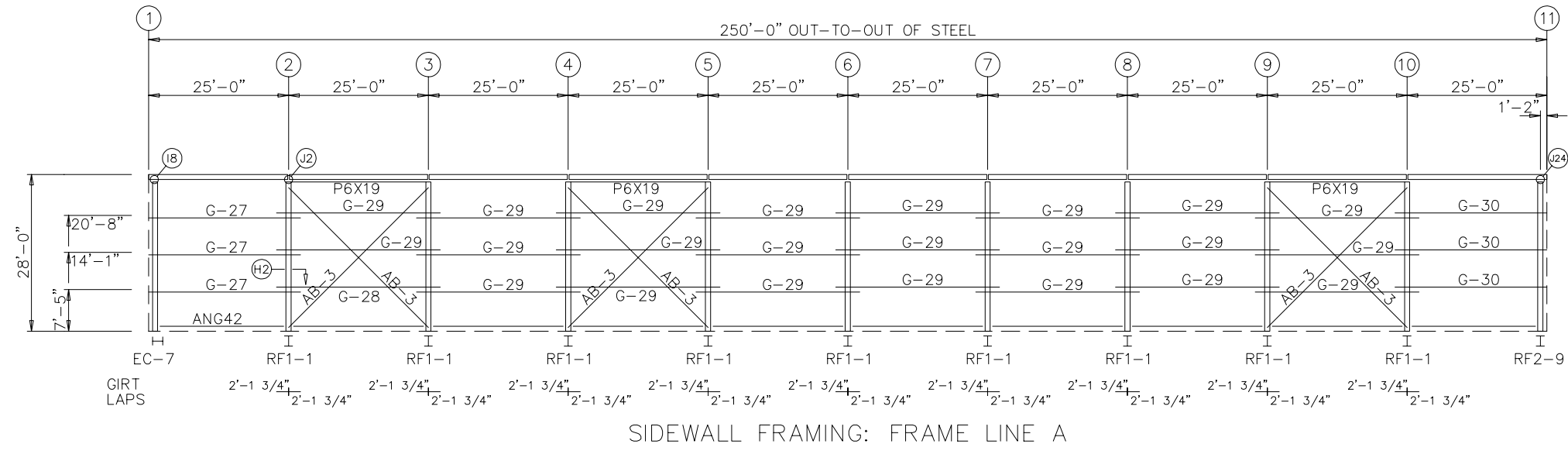
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FOR CONSTRUCTION: FINAL DRAWINGS.

MEMBER TABLE			
FRAME LINE A			
QUAN	MARK	PART	LENGTH
3	G-27	08X25Z14	27'-1 1/2"
1	G-28	08X25Z14	29'-3 1/2"
23	G-29	08X25Z16	29'-3 1/2"
3	G-30	08X25Z14	27'-1 1/2"
6	AB-3	L6x3 1/2x1/2	33'-6 7/8"



DRAWING IS NOT TO SCALE

TRIM COLORS			
EAVE TRIM	= Charcoal Grey	CORNER TRIM	= Charcoal Grey
BASE TRIM	= Charcoal Grey	GUTTER	= Charcoal Grey
DOOR TRIM	= Arctic White	DOWNSPOUTS	= Charcoal Grey
RAKE TRIM	= Charcoal Grey		
* LINER TRIM	= Liner panel color		
* SOFFIT TRIM	= Soffit panel color		
* ONLY APPLICABLE IF LINER TRIM OR SOFFIT PANEL IS INDICATED ON BUILDING ORDER.			

GENERAL NOTES:

- Use TEK5WW screws in place of SD150 panel screws at all 10 gage members.
- All connections to door or window jambs where the clip is not designated in the clip table / drawing are made with JC# clips (#= Girt Depth).

WESTERN
STEEL BUILDINGS

300076-OGDEN WAREHOUSE

200'-0" x 250'-0" x 28'-0"

DATE: 5/5/22 REVISION: 0

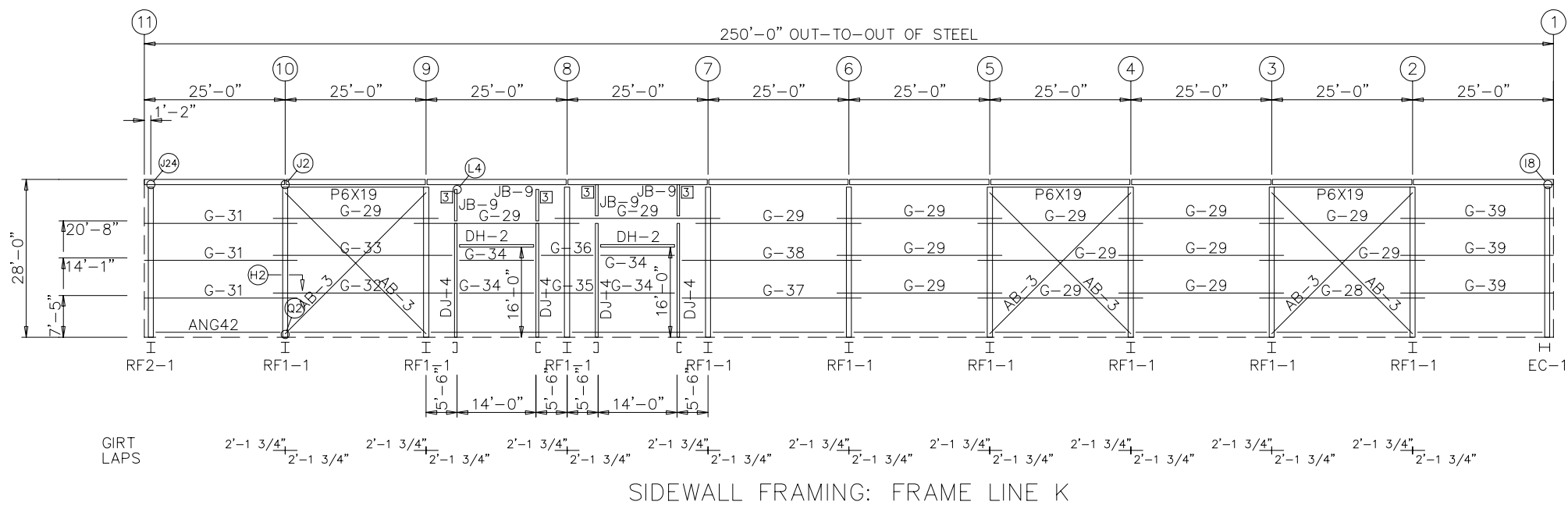
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REV.	DATE

300076-OGDEN WAREHOUSE

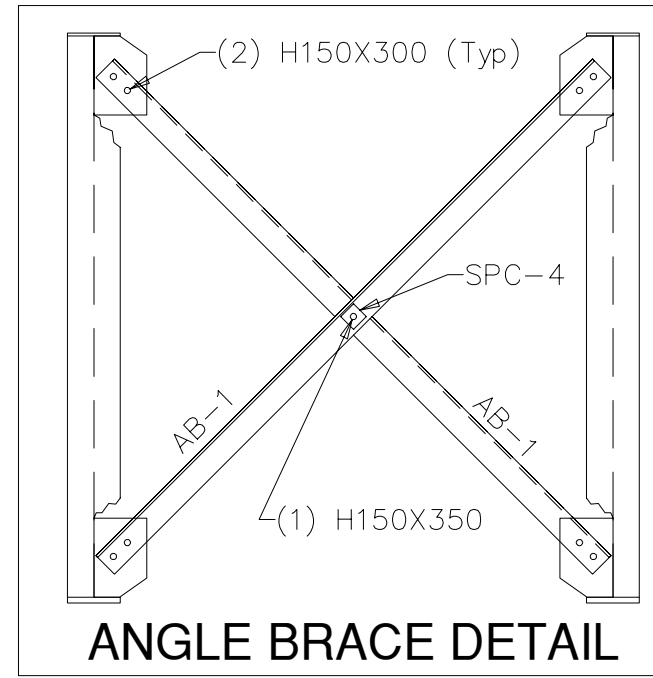
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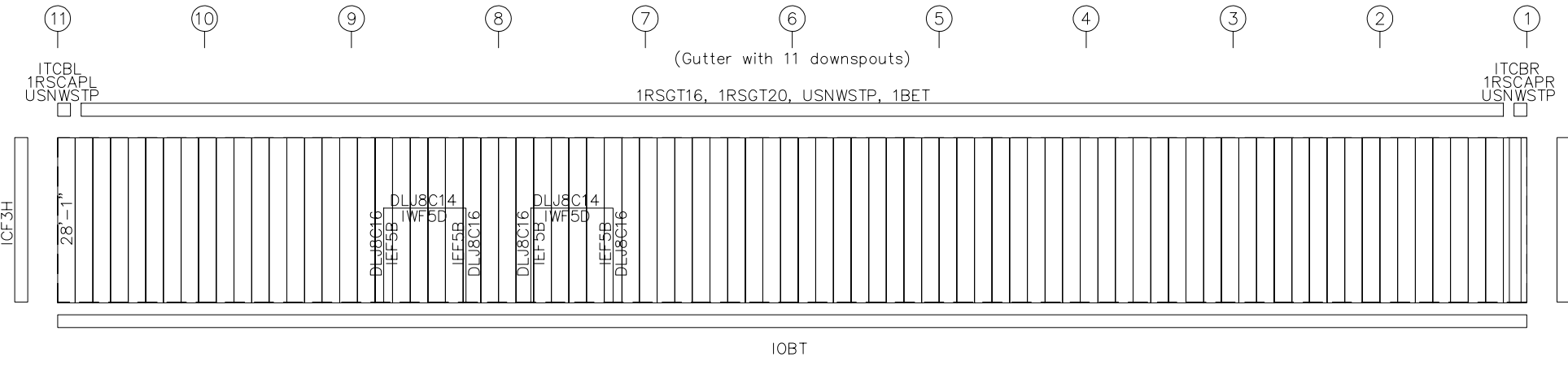
SIDEWALL FRAMING: FRAME LINE K

MEMBER TABLE FRAME LINE K			
QUAN	MARK	PART	LENGTH
4	DJ-4	08X35C16	20'-7 3/4"
2	DH-2	08X35C16	14'-0"
1	G-28	08X25Z14	29'-3 1/2"
15	G-29	08X25Z16	29'-3 1/2"
3	G-31	08X25Z14	27'-1 1/2"
1	G-32	08X25Z16	32'-4"
1	G-33	08X25Z14	32'-4"
4	G-34	08X25Z16	13'-11 1/2"
1	G-35	08X25Z16	10'-4 1/2"
1	G-36	08X25Z14	10'-4 1/2"
1	G-37	08X25Z16	32'-4"
1	G-38	08X25Z14	32'-4"
3	G-39	08X25Z14	27'-1 1/2"
6	AB-3	L6x3 1/2x1/2	33'-6 7/8"
4	JB-9	08X35C16	6'-6 3/4"

CONNECTION PLATES FRAME LINE K		
ID	QUAN	MARK/PART
3	4	JC



ANGLE BRACE DETAIL



SIDEWALL SHEETING & TRIM: FRAME LINE K
PANELS: 26 Ga. R - Arctic White

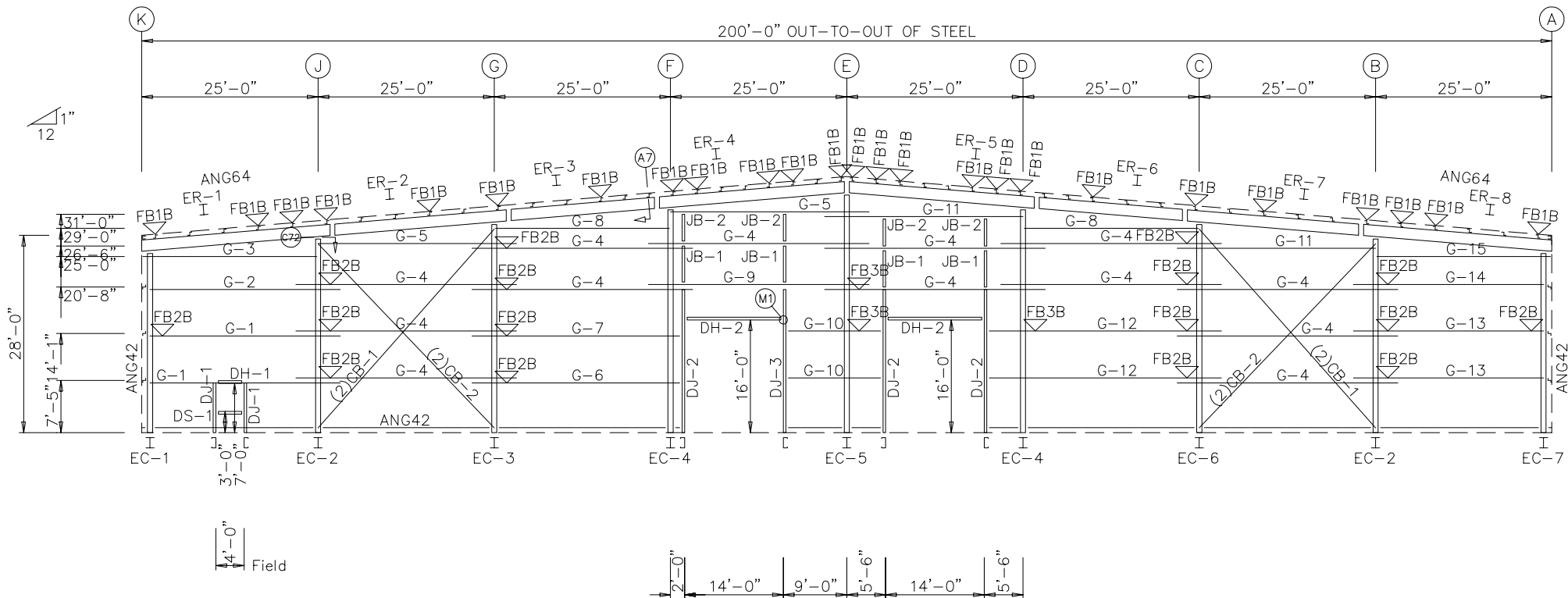
DRAWING IS NOT TO SCALE

TRIM COLORS			
EAVE TRIM	= Charcoal Grey	CORNER TRIM	= Charcoal Grey
BASE TRIM	= Charcoal Grey	GUTTER	= Charcoal Grey
DOOR TRIM	= Arctic White	DOWNSPOUTS	= Charcoal Grey
RAKE TRIM	= Charcoal Grey		
* LINER TRIM	= Liner panel color		
* SOFFIT TRIM	= Soffit panel color		
* ONLY APPLICABLE IF LINER TRIM OR SOFFIT PANEL IS INDICATED ON BUILDING ORDER.			

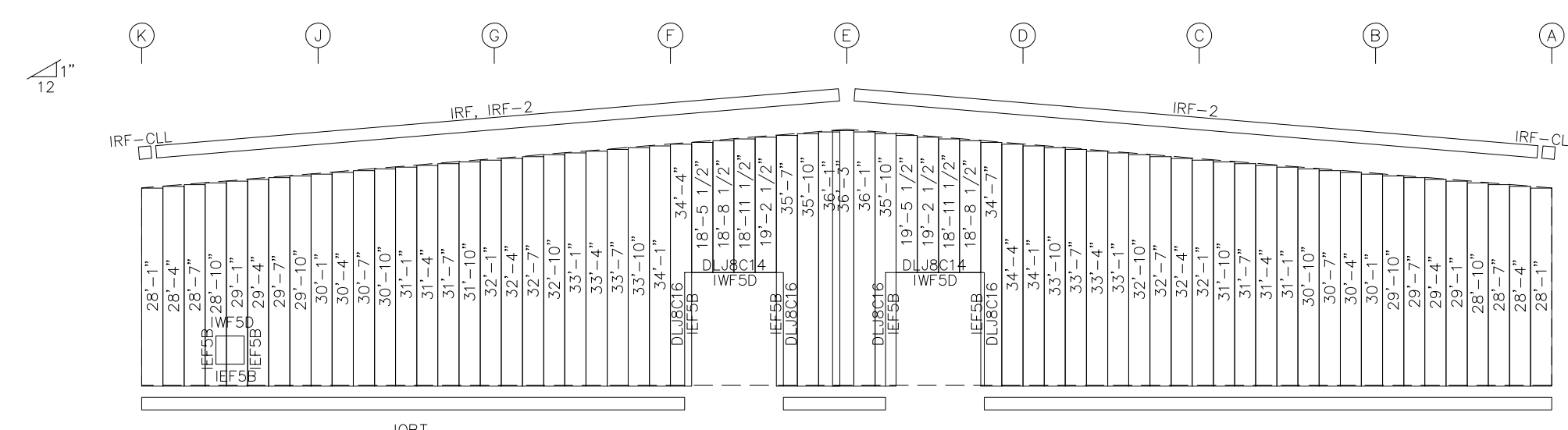
GENERAL NOTES:
 1. Use TEK5WW screws in place of SD150 panel screws at all 10 gage members.
 2. All connections to door or window jambs where the clip is not designated in the clip table / drawing are made with JC# clips (#= Girt Depth).

WESTERN STEEL BUILDINGS
 300076-OGDEN WAREHOUSE
 200'-0" x 250'-0" x 28'-0"
 DATE: 5/5/22 REVISION: 0
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300076-OGDEN WAREHOUSE
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 FOR CONSTRUCTION: FINAL DRAWINGS.



ENDWALL FRAMING: FRAME LINE 1



ENDWALL SHEETING & TRIM: FRAME LINE 1

PANELS: 26 Ga. R - Arctic White

BOLT TABLE
FRAME LINE 1

LOCATION	QUAN	TYPE	DIA	LENGTH
ER-1/ER-2	8	A325	1/2"	1 3/4"
ER-2/ER-3	8	A325	1/2"	1 1/2"
ER-3/ER-4	8	A325	1/2"	1 3/4"
ER-4/ER-5	8	A325	3/4"	2"
ER-5/ER-6	8	A325	1/2"	1 3/4"
ER-6/ER-7	8	A325	1/2"	1 1/2"
ER-7/ER-8	8	A325	1/2"	1 3/4"
Columns/Raf	2	A325	3/4"	1 3/4"

MEMBER TABLE
FRAME LINE 1

QUAN	MARK	PART	LENGTH
1	EC-1	W12X16	26'-8 1/4"
2	EC-2	W12X16	28'-8 1/16"
1	EC-3	W12X16	30'-9 1/16"
2	EC-4	W12X26	32'-10 1/16"
1	EC-5	W12X26	34'-8 3/4"
1	EC-6	W12X16	30'-9 1/16"
1	EC-7	W12X16	26'-8 1/4"
1	ER-1	W8X18	27'-1 11/16"
1	ER-2	W8X18	25'-1 1/16"
1	ER-3	W8X18	21'-1 1/16"
1	ER-4	W8X18	27'-0 3/8"
1	ER-5	W8X18	27'-0 3/8"
1	ER-6	W8X18	21'-1 1/16"
1	ER-7	W8X18	25'-1 1/16"
1	ER-8	W8X18	27'-1 11/16"
2	DJ-1	08X35C16	7'-4 3/4"
3	DJ-2	08X35C14	20'-7 3/4"
1	DJ-3	08X35C13	20'-7 3/4"
1	DH-1	08X35C16	4'-0"
2	DH-2	08X35C16	14'-0"
1	DS-1	08X35C16	4'-0"
2	G-1	08X25Z14	27'-5 1/2"
1	G-2	08X25Z16	27'-5 1/2"
1	G-3	08X25Z13	24'-11 1/2"
13	G-4	08X25Z16	31'-3 1/2"
2	G-5	08X25Z16	28'-3 1/2"
1	G-6	08X25Z14	29'-10"
1	G-7	08X25Z16	29'-10"
2	G-8	08X25Z16	24'-11 1/2"
1	G-9	08X25Z14	31'-3 1/2"
2	G-10	08X25Z16	13'-10 1/2"
2	G-11	08X25Z16	28'-3 1/2"
2	G-12	08X25Z16	33'-4"
2	G-13	08X25Z14	27'-5 1/2"
1	G-14	08X25Z16	27'-5 1/2"
1	G-15	08X25Z13	24'-11 1/2"
4	CB-1	CABLE500	36'-1 1/4"
4	CB-2	CABLE500	34'-6 1/2"
4	JB-1	08X35C16	5'-9 1/2"
4	JB-2	08X35C16	4'-5 1/2"
1	JB-3	08X35C16	2'-6 1/8"
1	JB-4	08X35C16	3'-7 7/8"
1	JB-5	08X35C16	3'-11 3/8"
1	JB-6	08X35C16	2'-9 5/8"

CONNECTION PLATES
FRAME LINE 1

ID	QUAN	MARK/PART
4	4	EJB0804

FLANGE BRACE TABLE
FRAME LINE 1

ID	MARK	LENGTH
1	FB1B	1'-2 1/2"
2	FB2B	1'-5 1/8"
3	FB3B	1'-5 1/4"

TRIM COLORS

EAVE TRIM = Charcoal Grey	CORNER TRIM = Charcoal Grey
BASE TRIM = Charcoal Grey	GUTTER = Charcoal Grey
DOOR TRIM = Arctic White	DOWNSPOUTS = Charcoal Grey
RAKE TRIM = Charcoal Grey	
* LINER TRIM = Liner panel color	
* SOFFIT TRIM = Soffit panel color	

* ONLY APPLICABLE IF LINER TRIM OR SOFFIT PANEL IS INDICATED ON BUILDING ORDER.

GENERAL NOTES:

1. Use TEK5WW screws in place of SD150 panel screws at all 10 gage members.
2. See detail C7A for field coping of coldform endwall column flange braces.
3. All connections to door or window jambs where the clip is not designated in the clip table / drawing are made with JC# clips (# = Girt Depth).

DRAWING IS NOT TO SCALE

WESTERN STEEL BUILDINGS

300076-OGDEN WAREHOUSE

200'-0" x 250'-0" x 28'-0"

DATE: 5/5/22 REVISION: 0

ENG: AJR DWN: BJC APPD: AJR

F.O. 26004

300076-OGDEN WAREHOUSE

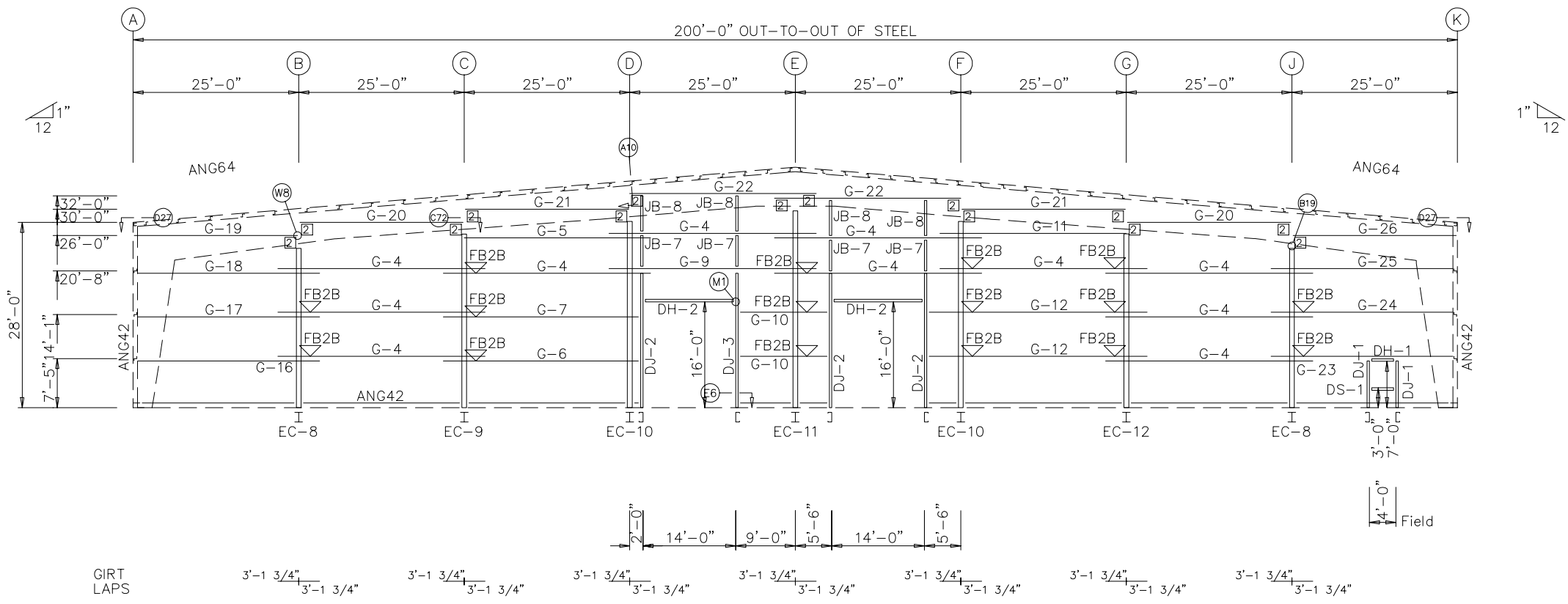
REV.	DESCRIPTION	DATE

DRAWING STATUS

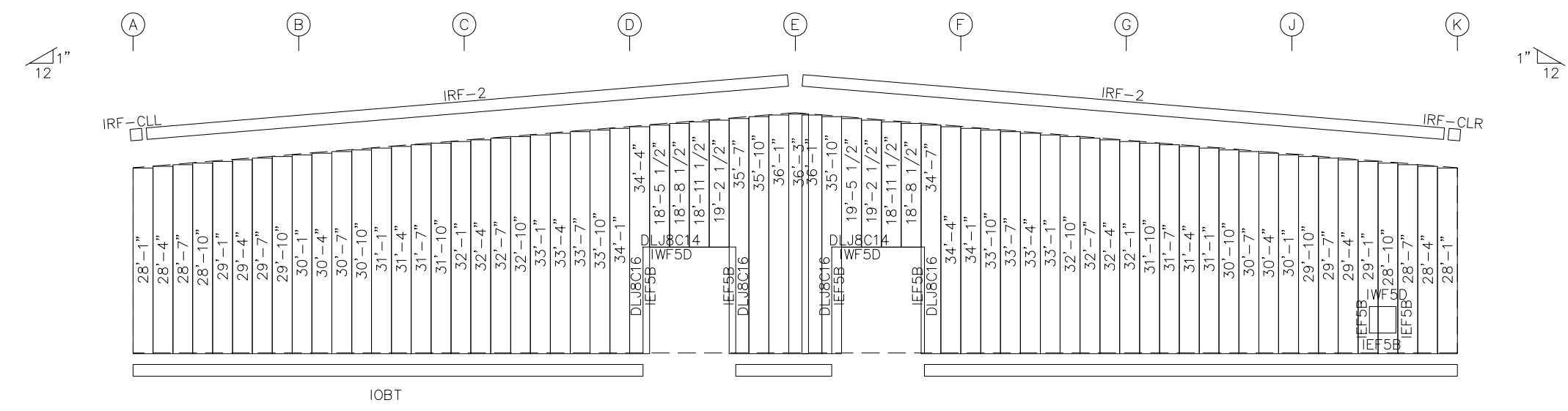
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FOR CONSTRUCTION: FINAL DRAWINGS.



ENDWALL FRAMING: FRAME LINE 11



ENDWALL SHEETING & TRIM: FRAME LINE 11
PANELS: 26 Ga. R - Arctic White

BOLT TABLE
FRAME LINE 11

LOCATION	QUAN	TYPE	DIA	LENGTH
Columns/Raf	2	A325	3/4"	1 3/4"

MEMBER TABLE
FRAME LINE 11

QUAN	MARK	PART	LENGTH
2	EC-8	W12X16	24'-6 3/16"
1	EC-9	W12X16	26'-8 5/8"
2	EC-10	W12X16	28'-7 1/8"
1	EC-11	W12X16	30'-1 1/4"
1	EC-12	W12X16	26'-8 5/8"
2	DJ-1	08X35C16	7'-4 3/4"
3	DJ-2	08X35C14	20'-7 3/4"
1	DJ-3	08X35C13	20'-7 3/4"
1	DH-1	08X35C16	4'-0"
2	DH-2	08X35C16	14'-0"
1	DS-1	08X35C16	4'-0"
11	G-4	08X25Z16	31'-3 1/2"
1	G-5	08X25Z16	28'-3 1/2"
1	G-6	08X25Z14	29'-10"
1	G-7	08X25Z16	29'-10"
1	G-9	08X25Z14	31'-3 1/2"
2	G-10	08X25Z16	13'-10 1/2"
1	G-11	08X25Z16	28'-3 1/2"
2	G-12	08X25Z16	33'-4"
1	G-16	08X25Z13	27'-5 1/2"
1	G-17	08X25Z14	27'-5 1/2"
1	G-18	08X25Z16	27'-5 1/2"
1	G-19	08X25Z13	24'-11 3/4"
2	G-20	08X25Z13	25'-0"
2	G-21	08X25Z14	25'-0"
2	G-22	08X25Z16	25'-0"
1	G-23	08X25Z13	27'-5 1/2"
1	G-24	08X25Z14	27'-5 1/2"
1	G-25	08X25Z16	27'-5 1/2"
1	G-26	08X25Z13	24'-11 3/4"
4	JB-7	08X35C16	5'-3 1/2"
4	JB-8	08X35C16	5'-11 1/2"

CONNECTION PLATES
FRAME LINE 11

ID	QUAN	MARK/PART
	2	14 GR08E03B

FLANGE BRACE TABLE
FRAME LINE 11

VID	MARK	LENGTH
	1 FB2B	1'-5 1/8"

DRAWING IS NOT TO SCALE

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WESTERN STEEL BUILDINGS
300076-OGDEN WAREHOUSE
200'-0" x 250'-0" x 28'-0"
DATE: 5/5/22 REVISION: 01
ENG: AJR DWN: BJC APPD: AJR

F.O. 26004

REVISION HISTORY

REV.	DESCRIPTION	DATE
01 <td>UPDATED WINDOW LOCATION</td> <td>5-10-22</td>	UPDATED WINDOW LOCATION	5-10-22

DRAWING STATUS

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FOR CONSTRUCTION:
FINAL DRAWINGS.