

The Barn at Terakee Farms No. 2

A PRUD Subdivision

A part of the Southeast Quarter of Section 17, T6N, R2W, SLB&M, U.S. Survey

Weber County, Utah

March 2022



Legend

- ⊙ Monument to be set (Rad.) Radial Line
- (N/R) Non-Radial Line
- PUE Public Utility Easement
- PU&D Public Utility & Drainage Easement
- Fence
- ⊙ Set Hub & Tack
- ▲ will be set Nail in Curb
- ⊕ Extension of Property
- ⊙ Set 5/8" x 24" Long Rebar & Cap w/ Lathe

NOTES

- 10' wide Public Utility Easement as indicated by dashed lines, except as otherwise shown.
- The recording of this Plat in the office of the County Recorder acts as a statutory vacation, superceding, and replacement of any contrary provision shown (Blanch Estate Subdivision), declared or noted on or in a previously recorded plat or portion of plat of the same land as described hereon in accordance with UCA 10-9a-609 and/or UCA 17-27a-609.
- All Lots with an "A" Designation may have an ADU, which may be used for monthly rentals only when primary residence is owner occupied.
- Agri-tourism is an approved use on agricultural lots.
- All Property Corners will be set prior to recording of the Plat. Monuments and Waits in the curb will be set once improvements are completed allowing their installation.
- A Geotechnical Report prepared by CMT Engineering Laboratories was provided to Weber County as part of this project.
- Lowest Allowable Finished Floor Elevations (FFE) have been determined per the Geotechnical Report Requirements under Section 5.4 Design Groundwater which states "The static groundwater level must be determined on each individual lot and minimum floor slab elevations determined based on the depth to groundwater." However if the elevation of the ground water is found to be at a higher elevation than the FFE, the FFE will need to be adjusted accordingly. FFE's lower than what is shown on the Plans will need to be approved by Weber County Engineering department.

Curve	Delta	Radius	Length	Chord	Chord Bearing
C20	86°51'27"	15.00'	22.74'	4236.43'	N 44°24'38" E
C21	90°00'43"	15.00'	23.57'	21.22'	N 44°04'36" W
C22	82°20'16"	15.00'	21.56'	19.75'	N 42°54'59" W
C23	89°57'36"	15.00'	23.55'	21.21'	N 42°56'08" E
C24	90°02'24"	15.00'	23.57'	21.22'	S 44°03'55" E
C25	7°42'08"	15.00'	2.02'	2.01'	N 2°53'47" W
C26	89°57'36"	15.00'	23.55'	21.21'	N 42°56'08" E
C27	82°20'16"	15.00'	21.56'	19.75'	N 42°54'59" W
C28	7°37'20"	15.00'	2.00'	1.99'	N 4°43'57" E
C29	90°02'24"	15.00'	23.57'	21.22'	N 44°03'55" W
C30	89°57'36"	15.00'	23.55'	21.21'	N 42°56'08" E
C31	90°02'24"	15.00'	23.57'	21.22'	N 44°03'55" W
C32	94°47'37"	15.00'	24.82'	22.06'	N 43°52'44" E
C33	90°02'24"	15.00'	23.57'	21.22'	N 44°03'55" W
C34	89°57'36"	15.00'	23.55'	21.21'	N 42°56'08" E
C35	94°41'13"	15.00'	24.79'	22.06'	N 41°54'59" W

Center of Section 17, T6N, R2W, SLB&M, U.S. Survey (Found 3" Brass Cap Monument 6" below road surface in good condition, dated 1963")

Lot 2
Blanch Estate Subdivision
Lot 1

Terakee Vision Statement

As you walk around Terakee Farm, you will notice yard fences that allow neighbors to chat from their yards, porches along tree-line streets to encourage strolling conversation, and garages hidden away so that thoughtful home architecture is emphasized. Pathways and sidewalks connect homes, farms, gardens, parks, and commercial areas into a seamless network reminiscent of a traditional village.

Land Parcel 15-048-0045 (Heritage) = 693,040 Square Feet 15.91 Acres

Residential Lots = 507,031 Square Feet (11.64 Acres)

Open Space = 18,160 Square Feet (0.42 Acres)

Roads = 167,849 Square Feet (3.85 Acres)

Weber County Minimum Lot Size = 15,000 Square Feet

Phase Two Average Lot Size = 11,791 Square Feet

Net Difference = -137,969 Square Feet (-3.17 Acres)

Open Space = 18,160 (0.42 Acres)

Terakee Properties LP

Net Bonus Density Requirement = -119,809 Square Feet (-2.75 Acres)

Brad & Deena Blanch Community Park = 5.00 Acres

Setbacks: Front = 20 Feet; Side = 10 Feet; Rear = 10 Feet

50' Private Right of Ways & Open Space Parcels Owned & Maintained by Terakee Farms, a Utah Non-Profit Corporation

Trees Lining Streets Consistent with Phase 1

All Residential House Required to Have Functional Front Porch & Garages Setback to the Rear of the House (same as Phase 1)

Road Dedication

900 South Street

South Quarter Corner of Section 17, T6N, R2W, SLB&M, U.S. Survey (Found 3" Brass Cap Monument, 4" below road surface, in Poor Condition, Date not legible at time of survey Elevation = 4236.10, used as Benchmark)

(WCS) 2568.05'

(WCS)

(WCS)

Point of Beginning

Southwest Corner of Section 17, T6N, R2W, SLB&M, U.S. Survey (Found 3" Brass Cap Monument 0.5' below surface in good condition, dated 2008)

(WCS)

(WCS)

(WCS)



5746 SOUTH 1475 EAST, OGDEN, UTAH 84403
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BUILDING SETBACKS
 Front Yard - 20 Feet
 Side Yard - 10 Feet
 (20 Feet Corner Facing Street)
 Rear Yard - 10 Feet
 Building Height - 40 Feet Max.

AGRICULTURAL NOTE
 Agriculture is the preferred use in the agriculture zones. Agricultural operations as specified in the Land Use Code for a particular zone are permitted at any time including the operation of farm machinery and no allowed agricultural use shall be subject to restrictions on the basis that it interferes with activities of future residents of this subdivision.

Sheet 2 of 2

WEBER COUNTY RECORDER

ENTRY NO. _____ FILED FOR RECORD AND RECORDED _____ AT _____

RECORDED IN BOOK _____ OF OFFICIAL RECORDS, PAGE _____ RECORDED FOR _____

WEBER COUNTY RECORDER

BY: _____ DEPUTY

The Barn at Terakee Farms No. 2

A PRUD Subdivision

A part of the Southeast Quarter of Section 17, T6N, R2W, SLB&M, U.S. Survey

Weber County, Utah

March 2021

* See All Sheets*

- NOTES**
- All construction shall conform to Weber County standards and specifications.
 - Underground utility piping materials will meet or exceed Weber County Standards.
 - Culinary water services will be 3/4" Dia. C-900 DR14 PVC to be centered on the frontage and extended 10' beyond the right of way line.
 - 4" Sanitary sewer laterals to be constructed 10' down slope from the center of the lot and extended 10' beyond the right of way line.
 - All utility trenches within the Street right of way shall have a County approved impared granular bedfill.
 - Thrust block all water line fittings.
 - All inlet grates shall be bicycle safe.
 - All fire hydrants and access roads shall be installed prior to any construction of any buildings.
 - All fire hydrants shall be placed with 4 1/2 inch connections facing the point of access for the Fire Department Apparatus.
 - Prior to the beginning of construction of any buildings, a fire flow test of new hydrants shall be conducted to verify the actual fire flow for this project. The Fire Prevention Division shall witness this test and shall be notified a minimum of 48 hours prior to the test.
 - Curb & gutter installed along 900 South Street will be set to ensure a 1.5X minimum/3.0X Maximum cross slope from edge of asphalt. Contractor to verify prior to construction of curb.
 - An excavation permit is required for all work done within the existing Right of Way.
 - A Storm Water Construction Activity Permit is required for any construction that disturbs more than 5000 Sq. Ft. or 200 Cubic Yards.
 - All Improvements need to be either installed or escrowed prior to recording of the subdivision.
 - If construction activity will disturb more than an acre then a State SWPPP will be required. This includes the construction of the homes etc. on each lot.
 - Private Roads that are less than 32 feet in width shall be posted with "NO PARKING FIRE LANE" on the West and South sides as indicated on the Grading and Drainage plan. (Roadways and signage shall comply with appendix D of the 2015 International Fire Code as adopted by Weber Fire District).
 - Construct ADA Ramps with Truncated Domes with detectable warning systems cast in place, gray in color per APWA Plan 235.1.

GENERAL UTILITY NOTES:

- Coordinate all utility connections to building with plumbing plans and building contractor.
- Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
- All catch basin and inlet box grates are to be bicycle proof.
- All inlet boxes located in curb and gutter are to be placed parallel to the curb and gutter and set under the frame and grate. Improperly placed boxes will be removed and replaced at no additional cost to the owner. Precast or cast in place boxes are acceptable.
- Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
- Gas lines, telephone lines, and cable TV lines are not a part of these plans unless otherwise noted.
- Water meters are to be installed per water district standards and specifications. It will be the contractor's responsibility to install all items required.
- Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible to construct any vertical adjustments necessary to clear sewer, storm drain or other utilities as necessary including valve boxes and hydrant spools to proper grade.
- Field verify all existing and/or proposed Roof Drain/Root Drain down spout connections to Storm Water System with Civil, Plumbing & Architectural plans. Notify Engineer of any discrepancies.
- All gravity flow utility lines shall be installed prior to any pressurized utilities unless written permission is obtained from the engineer of record before construction begins.

UTILITY PIPING MATERIALS:

All piping to be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

CULINARY SERVICE LATERALS

- 3/4" to 2" diameter pipe - copper tube ASTM B, Type K, Soft Temper
- Over 2" diameter pipe - AWWA C-900 Class 150 pipe

WATER MAIN LINES AND FIRE LINES

- Pipe material as shown on utility plan view or to meet County standards.

SANITARY SEWER LINES

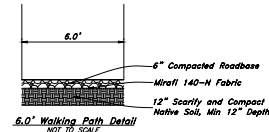
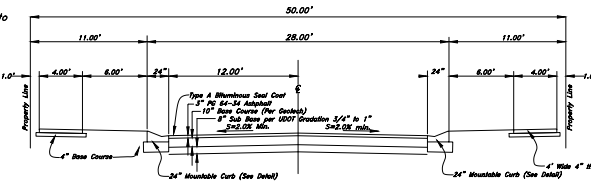
- All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D 3034, Type PSM, SDR 35

STORM DRAIN LINES

- 10" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
- 12" to 21" pipes - Reinforced Concrete Pipe, ASTM C14, Class III up to 13' of cover. For greater than 13' feet of cover, use reinforced concrete pipe and classes listed below.
- 24" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III up to 13' of cover, Class IV for 13' to 21' of cover, Class V for 21' to 32' of cover, and Special Design for cover greater than 32 feet.

NOTES:

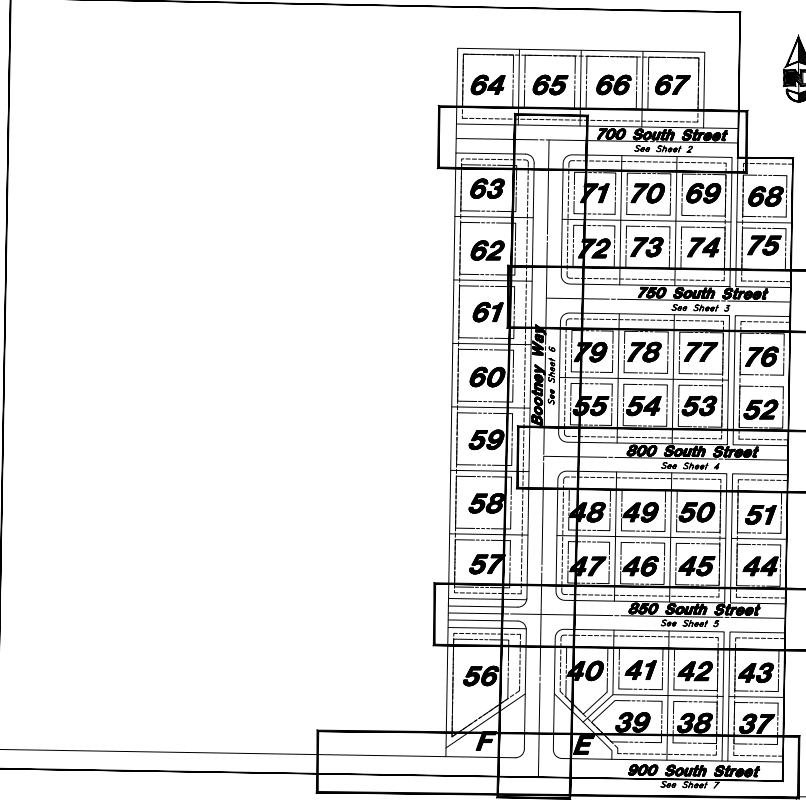
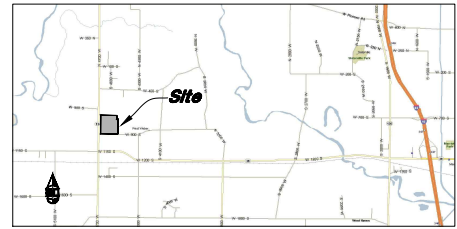
- These pavement thicknesses shall be considered as minimums and may be increased by the County Engineer when the subgrade C.B.R. is less than 10 or when a greater depth is necessary to provide sufficient stability. Developer may submit and alternate pavement design based on a detailed soils analysis for approval by the County Engineer.
- When a Major arterial shall be constructed with a 10' unimproved base course & 3' unimproved surface course as required by the City Engineer.
- County Engineer has discretion to call for more.
- Provide 6" thickness of 1/2" or 1" nominal base course under sidewalk, driveway approaches and use 6" thicker when designed per Utah C.B.R. is less than 10 or as directed by the County Engineer.



NOTE: County Engineer may specify use of standard high back curb & gutter on collector & arterial.

- NOTES:**
- Maximum difference in elevation between curbs on opposite sides of street shall not exceed 1.10"
 - On arterial streets the County Engineer will provide a pavement design. Location of sidewalk and raised curb & gutter may vary on individual arterial streets per direction of the County Engineer.
 - See Geotechnical Engineering Sheet prepared by G&F Engineering Laboratories Project No. 10621, dated October 2018 for preparation of Sub Grade.

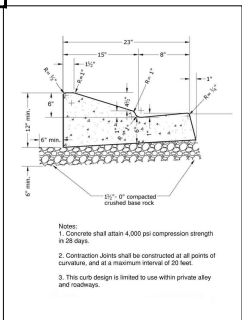
FF = Lowest allowable livable Finished Floor Elevation unless approved by Geotechnical Engineer and County Engineer due to ground water table.



Legend

(Note: All items may not appear on drawing)

- San. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Cleanout
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Water Valve
- Sanitary Sewer
- Culinary Water
- Gas Line
- Irrigation Line
- Storm Drain
- Telephone Line
- Secondary Waterline
- Power Line
- Fire Line
- Land Drain
- Power pole w/guy
- Light Pole
- Fence
- Footcandle of utility
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- Polypropylene Chloride
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Concrete
- Natural Ground
- Final Grade
- Manch Elevation
- Fire Department Connection
- Finish Contour
- Exist. Contour
- Finish Grade
- 95.3374
- 95.3374
- Ridge Line
- Direction of Flow
- Existing Asphalt
- New Asphalt
- Existing Concrete
- New Concrete



Call before you Dig
and setting underground lines. It's the way.



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The Barn at Terakee Farms 2
 9400 South State Street
 Sandy City, Salt Lake County, Utah
 A part of Section 17, T6N, R2W, SLB&M, U.S. Survey

23 Sep, 2021

SHEET NO.
C1

NOT FOR CONSTRUCTION

Legend

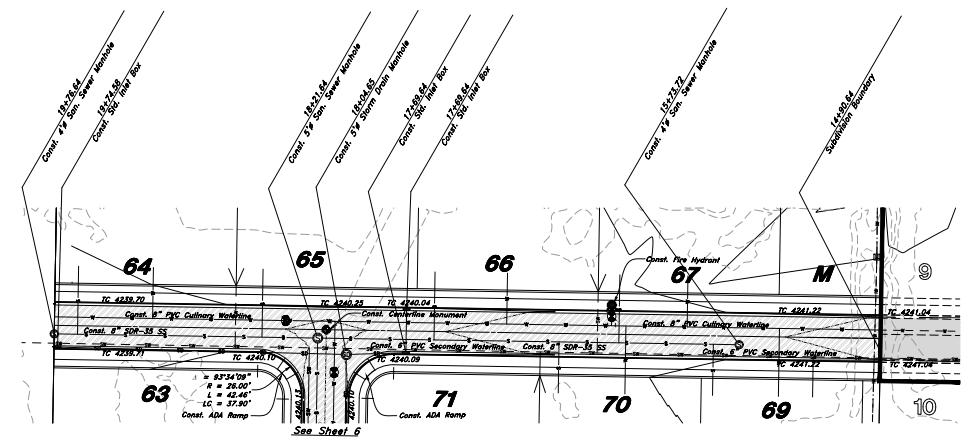
(Note: All items may not appear on drawing)

- San, Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve (Secondary)
- Water Valve (Culinary)
- Sanitary Sewer
- Culinary Water
- Gas Line
- Irrigation Line
- Storm Drain
- Sanitary Waterline
- Power Line
- Fire Line
- Land Drain
- Pressure Sewer
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- Polyvinyl Chloride
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Walk
- Top of Walk
- Natural Ground
- Finish Contour
- Exist. Grade
- Ridge Line
- Direction of Flow
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Concrete
- Open Face
- Curb & Gutter

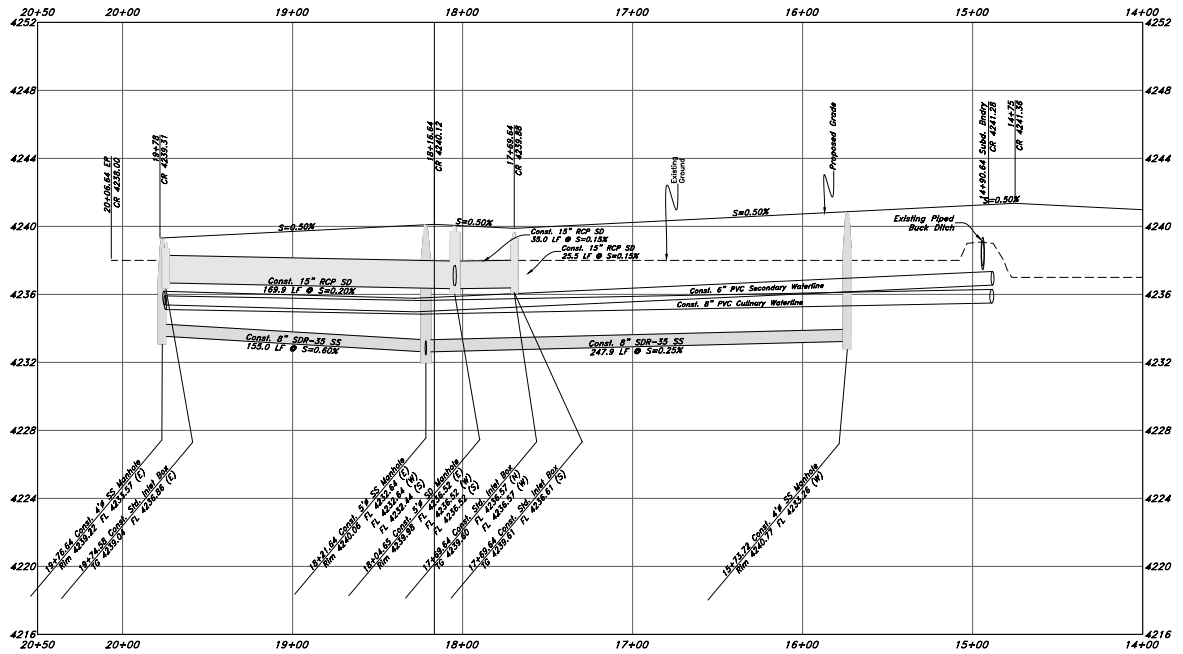


Scale:
 1" = 40' Horiz.
 1" = 4' Vertical

Graphic Scale



700 South Street



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Plan & Profile

The Barn at Terakee Farms 2

9400 South State Street Utah
 3rd Floor Salt Lake City, UT 84143
 A part of Section 12, T1N, R1W, S12E, U.S. Survey

23 Sep, 2021

SHEET NO.

C2

16N719

NOT FOR CONSTRUCTION

Legend

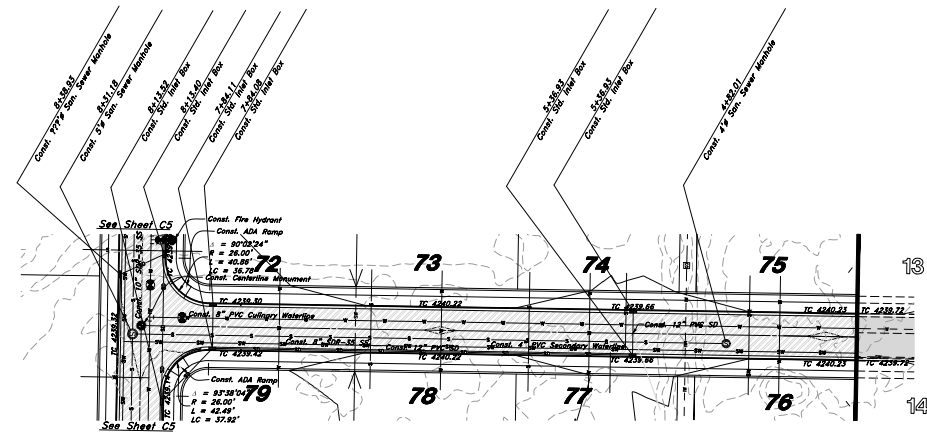
(Note: All items may not appear on drawing)

- San, Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve (Secondary)
- Water Valve (Culinary)
- Sanitary Sewer
- Culinary Water
- Gas Line
- Irrigation Line
- Storm Drain
- Secondary Waterline
- Power Line
- Fire Line
- Land Drain
- Pressure Sewer
- Power pole
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- Polyvinyl Chloride
- TA
- EA
- CL
- FF
- TC
- TM
- TN
- NO
- 95.337A
- 95.27A
- R
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Concrete
- Open Face
- Curb & Gutter

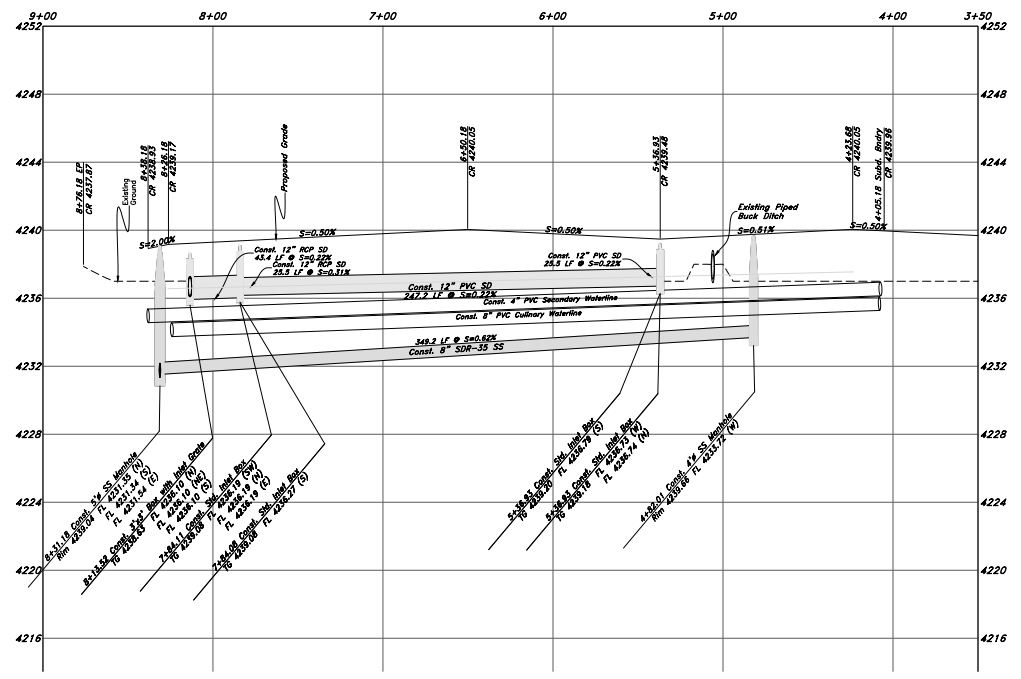


Scale:
 1" = 40' Horiz.
 1" = 4' Vertical

Graphic Scale



750 South Street



NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION

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Plan & Profile
The Barn at Terakee Farms 2
 9400 South State Street Utah
 5' and 10' wide
 A part of Section 12, T1N, R1W, S12E, U.S. Survey

23 Sep, 2021
 SHEET NO.
C3
 16N719

Legend

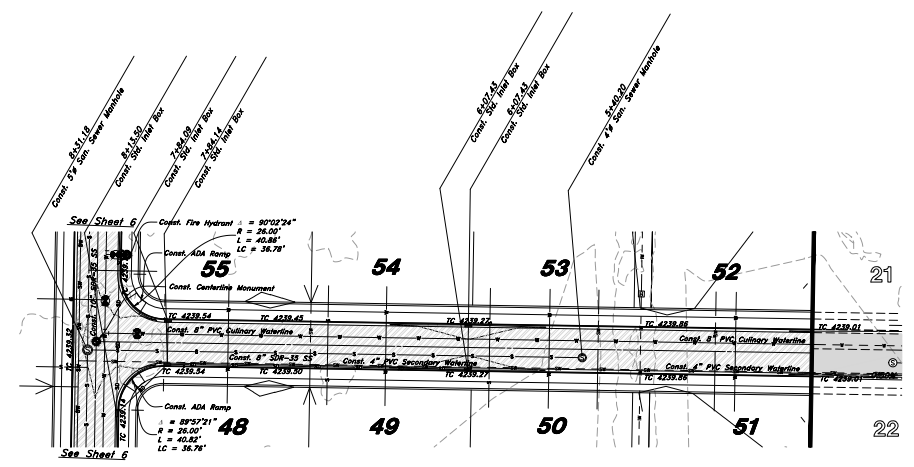
(Note: All items may not appear on drawing)

- San, Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve (Secondary)
- Water Valve (Culinary)
- Sanitary Sewer
- Culinary Water
- Gas Line
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- Storm Drain
- Stationary Waterline
- Power Line
- Fire Line
- Land Drain
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- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Walk
- Top of Walk
- Top of Concrete
- Natural Ground
- Drain Contour
- Exist. Contour
- Finish Grade
- Exist. Grade
- Ridge Line
- Direction of Flow
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Concrete
- Open Face
- Curb & Gutter

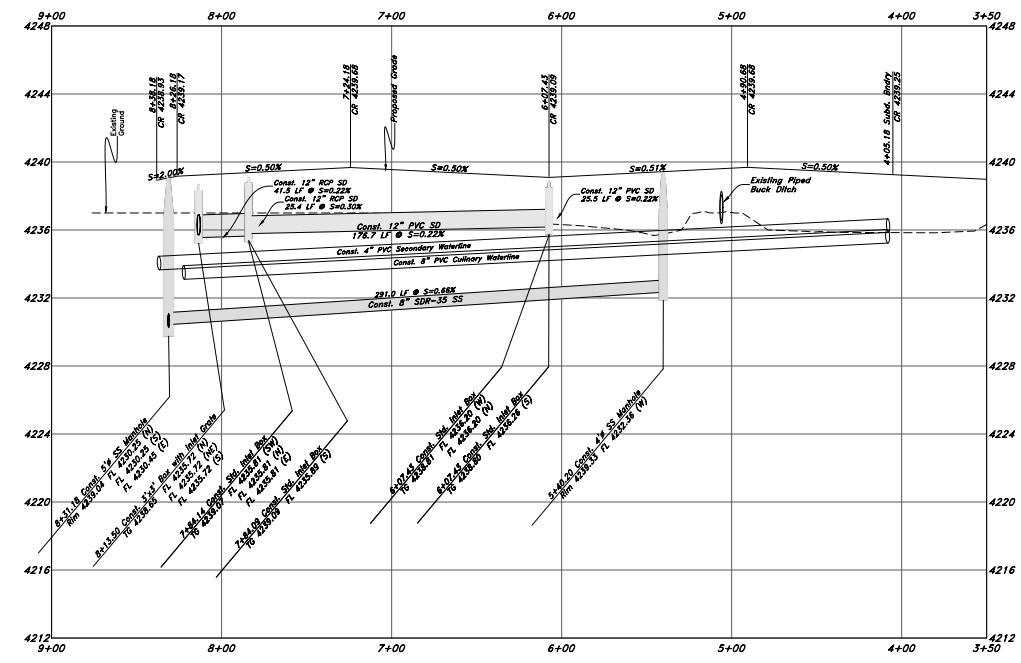


Scale:
 1" = 40' Horiz.
 1" = 4' Vertical

Graphic Scale



800 South Street



NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION

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Plan and Profile
The Barn at Terakee Farms 2
 9400 South State Street Utah
 5000th Street
 A part of Section 12, T1N, R1W, S12E, U.S. Survey

23 Sep, 2021

SHEET NO.
C4

16N719

Legend

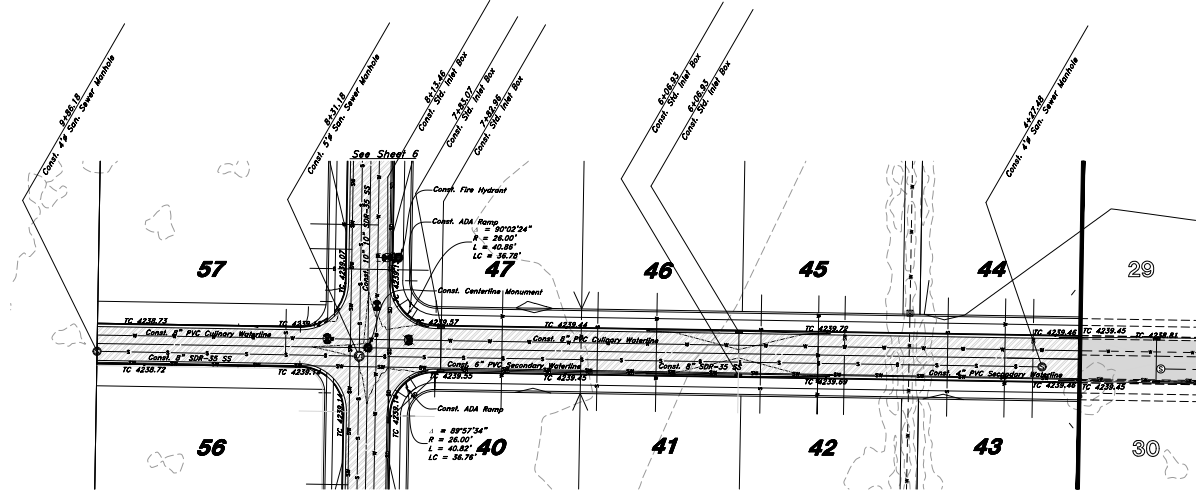
(Note: All items may not appear on drawing)

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- Finish Contour
- Exist. Contour
- Finish Grade
- Exist. Grade
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- Heavy Duty Asphalt
- Concrete
- Open Face
- Curb & Gutter

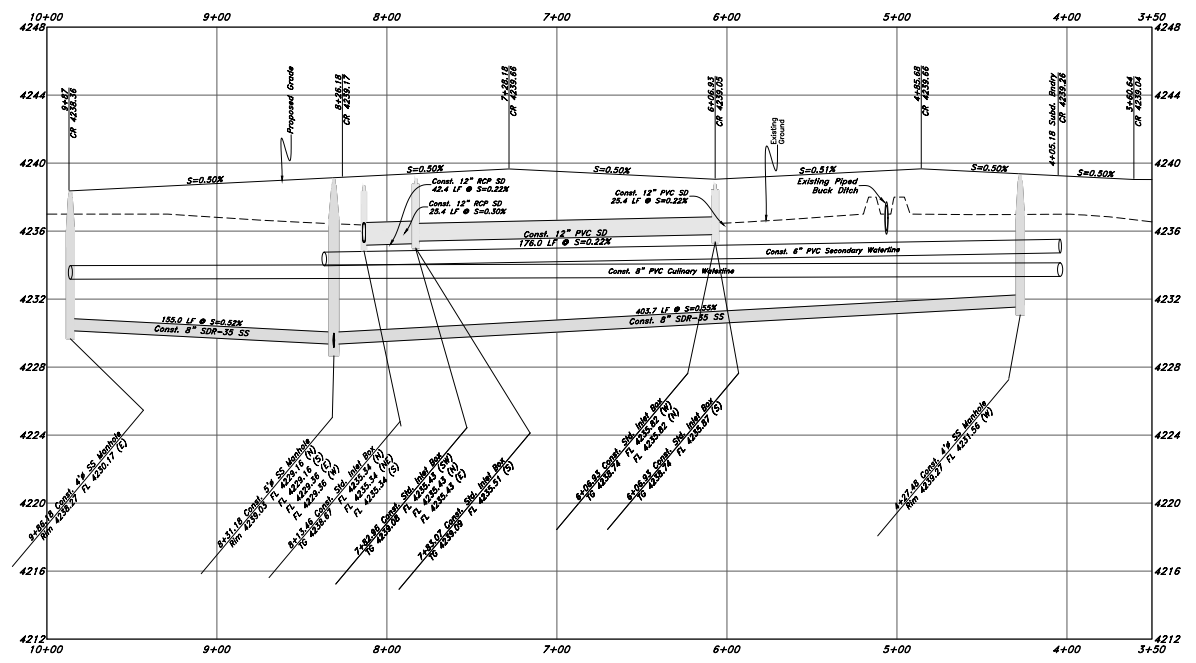


Scale:
 1" = 40' Horiz.
 1" = 4' Vertical

Graphic Scale



850 South Street



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Plan and Profile

The Barn at Terakee Farms 2

9400 South State Street Utah
 5' and 6" City of Ogden
 A part of Section 12, T14N, R14W, S14E, Utah, U.S. Survey

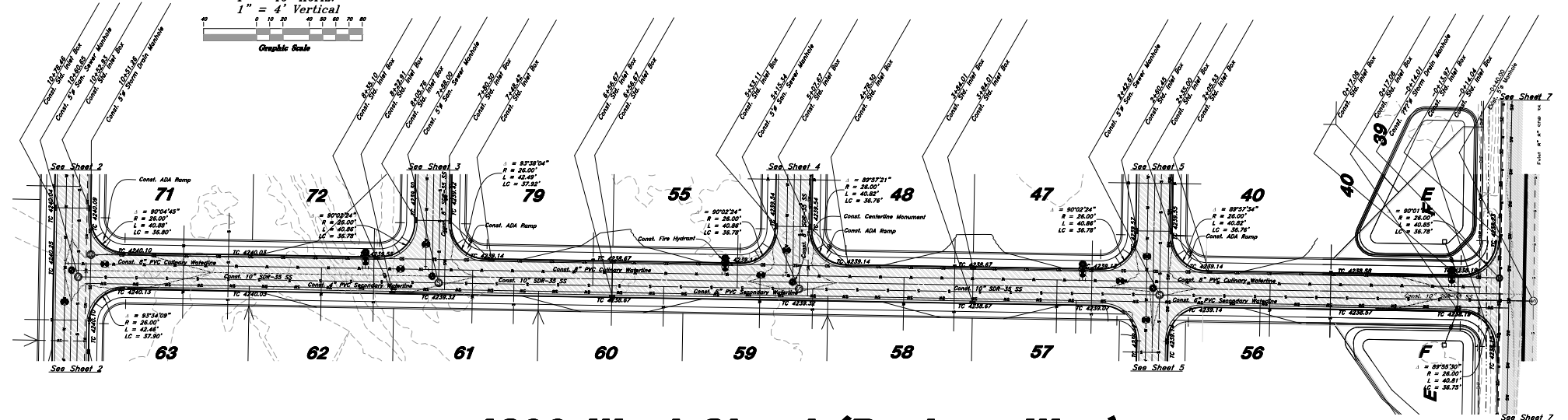
23 Sep, 2021

SHEET NO.
C5

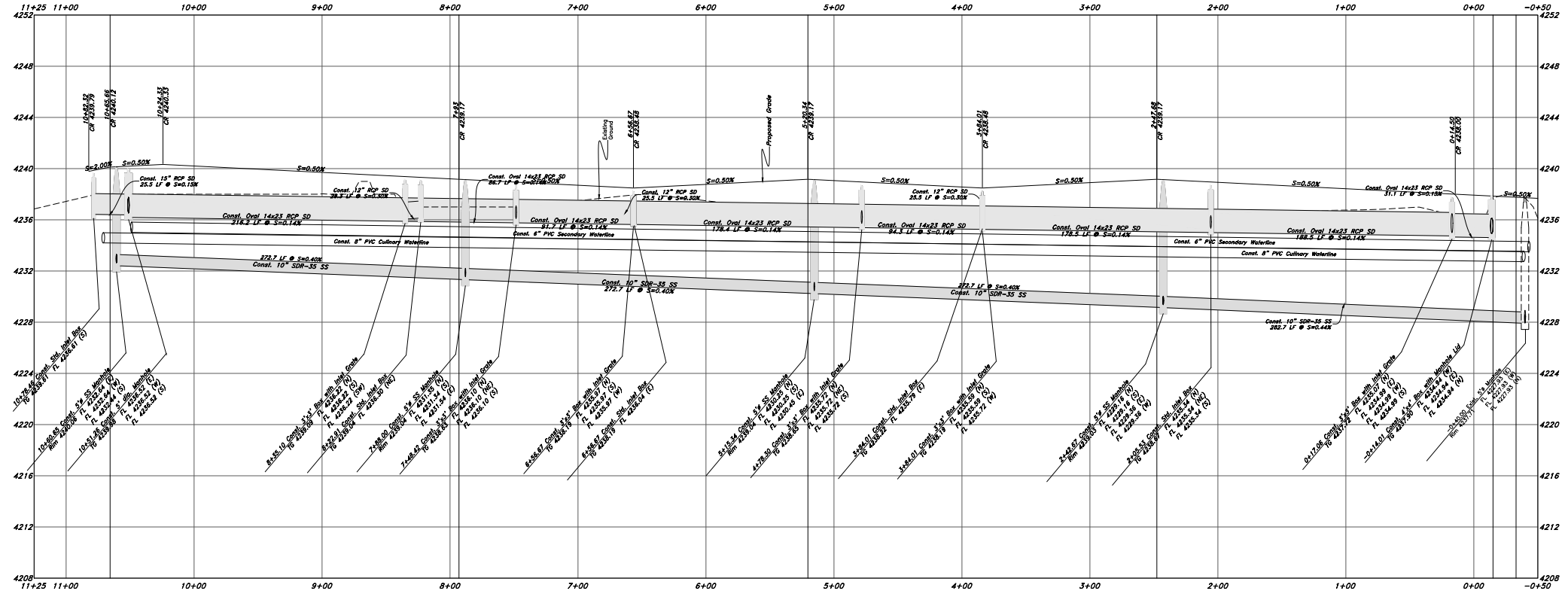
NOT FOR CONSTRUCTION



Scale:
 1" = 40' Horiz.
 1" = 4' Vertical



4600 West Street (Bootney Way)



NO.	DATE	DESCRIPTION

GREAT BASIN ENGINEERING

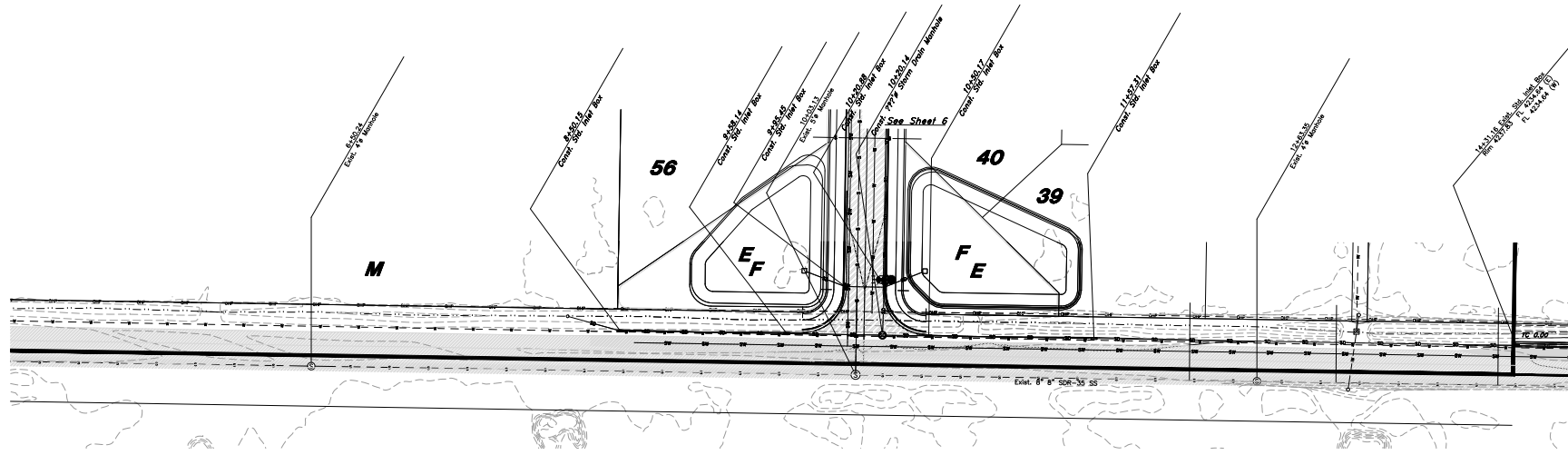
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Plan and Profile
The Barn at Terakee Farms 2
 9400 South State Street Utah
 Second floor office area
 A part of Section 17, T14N, R10W, S14E, U.S. Survey

23 Sep, 2021

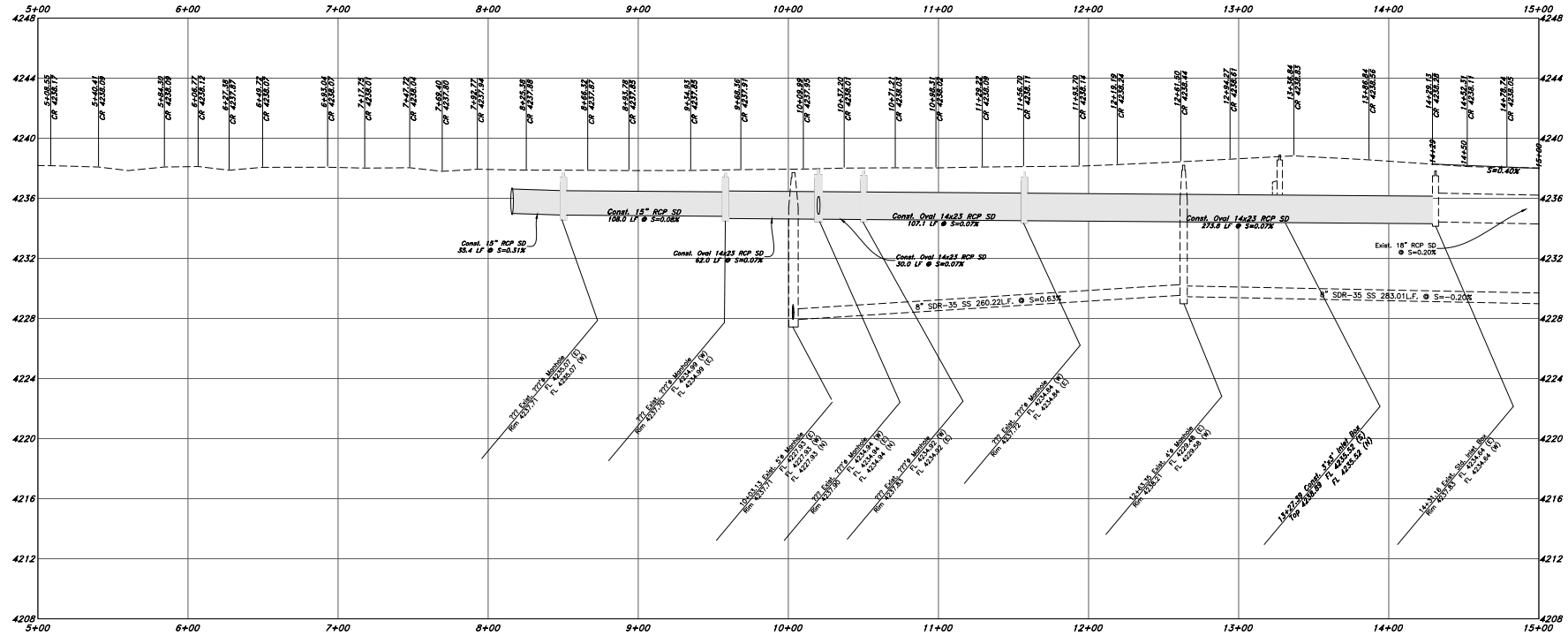
SHEET NO.
C6
 16N719

NOT FOR CONSTRUCTION



NOTES:
Parcel M is an Agricultural Parcel
and no curb and gutter will be installed
along its frontage at this time

900 South Street



REV	DATE	DESCRIPTION

GREAT BASIN ENGINEERING

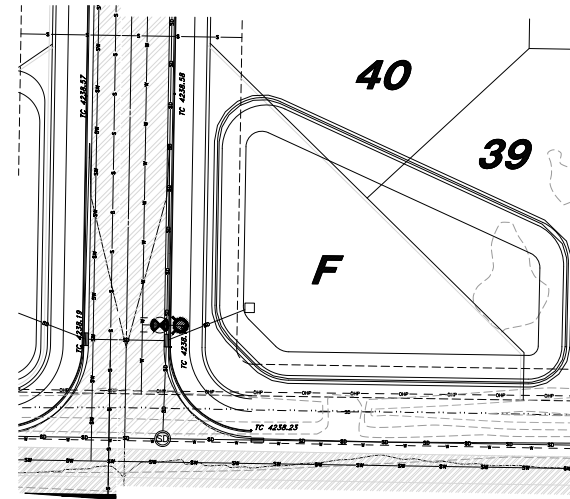
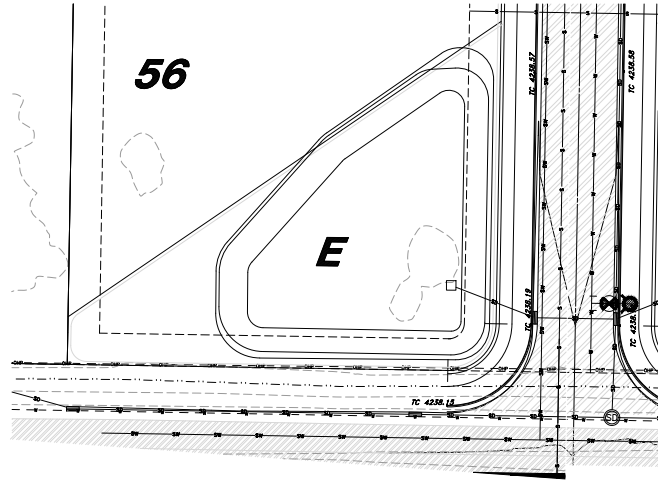
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Plan and Profile
The Barn at Terakee Farms 2
9000 South State Street Utah
3rd Floor
A part of Section 12, T4N, R7W, S48E, U.S. Survey

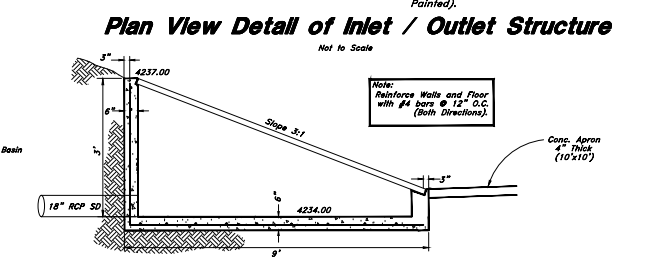
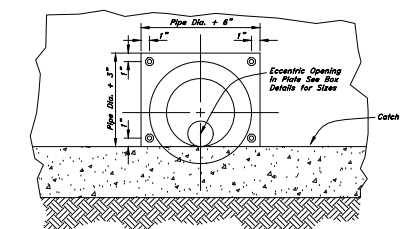
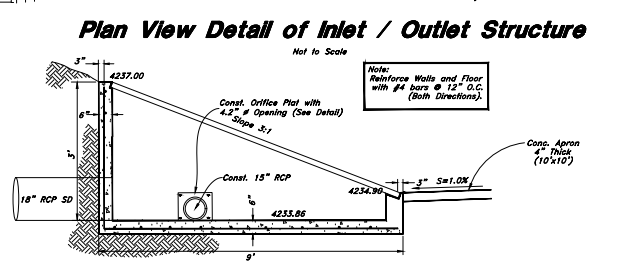
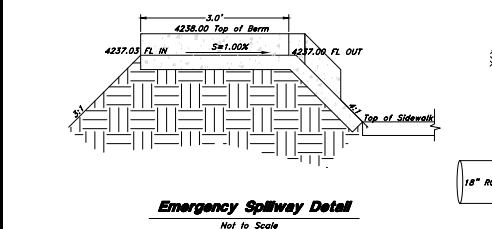
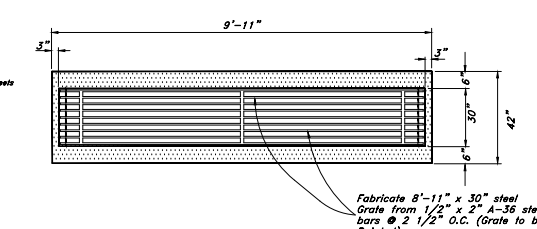
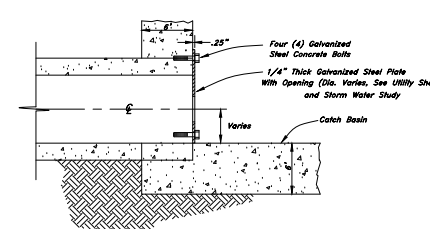
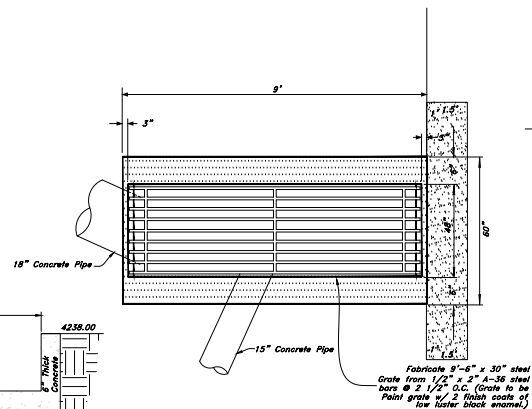
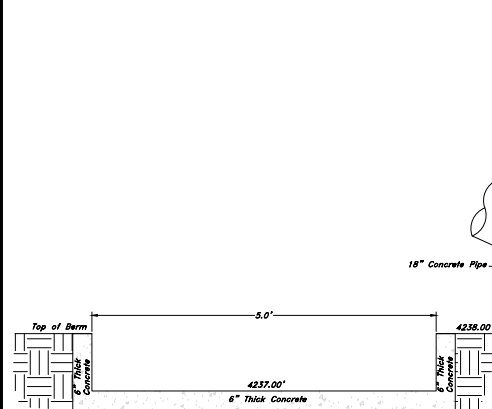
23 Sep, 2021

SHEET NO.
C7

NOT FOR CONSTRUCTION



Detention Pond



Profile View Detail of East Inlet / Outlet Structure
Not to Scale

Orifice Plate Detail

Profile View Detail of West Inlet / Outlet Structure
Not to Scale

REV.	DATE	DESCRIPTION

GREAT BASIN ENGINEERING

5746 SOUTH 1475 EAST OGDEN, UTAH 84403
 MAIN (801)339-4515 S.L.C. (801)521-0222 FAX (801)339-7544
 WWW.GREATBASINENGINEERING.COM

Plan and Profile
The Barn at Terakee Farms 2
 9600 South State Street Utah
 Second Floor, Park Park, Salt Lake, U.S. Survey
 A part of Section 12, T4N, R7W, S46E, U.S. Survey

23 Sep, 2021
 SHEET NO.
C8
 1-800-662-4111
 16N719

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