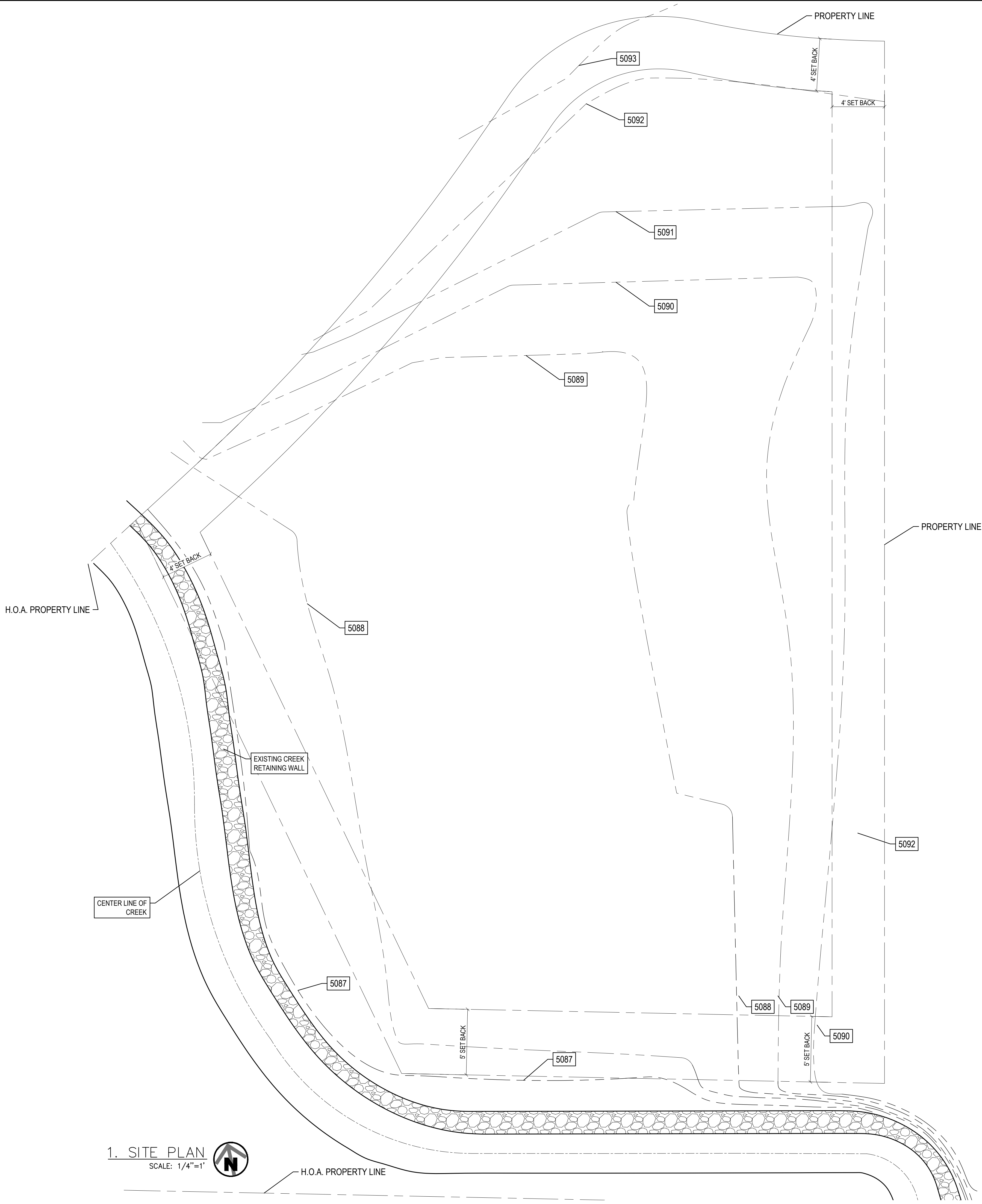




PLAN:	DATE:
(013.3)	02/21/2022
SHEET:	BASEMENT:
	1,168 S.F.
1	1ST FLOOR:
	1,341 S.F.
OF:	2ND FLOOR
	471 S.F.
18	<u>TOTAL FINISHED:</u>
	2,980 S.F.

DIMENSION ARE IN INCHES UNLESS SPECIFIED OTHERWISE. COPYRIGHT: © 2022 - ALL RIGHTS RESERVED. FILE PATH: G:\PROJECTS\000020 - AVRAVE\2020\03 - Avrame\Design\000 - PROJECT AVRAVE\01 - PROJECTS\01 - PETER\013 - Redr\Drawn\013 - INE SCIAMMARELLA RES TRIO 120-UT\Final.dwg REVISED 02-15-2022\013 - INE SCIAMMARELLA RES TRIO 120-UT.dwg LAYOUT: 2.1
PLOT DATE AND TIME: AUG-15-2022 9:25 AM LAST SAVED BY: POFFETZER LAST SAVED DATE: AUG-15-2022 2:24 AM



1. SITE PLAN
SCALE: 1/4"=1'



NOTE:

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KEYNOTES

TRIO 120 - SCIAMMARELLA RES.
VILLAGES AT WOLF CREEK, LLC
LOT 1211001
EDEN UT, 84310

DRAWN FOR ONE
TIME USE FOR:
AVRAVE U.S.A.

PLAN: (013.3) DATE: 02/21/2022

SHEET:

2.1

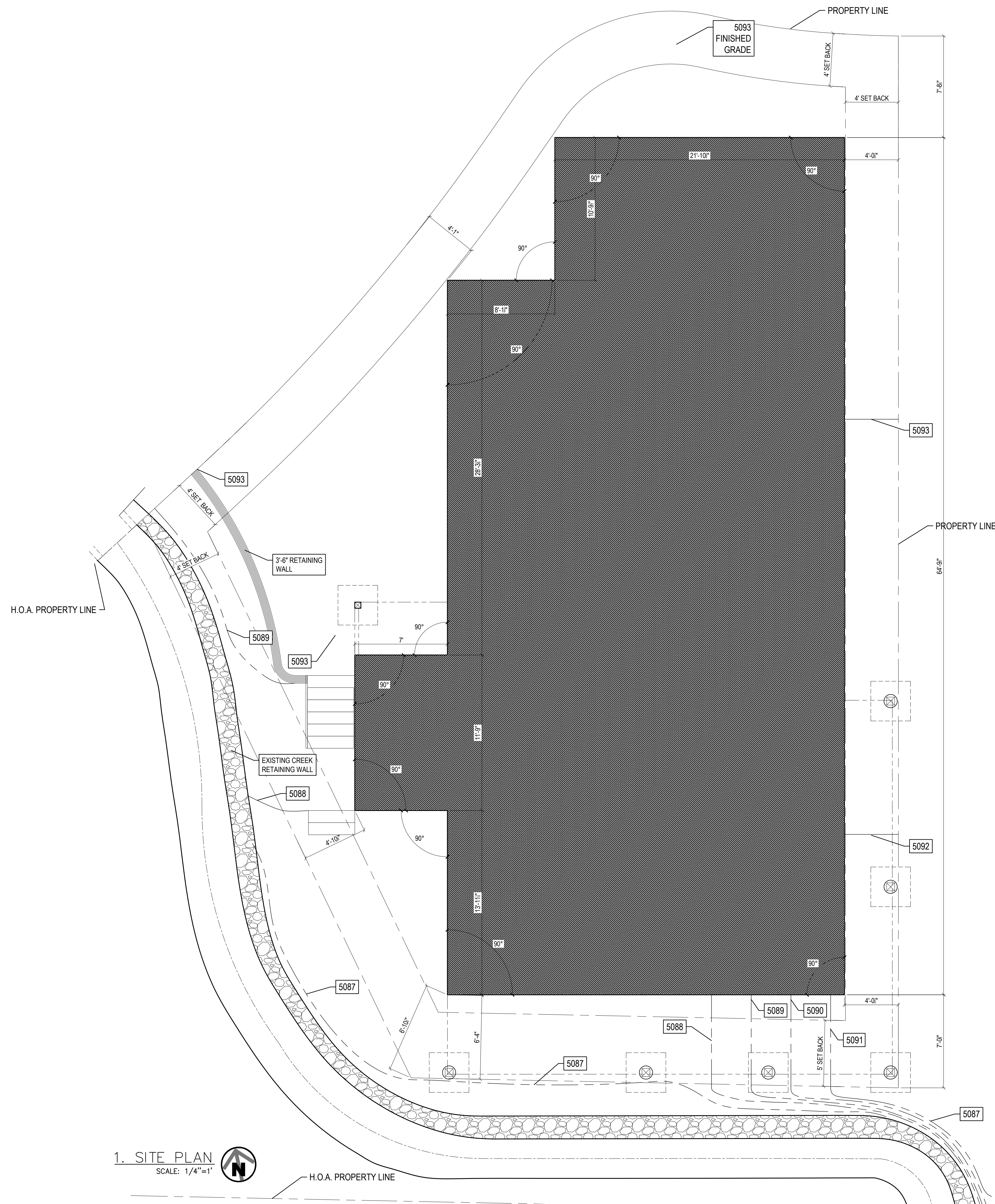
OF:

18

BASEMENT:
1,168 S.F.
1ST FLOOR:
1,341 S.F.
2ND FLOOR
471 S.F.
TOTAL FINISHED:
2,980 S.F.

EXISTING SITE PLAN





NOTE:

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BELOW.

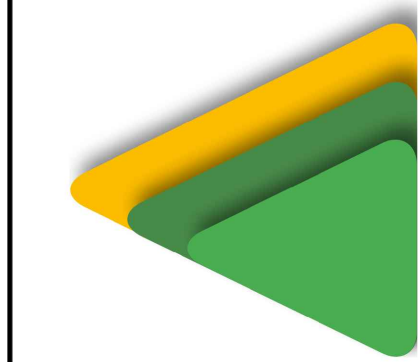
KEYNOTES

TRIO 120 - SCIAMMARELLA RES.
VILLAGES AT WOLF CREEK, LLC
LOT 221910001
EDEN UT, 84310

ONE
OR:
AVRAME U.S.A.

PLAN: (013.3) DATE: 02/21/2022

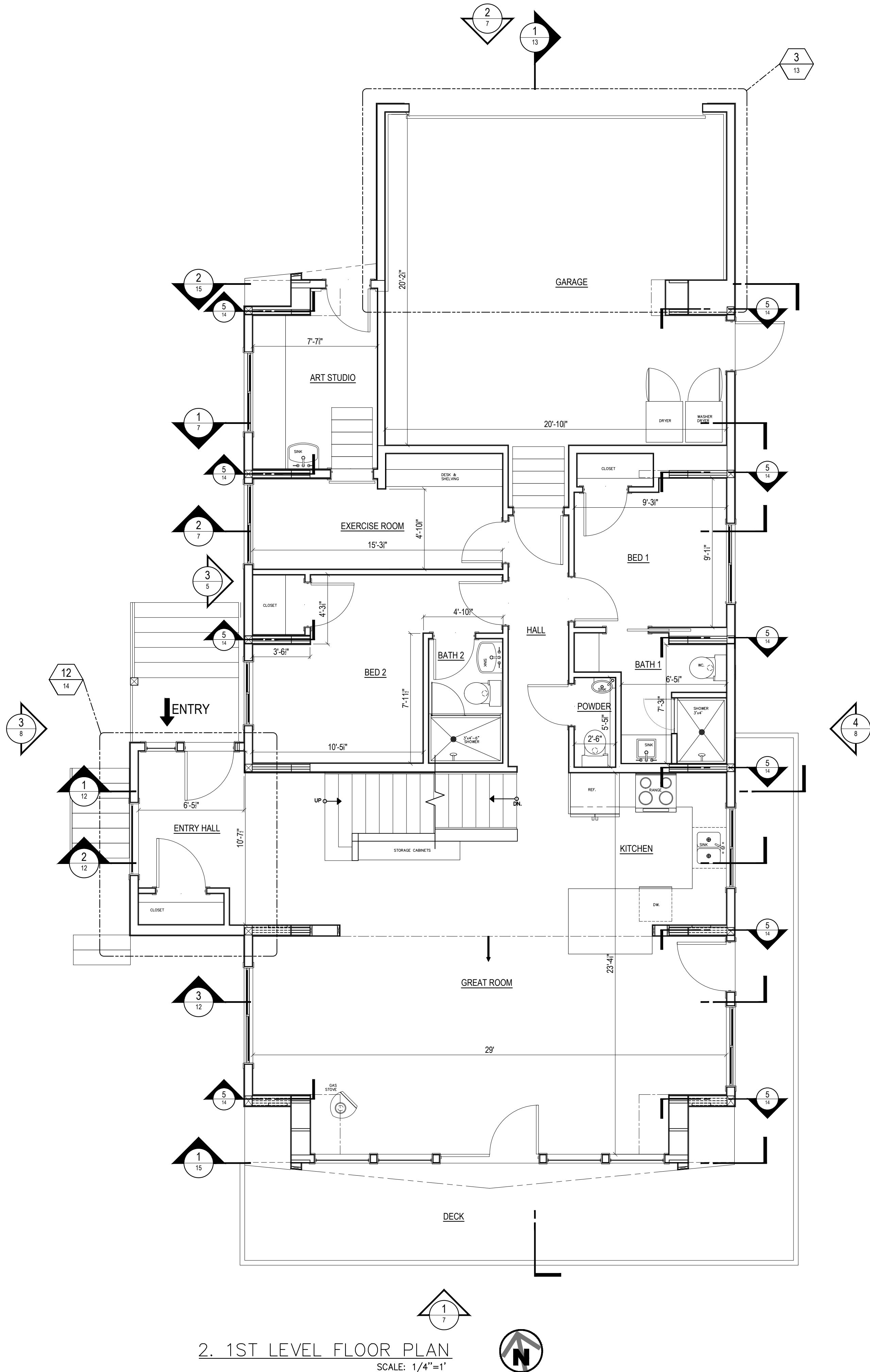
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OF:	1ST FLOOR:
18	1,341 S.F.
	2ND FLOOR
	471 S.F.
	<u>TOTAL FINISHED</u>
	2,980 S.F.



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PROPOSED SITE PLAN

FILE PATH: G:\PROJECTS\000020 - AVRAVE 2020\003 - Avrame Design\003 PROJECT AVRAVE\01 PROJECTS\01 PETER\013 Rohn Drawn\013 (NE) SCIAMMARELLA RES TRIO 150-6FT UT DWG
LAYOUT: 150-6FT UT DWG
COPYRIGHT: © 2022 - ALL RIGHTS RESERVED. AVRAVE 2020\003 - Avrame Design\003 PROJECT AVRAVE\01 PROJECTS\01 PETER\013 Rohn Drawn\013 (NE) SCIAMMARELLA RES TRIO 150-6FT UT DWG
LAST SAVED DATE: AUG-19-2022 3:24 AM
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SHEET: 3



2. 1ST LEVEL FLOOR PLAN
SCALE: 1/4"=1'

AVRAVE U.S.A ASSUMES NO LIABILITY FOR ANY BUILDING CONSTRUCTED FROM THESE PLANS.

IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO PERFORM BUILDING REVIEWS BEFORE BEGINNING CONSTRUCTION.

THESE INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
1. VERIFY ALL DIMENSIONS
2. REVIEW ALL STAIR REQUIREMENTS
3. VERIFY COMPLIANCE WITH LOCAL CODES
4. VERIFY ALL FOUNDATION HOLDOWN LOCATIONS
5. VERIFY ACTUAL SITE CONDITIONS

ANY DISCREPANCIES ON HE PLANS MUST BE RESOLVED BY THE BUILDER PRIOR TO CONSTRUCTION.

TRUSS DESIGN AND LAYOUT IS THE RESPONSIBILITY OF THE TRUSS MANUFACTURER.

CONSTRUCTION USING THESE PLANS SHOULD NOT BE UNDERTAKEN WITHOUT THE ASSISTANCE OF A BUILDING PROFESSIONAL.

GLAZING NOTES:

APPLY CONTINUOUS SEAL TO THE OP (HEAD) AND SIDES (JAMBS) OF WINDOW EMBED JAMB FLASHING INTO SEALANT AND FASTEN IN PLACE.

EXTEND JAMB FLASHING BEYOND SILL FLASHING AND ABOVE WHERE THE HEAD FLASHING WILL INTERSECT.

APPLY SILL FLASHING HORIZONTALLY BELOW THE SILL, FASTEN THE TOP EDGE OF THE SILL FLASHING TO THE FRAME, BUT DO NOT FASTEN THE LOWER EDGE SO THE WEATHER RESISTANT BUILDING PAPER APPLIED LATER MAY BE SLIPPED UP AND UNDERNEATH THE FLASHING IN A WEATHERBOARD FASHION.

SILLS OF EXTERIOR WINDOWS WHICH ARE LOCATED MORE THAN 6" ABOVE GRADE, AND LESS THAN 24" ABOVE THE INTERIOR FLOOR SURFACE MUST MEET SOME NEW REQUIREMENTS. IF THE WINDOW IS LESS THAN 24" ABOVE THE INTERIOR FLOOR SURFACE, THE WINDOW MUST BE FIXED OR HAVE AN OPENING OR GUARD WHICH DOES NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE, AND THE GUARD AT MIN. HEIGHT OF 36".

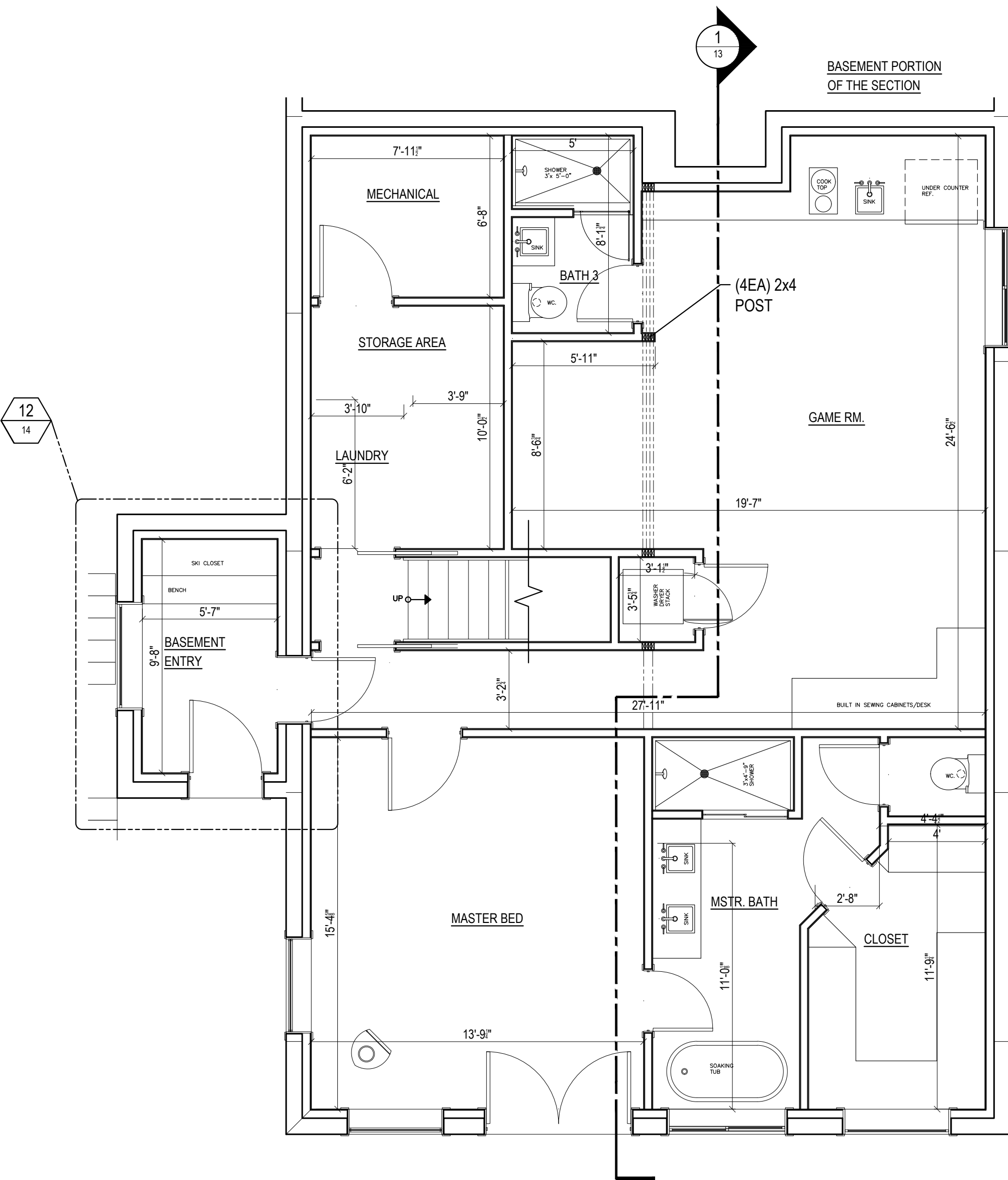
SHOWER PAN LINERS MUST EXTEND 3" ABOVE THE SHOWER DOOR THRESHOLD HEIGHT AND SOLID BLOCKING IS REQUIRED BEHIND AT ALL LINER LOCATIONS.

SHOWER PAN LINERS MUST BE INSTALLED WITH BUILT UP FLOORS AND MUST BE INSPECTED.

BATHROOM EXHAUST FAN DUCTS MUST NOW CONTINUE AND DISCHARGE DIRECTLY OUTSIDE THE STRUCTURE.

SOAKER GARDEN TUBS AND WHIRLPOOL TUBS MUST HAVE ANTI-SCALD MIXING VALVES LIMITING WATER TEMP TO 120 DEG.

FLOOR DRAINS TO HAVE DEEP SEAL TRAPS.



1. BASEMEN FLOOR PLAN
SCALE: 1/4"=1'

NOTE:

ALL EXTERIOR OPENINGS TO BE COUNTER FLASHED AND OR CAULKED (DOOR, WINDOW, AND PIPE PENETRATIONS.) 3'-0" x 5'-0"

FIREBLOCK STUD SPACES AT SOFFITS, FLOOR AND CEILING JOISTS LINES AT 10 FT. VERT. AND HORIZ. AND AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY SPACES FOR FACTORY-BUILT CHIMNEYS AND AT ANY OTHER LOCATION WHICH COALS AFFORD PASSAGE OF FLAME.

NO WOOD SHALL BE NEARER THAN 6" TO EARTH UNLESS SEPARATED BY CONCRETE AT LEAST 3" THICK WIT HAN IMPERVIOUS MEMBRANE BETWEEN EARTH AND CONCRETE.

SKY LIGHT VERTICAL POSITION TO BE DETERMINED BY OWNER AND G.C.

PROVIDE 1/2" AIRSPACE AT TOP, SIDES, AND ENDS OF GIRDERS ENTERING CONCRETE OR MASONRY WALLS UNLESS WOOD RESISTS DECAY.

PROVIDE 30 LB. UNDERLAYMENT BETWEEN COURSES OF SHAKES. ROOF VALLEY FLASHING TO BE A MIN. 28 GAGE SHEET CORROSION RESISTANT METAL, EXTENDING AT LEAST 11" FROM CENTER LINE OF VALLEY. PROVIDE ICE SHIELD THAT EXTEND UP FROM EVE A MIN. OF 2'.

ENCLOSED ATTICS AND SPACES BETWEEN RAFTERS SHALL HAVE CROSS VENTILATING OPENINGS, WHICH ARE PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. THE TOTAL NET FREE AREA SHALL BE LESS THAN 1-150 OF THE OPEN SPACE VENTILATED. THE TOTAL VENTILATING AREA RATION MAY BE REDUCED TO NO LESS THAN 170,300 IF EITHER 1.) OPENINGS ARE PROVIDED IN THE UPPER AND LOWER PORTIONS OF THE VENTILATED SPACE, OR 2.) A PERM VAPOR BARRIER IS INSTALLED ON THE WARM SIDE OF THE CEILING.

AND EXTERIOR DOOR OR WINDOW WITH A FINISHED SILL HEIGHT WITHIN 44" OF THE FLOOR, MIN. NET CLEAR OPEN AREA OF 5.7 SQ.FT. MIN. NET CLEAR OPENING WIDTH OF 20" AND MIN. NET CLEAR OPENING HEIGHT OF 24". GRADE FLOOR OPENINGS MAY HAVE A MIN. NET CLEAR OPENING OF 5 SQ. FT.

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KEYNOTES

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VILLAGES AT WOLF CREEK, LLC
LOT 22191001
EDEN UT, 84310
DRAWN FOR ONE
TIME USE FOR:

AVRAVE U.S.A.

PLAN: (013.3) DATE: 02/21/2022

SHEET:

3

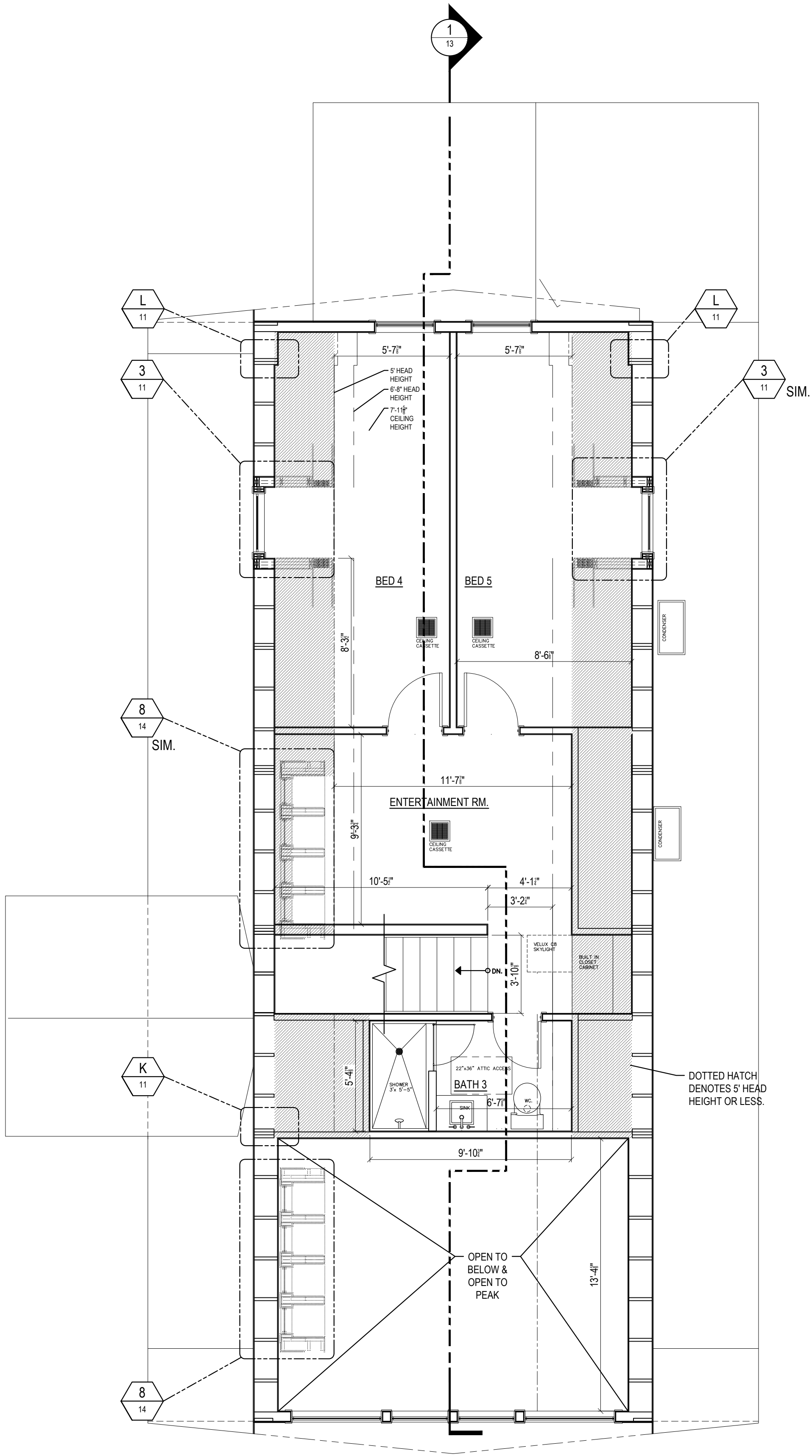
OF:

18

BASEMENT:
1,168 S.F.
1ST FLOOR:
1,341 S.F.
2ND FLOOR
471 S.F.
TOTAL FINISHED:
2,980 S.F.

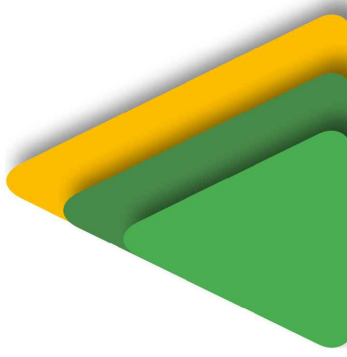
FLOOR PLANS





1. 2ND LEVEL FLOOR PLAN
SCALE: 1/4"=1'

FLOOR PLANS



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KEYNOTES

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VILLAGES AT WOLF CREEK, LLC
LOT 22191001
EDEN UT, 84310

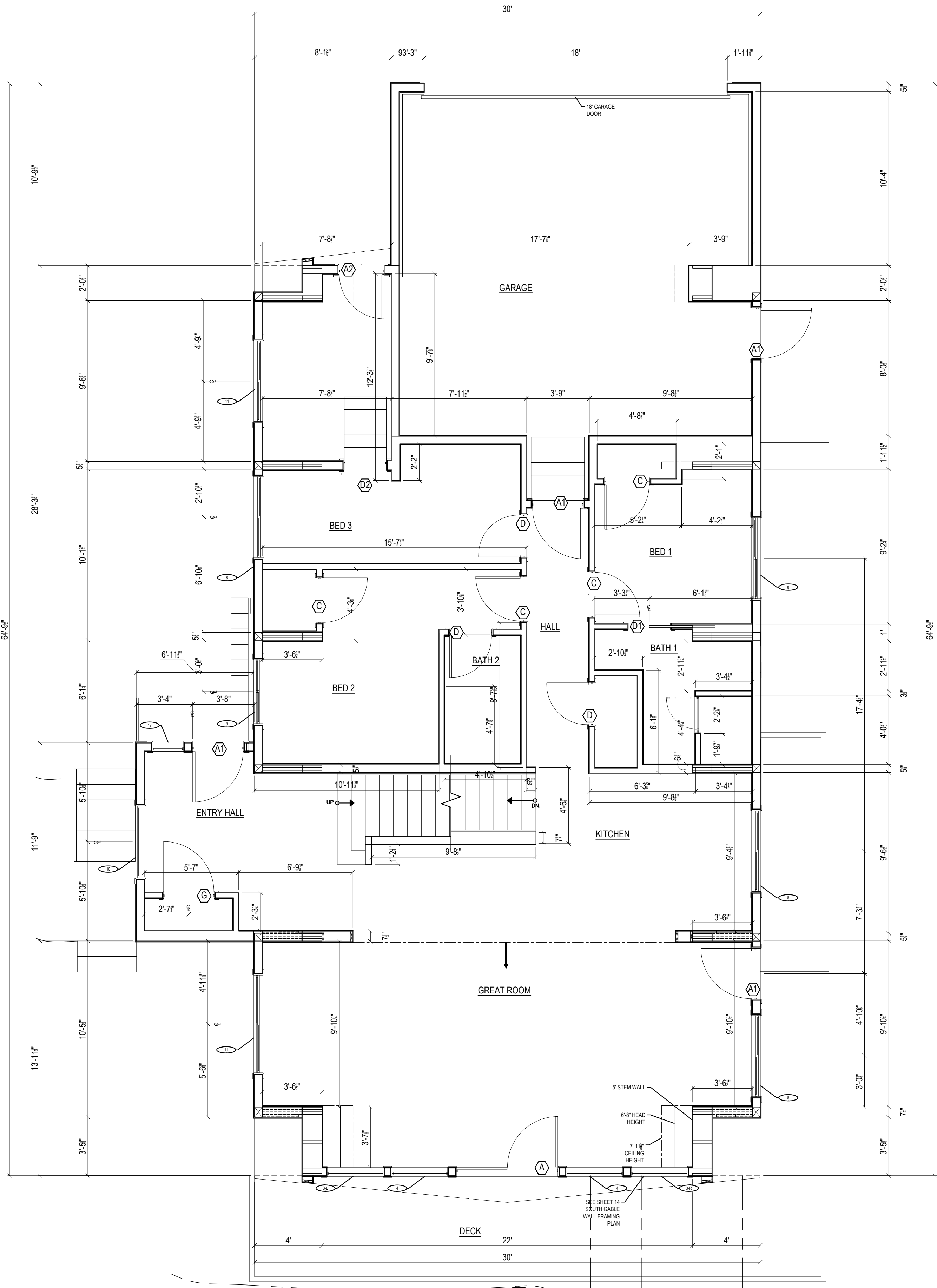
DRAWN FOR ONE
TIME USE FOR:

AVRAVE U.S.A.

PLAN: (013.3) DATE: 02/21/2022

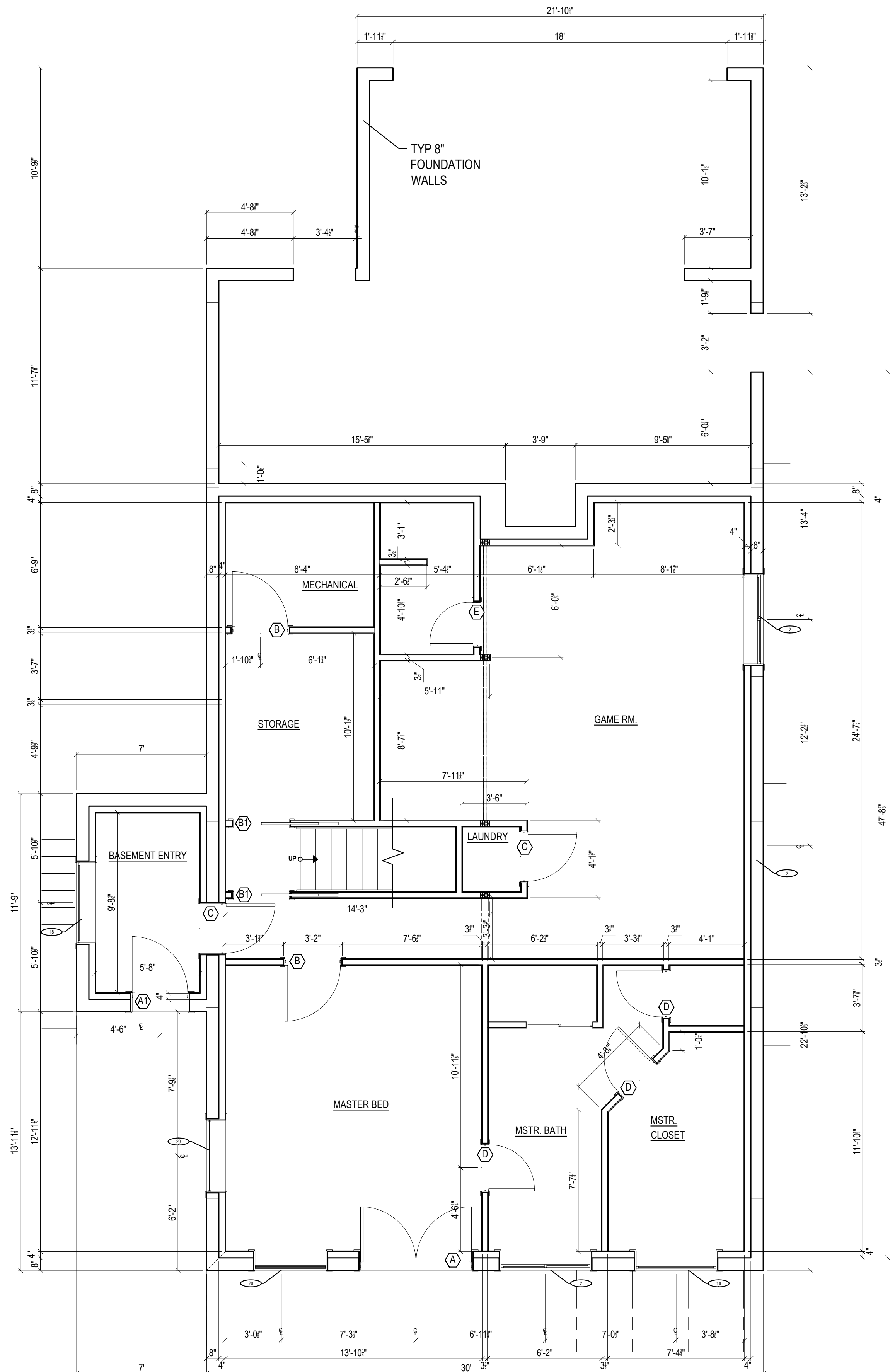
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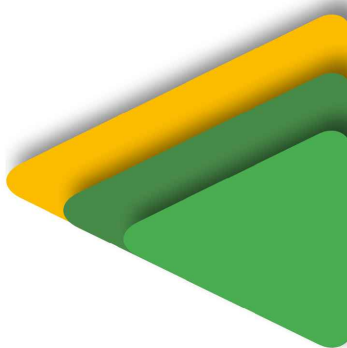
BASEMENT: 1,168 S.F.
1ST FLOOR: 1,341 S.F.
2ND FLOOR: 471 S.F.
TOTAL FINISHED: 2,980 S.F.



WINDOW SCHEDULE			
	TYPE	R.O.	NOTE
⬭	CASEMENT	3'-0" x 4'-0"	
⬭	PICTURE	3'-0" x 4'-0"	
⬭	CASEMENT	3'-0" x 3'-0"	
⬭	SLIDING	4'-0" x 5'-0"	
⬭	PICTURE	SEE SHEET 16 DETAIL 1 GABLE WALL FRAMING	
⬭	PICTURE	SEE SHEET 15 DETAIL 1 GABLE WALL FRAMING	
⬭	PICTURE	SEE SHEET 16 DETAIL 1 GABLE WALL FRAMING	
⬭	PICTURE	SEE SHEET 15 DETAIL 1 GABLE WALL FRAMING	
⬭	PICTURE	SEE SHEET 15 DETAIL 1 GABLE WALL FRAMING	
⬭	PICTURE	SEE SHEET 15 DETAIL 1 GABLE WALL FRAMING	
⬭	PICTURE	SEE SHEET 15 DETAIL 1 GABLE WALL FRAMING	
⬭	PICTURE	SEE SHEET 15 DETAIL 2 GABLE WALL FRAMING	
⬭	PICTURE	SEE SHEET 15 DETAIL 2 GABLE WALL FRAMING	
⬭	SLIDING	5'-0" x 4'-0"	
⬭	SLIDING	4'-0" x 4'-0"	
⬭	PICTURE	6'-8" x 4'-0"	
⬭	SLIDING	5'-0" x 6'-8"	
⬭	CASEMENT	3'-0" x 4'-6"	
⬭	CASEMENT	1'-4 ⁵ / ₈ " x 3'-7 ¹ / ₂ "	
⬭	PICTURE	1'-4 ⁵ / ₈ " x 3'-7 ¹ / ₂ "	
⬭	PICTURE	2'-0" x 6'-8"	
⬭	PICTURE	1'-0" x 4'-6"	
⬭	VELUX C08 SKYLIGHT	21" x 54-7/16"	
⬭	SINGLE HUNG	4'-0" x 5'-0"	

DOOR SCHEDULE		
	TYPE	SIZE
A	EXTERIOR FRENCH	6'-0" x 6'-8"
A1	EXTERIOR SWINGING	3'-0" x 6'-8"
A2	EXTERIOR SWINGING	2'-5" x 6'-8"
B	INTERIOR SWINGING	3'-0" x 6'-8"
B1	INTERIOR POCKET	3'-0" x 6'-8"
C	INTERIOR SWINGING	2'-8" x 6'-8"
C1	INTERIOR POCKET	2'-8" x 6'-8"
D	INTERIOR SWINGING	2'-6" x 6'-8"
D1	INTERIOR POCKET	2'-6" x 6'-8"
D2	INTERIOR BARN	2'-6" x 6'-8"
E	INTERIOR SWINGING	2'-4" x 6'-8"
F	INTERIOR FOLDING	5'-0" x 6'-8"
G	INTERIOR DOUBLE	5'-0" x 6'-8"





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KEYNOTES

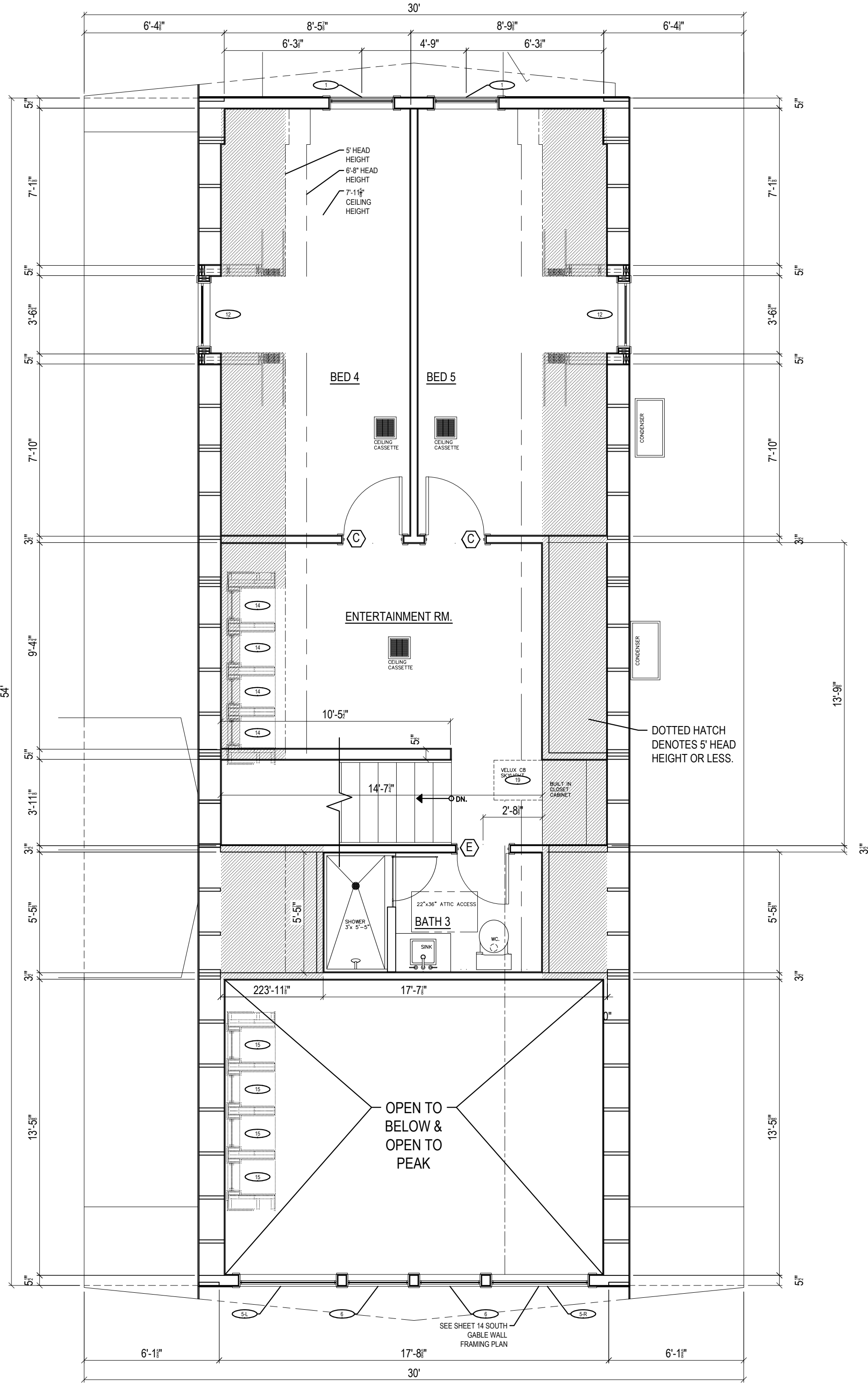
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VILLAGES AT WOLF CREEK, LLC
LOT 22191000
EDEN UT, 84310

PLAN: (013.3) DATE: 02/21/2022

SHEET: 5 OF: 18

BASEMENT:
1,168 S.F.
1ST FLOOR:
1,341 S.F.
2ND FLOOR:
471 S.F.
TOTAL FINISHED:
2,980 S.F.

AVRAMÉ U.S.A.



2. 2ND LEVEL FRAMING PLAN
SCALE: 1/4"=1'

FRAMING PLANS

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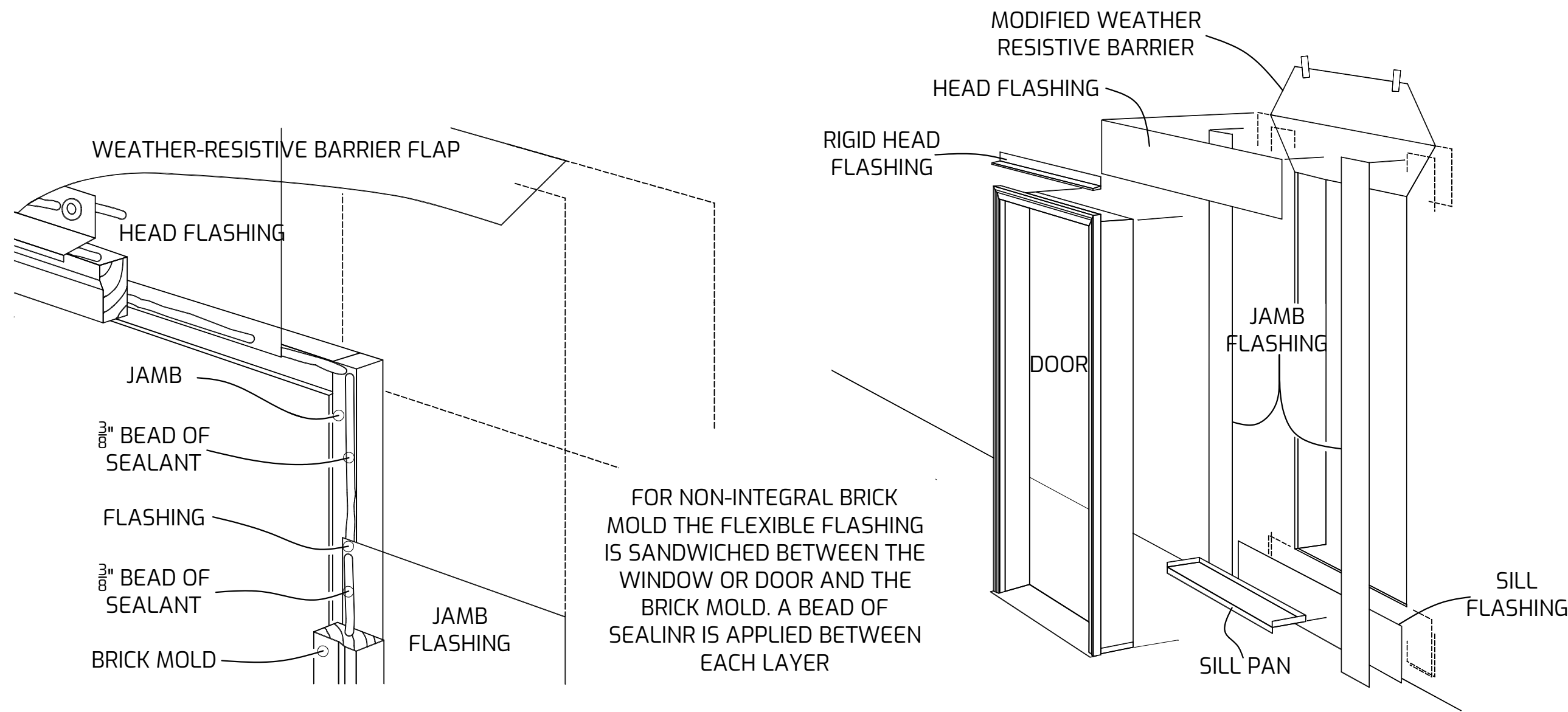
KEYNOTES

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LOT 22191001
EDEN UT, 84310
DRAWN FOR ONE
TIME USE FOR:

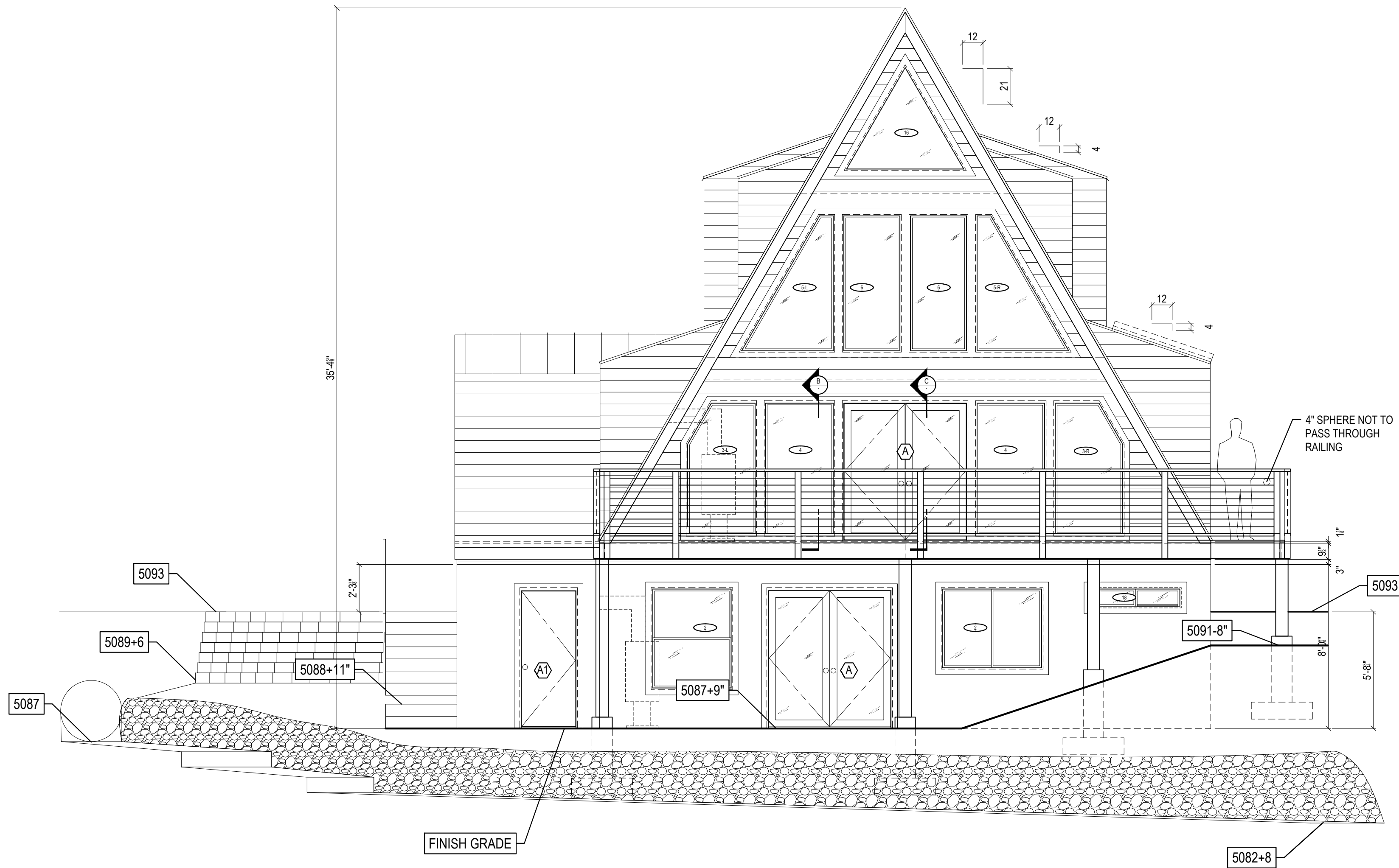
AVRAME U.S.A.

PLAN: (013.3)	DATE: 02/21/2022
SHEET: 6	BASEMENT: 1,168 S.F.
OF: 18	1ST FLOOR: 1,341 S.F.
	2ND FLOOR: 471 S.F.
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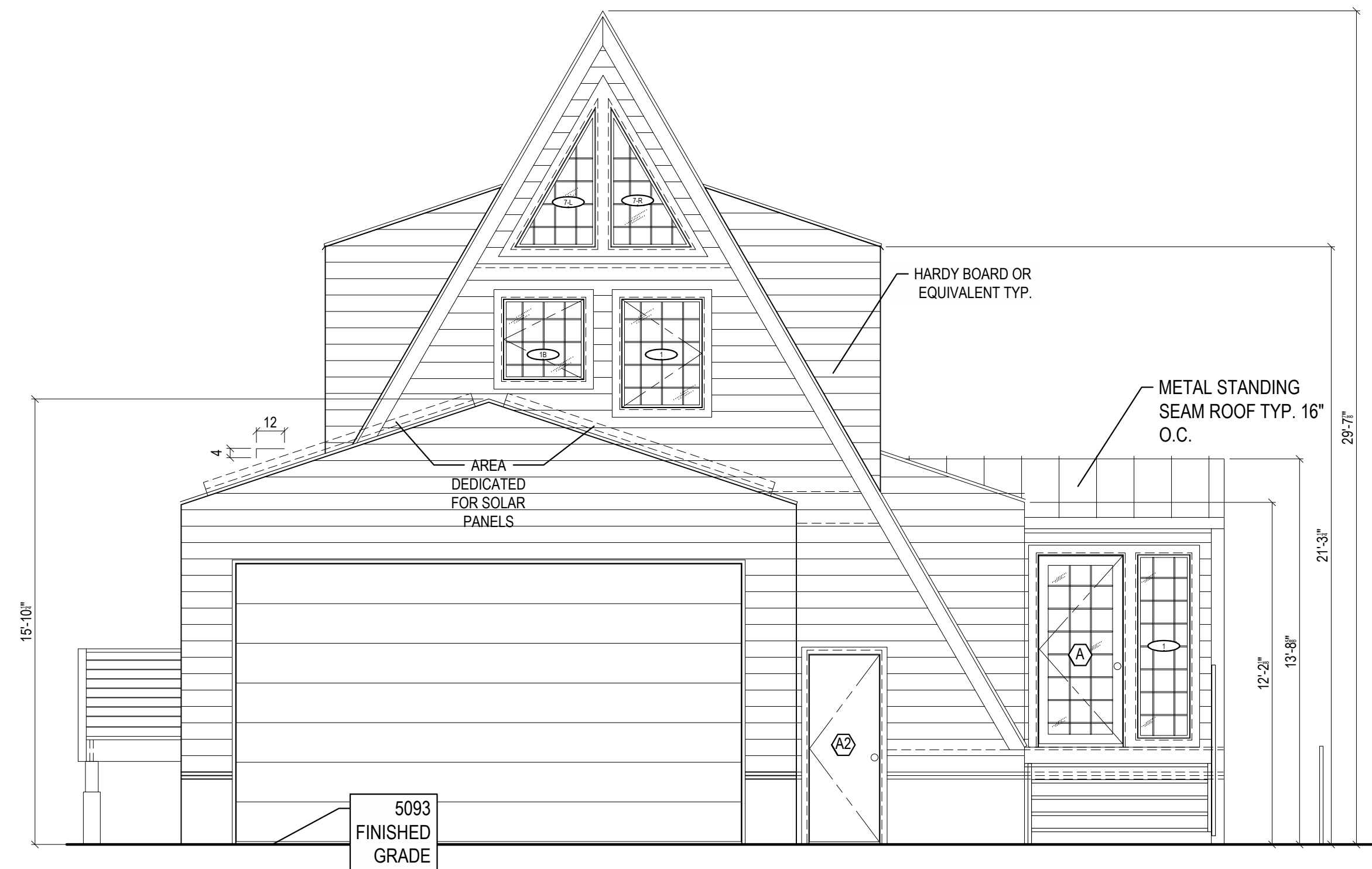
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LAYOUT: 3/17
DIMENSION ARE IN INCHES UNLESS SPECIFIED OTHERWISE.
PLOT DATE AND TIME: AUG-19-2022 2:25 AM
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LAST SAVED DATE: AUG-19-2022 3:24 AM
LAST SAVED BY: POETZER



(B) WINDOW FLASHING DETAIL
SCALE: NTS



1. REAR EXTERIOR ELEVATION
SCALE: 1/4"=1'



1. FRONT EXTERIOR ELEVATION
SCALE: 1/4"=1'

EXTERIOR ELEVATIONS

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KEYNOTES

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VILLAGES - AT WOLF CREEK, LLC
LOT 12191001
EDEN UT, 84310

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AVRAVE U.S.A.

PLAN: (013.3) DATE: 02/21/2022

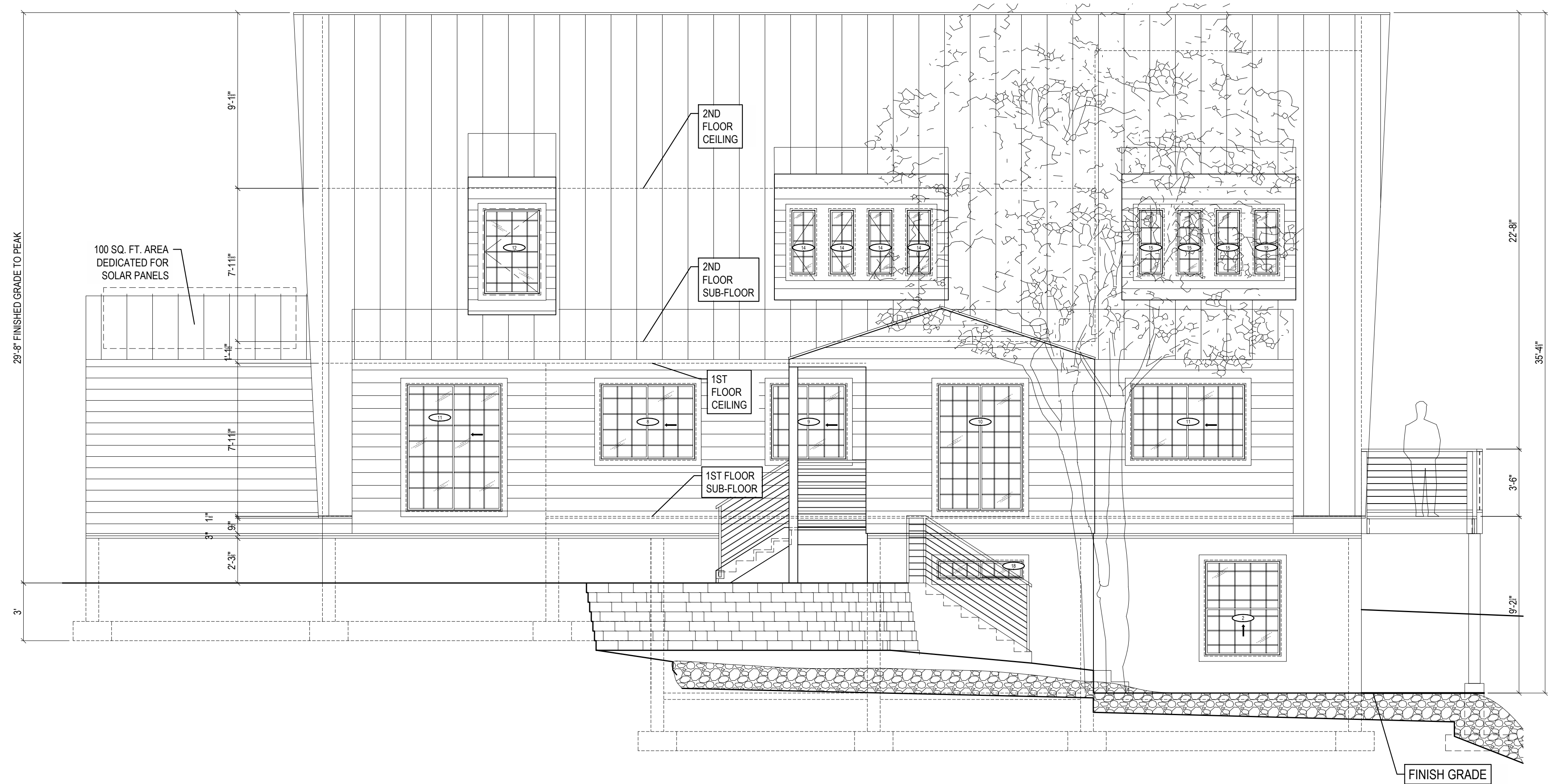
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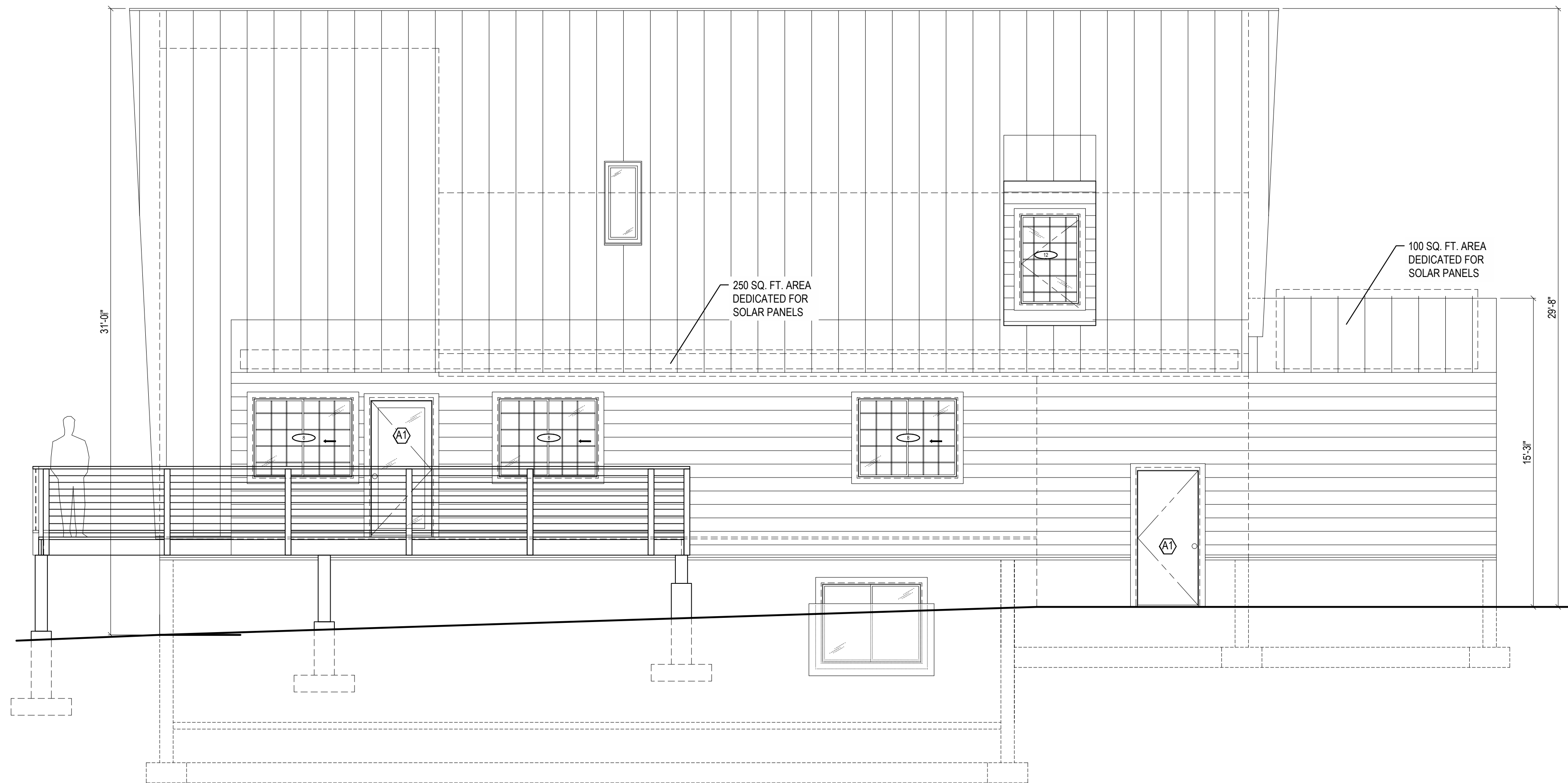
OF:

18

BASEMENT:
1,168 S.F.
1ST FLOOR:
1,341 S.F.
2ND FLOOR:
471 S.F.
TOTAL FINISHED:
2,980 S.F.



3. LEFT EXTERIOR ELEVATION



4. RIGHT EXTERIOR ELEVATION
SCALE: 1/4"=1'

1. FRONT EXTERIOR ELEVATION
SCALE: 1/4"=1'

EXTERIOR ELEVATIONS

TRIO 120 - SCIAMMARELLA RES.
VILLAGES AT WOLF CREEK, LLC
LOT 221910001
EDEN UT, 84310

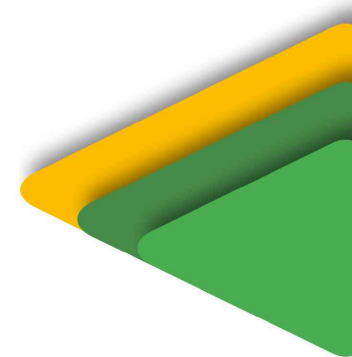
ONE
OR:
AVRAME U.S.A.

PLAN: (013.3) DATE: 02/21/2022

SHEET:	BASEMENT:
8	1,168 S.F.
OF:	1ST FLOOR:
18	1,341 S.F.
	2ND FLOOR:
	471 S.F.
	<u>TOTAL FINISHED</u>
	2,980 S.F.

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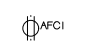
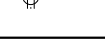
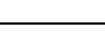
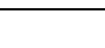
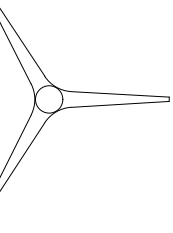
KEYNOTES



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FILE PATH: G:\PROJECTS\000020 - AVRAME 2020\00 - AVRAME Design\001 - PROJECT AVRAME\0 - PROJECTS\001 - PETER\013 - NE SCIAMMARELLA RES TRIO 15048FT UT.dwg
LAYOUT: 15048FT UT.dwg
COPYRIGHT: © 2022 - ALL RIGHTS RESERVED. LAST SAVED DATE: AUG-15-2022 2:24 AM
LAST SAVED BY: P. POETZER
DIMENSIONS ARE IN INCHES UNLESS SPECIFIED OTHERWISE. SHEET: 9

ELECTRICAL

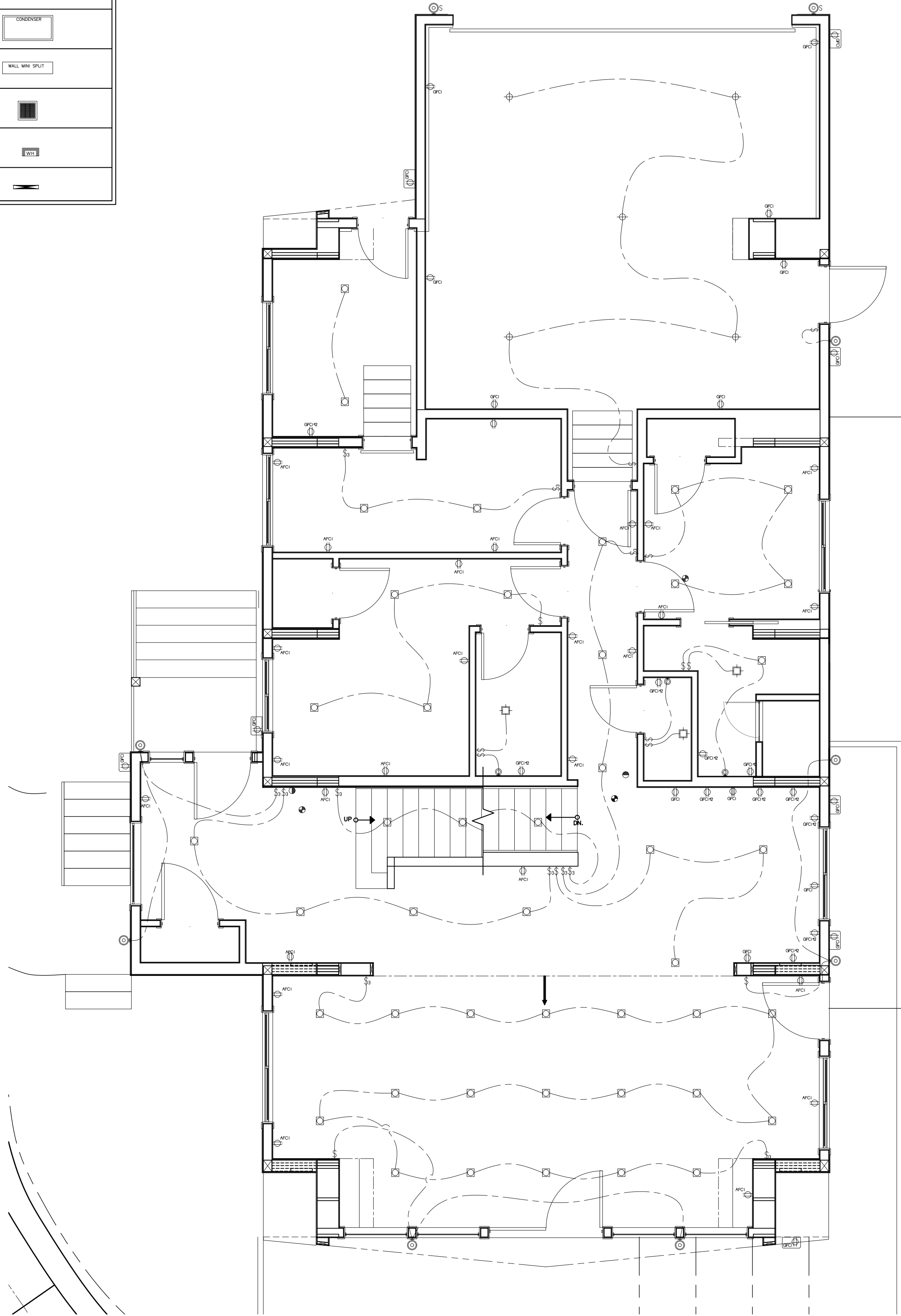
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DUPLEX OUTLET AFCI 18" AFF	
GFCI/GFI OUTLET 30" AFF	
GFCI/GFI OUTLET 42" AFF	
EXTERIOR GFCI/GFI OUTLET	
SMOKE DETECTORS ALL TO BE INTERLINKED TOGETHER	
CARBON MONOXIDE	
	\$
3 WAY SWITCH	\$3
CEILING FAN	

ELECTRICAL

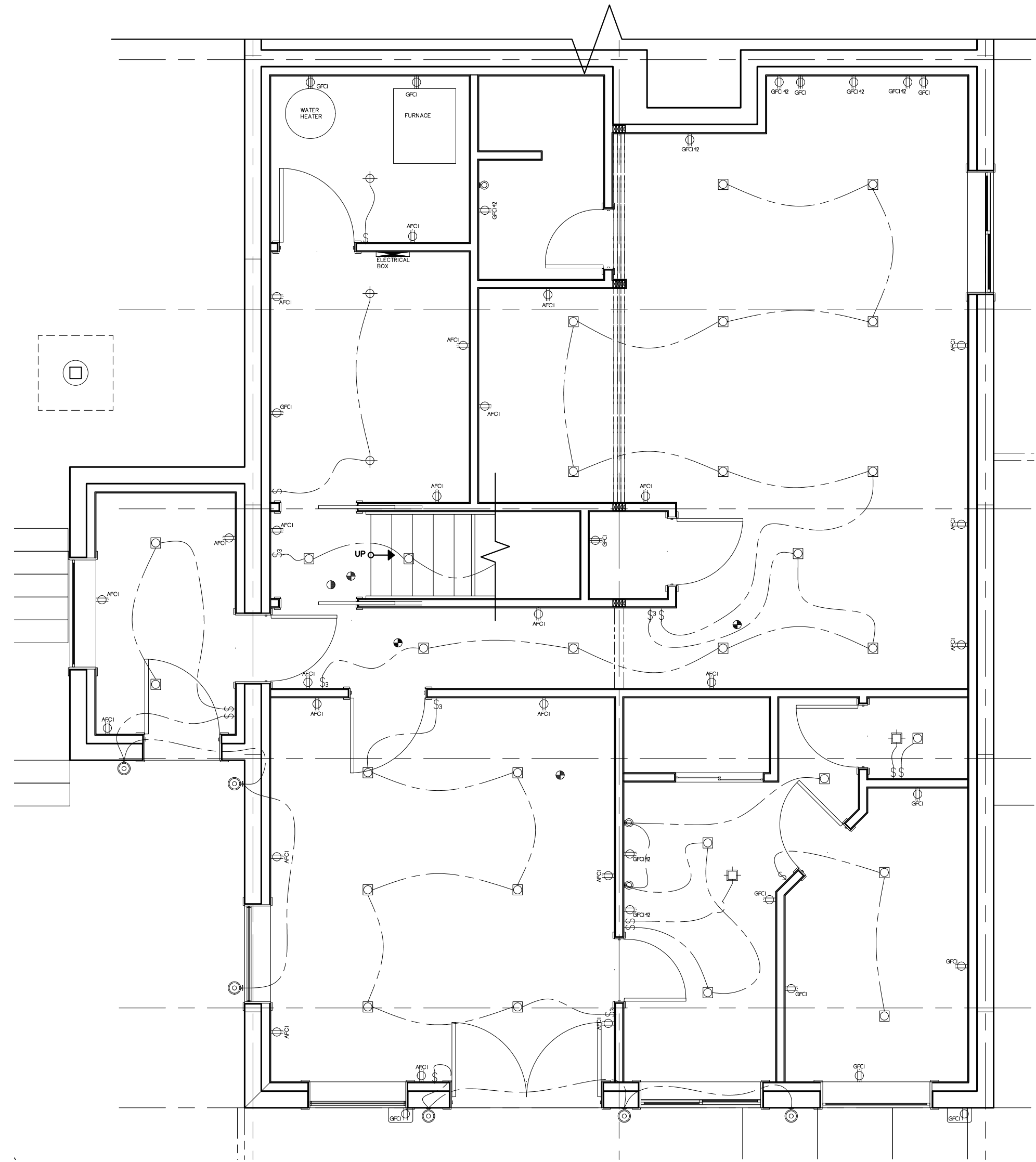
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EXTERIOR WALL MOUNT LIGHT	
CEILING MOUNT LIGHT	
RECESSED LIGHT	
EXHAUST FAN	
FROST FREE HOSE BIB	
CONDENSER	
WALL MINI SPLIT	
MINI SPLIT CASSETTE	
ELECTRICAL TANKLESS WATER HEATER	
ELECTRICAL PANEL	

NOTES:

- ALL ELECTRICAL INSTALLATIONS SHALL COMPLY W/ 2016 CRC & 2014 NEC
- INSTALL OUTLETS SO NO POINT ALONG ANY WALL IS MORE THAN 6' FROM OUTLET.
- INSTALL RECEPTACLES ALONG KITCHEN COUNTERTOPS SO NO POINT ALONG ANY WALL IS MORE THAN 2' FROM AN OUTLET.
- ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS, IN GARAGES, UNFINISHED BASEMENTS AND OUTSIDE OUTLETS TO BE GFCI PROTECTED.
- FUEL FIRED WATER HEATERS SHALL NOT BE INSTALLED IN A ROOM USED AS A STORAGE CLOSET. NON-DIRECT-VENT WATER HEATERS LOCATED IN A SEALED ENCLOSURE SO THAT COMBUSTION AIR WILL NOT BE TAKEN FROM THE LIVING SPACE.
- PROVIDE A MIN. OF 30" OF CLEARANCE SPACE IN FRONT OF THE FURNACE AND A MIN. OF 3" ALONG SIDE AND BACK.
- ELEC. PANEL MUST HAVE 30" WIDTH, 36" DEPTH AND 6'-6" HEADROOM CLEARANCE.
- UFER GROUND REQUIRED**
- ALL 15- AND 20- AMPERE RECEPTACLES IN EVERY KITCHEN, FAMILY, LIVING, DINING, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION, OR SIMILAR ROOM OR AREA OF DWELLING UNITS SHALL BE LISTED AS TAMPER-RESISTANT RECEPTACLES. -E4002.14 AND -E3901.1
- SMOKE ALARMS:**
WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
- PHYSICAL INTERCONNECTION OF SMOKE ALARMS SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM.
- A MIN. OF TWO 20-AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL SERVE ALL WALL AND FLOOR RECEPTACLES OUTLETS IN THE KITCHEN.
- PROVIDE APPROVED BOXES OF SUPPORT FOR FANLIGHT COMBOS
- PROVIDE ALL BEDROOM OUTLETS, LIGHTS, SWITCHES, AND SMOKE DETECTORS W/ ARC-FAULT PROTECTION.
- ALL EXTERIOR OUTLETS TO BE GFCI WETHER PROOF.
- ALL EXTERIOR OUTLETS SHALL HAVE BUBBLE COVERS & 110V OUTLET WITH 25' OF AC UNIT.
- SMOKE DETECTORS AND CARBON MONOX. DETECTORS ARE REQUIRED TO BE INTERCONNECTED SO IF ONE SOUND, ALL SOUND.
- ALSO ALL DETECTORS ARE TO BE WIRED WITH PRIMARY POWER, AND BATTERY BACKUP.
- CARBON MONOXIDE DETECTORS REQUIRED ON ALL HABITABLE LEVELS INCLUDING ANY "BONUS ROOMS".
- ALL ELECTRICAL RECEPTACLES AND SWITCHES ARE UP A MIN. 18" ABOVE THE FLOOR, IN THE GARAGE OR ANY ROOM WITH ACCESS FROM GARAGE.
- A 125-VOLT, SINGLE PHASE, 15-OR 20-AMP RATED GFCI RECEPTACLE OUTLET SHALL BE INSTALLED WITHIN 25' OF MECHANICAL EQUIPMENT AND NOT BE CONNECTED TO THE LOAD SIDE OF THE DISCONNECTING MEANS.
- ALL ELECTRICAL BOXES IN GARAGE TO BE 2-HOUR RATED.



1. 1ST LEVEL ELECTRICAL PLAN
SCALE: 1/4"=1'



1. BASEMENT ELECTRICAL PLAN
SCALE: 1/4"=1'



ELECTRICAL PLANS

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KEYNOTES

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VILLAGES AT WOLF CREEK, LLC
LOT 22191000
EDEN UT, 84310
DRAWN FOR ONE
TIME USE FOR:

PLAN: (013.3) DATE: 02/21/2022

SHEET:

9

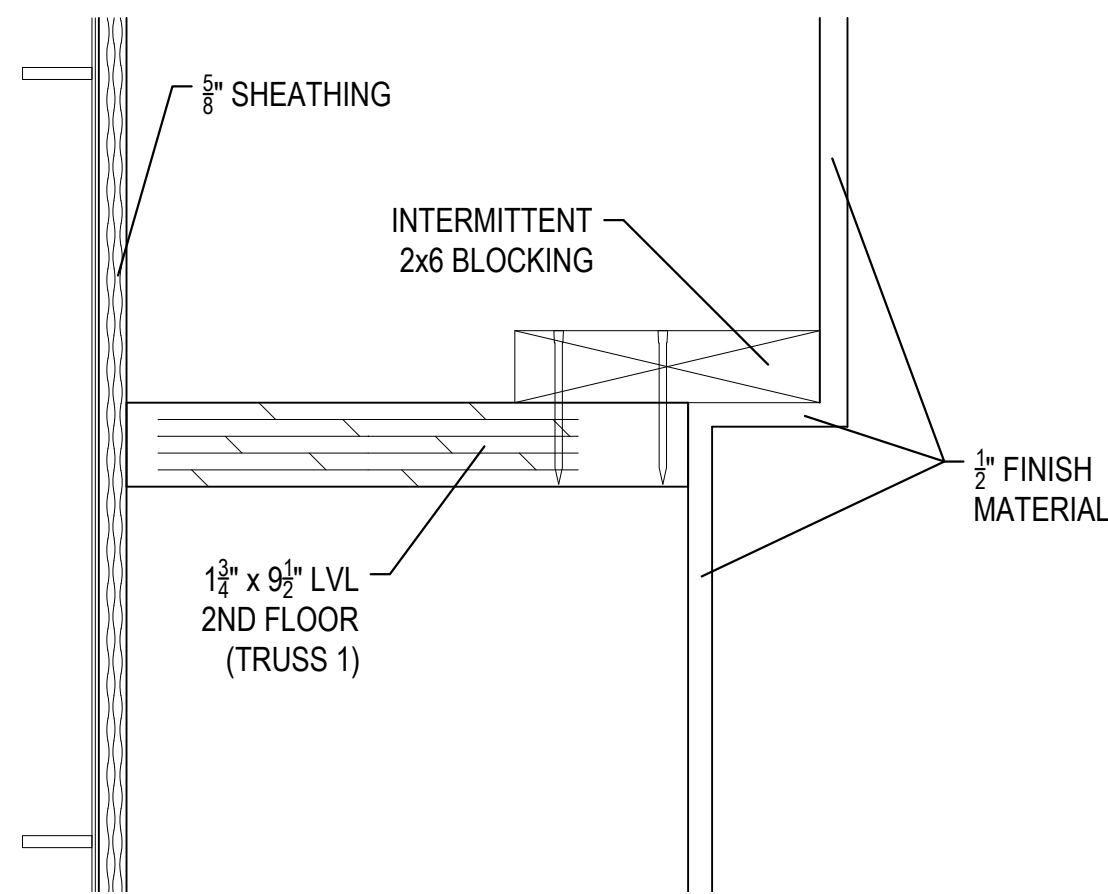
OF:

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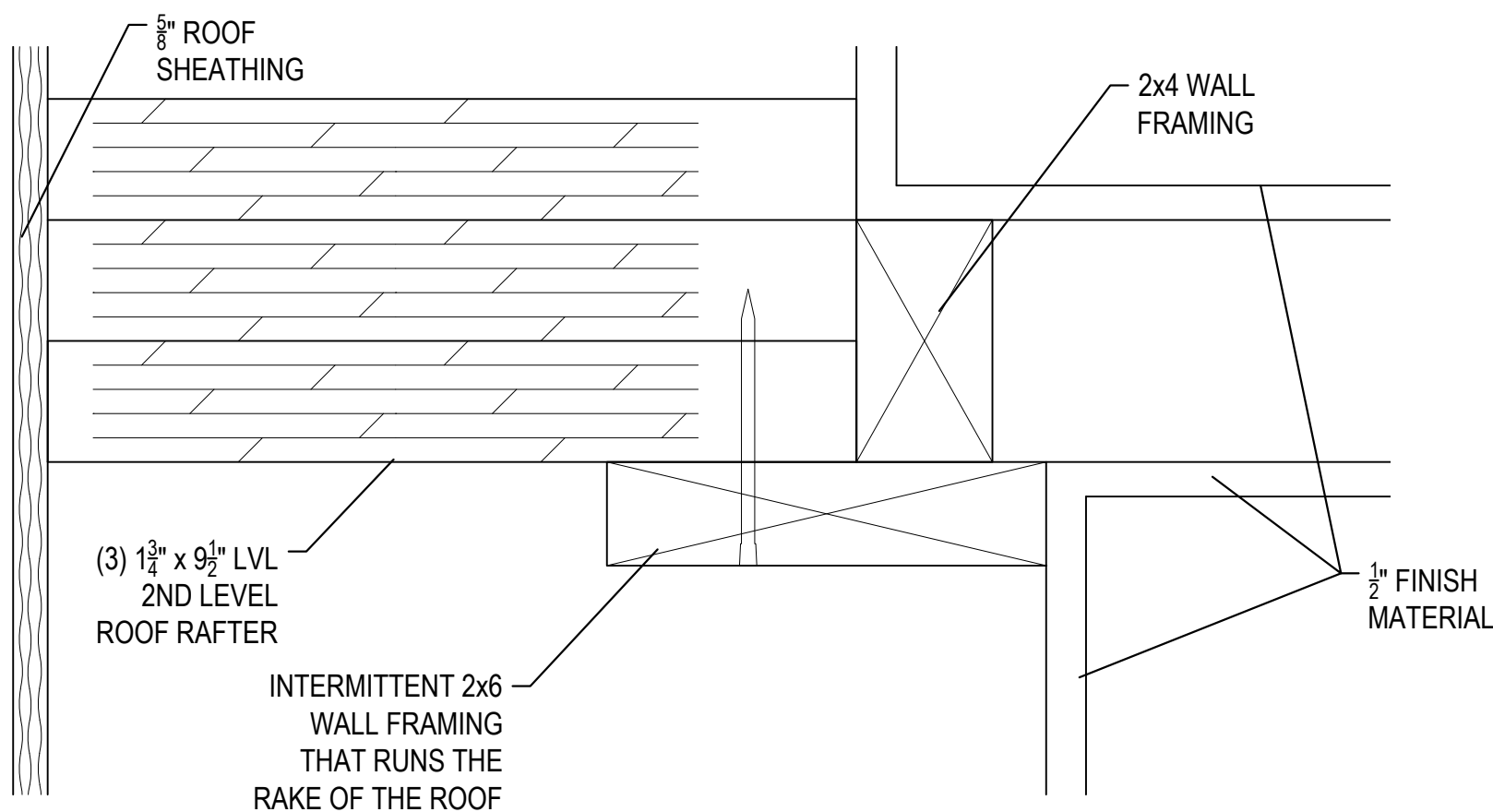
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1ST FLOOR:
1,341 S.F.
2ND FLOOR:
471 S.F.
TOTAL FINISHED:
2,980 S.F.



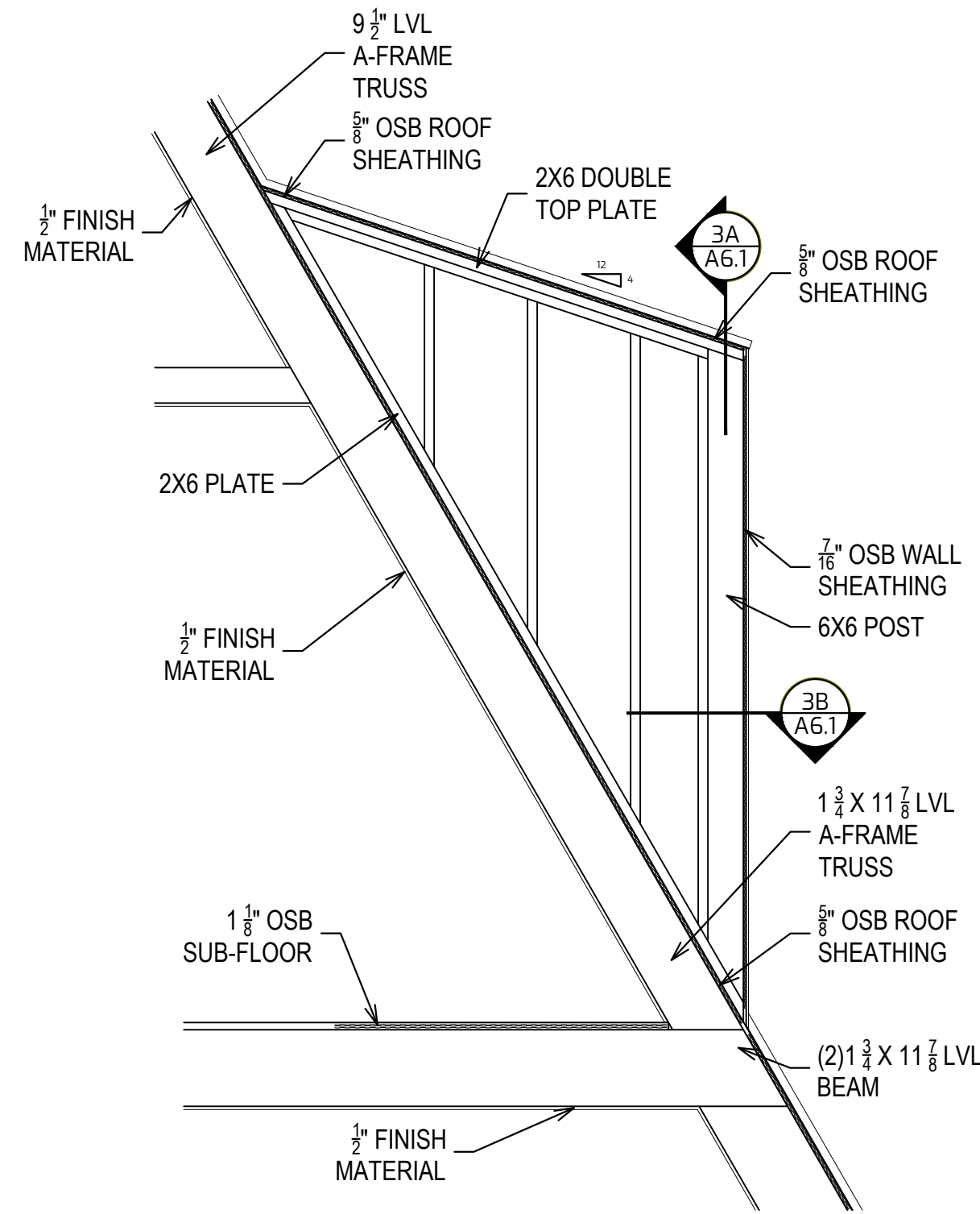
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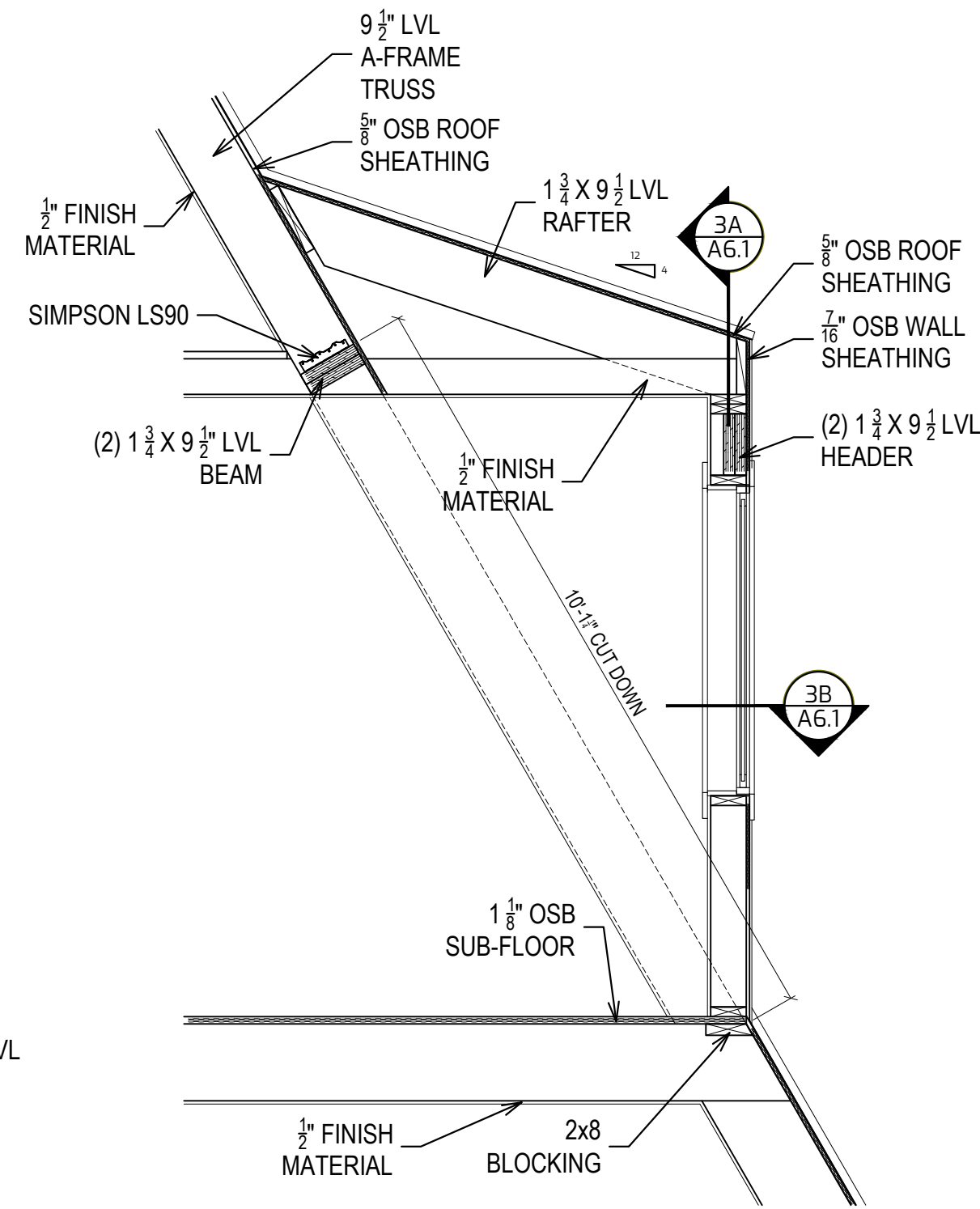
(L) TRUSS SIZE TRANSITION PLAN SECTION
REF: 2/3
SCALE: 3"=1"



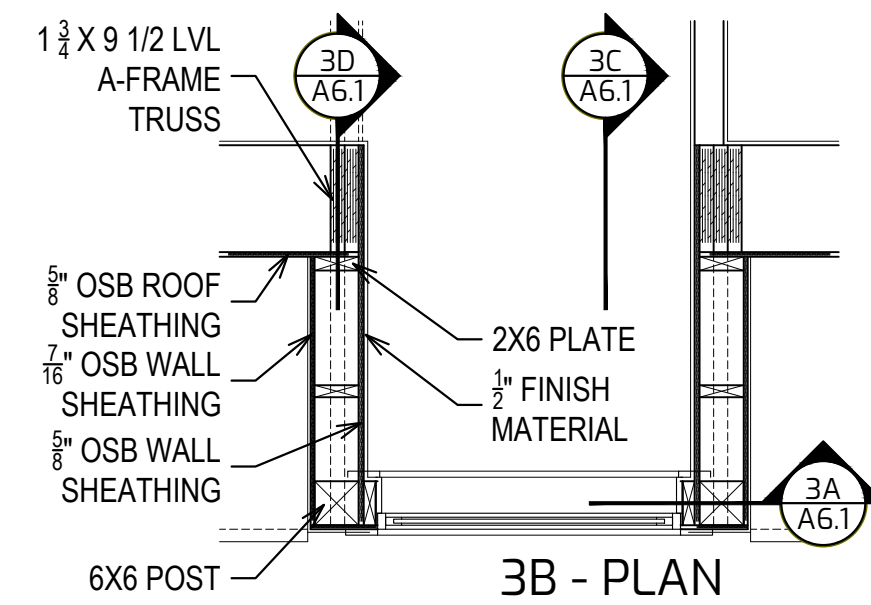
(K) HAND RAILING PLAN SECTION @ OTB
REF: 1/4
SCALE: 3"=1"



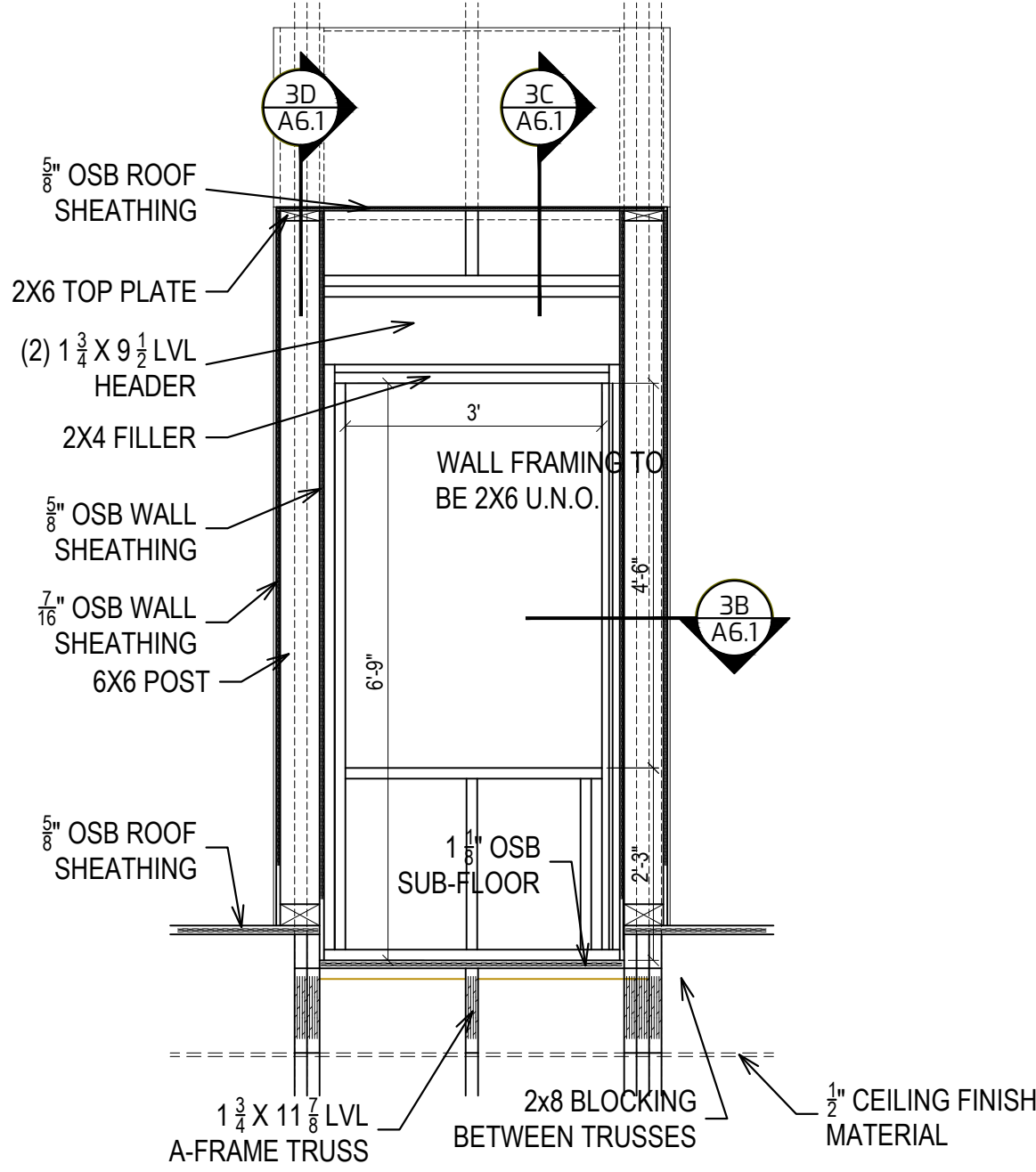
3D - SIDE WALL SECTION



3C - DORMER SECTION

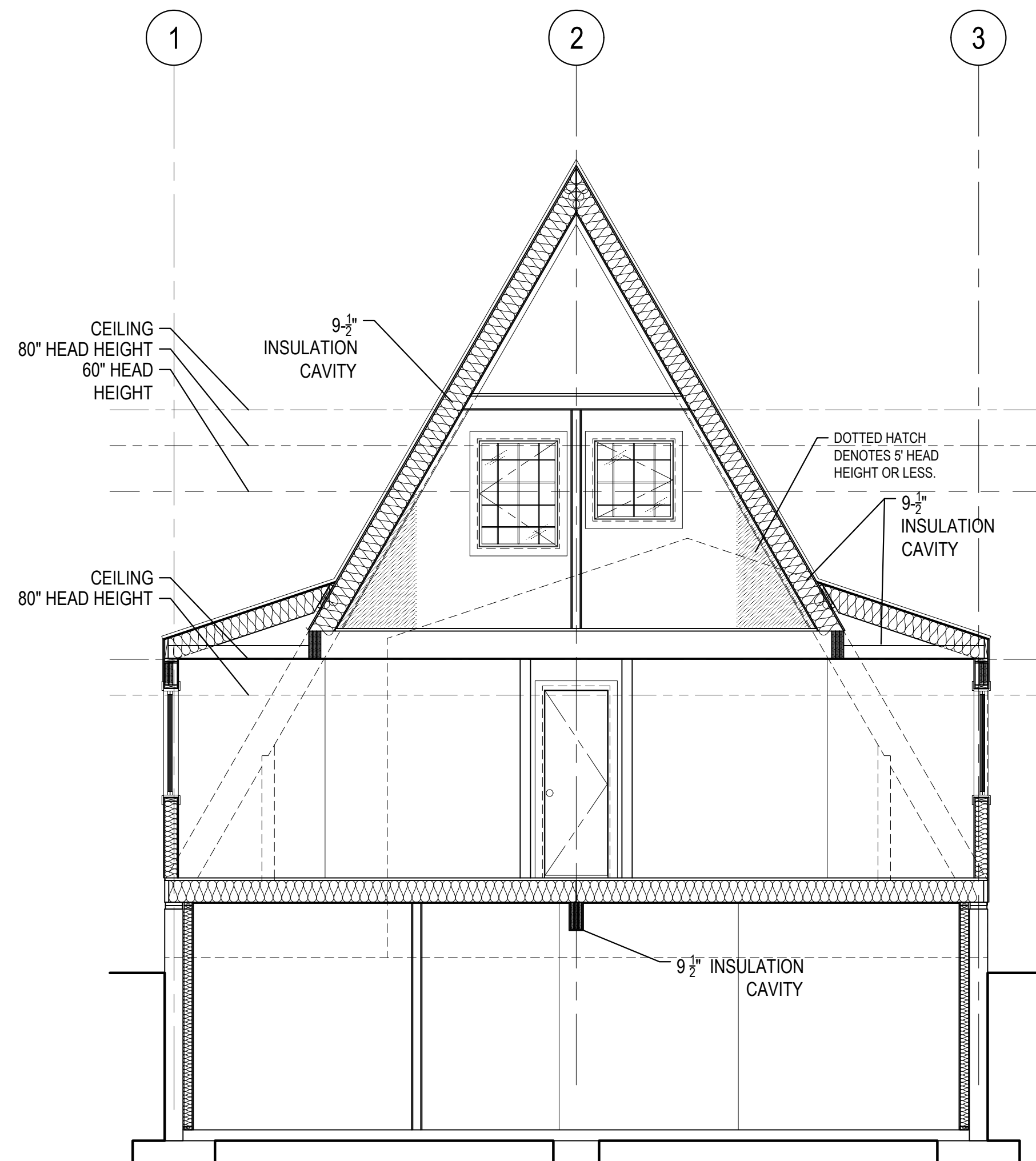


3B - PLAN

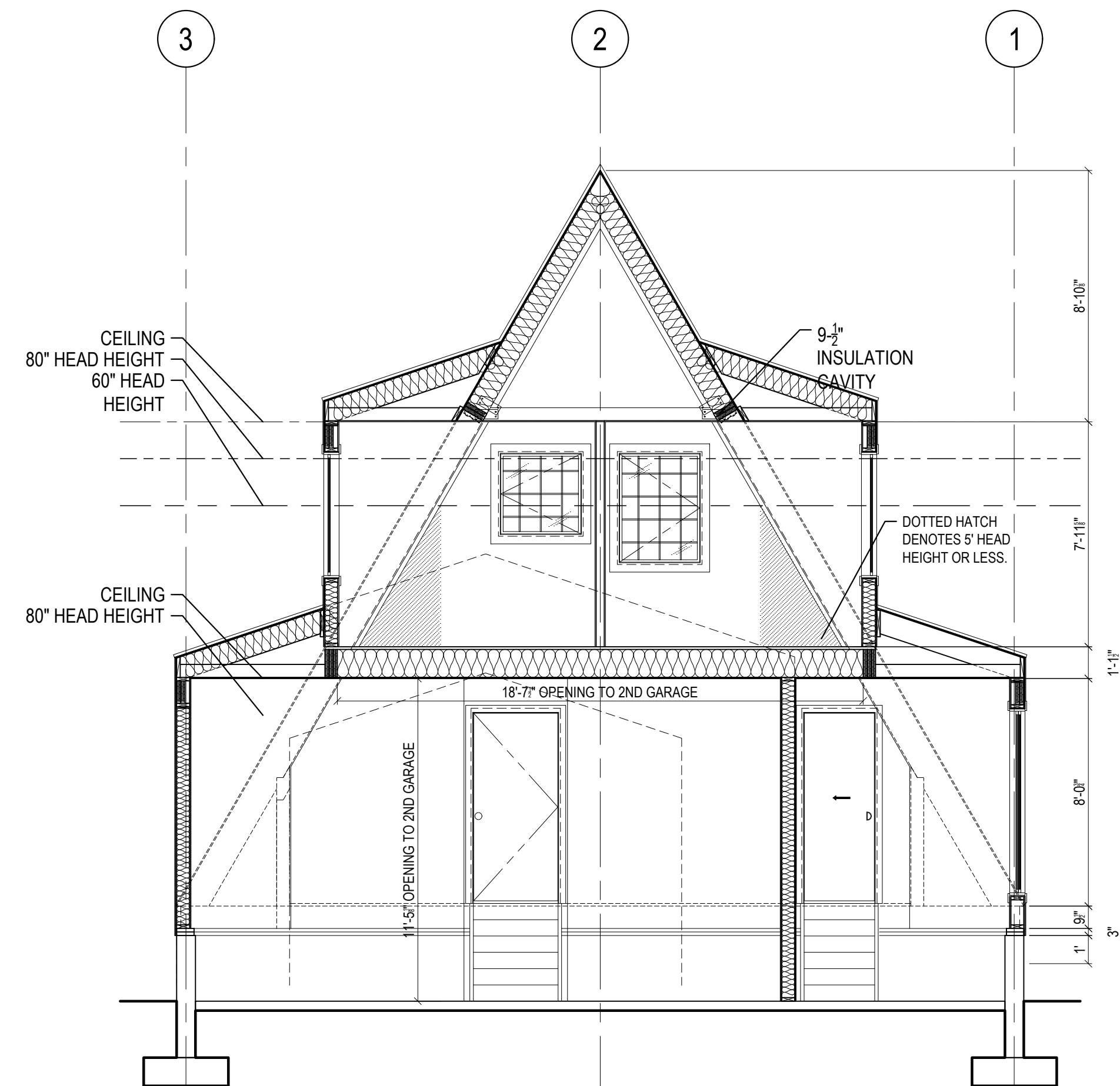


3A - FRONT WALL SECTION

3. 2ND LEVEL FULL HEIGHT DORMER
REF: 1/3
SCALE: 1/2"=1'



2. TRUSS 3 ENTRY DORMER & STAIR SECTION
REF: 1/3
SCALE: 1/4"=1'



1. TRUSS 1 SECTION
REF: 1/3
SCALE: 1/4"=1'

BUILDING SECTION DETAILS

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KEYNOTES

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VILLAGES AT WOLF CREEK, LLC
LOT 22191001
EDEN UT, 84310
DRAWN FOR ONE
TIME USE FOR:

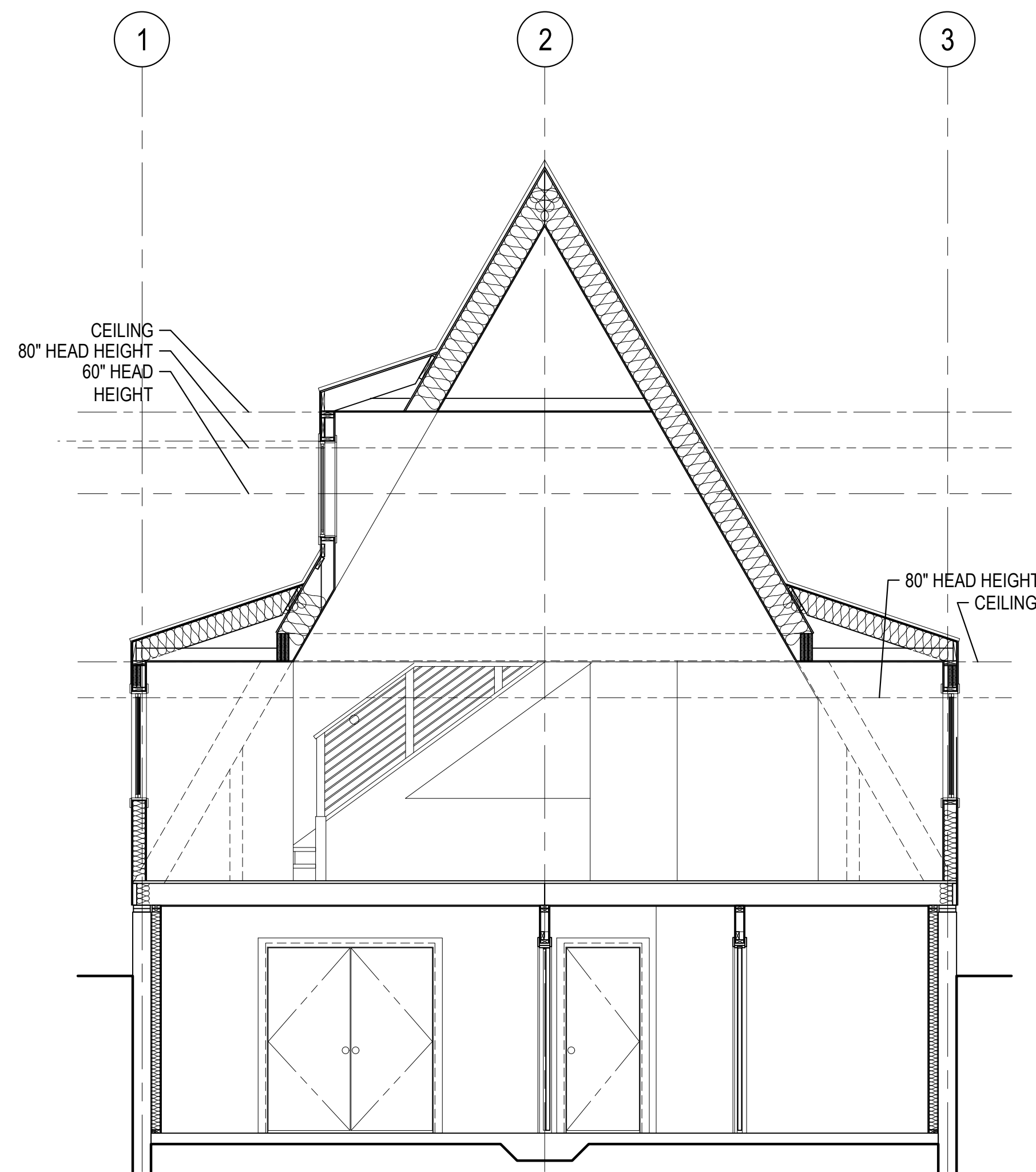
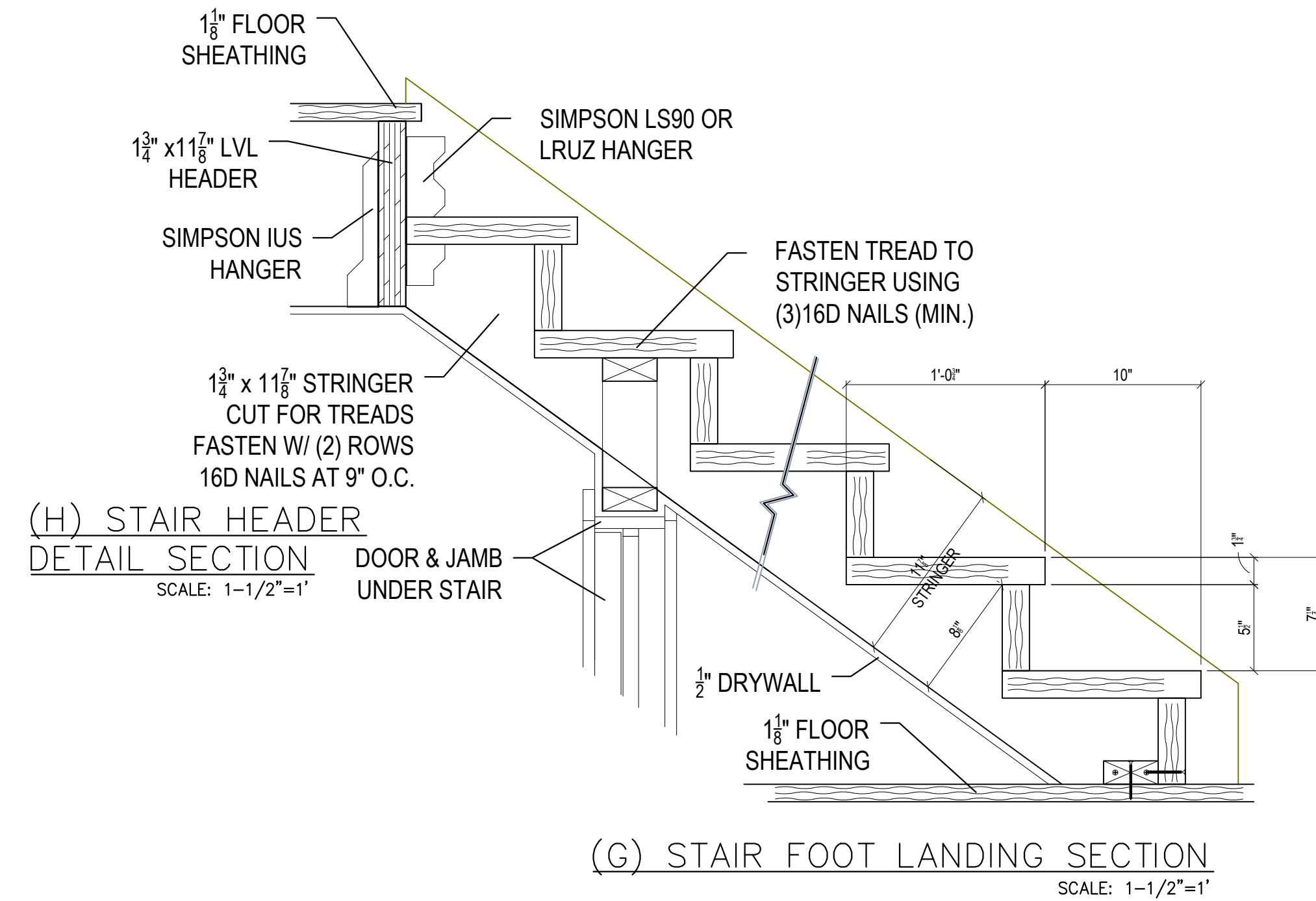
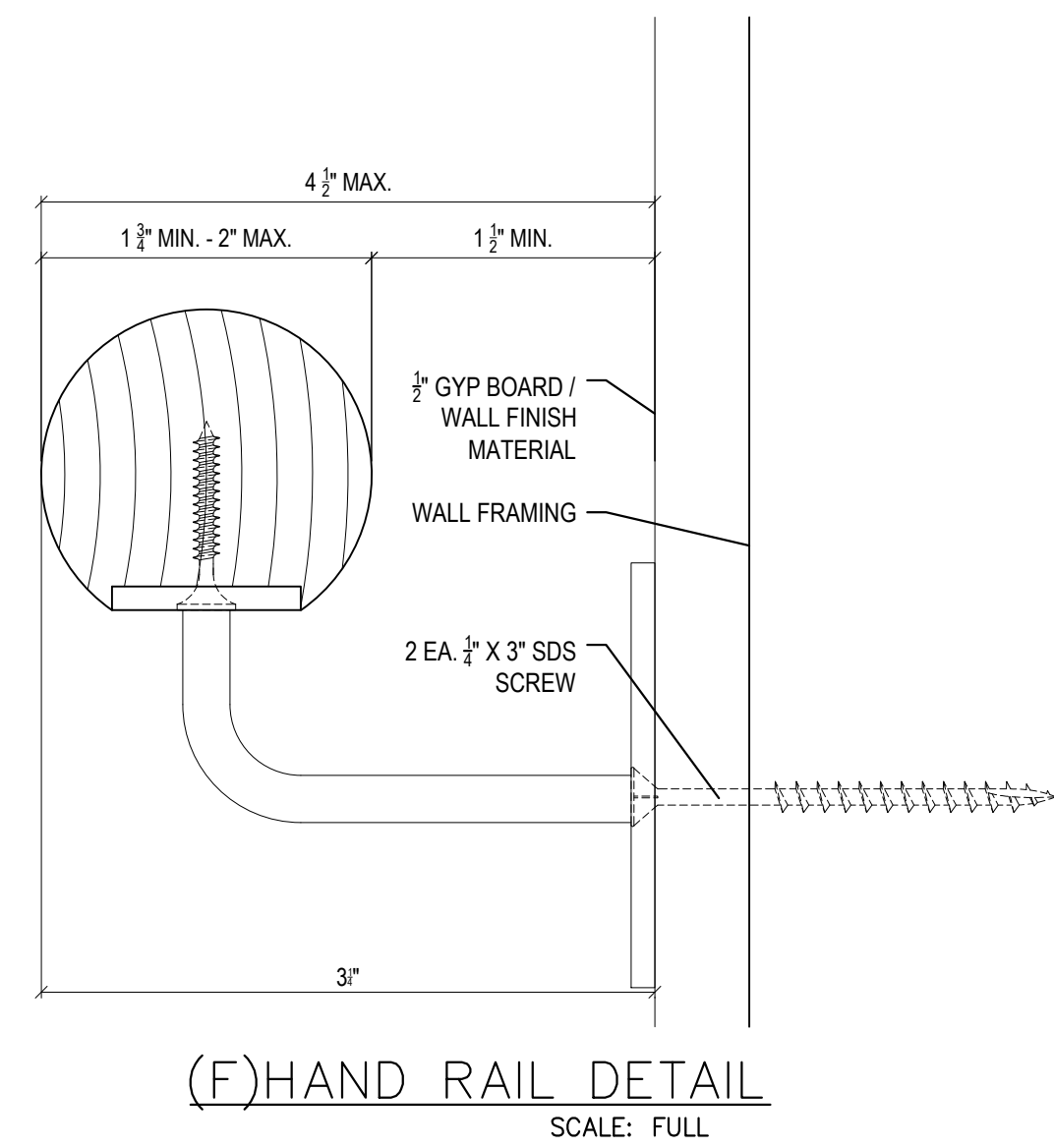
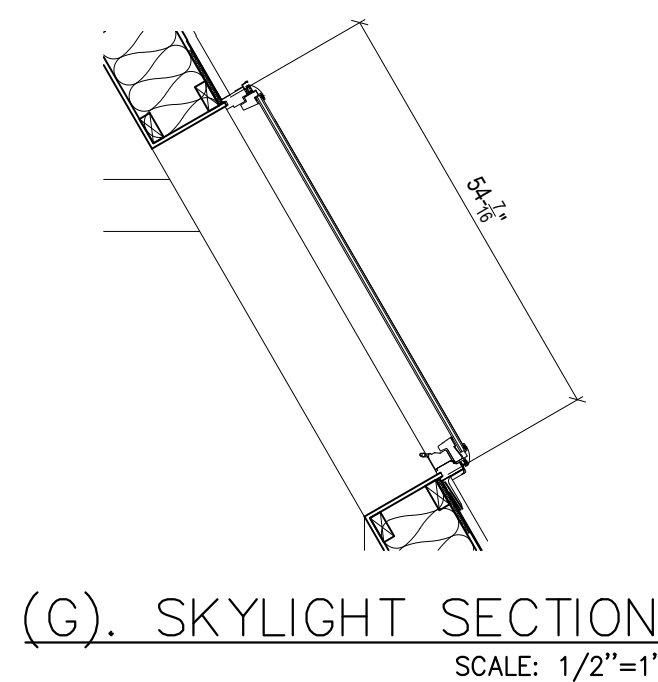
PLAN: (013.3) DATE: 02/21/2022

SHEET: 11 OF 18
BASEMENT: 1,168 S.F.
1ST FLOOR: 1,341 S.F.
2ND FLOOR: 471 S.F.
TOTAL FINISHED: 2,980 S.F.

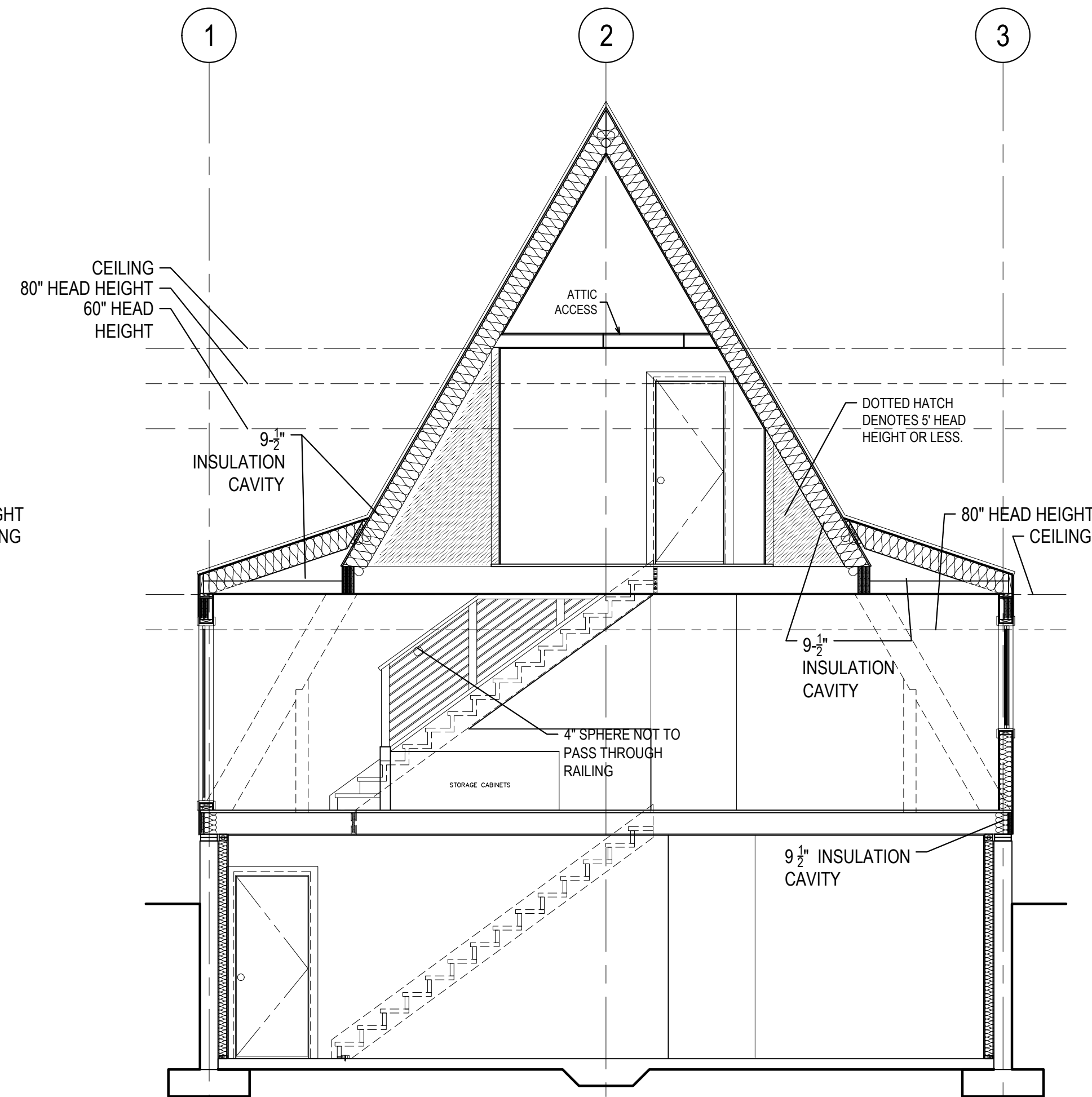
AVARAME U.S.A.



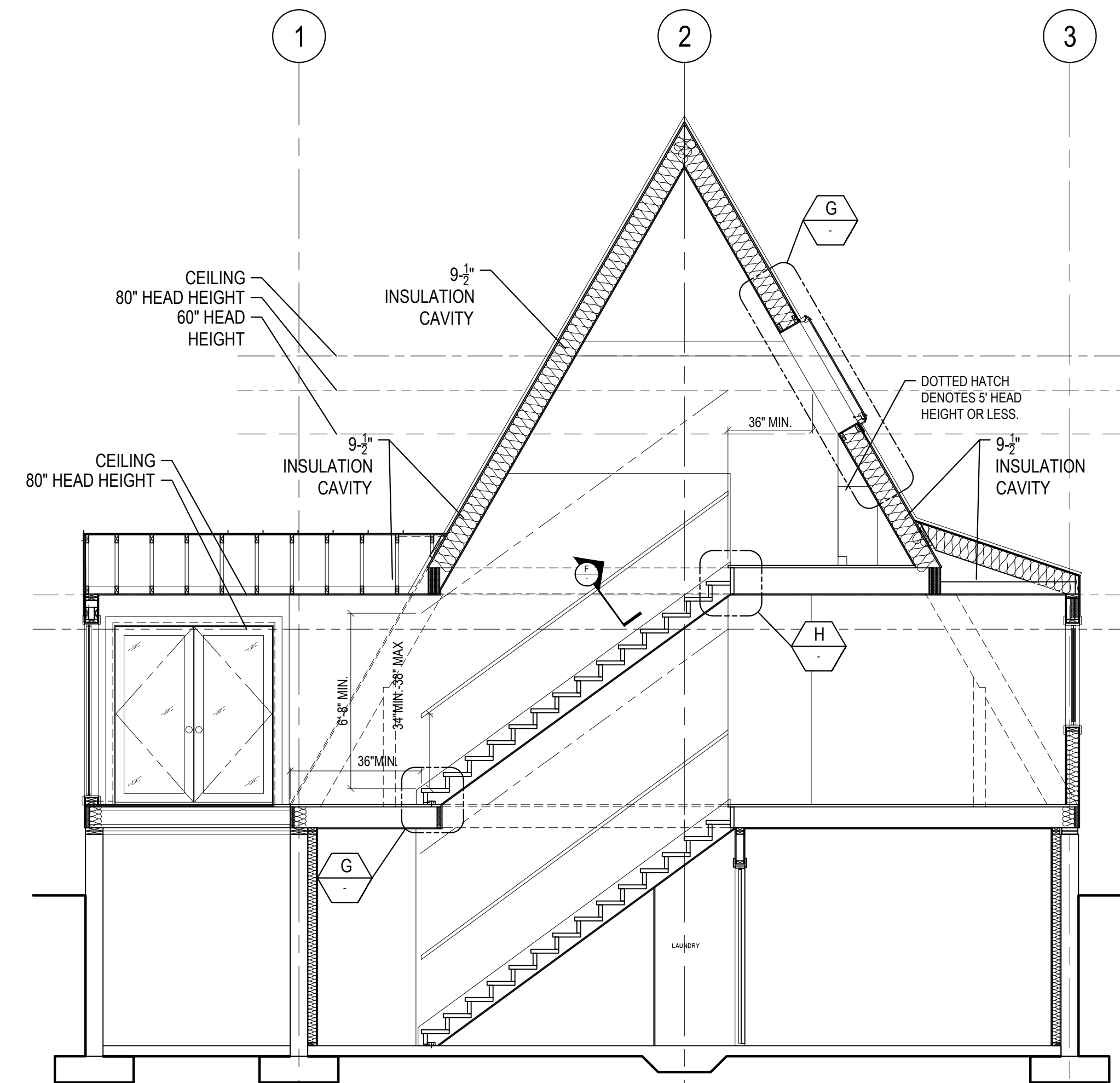
6223 WEST DOUBLE EAGLE CIRCLE, SALT LAKE CITY, UTAH 84118
PH: 866.287.2632 - WWW.AVRAMEUSA.COM
EMAIL: SALES@AVRAMEUSA.COM



3. SECTION @ GREATROOM VAULTED CEILING



2. RAILING & STAIR ELEVATION SECTION



1. EXTENDED DORMER & STAIR SECTION
REF: 1/3 SCALE: 1/4"=1'

BUILDING SECTION DETAILS



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LOT 221910001
EDEN UT, 84310

AVAILABLE U.S.A.:

N: (013.3) DATE: 02/21/2022

ET:

12

F:

18

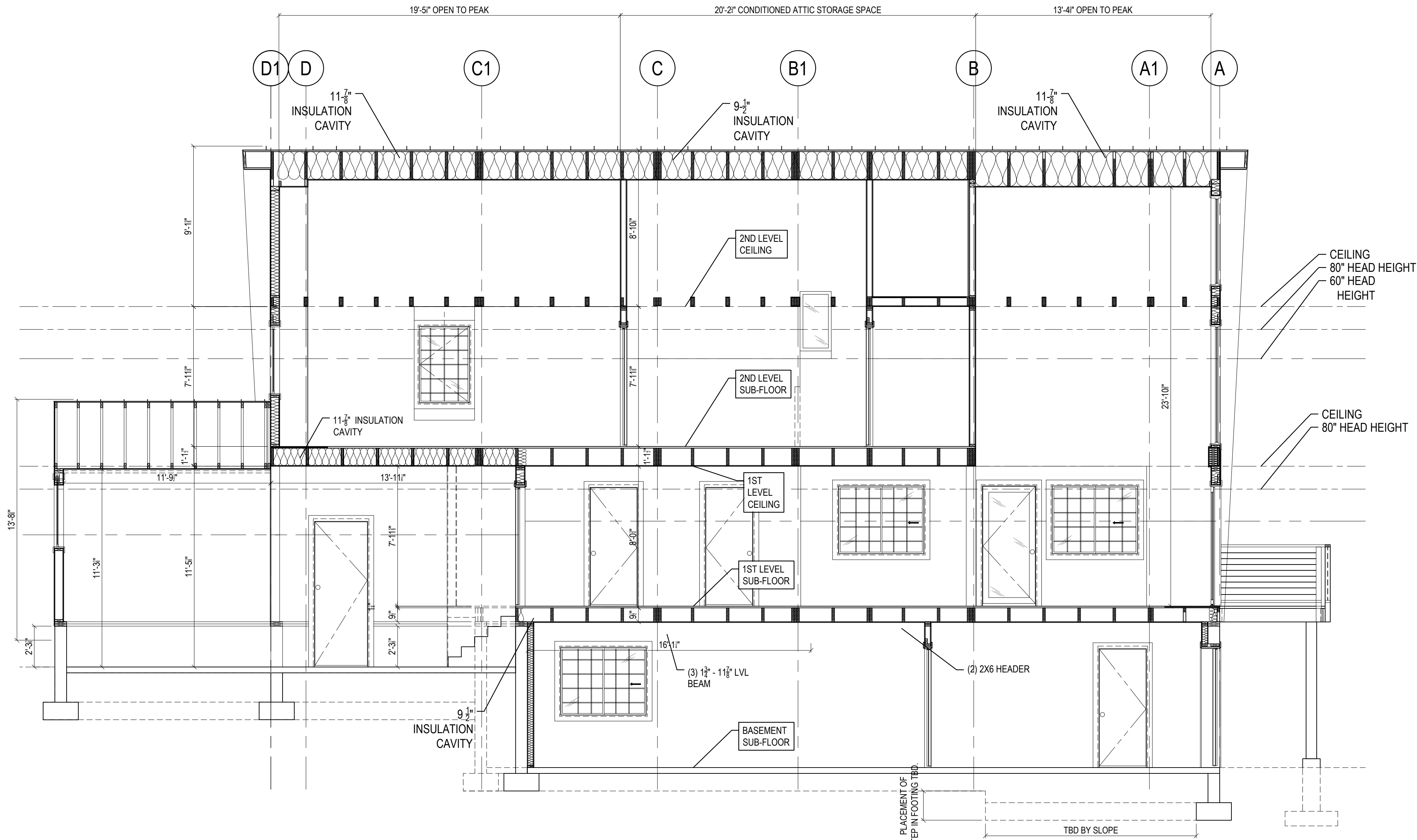
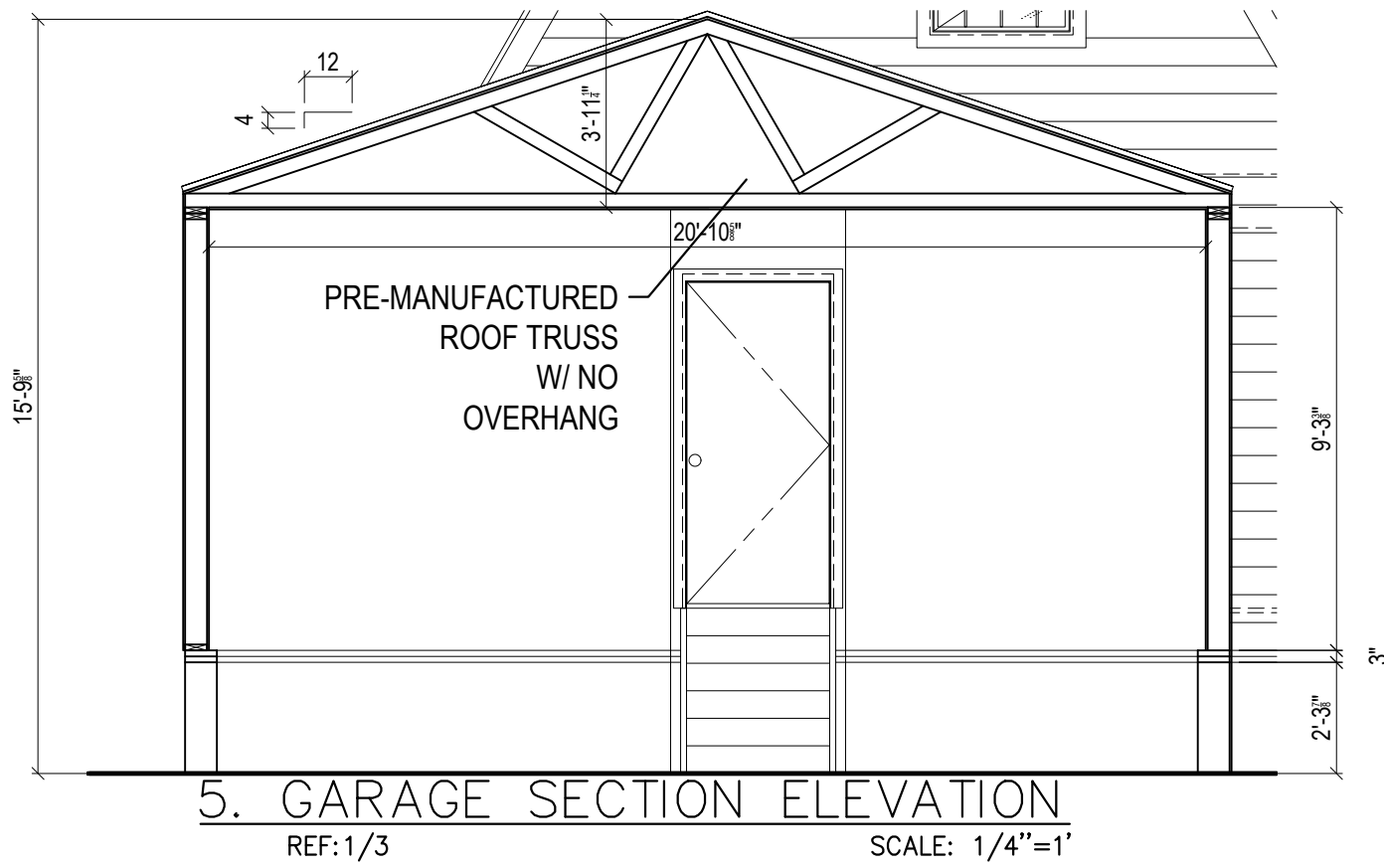
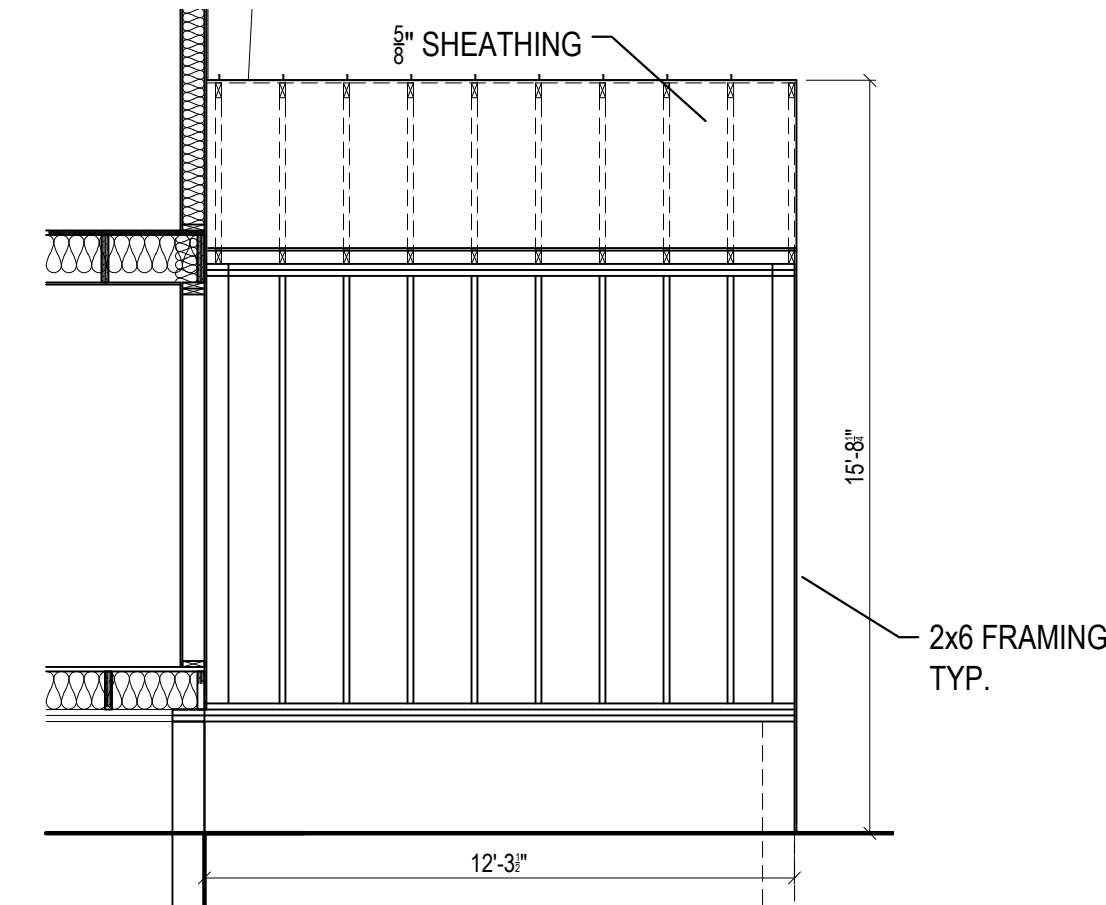
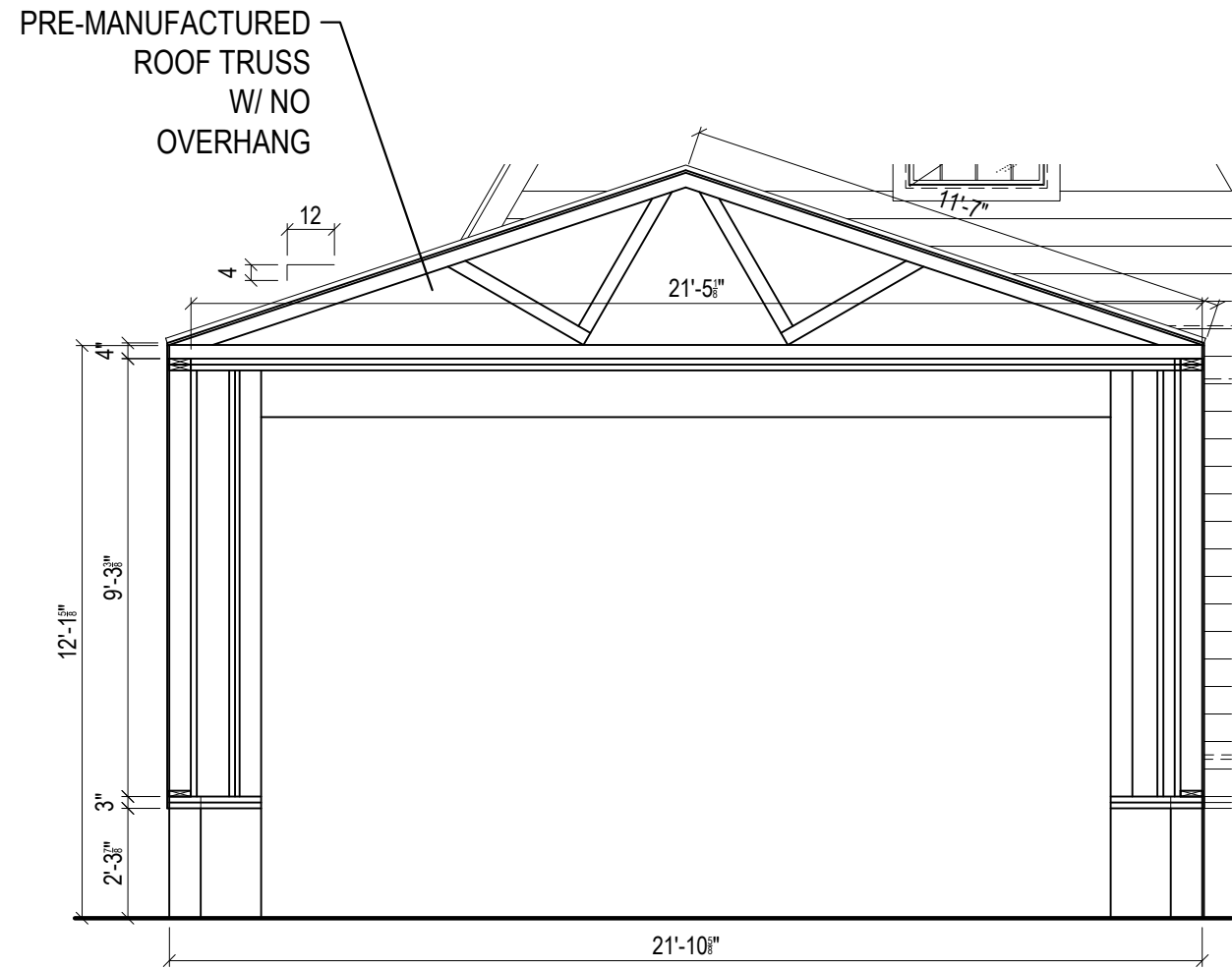
ASSESSMENT:
68 S.F.

1ST FLOOR:
341 S.F.

2ND FLOOR:
11 S.F.

TOTAL FINISHED:
980 S.F.

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LAYOUT: 3/13
DIMENSIONS ARE IN INCHES UNLESS SPECIFIED OTHERWISE.
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LAST SAVED BY: JOEYTER
LAST SAVED DATE: AUG-15-2022 12:41 AM
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BUILDING SECTION DETAILS



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VILLAGES AT WOLF CREEK, LLC
LOT 22191000
EDEN UT, 84310

PLAN: (01.3.3) DATE: 02/21/2022

SHEET:

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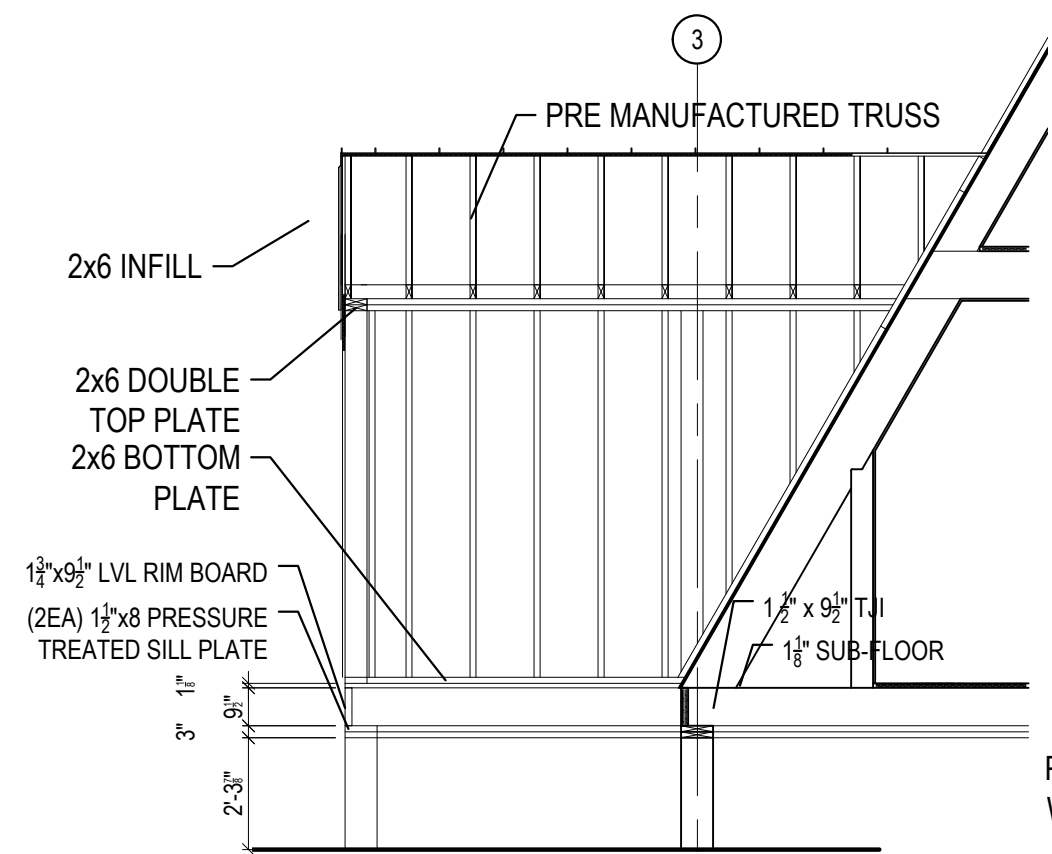
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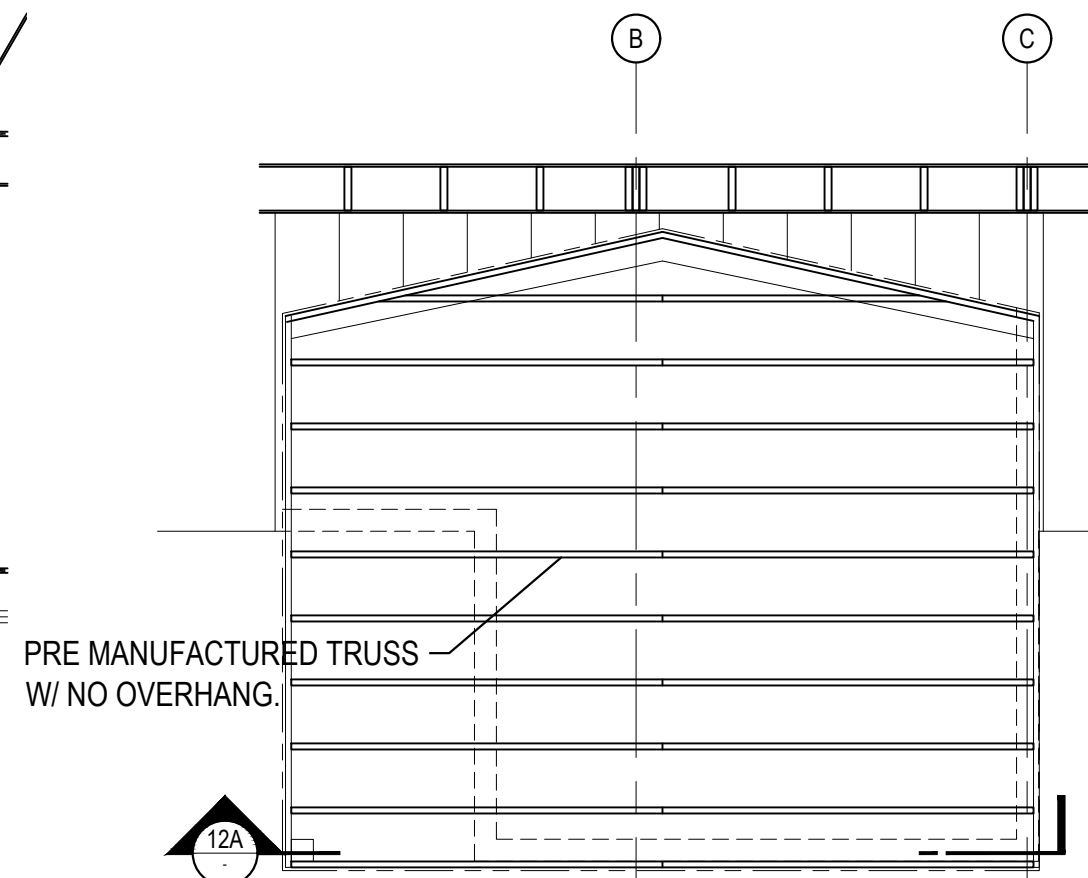
AVRAMÉ U.S.A.

BASEMENT:
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1ST FLOOR:
1,341 S.F.
2ND FLOOR:
471 S.F.
TOTAL FINISHED:
2,980 S.F.

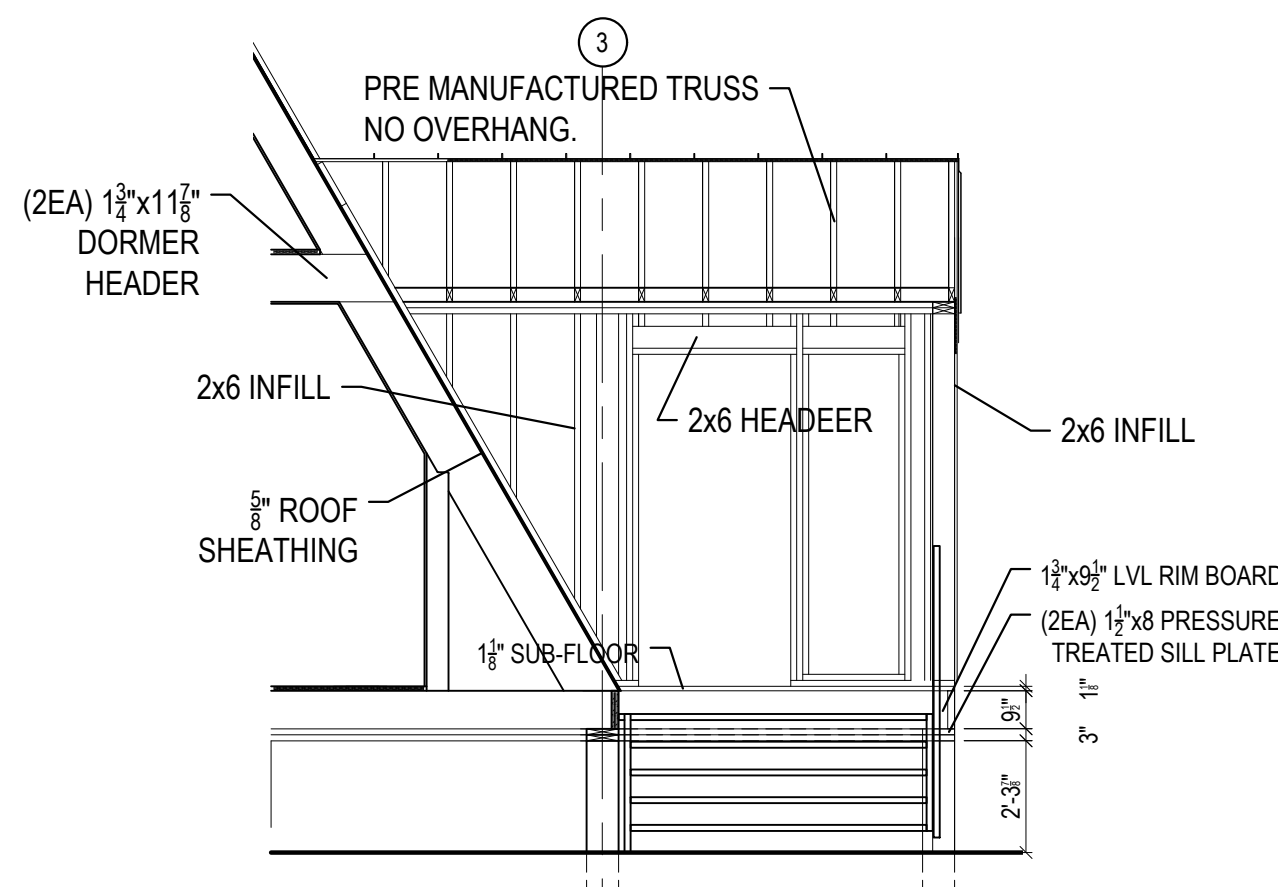
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DRAWN FOR ONE TIME USE FOR: AVrame U.S.A.
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VILLAGES AT WOLF CREEK, LLC
LOZEN UT, 84310
EDEN UT, 84310
BASEMENT: 1,168 S.F.
1ST FLOOR: 1,341 S.F.
2ND FLOOR: 471 S.F.
TOTAL FINISHED: 2,980 S.F.
OF: 14
18



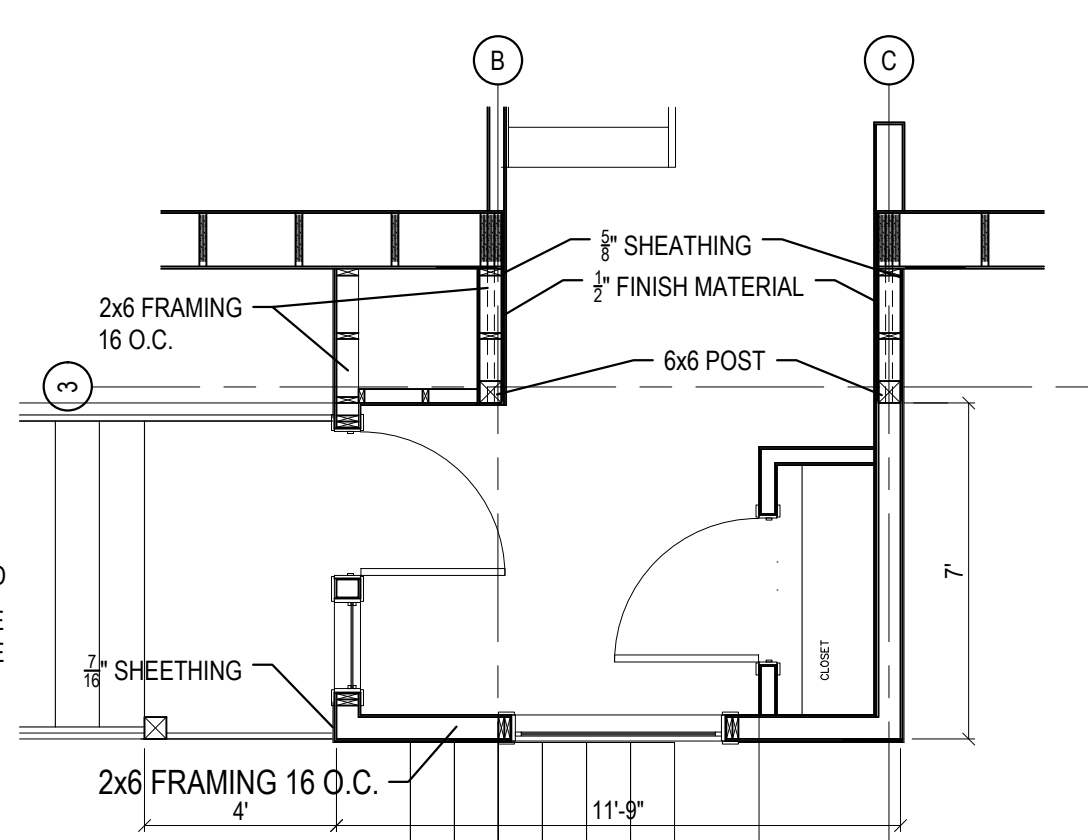
12D. NORTH FRAMING ELEVATION



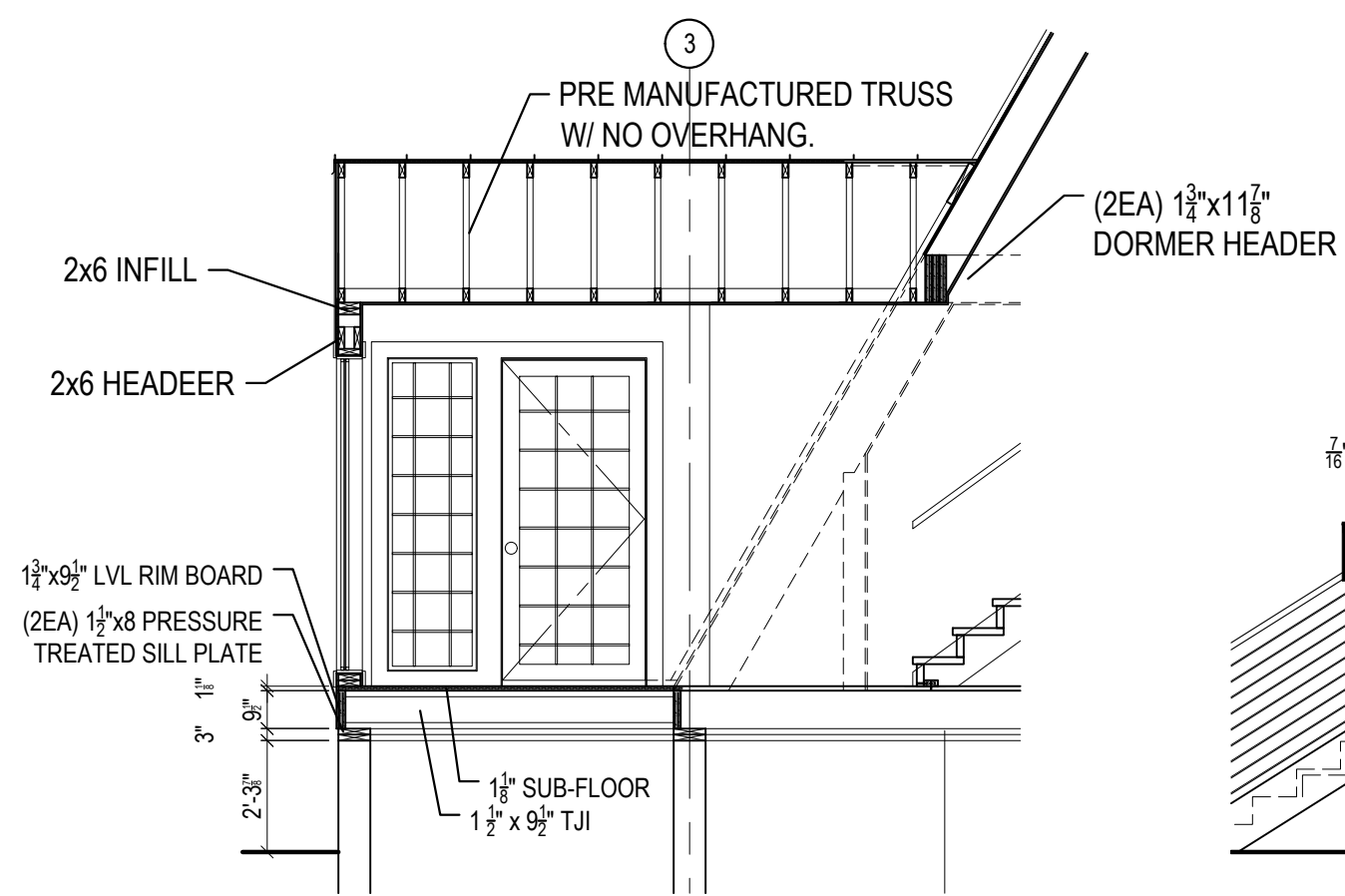
12B. TRUSS PLAN



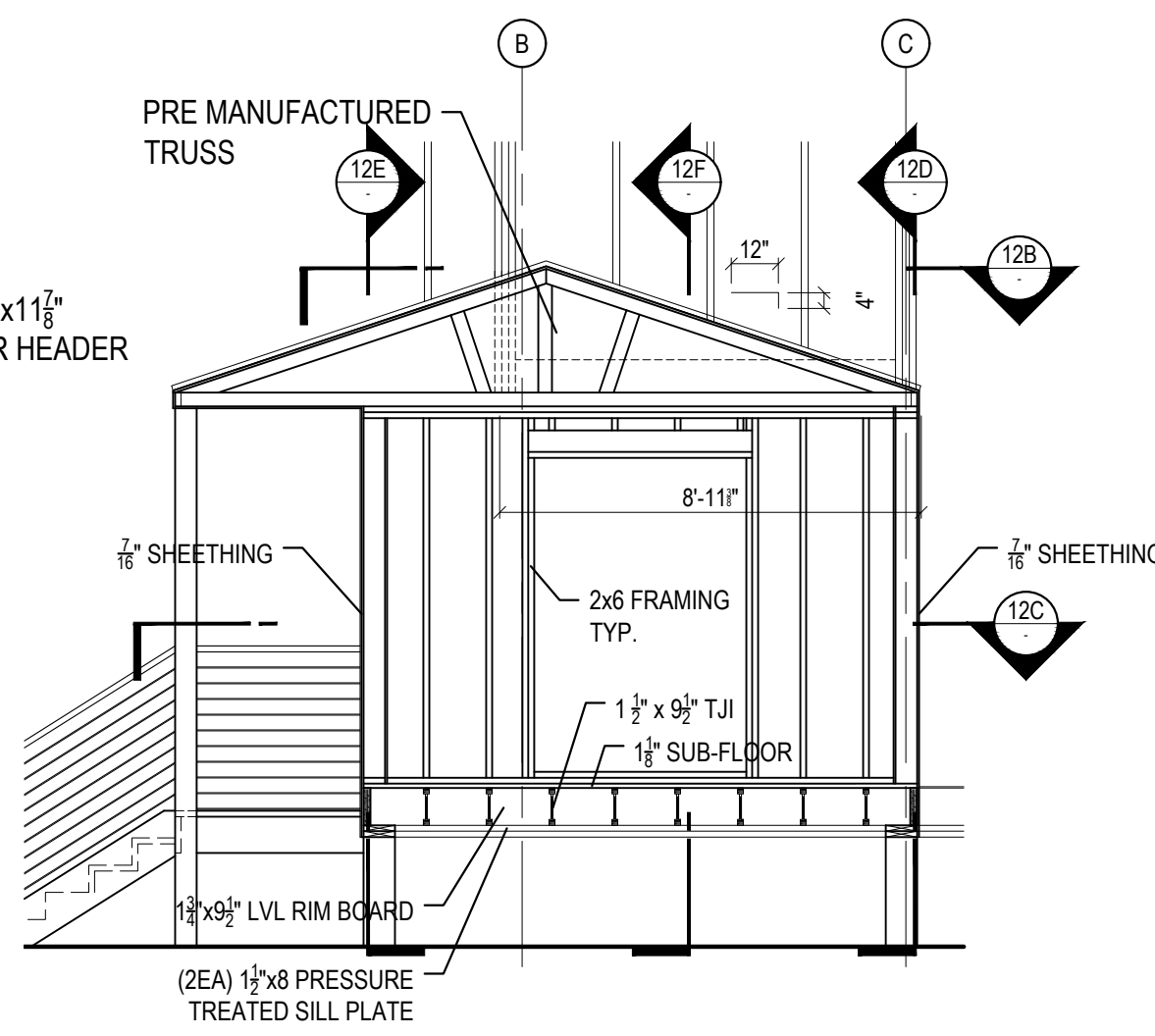
12E. SOUTH FRAMING ELEVATION



12C. FLOOR PLAN



12F. LONGITUDINAL SECTION

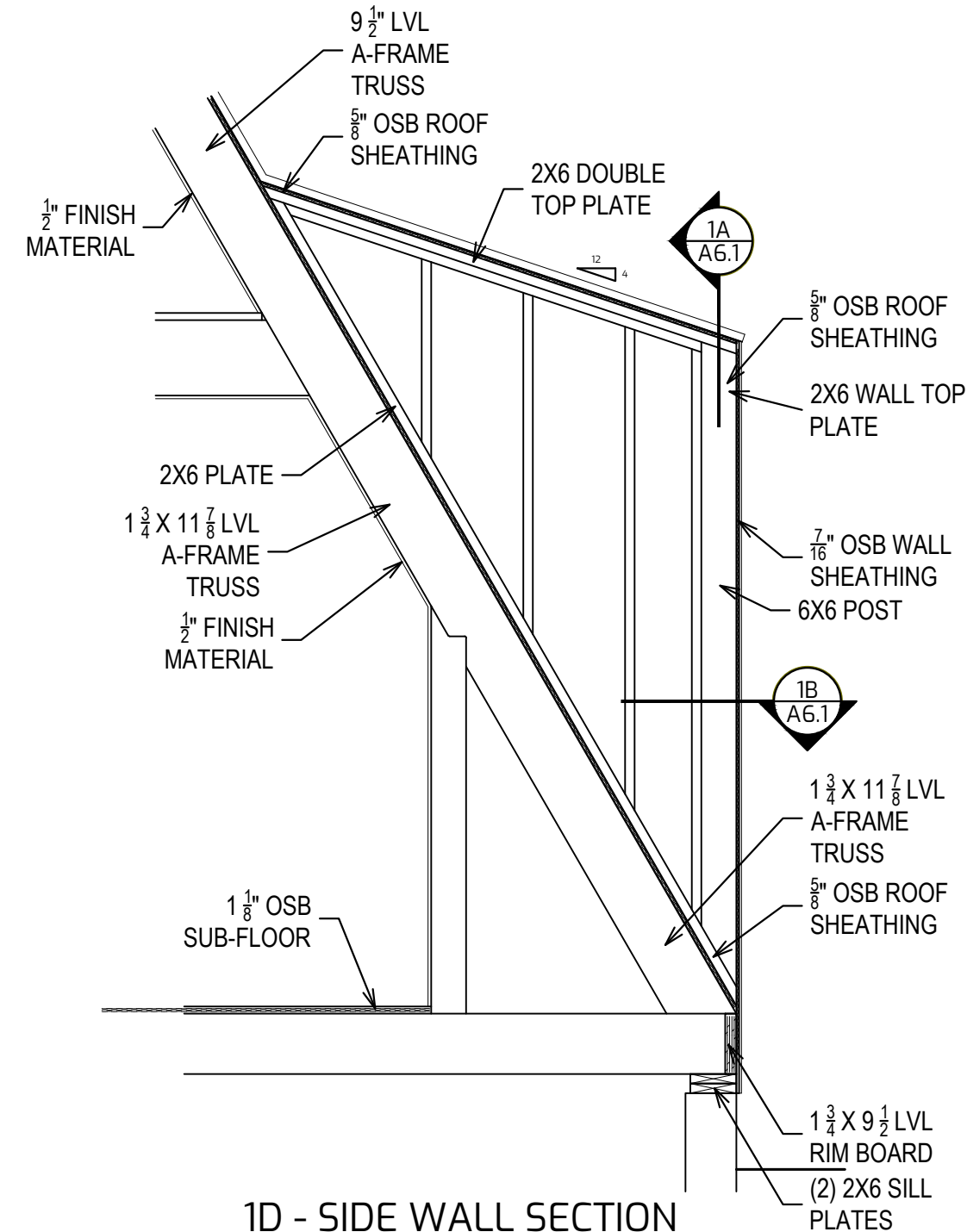


12A. WEST FRAMING ELEVATION

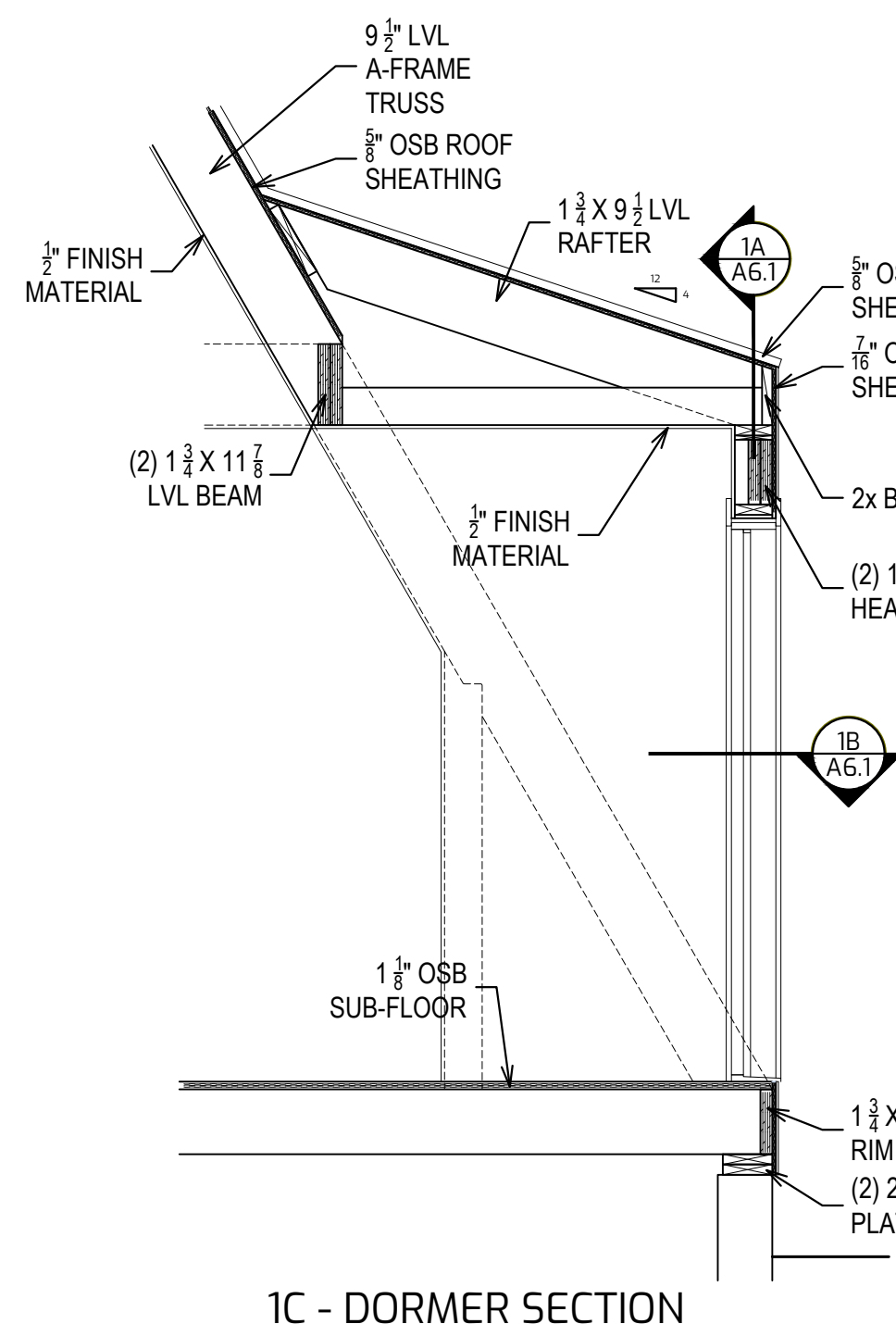
SCALE: 1/4"=1'

12. EXTENDED GABLE ENTRY DORMER

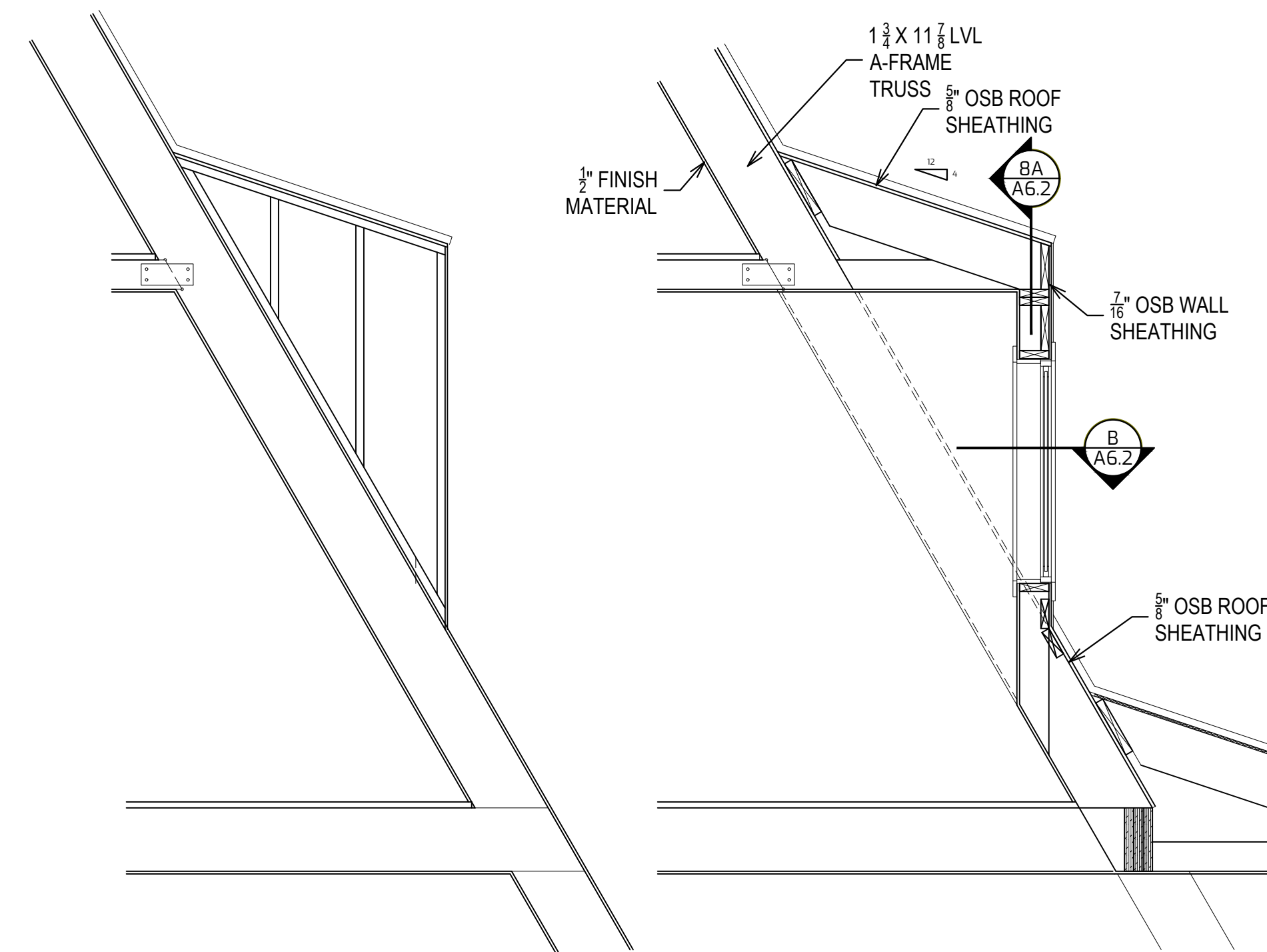
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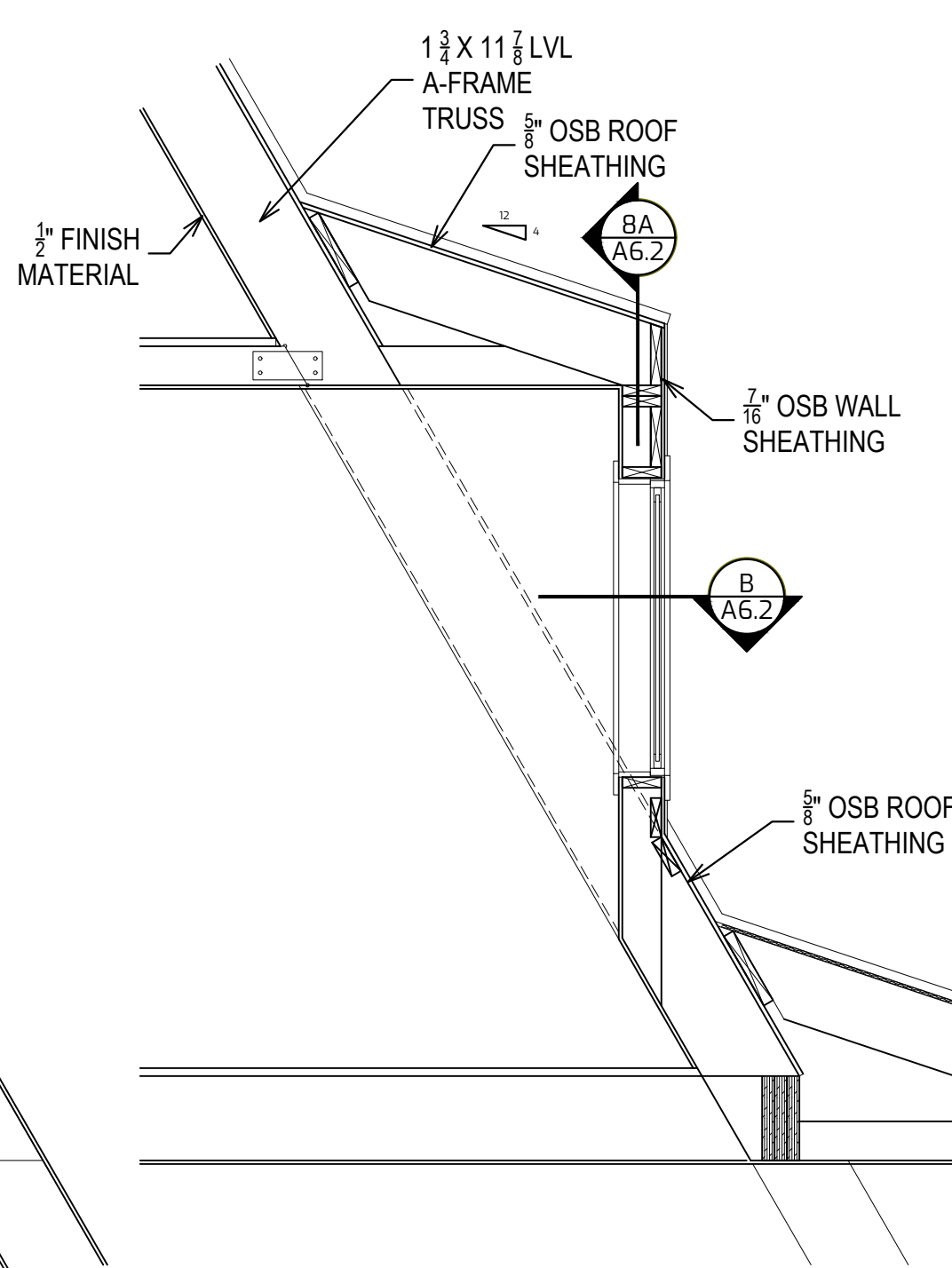
1D - SIDE WALL SECTION



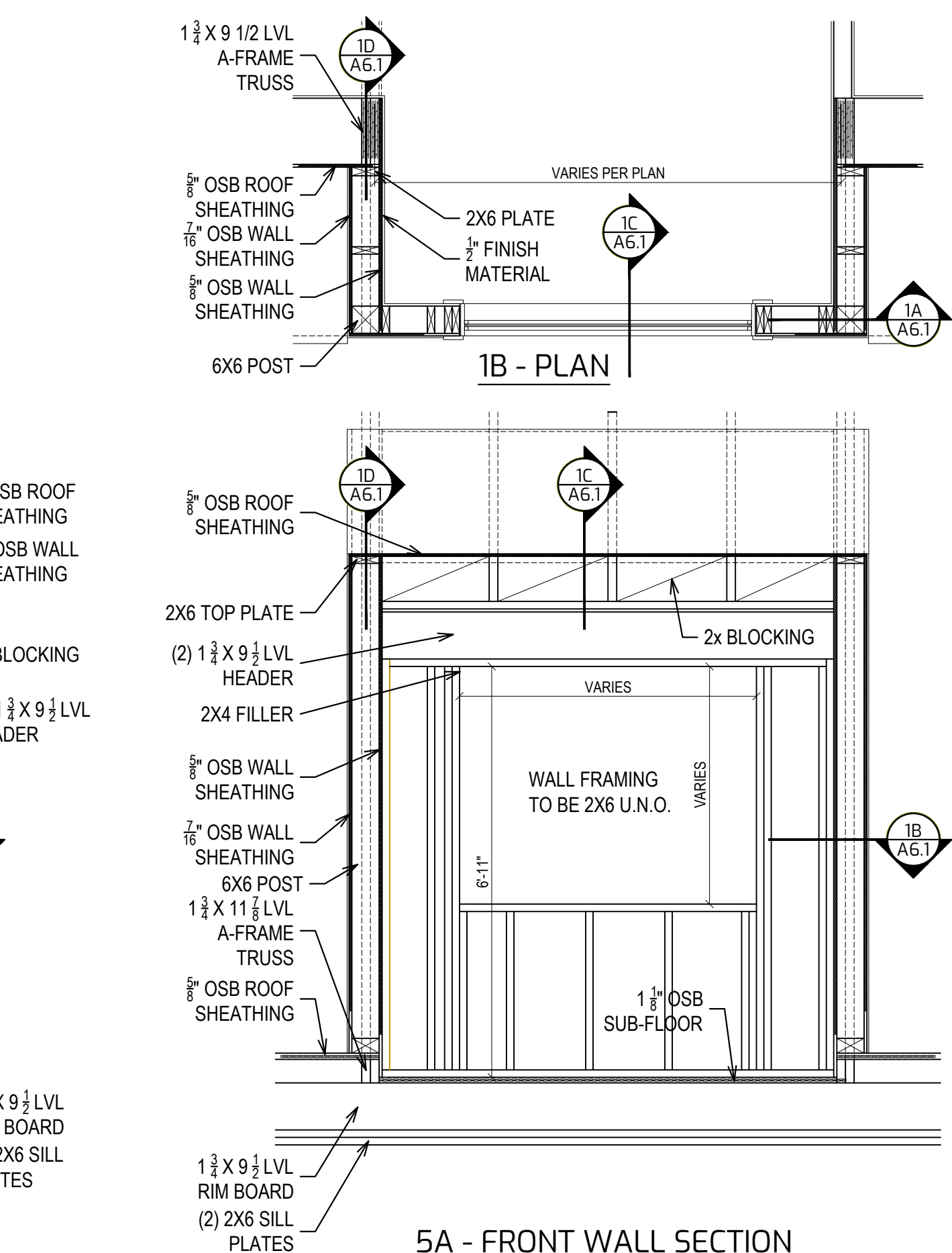
1C - DORMER SECTION



8D - DORMER SECTION



8C - DORMER SECTION

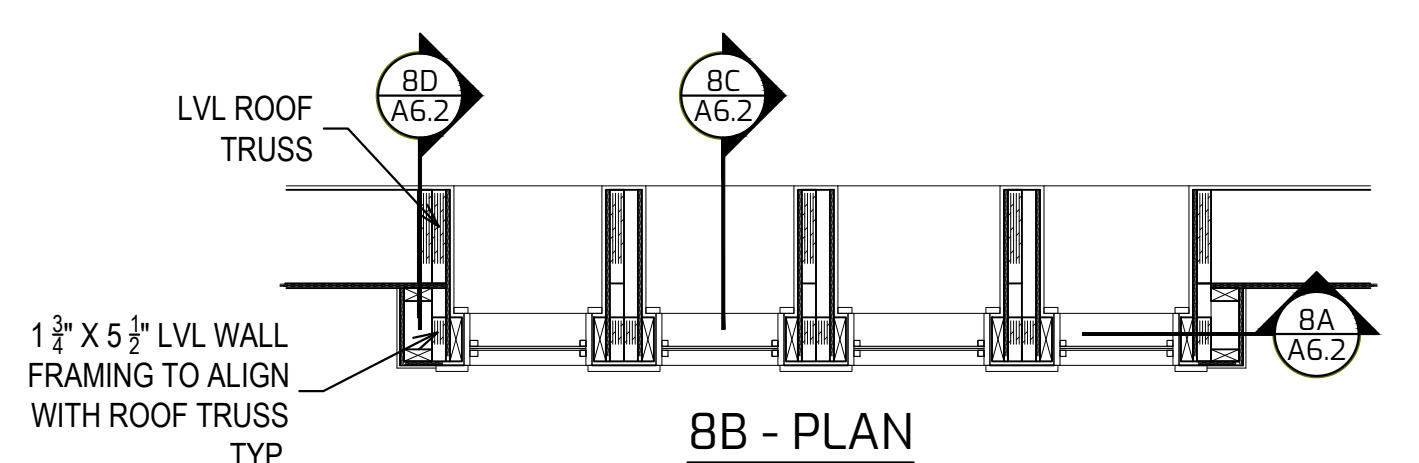


5A - FRONT WALL SECTION

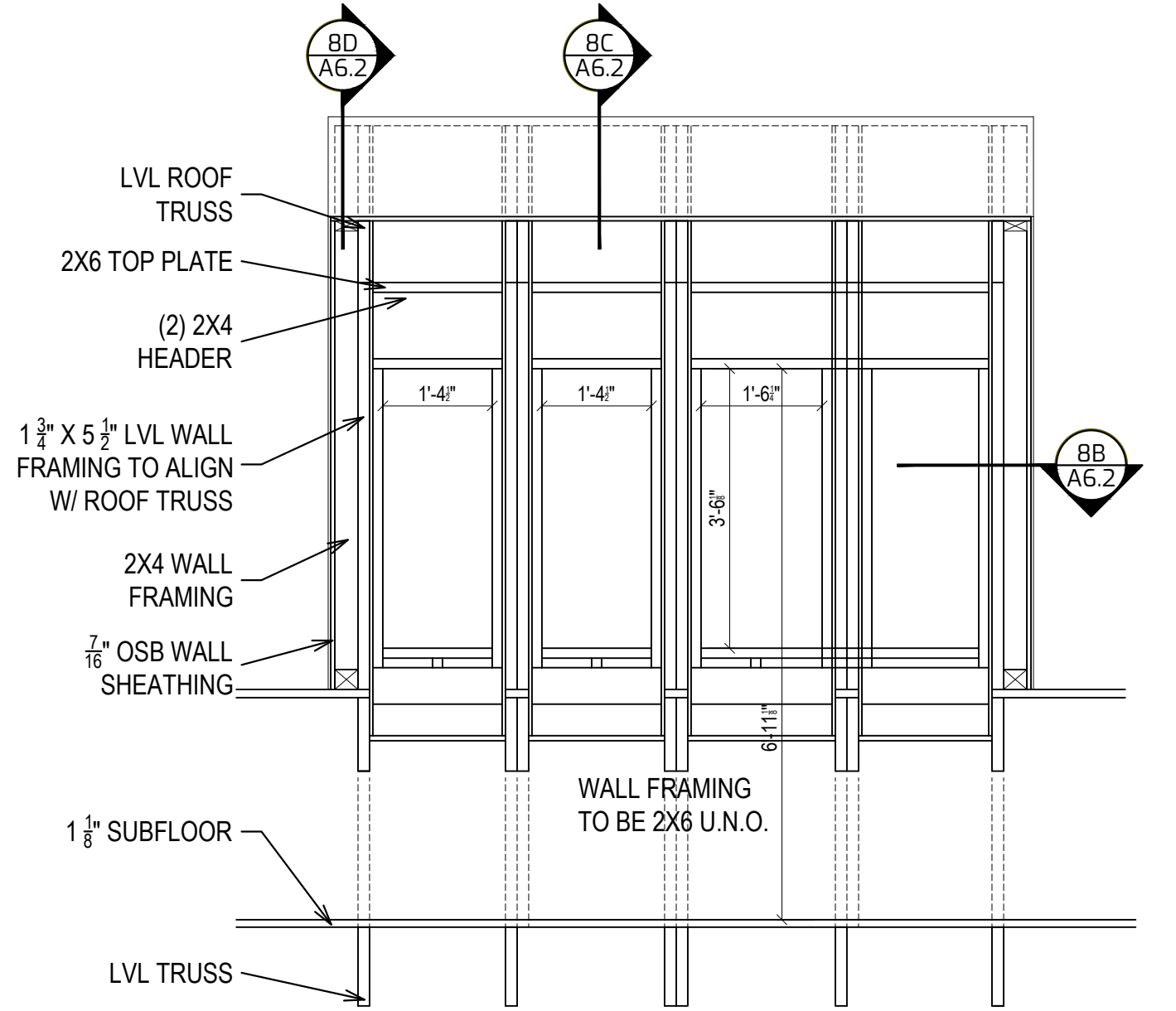
5. DORMER FRAMING SECTION

REF: 4/5

SCALE: 1/2"=1'



8B - PLAN



8A - WALL SECTION

8. 2ND LEVEL MINI DORMER FRONT SECTION

REF: 1/4

SCALE: 1/2"=1'

BUILDING SECTION DETAILS

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KEYNOTES

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VILLAGES AT WOLF CREEK, LLC
LOZEN UT, 84310
EDEN UT, 84310
DRAWN FOR ONE
TIME USE FOR:

PLAN: (013.3) DATE: 02/21/2022

SHEET:

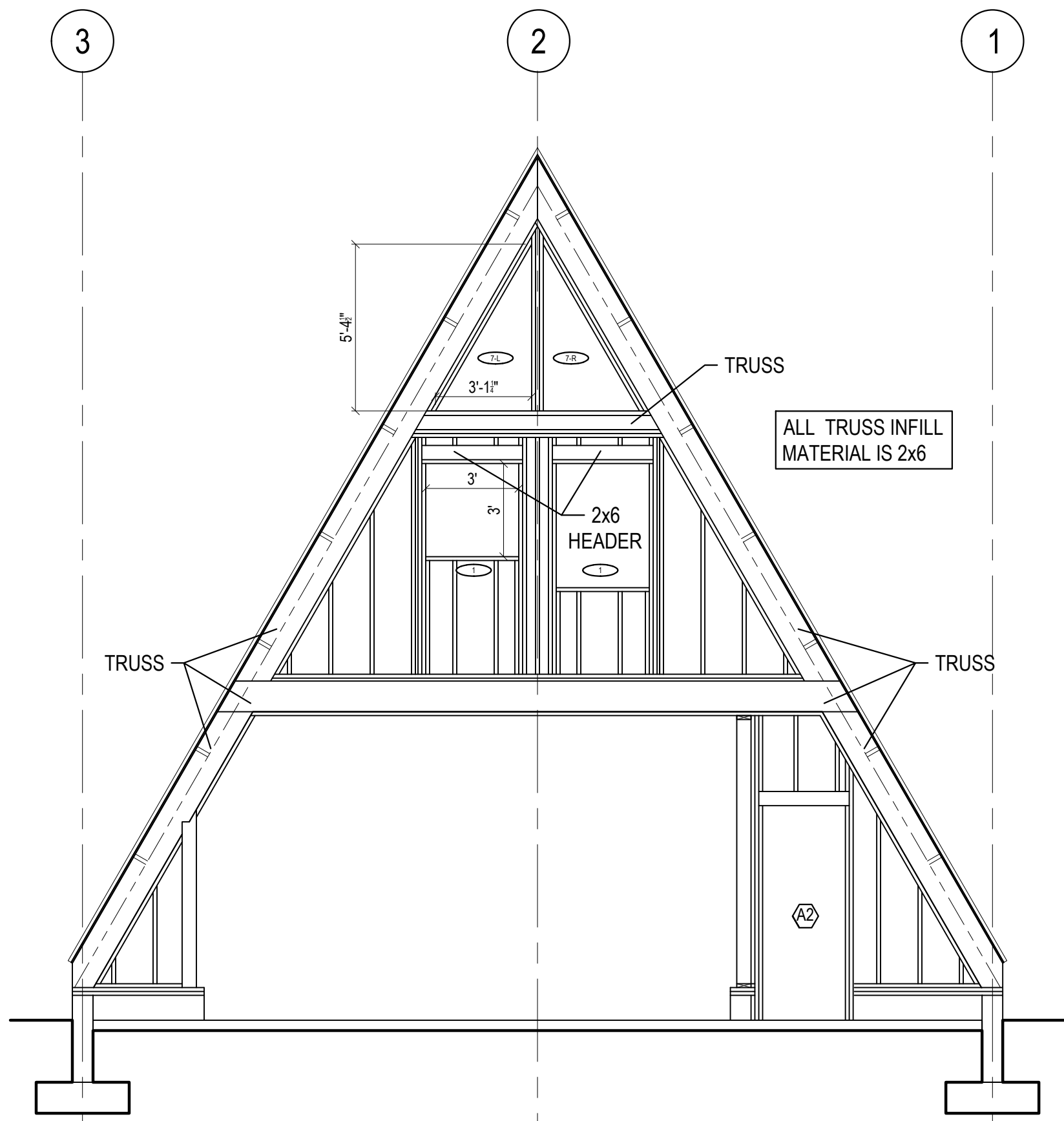
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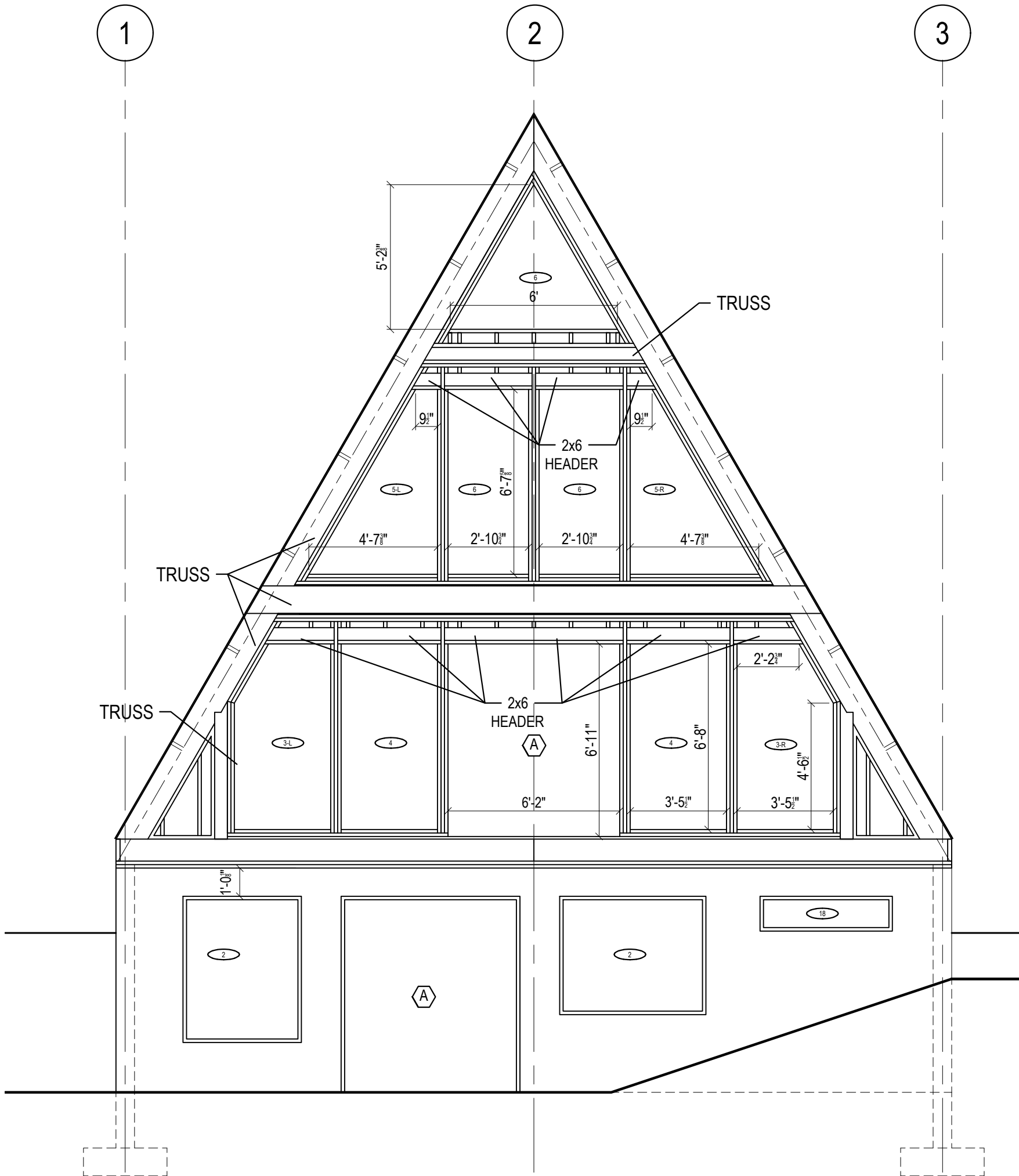
18

AVrame U.S.A.

avrame
6223 WEST DOUBLE EAGLE CIRCLE, SALT LAKE CITY, UTAH 84118
PH: 866.287.2632 - WWW.AVRAMEUSA.COM
EMAIL: SALES@AVRAMEUSA.COM

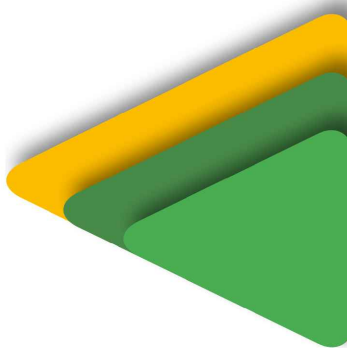


2. NORTH GABLE END WALL FRAMING
SCALE: 1/4"=1'



1. SOUTH GABLE END WALL FRAMING
REF: 1/4 SCALE: 1/4"=1'

BUILDING SECTION DETAILS



6223 WEST DOUBLE EAGLE CIRCLE, SALT LAKE CITY, UTAH 84118
PH: 866.287.2632 - WWW.AVRAMEUSA.COM
EMAIL: SALES@AVRAMEUSA.COM

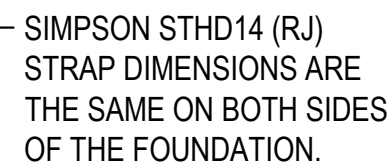
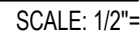
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EDEN UT, 84310
DRAWN FOR ONE
TIME USE FOR:
AVRAME U.S.A.

PLAN: (013.3) DATE: 02/21/2022

SHEET: 15 OF: 18
BASEMENT:
1,168 S.F.
1ST FLOOR:
1,341 S.F.
2ND FLOOR:
471 S.F.
TOTAL FINISHED:
2,980 S.F.



SCALE: 1/4"=1'

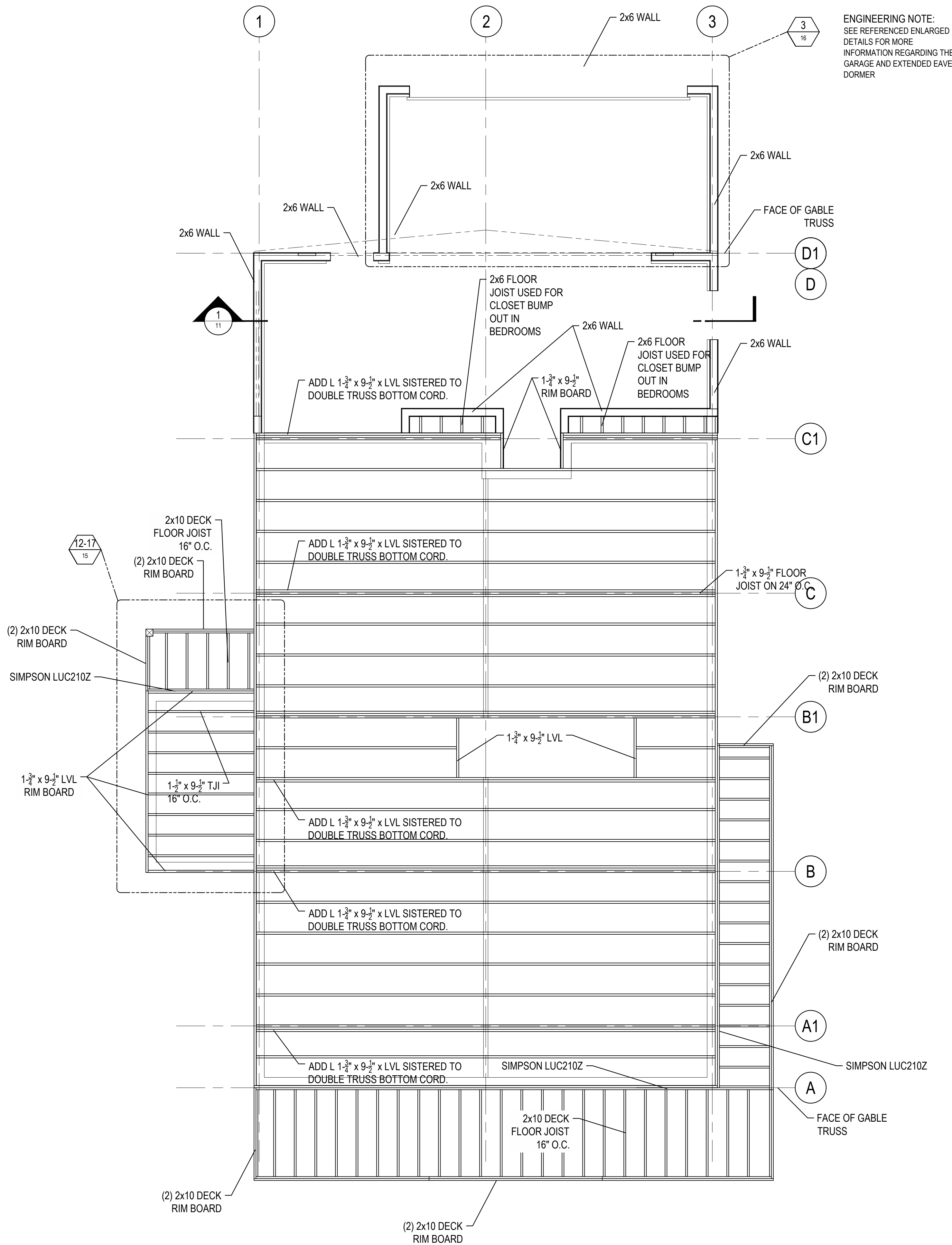


TOTAL FINISHE
2,980 S.F.

KEYNOTES



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EMAIL: SALES@AVRAMEUSA.COM



ENGINEERING NOTE:
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DORMER

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VILLAGES AT WOLF CREEK, LLC
LUC210Z191001
EDEN UT, 84310
DRAWN FOR ONE
TIME USE FOR:

AVRAVE U.S.A.

PLAN: (013.3) DATE: 02/21/2022

SHEET:

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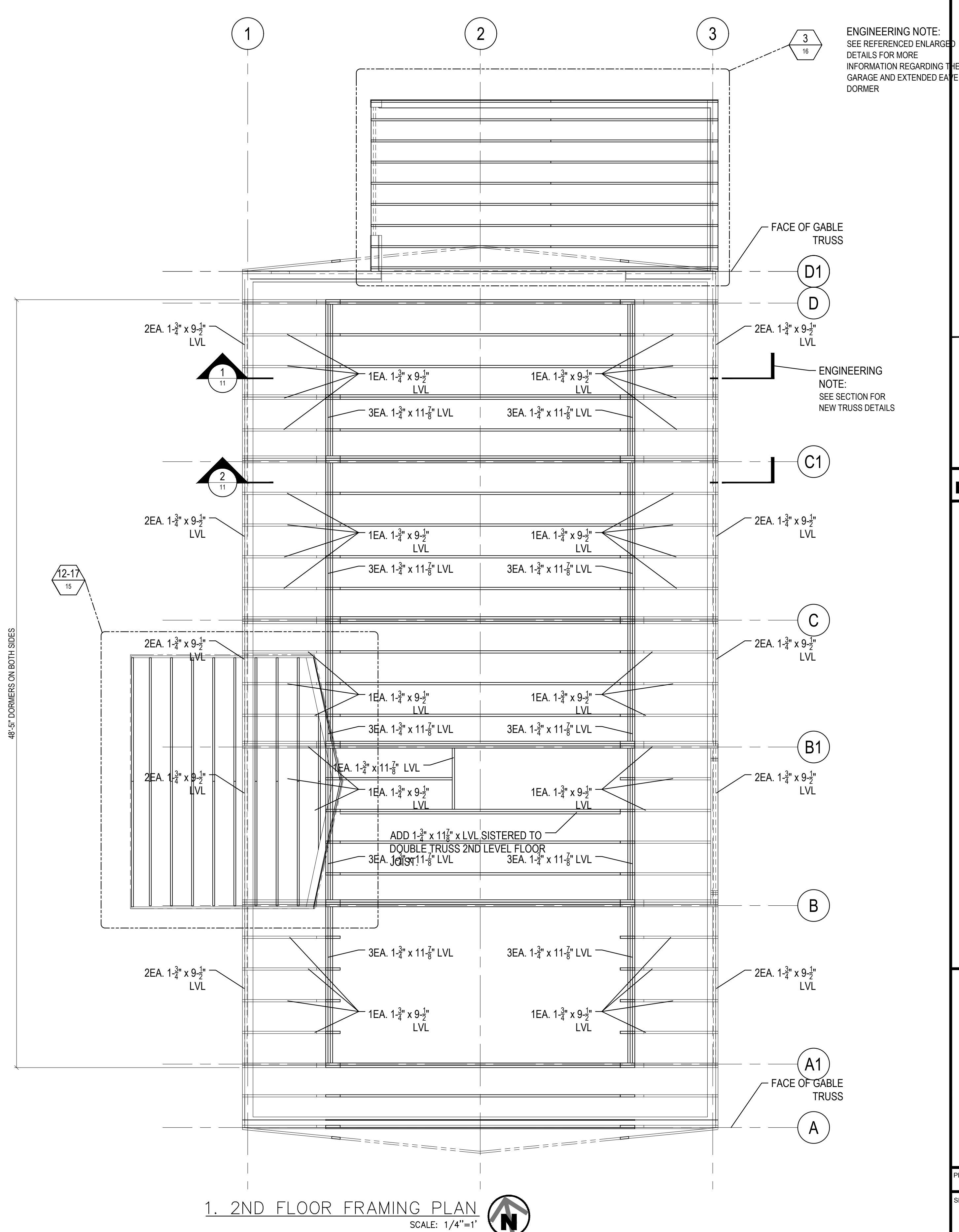
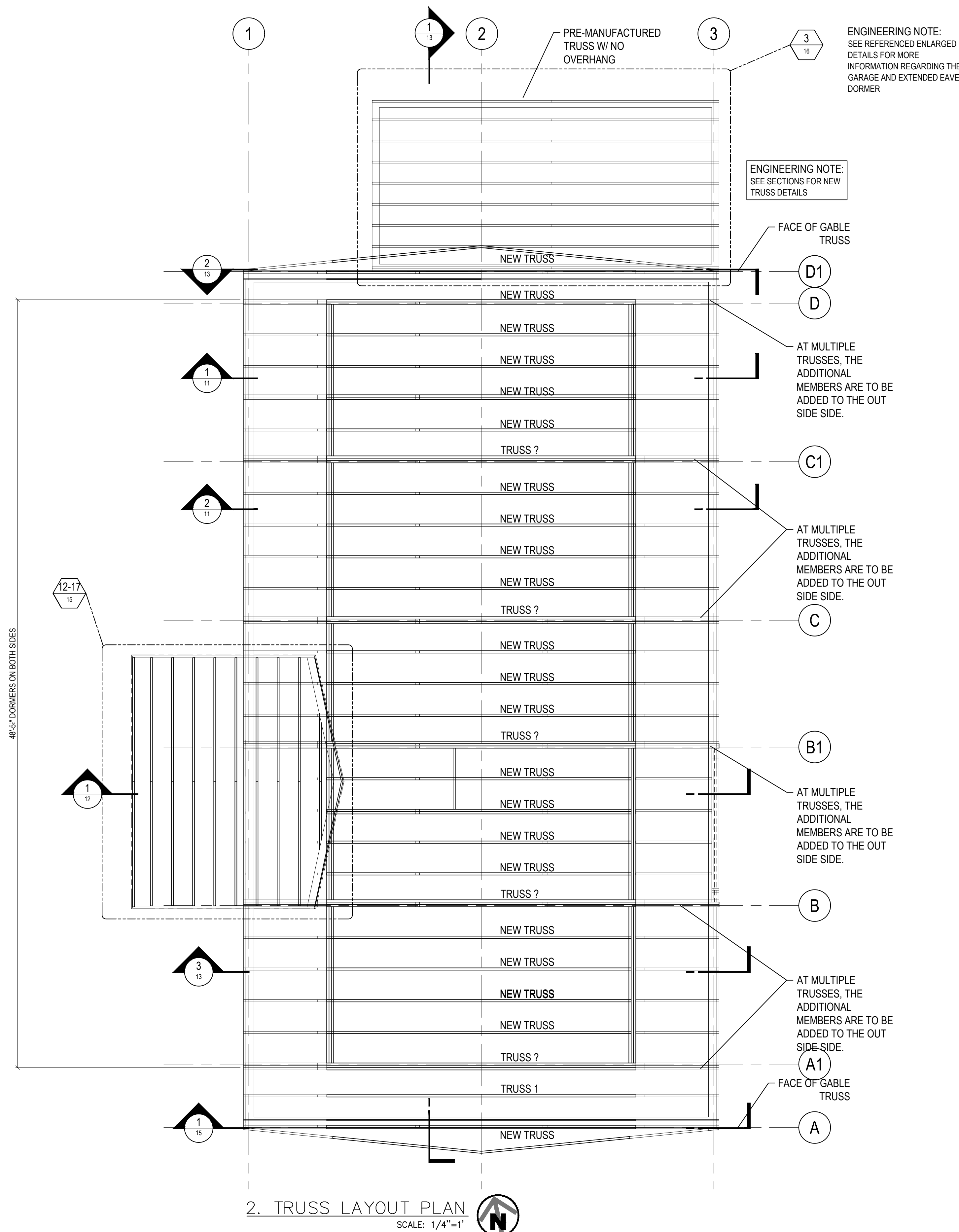
OF:

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BASEMENT:
1,168 S.F.
1ST FLOOR:
1,341 S.F.
2ND FLOOR:
471 S.F.
TOTAL FINISHED:
2,980 S.F.

STRUCTURAL DETAILS

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COPYRIGHT: © 2022 - ALL RIGHTS RESERVED. LAST SAVED DATE: AUG-15-2022 2:24 AM
LAST SAVED BY: JOEY ZER
DIMENSION ARE IN INCHES UNLESS SPECIFIED OTHERWISE.
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PLOT DATE AND TIME: AUG-15-2022 2:24 AM
LAYOUT:



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LOT 22191000
EDEN UT, 84310
DRAWN FOR ONE
TIME USE FOR:

AVRAME U.S.A.

PLAN: (013.3) DATE: 02/21/2022

SHEET:

18

OF:

18

BASEMENT:
1,168 S.F.
1ST FLOOR:
1,341 S.F.
2ND FLOOR:
471 S.F.
TOTAL FINISHED:
2,980 S.F.



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OF AVRAME U.S.A. THESE
PLANS ARE NOT TO BE USED FOR A
ONE TIME USE FOR CONSTRUCTION OF SITE
BELOW

KEYNOTES



REVISIONS

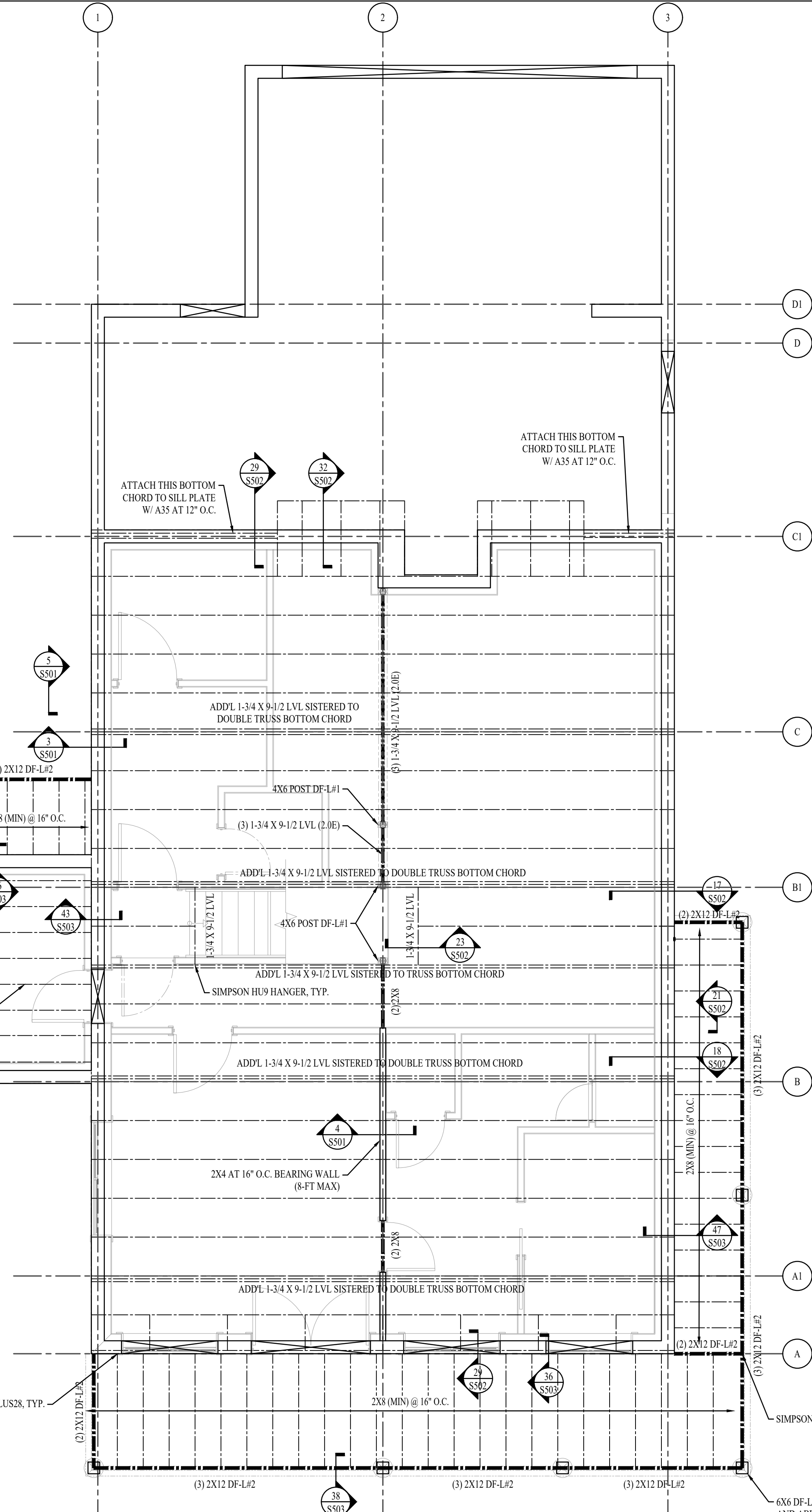
#	DESCRIPTION	DATE

CITY REVIEW

TRIO 120 - SCIAMARELLA RES.
VILLAGES AT WOLF CREEK LLC
LOT 221910001
EDEN UT, 84310

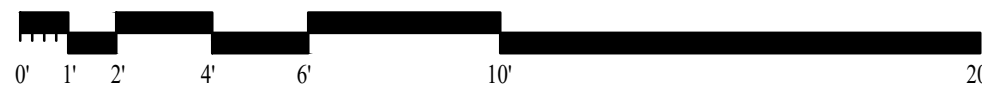
AVRAME U.S.A.

PLAN: 20003.010
DATE: 04/20/2022
SHEET: S101
BASEMENT LEVEL:
1,101 S.F.
MAIN LEVEL:
1,242 S.F.
UPPER LEVEL:
451 S.F.
TOTAL FINISHED:
2,784 S.F.



FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"



NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY
VERIFY ALL DIMENSIONS ON ARCHITECTURAL PLANS

ROOF/FLOOR SHEATHING SCHEDULE

MARK	TYPE	THICKNESS	SPAN RATING	NAILING					REMARKS
				SIZE	BLOCKED	EDGE	BOUNDARY	FIELD	
FLOOR	T&G	3/4"	48/24	10d	NO	6"	6"	12"	GLUE AND NAIL
ROOF	CDX/OSB	5/8"	40/20	8d	NO	6"	6"	12"	-

FOUNDATION WALL SCHEDULE

MARK	THICKNESS	VERT REINFORCEMENT		HORIZ REINFORCEMENT		REMARKS
		SIZE	SPACING	SIZE	SPACING	
W-8	8"	#4	10"	#4	12"	-
W-8A	8"	#4	16"	#4	16"	TYP FOUNDATION WALL

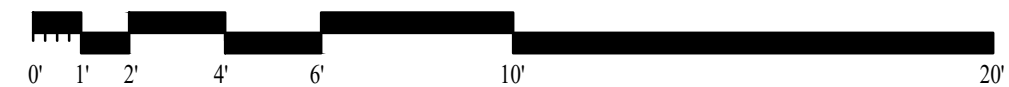
FOOTING SCHEDULE

MARK	WIDTH	LENGTH	DEPTH	REINFORCING CROSSWISE				REINFORCING LENGTHWISE				REMARKS
				NO	SIZE	LENGTH	SPACING	NO	SIZE	LENGTH	SPACING	
F-1	36"	CONT	12"	-	-	-	-	3	#5	CONT	EQ	CONTINUOUS FOOTING
F-2	24"	CONT	12"	-	-	-	-	2	#5	CONT	EQ	CONTINUOUS FOOTING
F-3	20"	CONT	12"	-	-	-	-	2	#5	CONT	EQ	CONTINUOUS FOOTING
F-4	30"	30"	12"	3	#5	24"	EQ	3	#5	24"	EQ	SPOT FOOTING

NOTES:

FOOTING AND FOUNDATION PLAN

SCALE: 1/4"=1'-0"



NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY
VERIFY ALL DIMENSIONS ON ARCHITECTURAL PLANS

CONCRETE LINTEL/JAMB SCHEDULE

LINTEL MARK	MAX LENGTH	MIN DEPTH	LINTEL REINFORCEMENT	JAMB REINFORCEMENT
CL-1	6-FT (GABLE END)	12"	(2) #4 BARS BOTTOM; (2) #4 BARS TOP	(2) #4 VERTICAL BARS
CL-2	4-FT	12"	(2) #4 BARS BOTTOM; (2) #4 BAR TOP	(2) #4 VERTICAL BARS

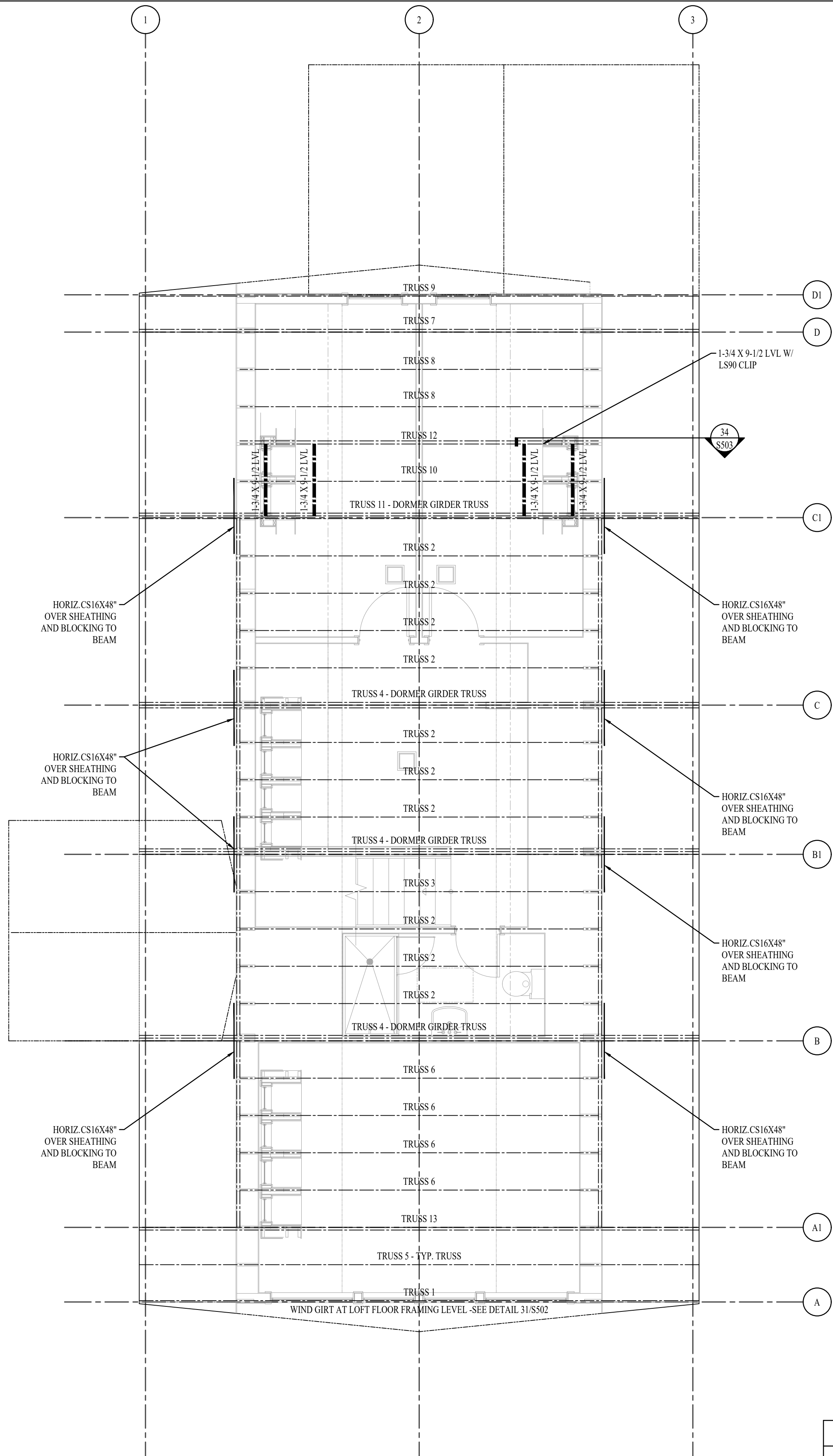
PROVIDE (2) #4 HORIZ. BARS ABOVE OPENING AND (2) #4 VERT. BARS MIN EACH SIDE OF OPENINGS, U.N.O. ABOVE
- HORIZ. BARS ABOVE OPENINGS TO EXTEND PAST EDGES OF OPENING 24" MIN

FOOTING/FND NOTES

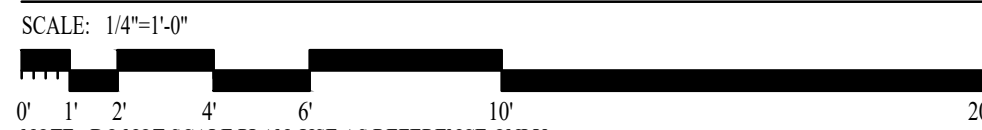
- ALL FOOTINGS ADJACENT TO AREAS EXPOSED TO FREEZING TEMPERATURE SHALL BE AT OR BELOW FROST DEPTH - VERIFY WITH LOCAL BUILDING DEPARTMENT
- DIMENSIONS (IF ANY) ARE FOR REFERENCE ONLY. DO NOT SCALE PLANS. VERIFY ALL DIMENSIONS WITH ARCH PLANS.
- ALL BOLT HOLES SHALL BE DRILLED 1/16" TO 1/8" OVERSIZED



McNEIL ENGINEERING
Civil Engineering • Consulting & Landscape Architecture
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ROOF/OVERALL TRUSS LAYOUT PLAN



NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY.
VERIFY ALL DIMENSIONS ON ARCHITECTURAL PLANS

ROOF/FLOOR SHEATHING SCHEDULE

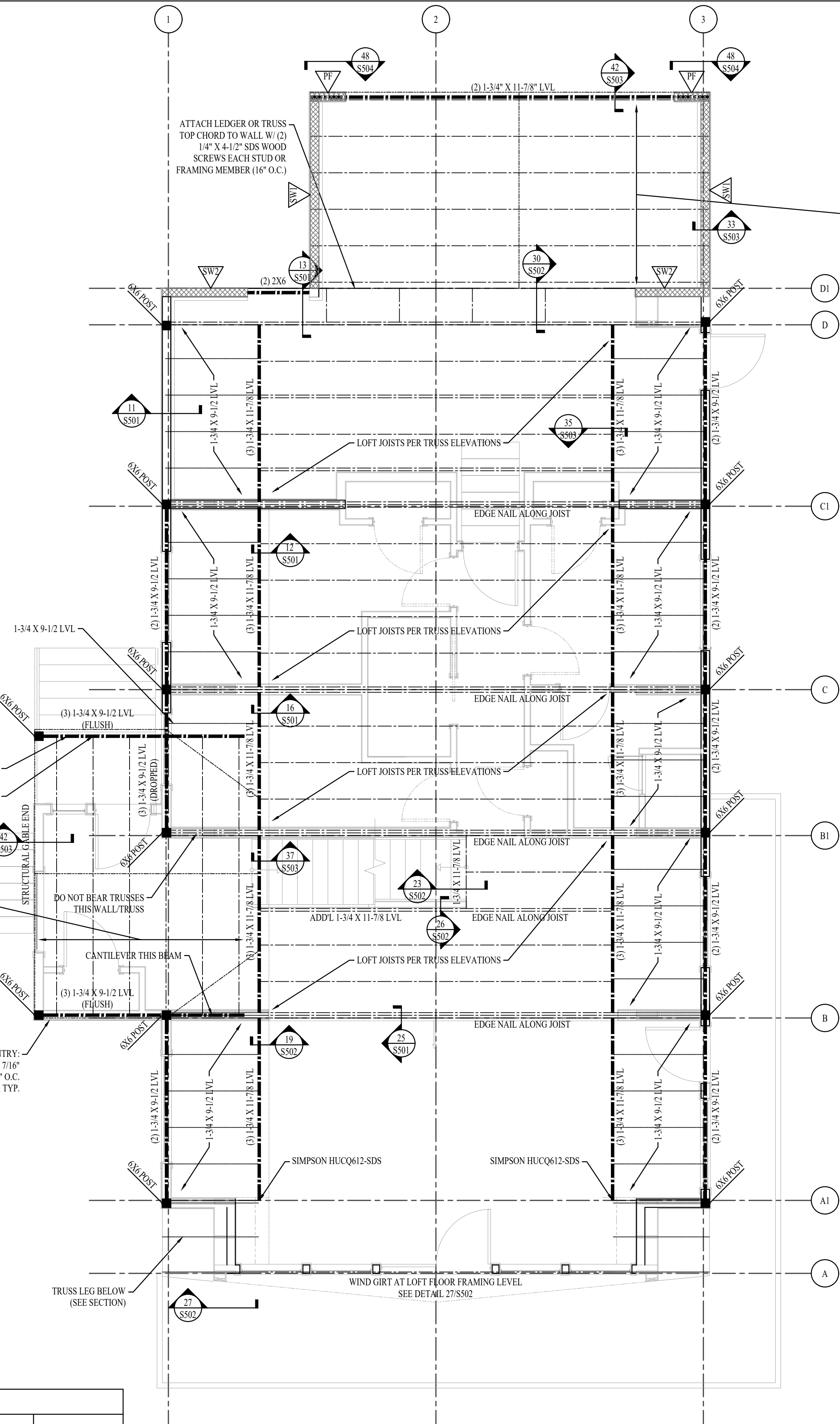
MARK	TYPE	THICKNESS	SPAN RATING	NAILING					REMARKS
				SIZE	BLOCKED	EDGE	BOUNDARY	FIELD	
FLOOR	T&G	3/4"	48/24	10d	NO	6"	6"	12"	GLUE AND NAIL
ROOF	CDX/OSB	5/8"	40/20	8d	NO	6"	6"	12"	-

WALL SHEATHING SCHEDULE

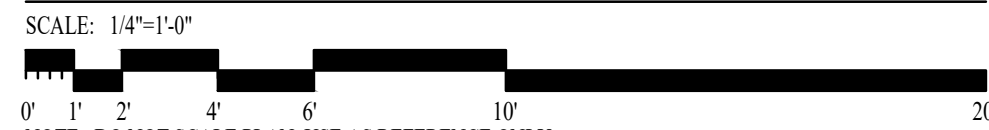
MARK	TYPE	THICKNESS	SPAN RATING	NAILING					REMARKS
				SIZE	BLOCKED	EDGE	BOUNDARY	FIELD	
SW1	OSB/CDX	7/16"	32/16	8d	YES	6"	6"	12"	-
SW2	OSB/CDX	7/16"	32/16	8d	YES	4"	4"	12"	-
SW3	OSB/CDX	7/16"	32/16	8d	YES	3"	3"	12"	SEE NOTE 3
SW4	OSB/CDX	7/16"	32/16	8d	YES	2"	2"	12"	SEE NOTE 3

NOTES FOR SHEAR WALLS

- NAILS FOR SW WALLS MAY BE BOX NAILS. NAILS FOR FLOOR AND ROOF TO BE COMMON TYPE.
- WHERE SHEATHING IS APPLIED TO EACH FACE OF WALL AND NAIL SPACING IS LESS THAN 6" O.C., PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS.
- WHERE NAIL SPACING IS 3" O.C. OR LESS, FOUNDATION SILL PLATES AND ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER OR SHALL BE DOUBLE 2" NOMINAL MEMBERS. STITCH NAIL THE 2" NOMINAL MEMBERS WITH DOUBLE ROW OF 10D COMMON NAILS @ 4" O.C.



LOFT FRAMING PLAN



NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY.
VERIFY ALL DIMENSIONS ON ARCHITECTURAL PLANS

PRE-FABRICATED ROOF TRUSSES AT 24" O.C. MAX.
(TRUSS HANGERS PER MANUFACTURER)
MIN SNOW LOADING: 50 PSF SNOW LOAD (MIN) + 15 PSF
(SLIDING SNOW FROM UPPER ROOF)
(VERIFY W/ CITY/COUNTY) - SEE GENERAL NOTES: 15
PSF DEAD LOAD, WIND LOAD ASCE 7



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BELOW

KEYNOTES



REVISIONS		
#	DESCRIPTION	DATE

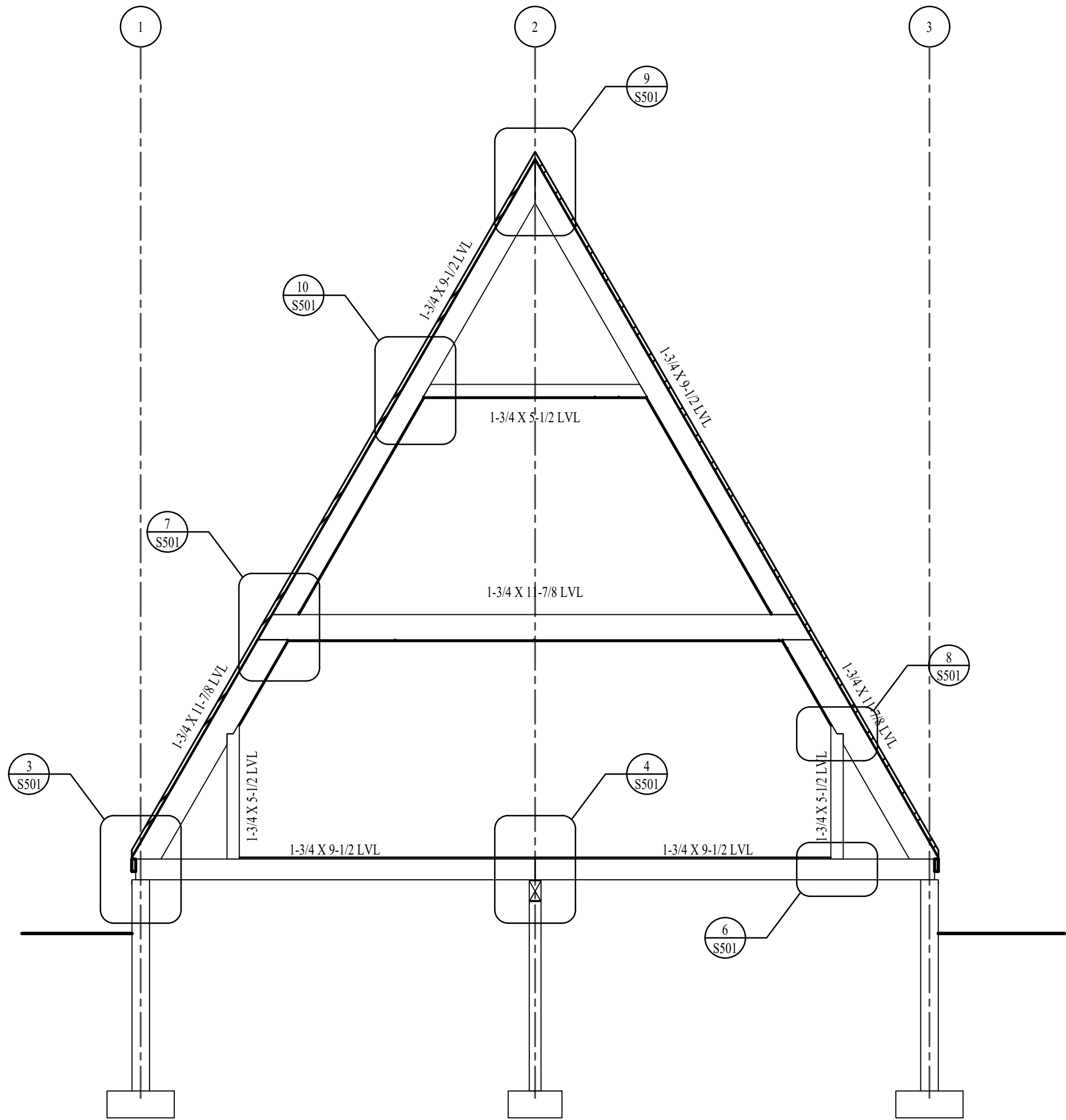
CITY REVIEW

TRIO 120 - SCIAMARELLA RES.
VILLAGES AT WOLF CREEK, LLC
LOT 221910001
EDEN UT, 84310

AVrame U.S.A.
DRAWN FOR ONE
TIME USE FOR:

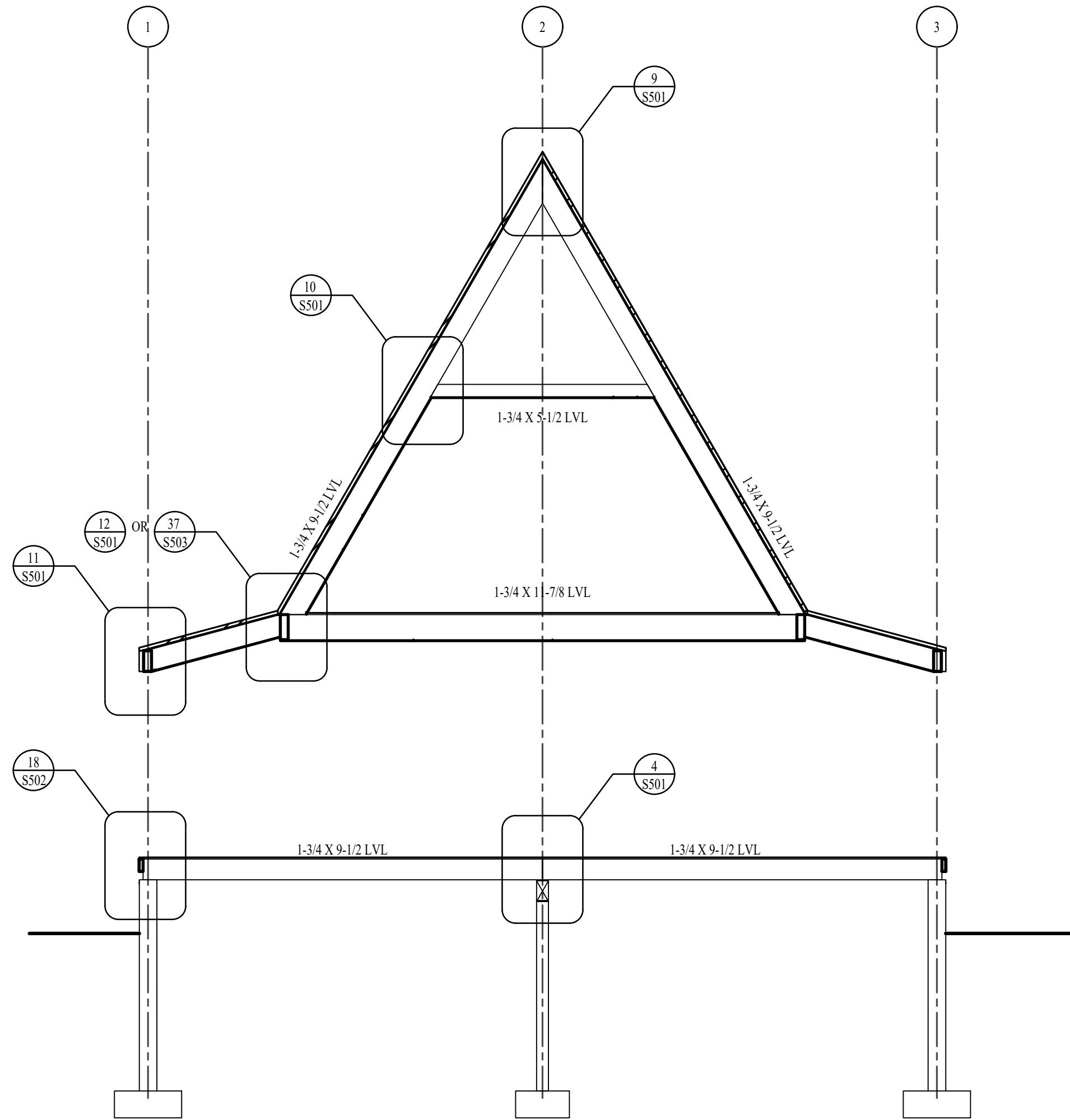
PLAN: 20003.010	DATE: 04/20/2022
SHEET: S102	BASEMENT LEVEL: 1,101 S.F. MAIN LEVEL: 1,242 S.F. UPPER LEVEL: 451 S.F. TOTAL FINISHED: 2,784 S.F.





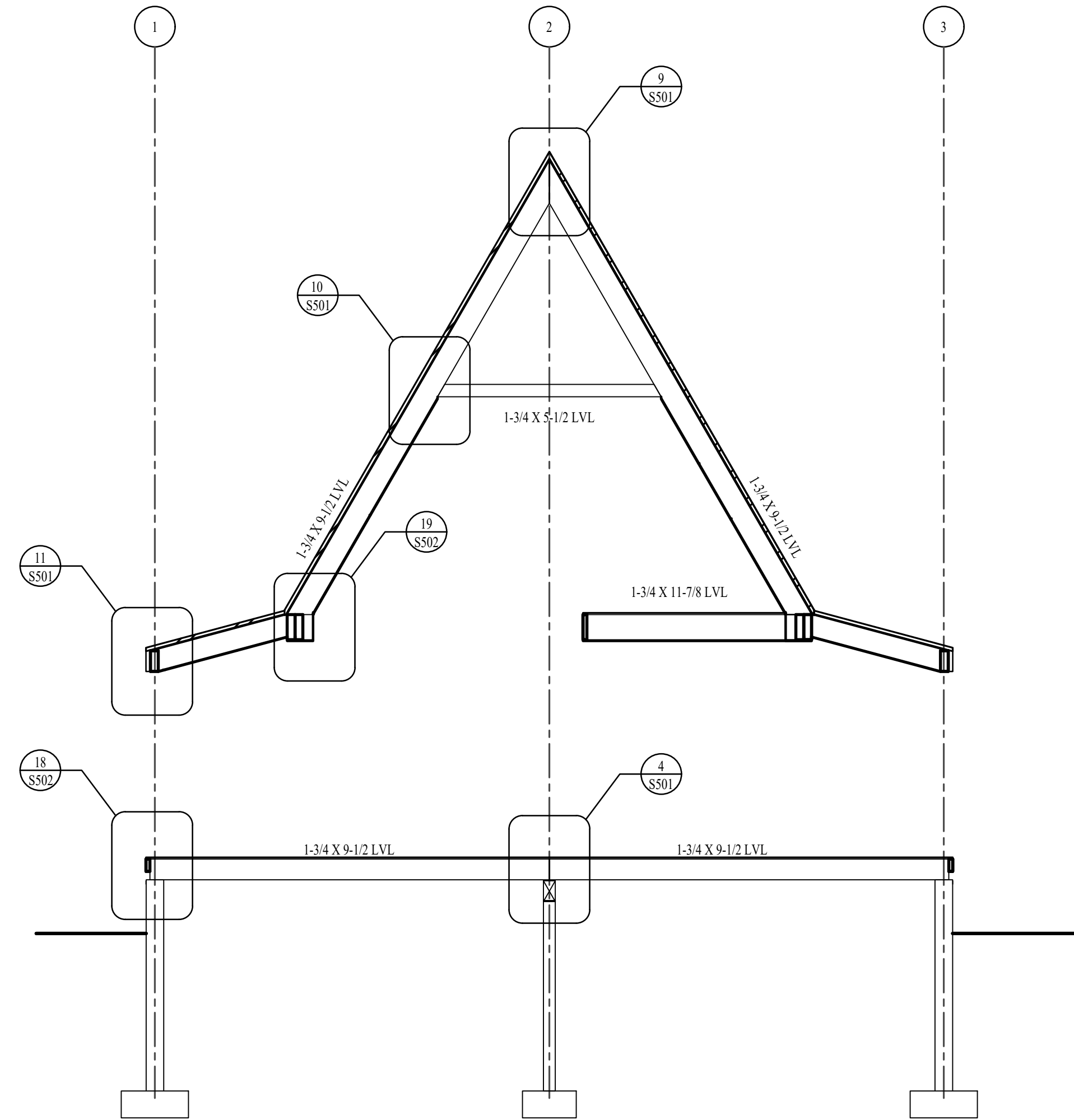
TRUSS 1 ELEVATION

SCALE: 1/4"=1'-0"
0' 1' 2' 4' 6' 10' 20'
NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY
VERIFY ALL DIMENSIONS ON ARCHITECTURAL PLANS



TRUSS 2 ELEVATION

SCALE: 1/4"=1'-0"
0' 1' 2' 4' 6' 10' 20'
NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY
VERIFY ALL DIMENSIONS ON ARCHITECTURAL PLANS



TRUSS 3 ELEVATION

SCALE: 1/4"=1'-0"
0' 1' 2' 4' 6' 10' 20'
NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY
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KEYNOTES



REVISIONS		
#	DESCRIPTION	DATE

CITY REVIEW

TRIO 120 - SCIAMMARELLA RES.
VILLAGES AT WOLF CREEK, LLC
LOT 221910001
EDEN UT, 84310

AVRAME U.S.A.

PLAN:
20003.010

DATE:
04/20/2022

SHEET:

S301

BASEMENT LEVEL:
1,101 S.F.
MAIN LEVEL:
1,242 S.F.
UPPER LEVEL:
451 S.F.
TOTAL FINISHED:
2,784 S.F.



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KEYNOTES



REVISIONS

#	DESCRIPTION	DATE

CITY REVIEW

TRIO 120 - SCIAMMARELLA RES.
VILLAGES AT WOLF CREEK, LLC
LOT 221910001
EDEN UT, 84310

AVFRAME U.S.A.

PLAN:
20003.010

DATE:
04/20/2022

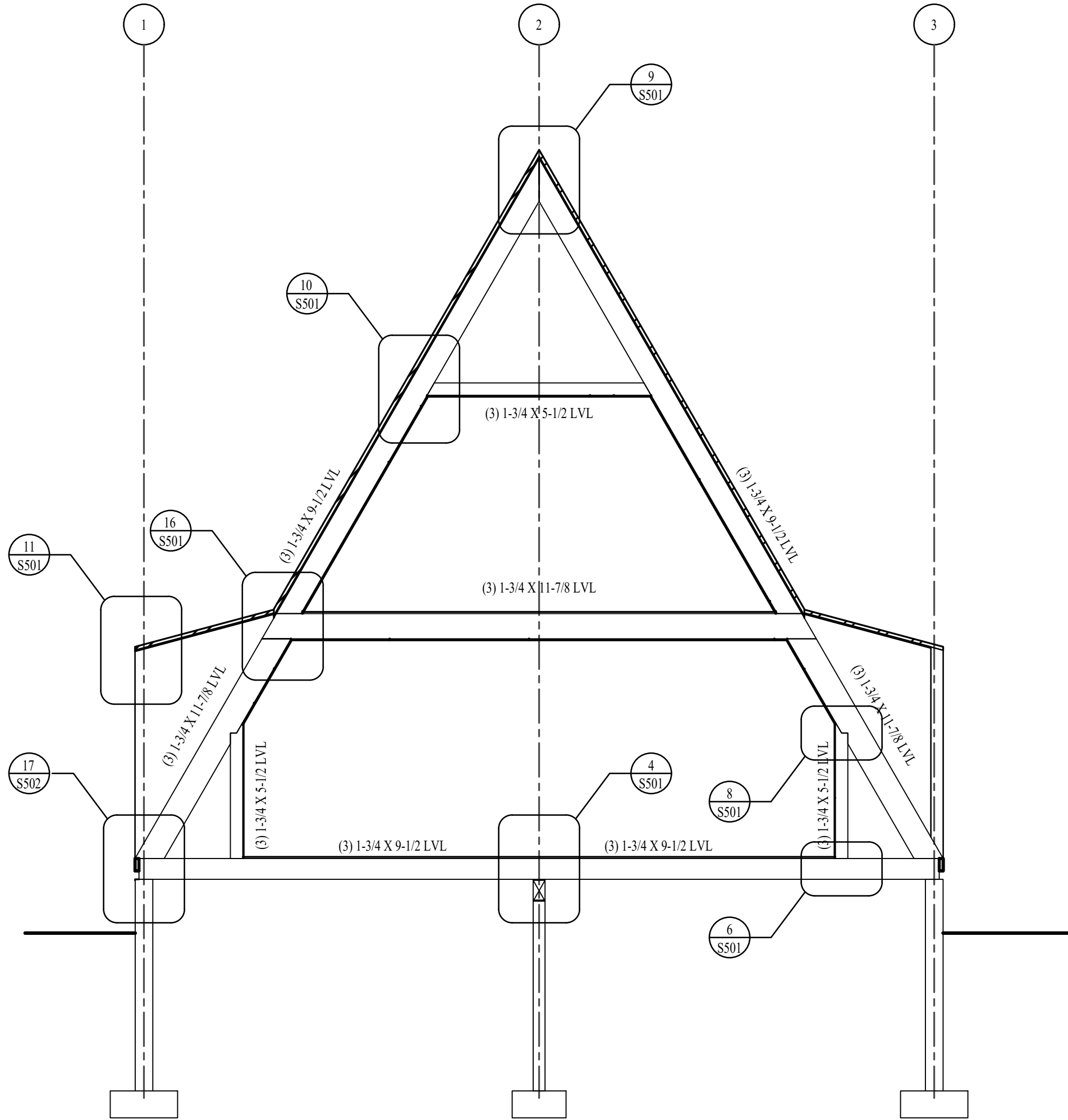
SHEET:

BASEMENT LEVEL:
1,101 S.F.
MAIN LEVEL:
1,242 S.F.
UPPER LEVEL:
451 S.F.
TOTAL FINISHED:
2,784 S.F.

S302

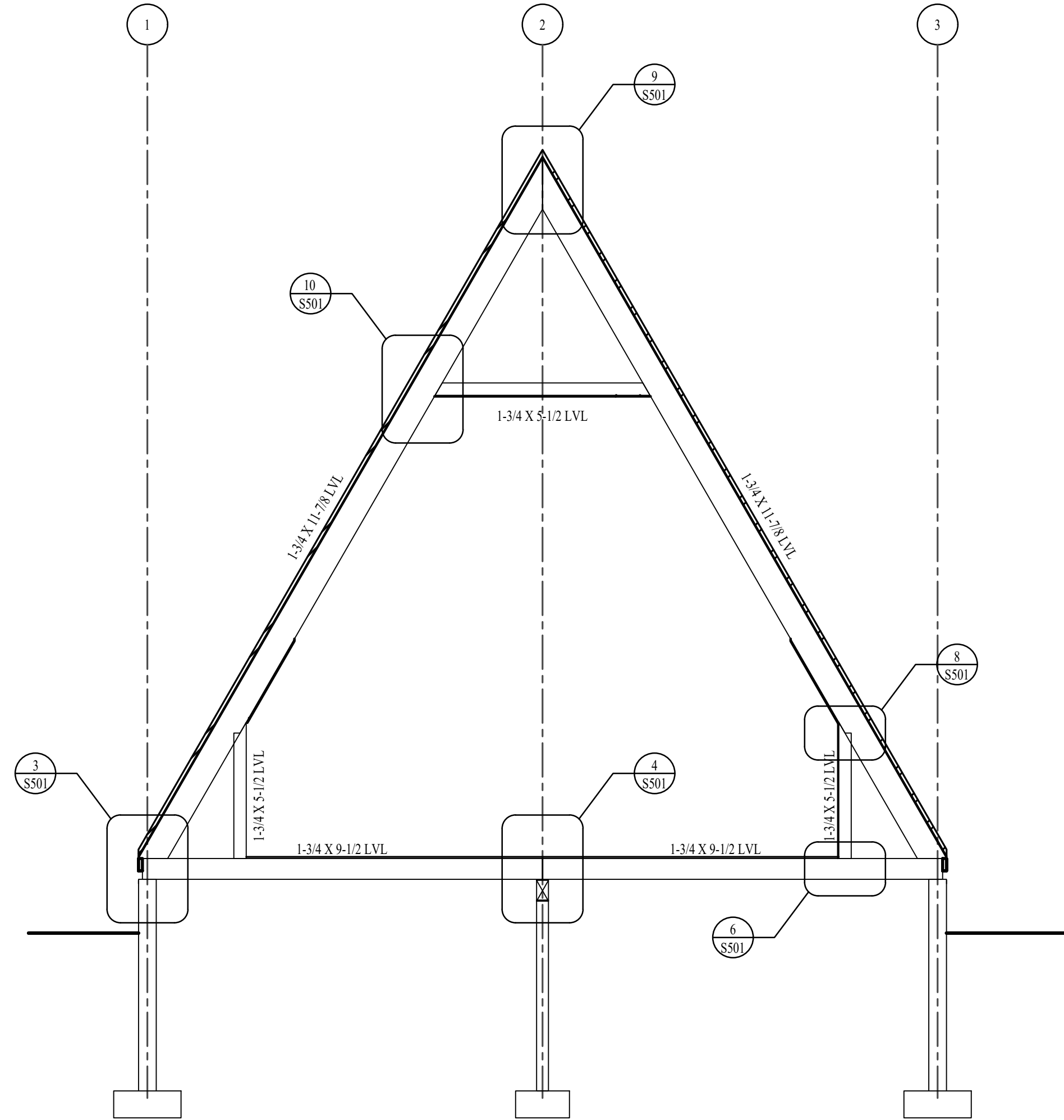


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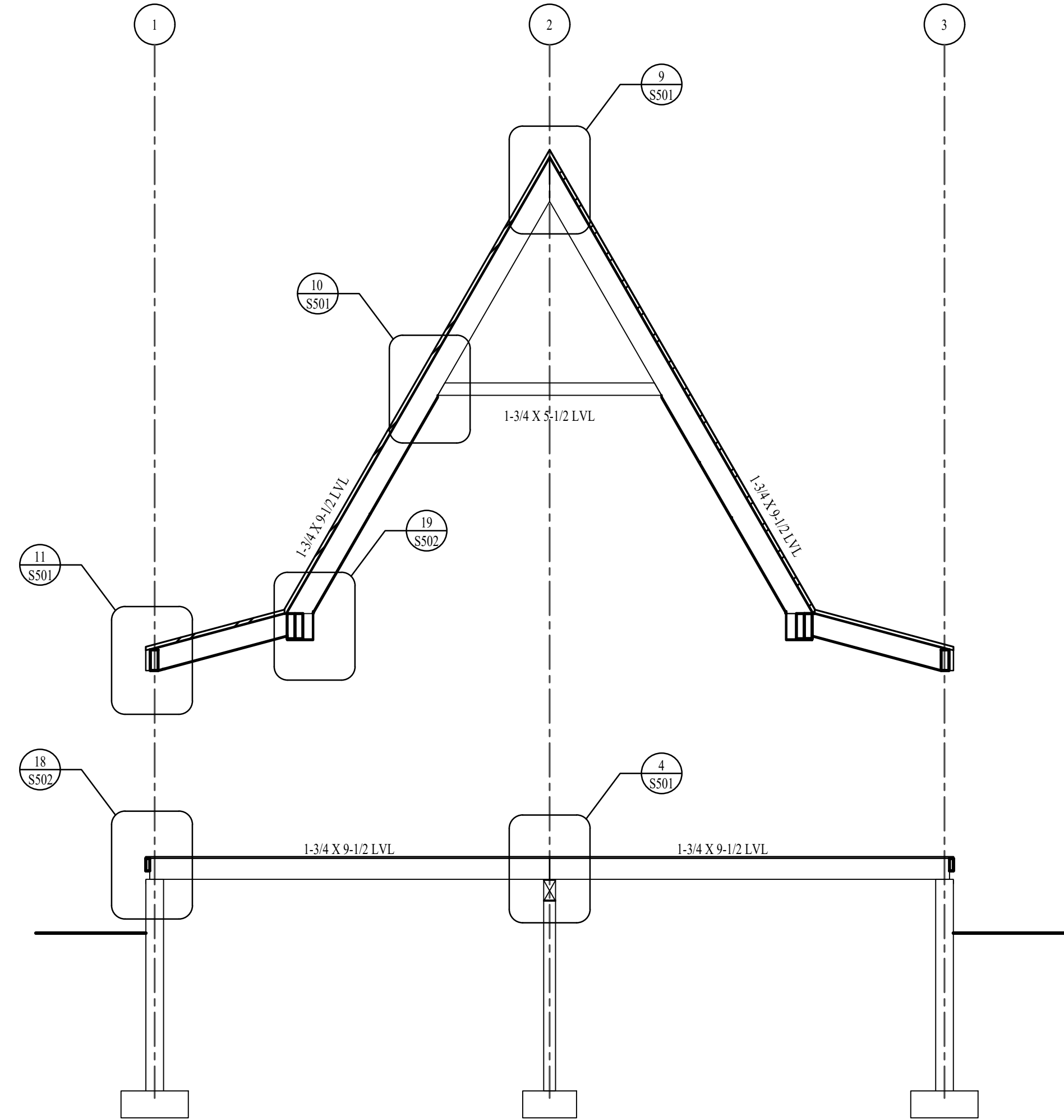
TRUSS 4 ELEVATION

SCALE: 1/4"=1'-0"
0' 1' 2' 4' 6' 10' 20'
NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY
VERIFY ALL DIMENSIONS ON ARCHITECTURAL PLANS



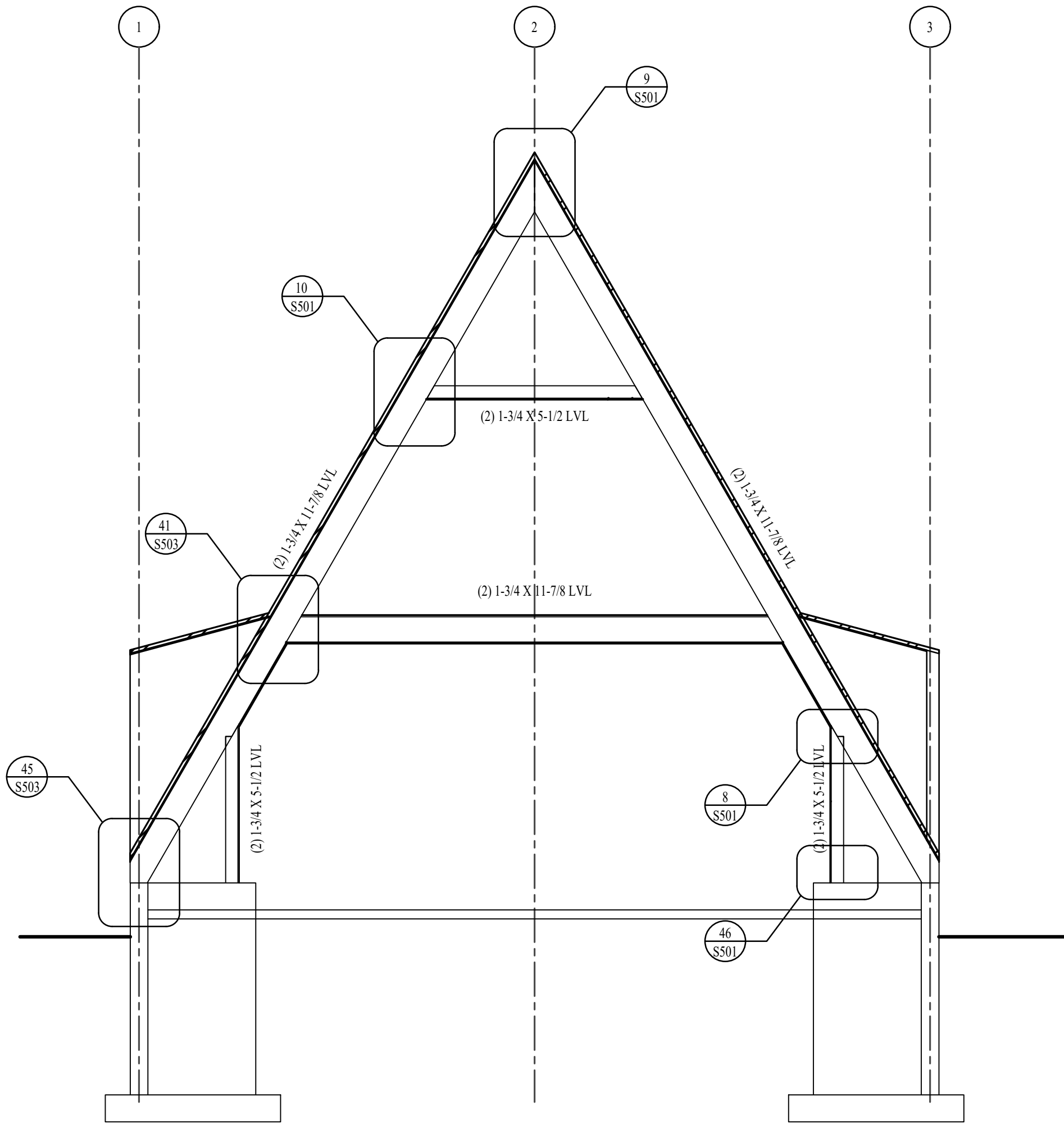
TRUSS 5 ELEVATION

SCALE: 1/4"=1'-0"
0' 1' 2' 4' 6' 10' 20'
NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY
VERIFY ALL DIMENSIONS ON ARCHITECTURAL PLANS



TRUSS 6 ELEVATION

SCALE: 1/4"=1'-0"
0' 1' 2' 4' 6' 10' 20'
NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY
VERIFY ALL DIMENSIONS ON ARCHITECTURAL PLANS

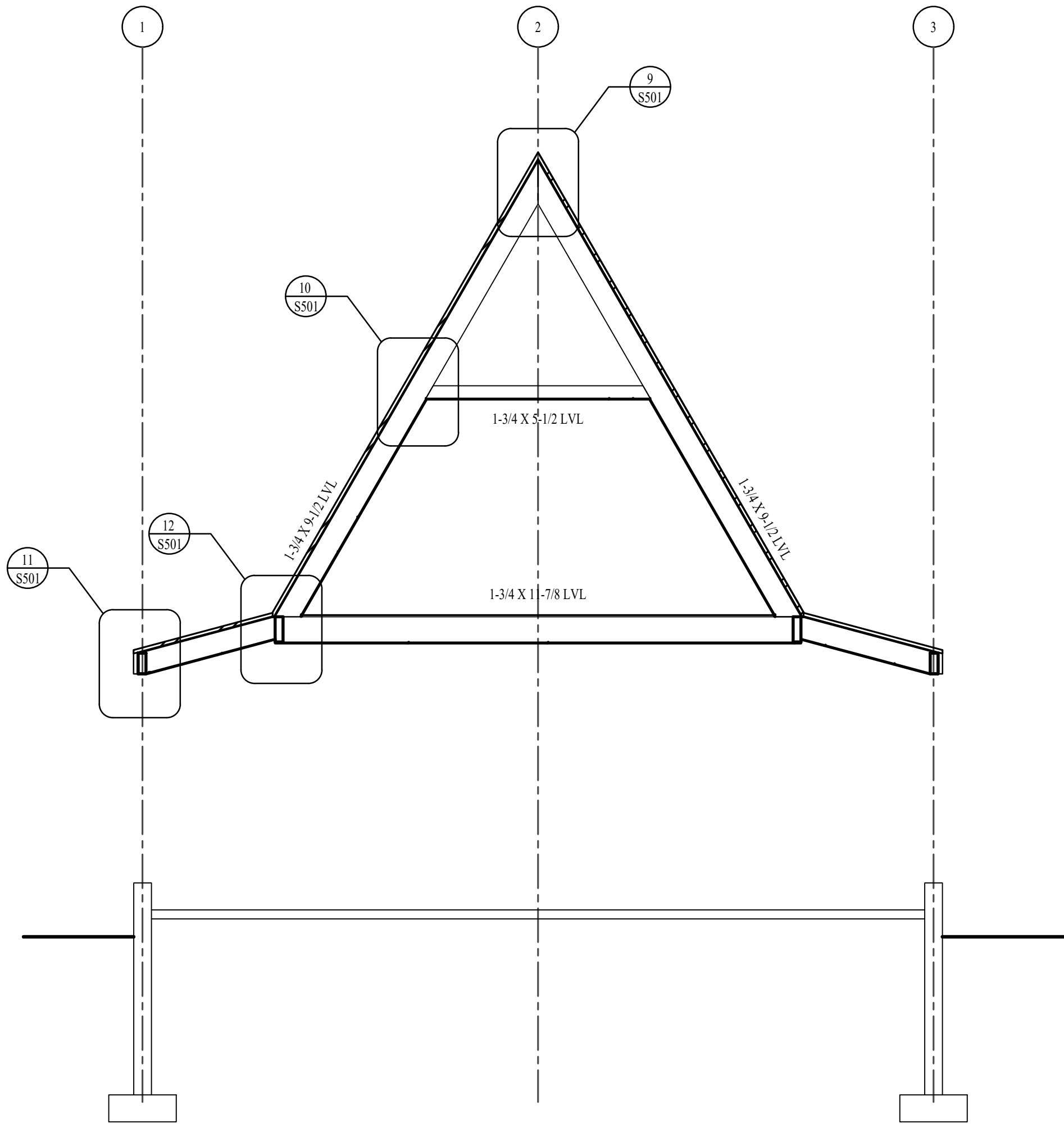


TRUSS 7 ELEVATION

SCALE: 1/4"=1'-0"

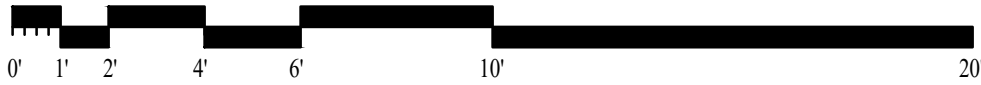


NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY.
VERIFY ALL DIMENSIONS ON ARCHITECTURAL PLANS

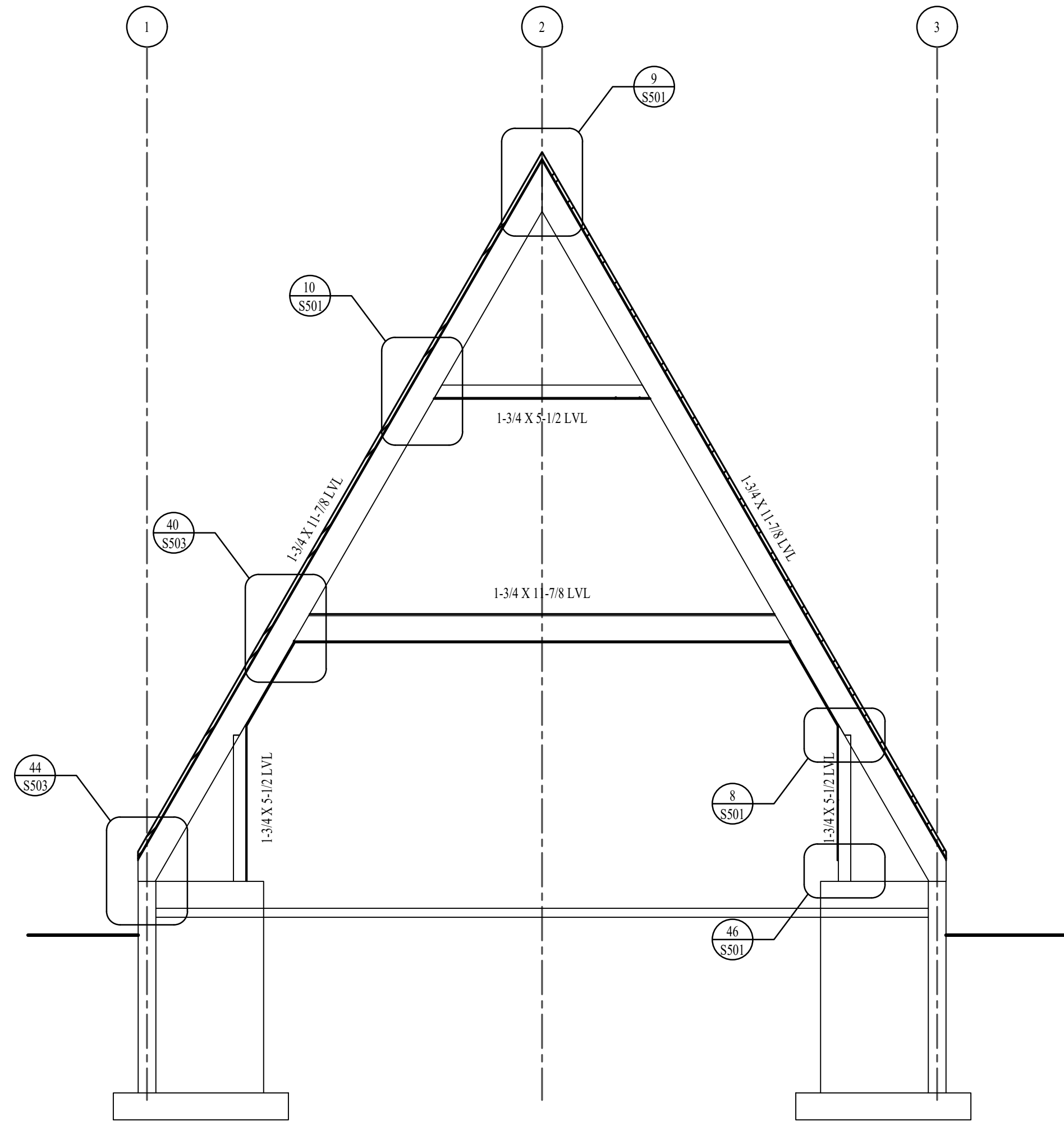


TRUSS 8 ELEVATION

SCALE: 1/4"=1'-0"



NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY.
VERIFY ALL DIMENSIONS ON ARCHITECTURAL PLANS



TRUSS 9 ELEVATION

SCALE: 1/4"=1'-0"



NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY.
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BELOW.

KEYNOTES



REVISIONS		
#	DESCRIPTION	DATE

CITY REVIEW

TRIO 120 - SCIAMARELLA RES.
VILLAGES AT WOLF CREEK, LLC
LOT 221910001
EDEN UT, 84310

AVFRAME U.S.A.

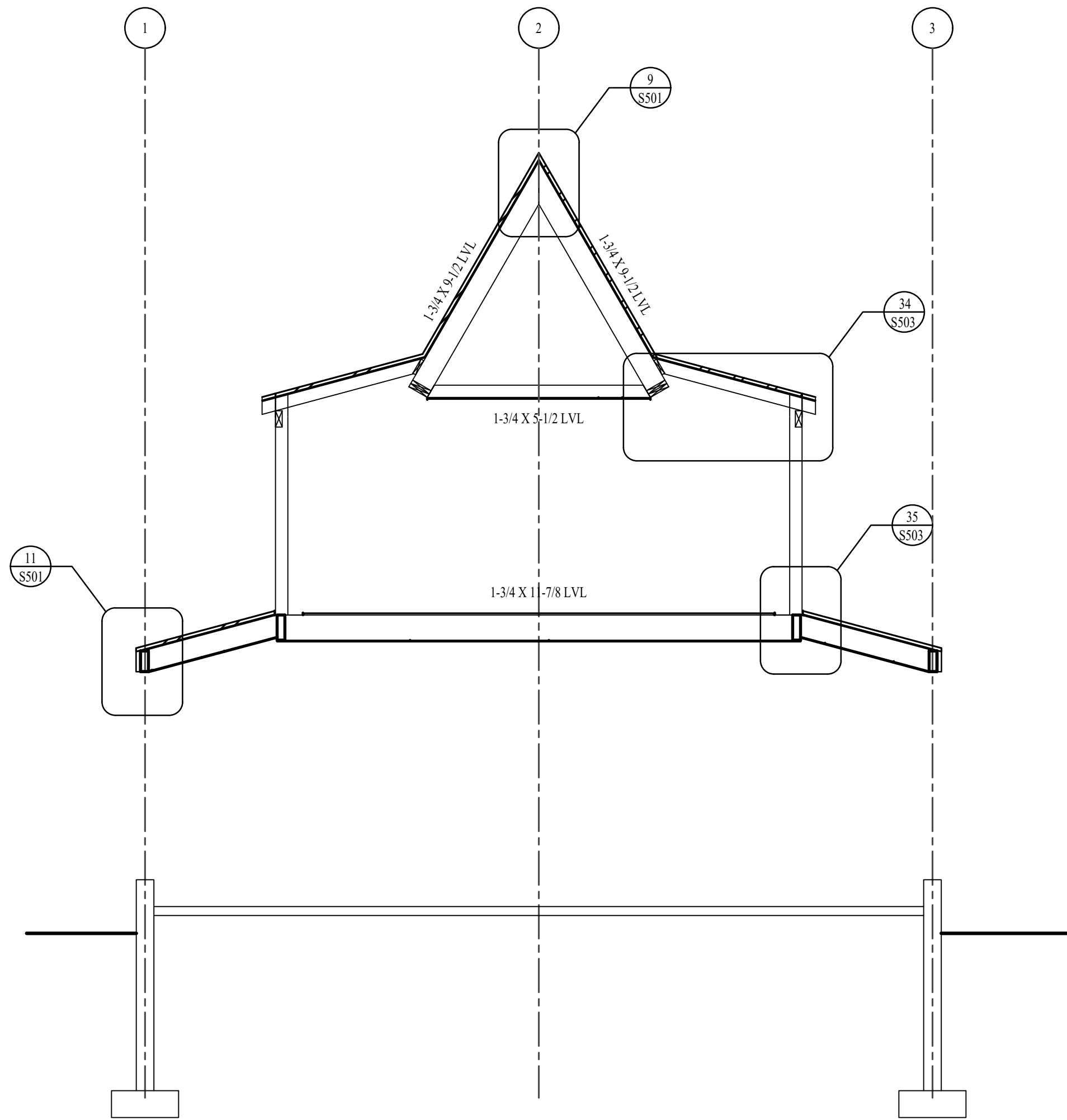
PLAN:
20003.010

DATE:
04/20/2022

SHEET:

BASEMENT LEVEL:
1,101 S.F.
MAIN LEVEL:
1,242 S.F.
UPPER LEVEL:
451 S.F.
TOTAL FINISHED:
2,784 S.F.

S303

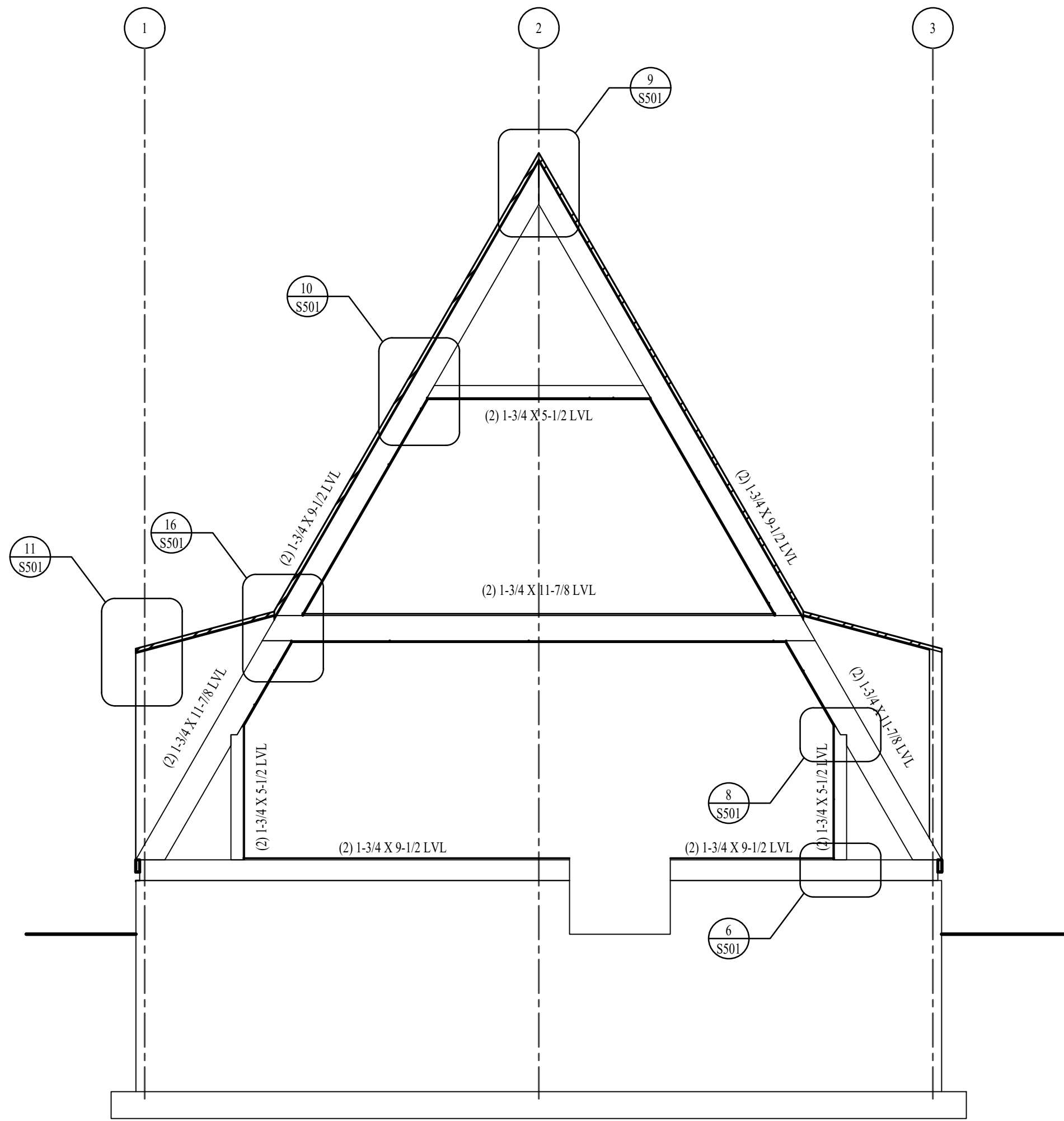


TRUSS 10 ELEVATION

SCALE: 1/4"=1'-0"



NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY.
VERIFY ALL DIMENSIONS ON ARCHITECTURAL PLANS

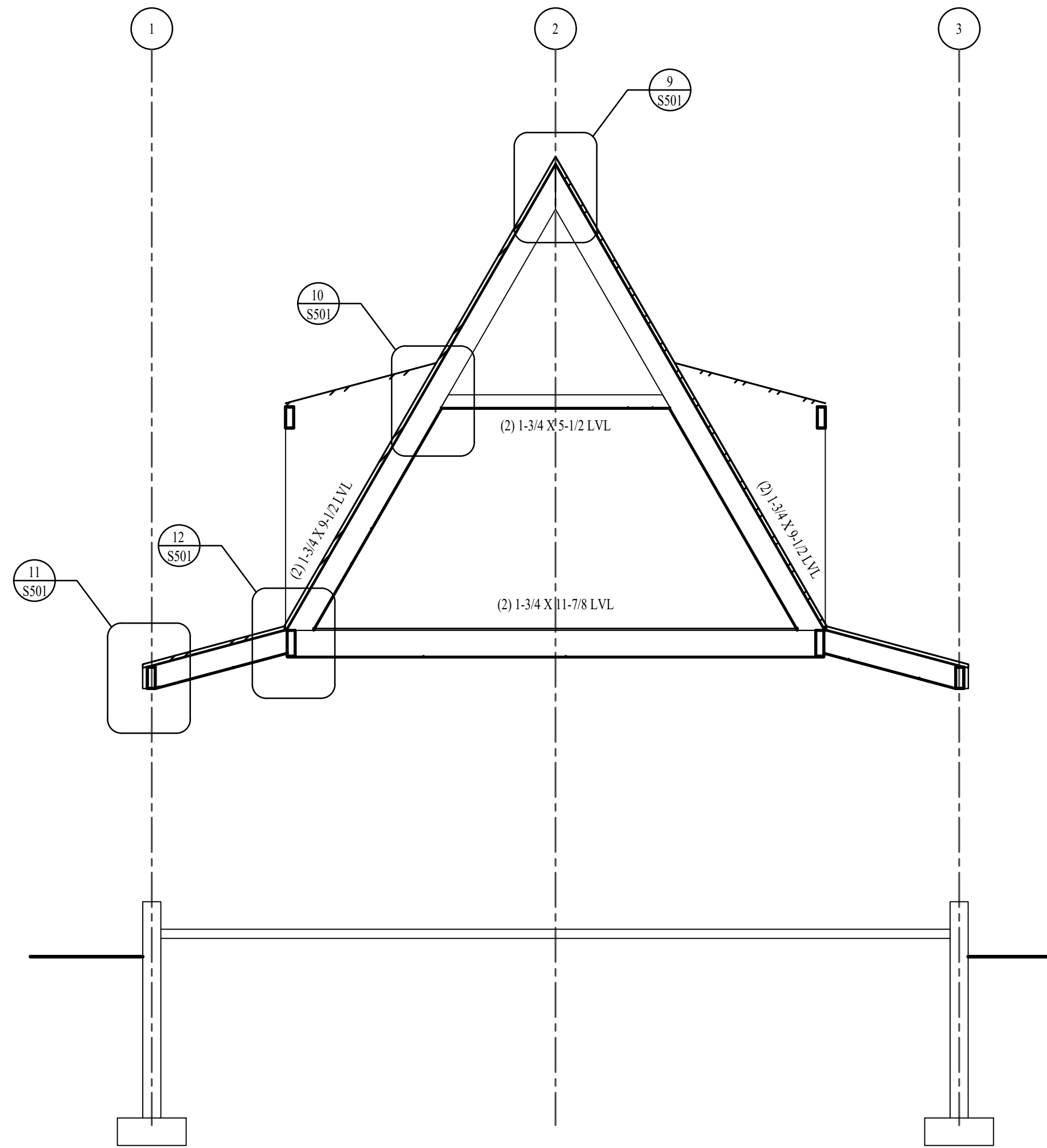


TRUSS 11 ELEVATION

SCALE: 1/4"=1'-0"

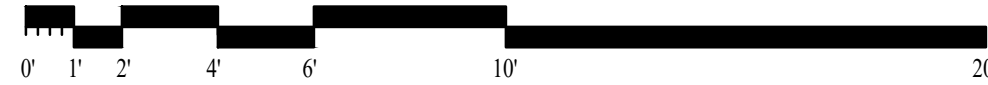


NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY.
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TRUSS 12 ELEVATION

SCALE: 1/4"=1'-0"



NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY.
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#	DESCRIPTION	DATE

CITY REVIEW

TRIO 120 - SCIAMMARELLA RES.
VILLAGES AT WOLF CREEK, LLC
LOT 221910001
EDEN UT, 84310

AVFRAME U.S.A.

PLAN: 20003.010

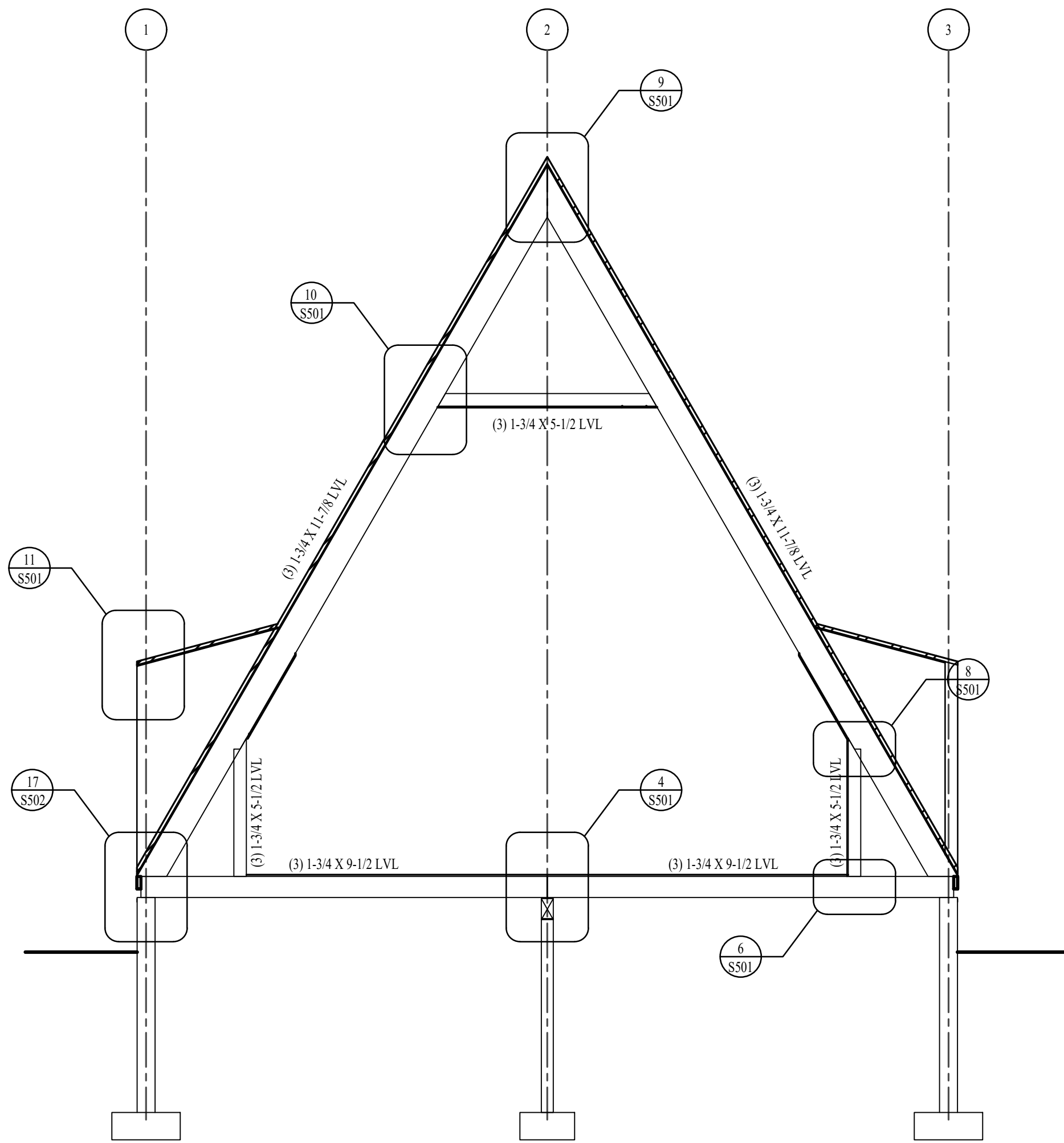
DATE: 04/20/2022

SHEET:

BASEMENT LEVEL:
1,101 S.F.
MAIN LEVEL:
1,242 S.F.
UPPER LEVEL:
451 S.F.
TOTAL FINISHED:
2,784 S.F.

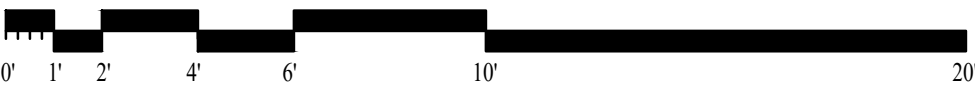
S304





TRUSS 13 ELEVATION

SCALE: 1/4"=1'-0"



NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY
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KEYNOTES



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CITY REVIEW

TRIO 120 - SCIAMMARELLA RES.
VILLAGES AT WOLF CREEK, LLC
LOT 221910001
EDEN UT, 84310

DRAWN FOR ONE
TIME USE FOR:
AVRAME U.S.A.

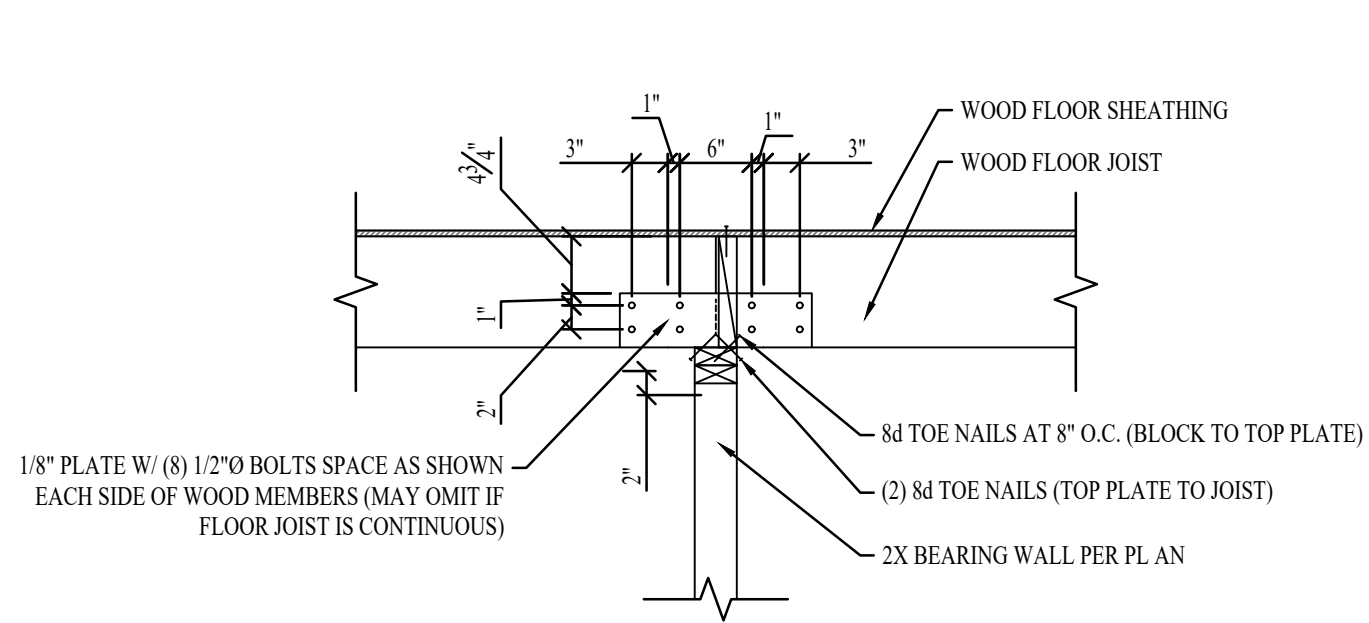
PLAN:
20003.010

DATE:
04/20/2022

SHEET:

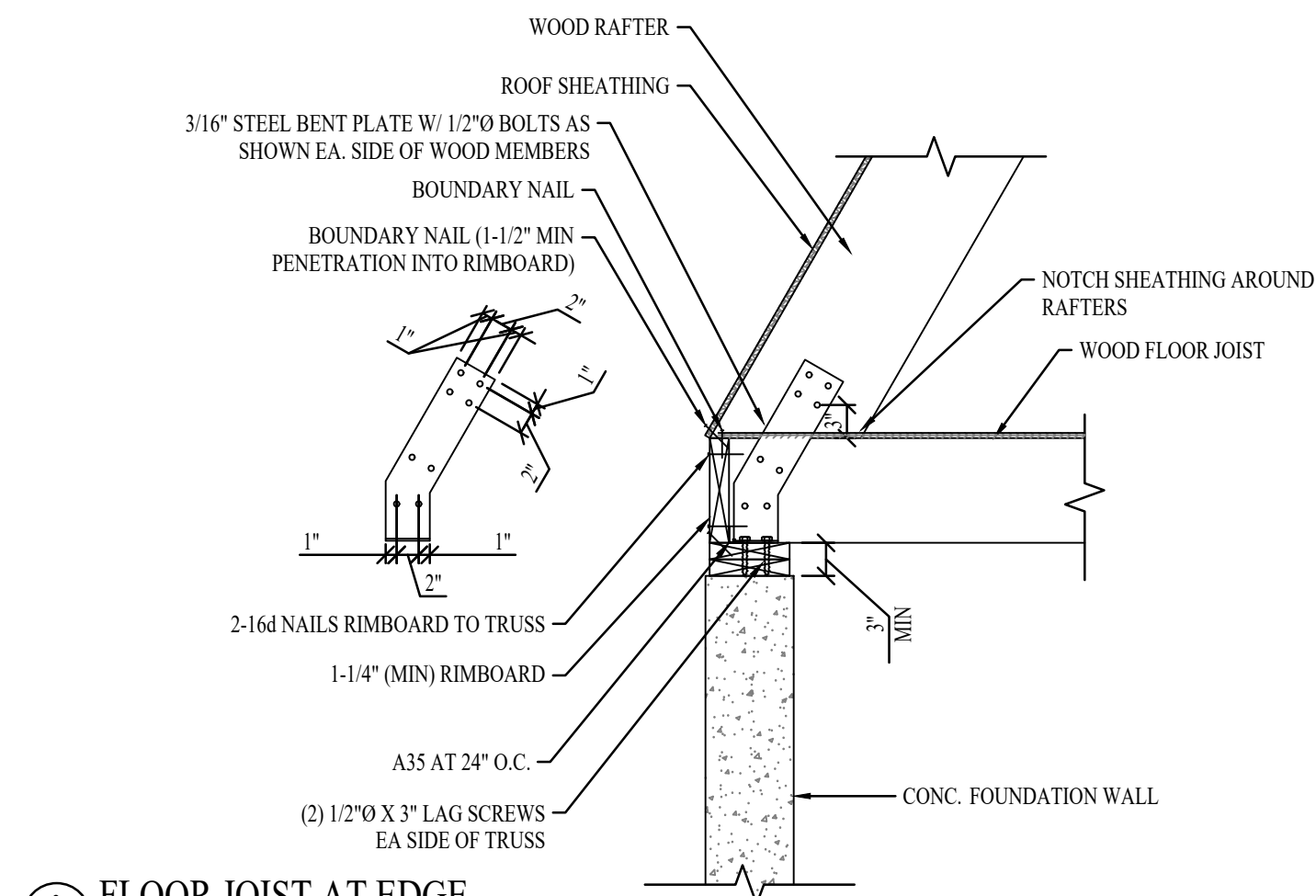
S305

BASEMENT LEVEL:
1,101 S.F.
MAIN LEVEL:
1,242 S.F.
UPPER LEVEL:
451 S.F.
TOTAL FINISHED:
2,784 S.F.



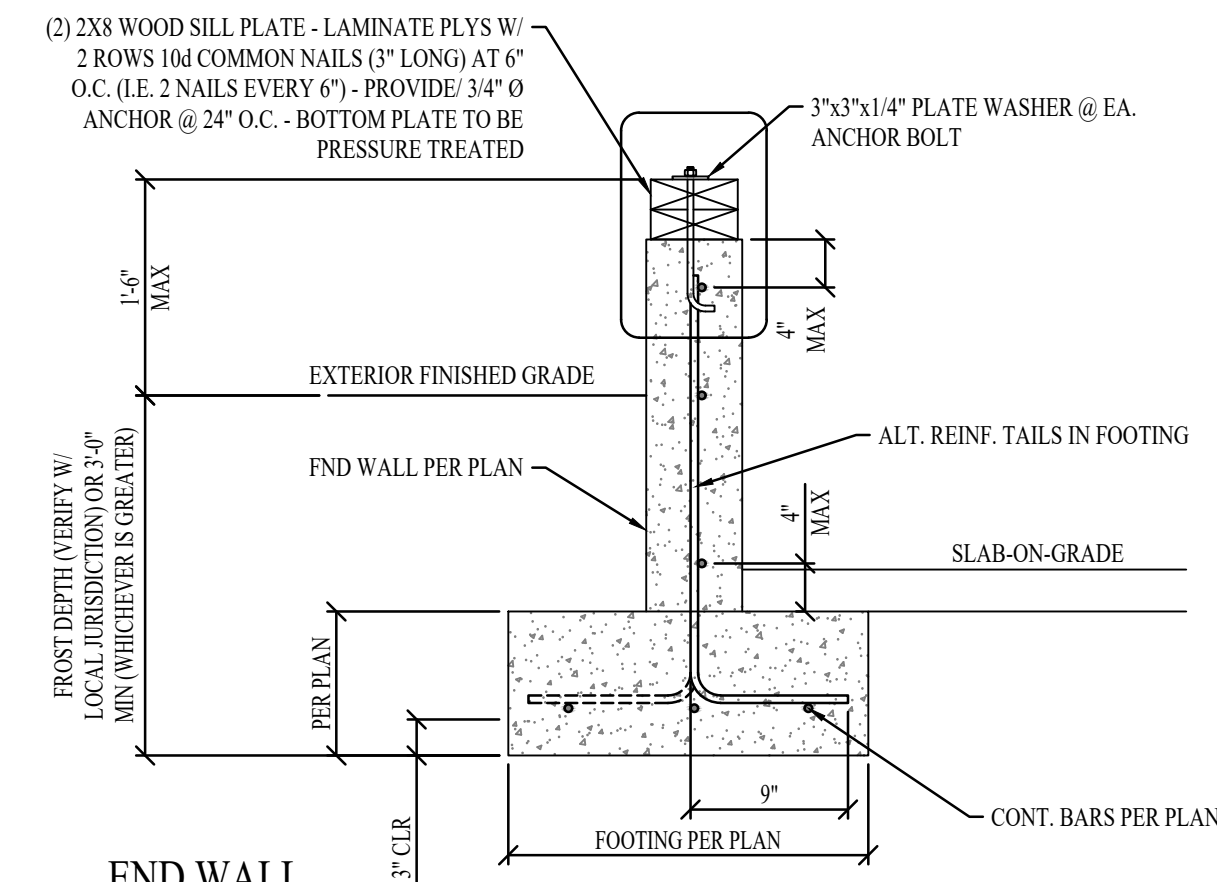
4 FLOOR JOIST SPLICE AT CENTER BEARING

S501 / 3/4"=1'-0"



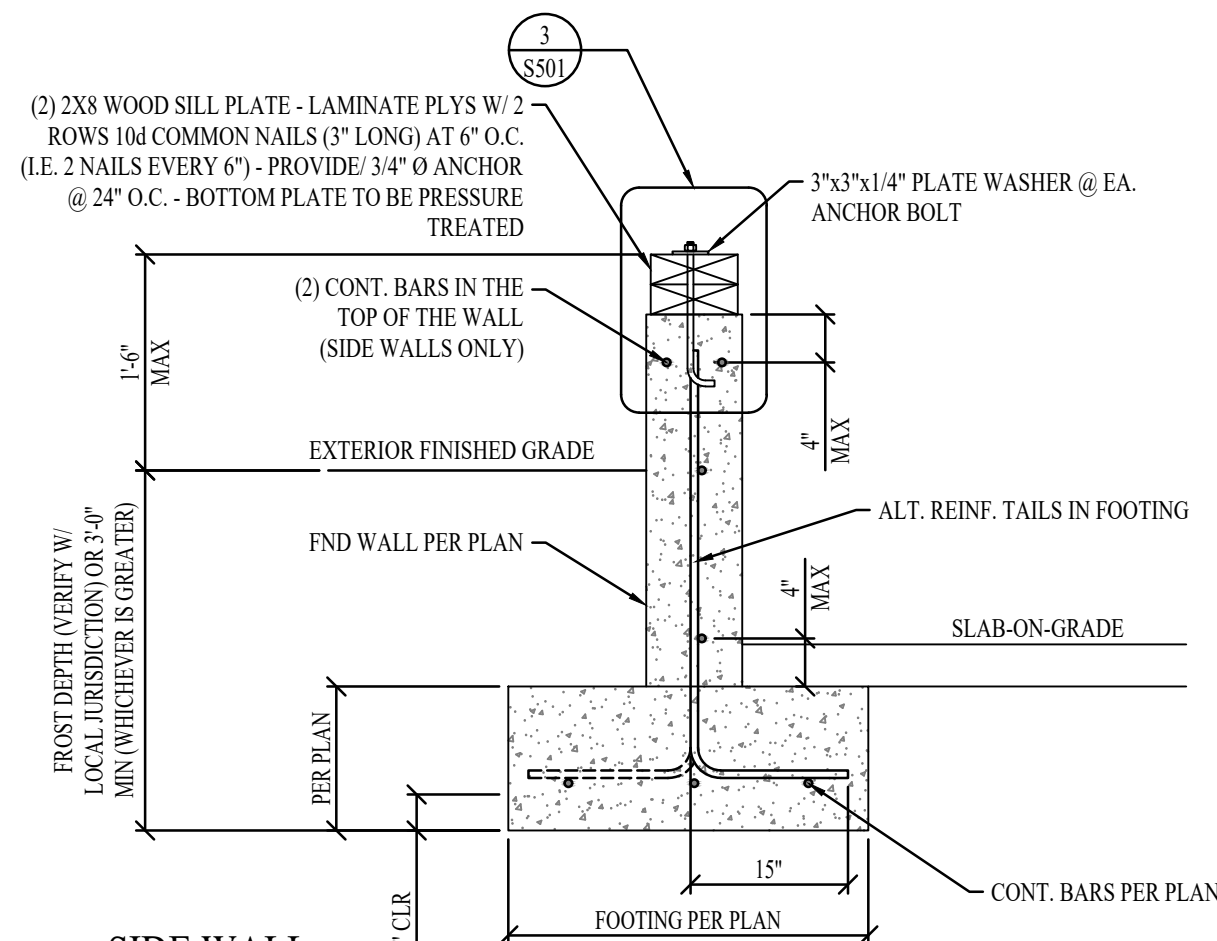
3 FLOOR JOIST AT EDGE

S501 / 3/4"=1'-0"



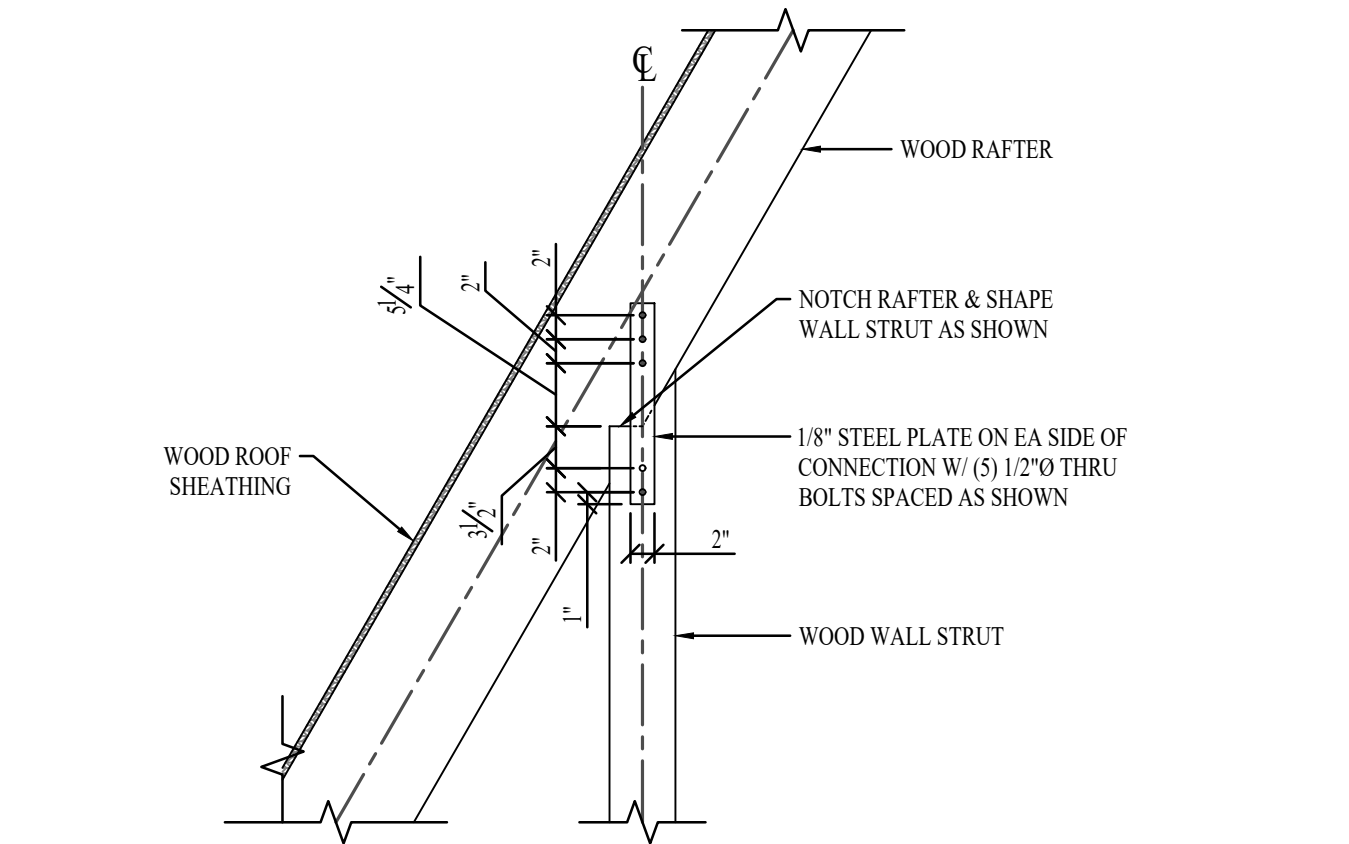
2 END WALL EXTERIOR CONTINUOUS FOOTINGS

S501 / 3/4"=1'-0"



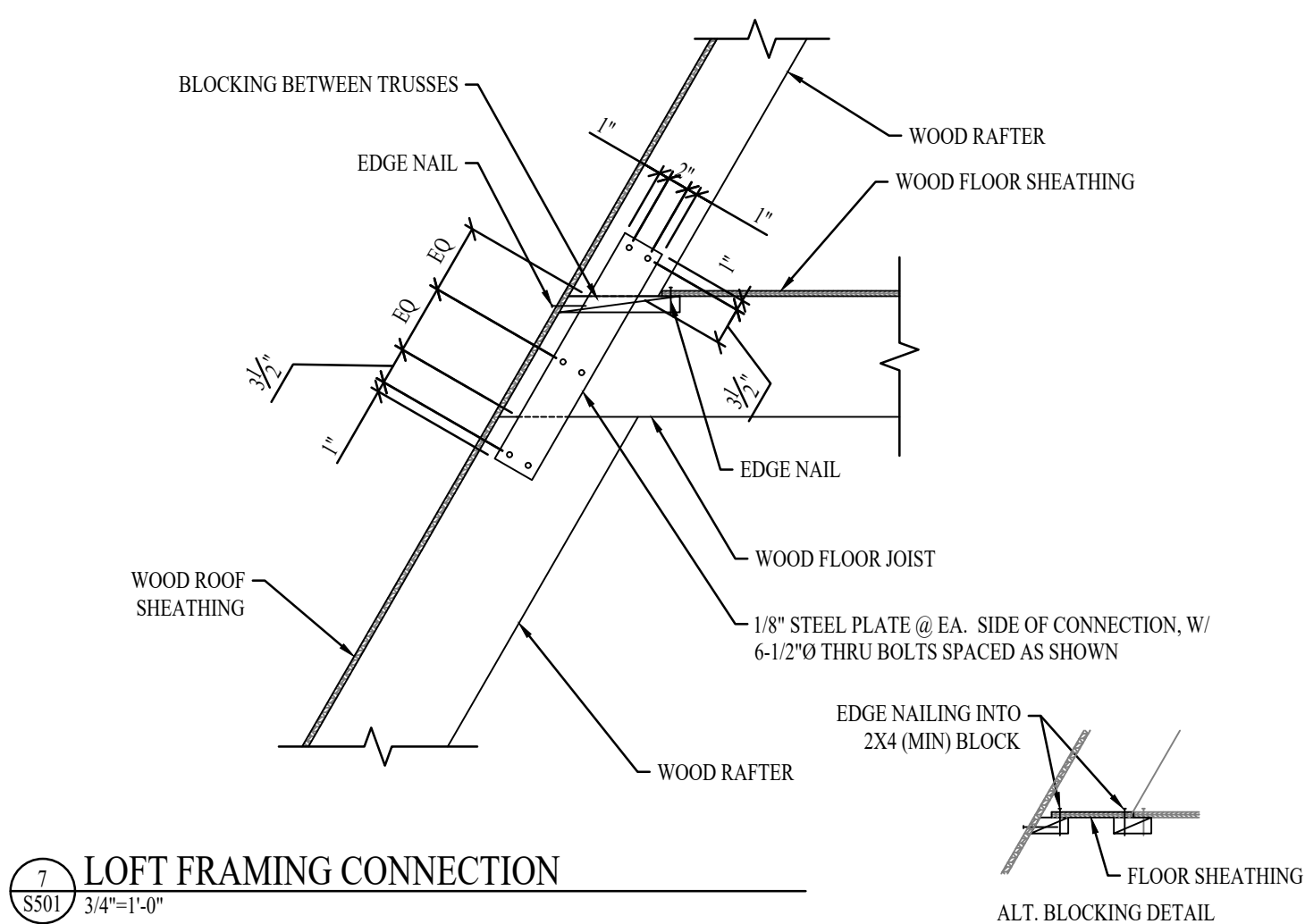
1 SIDE WALL EXTERIOR CONTINUOUS FOOTINGS

S501 / 3/4"=1'-0"



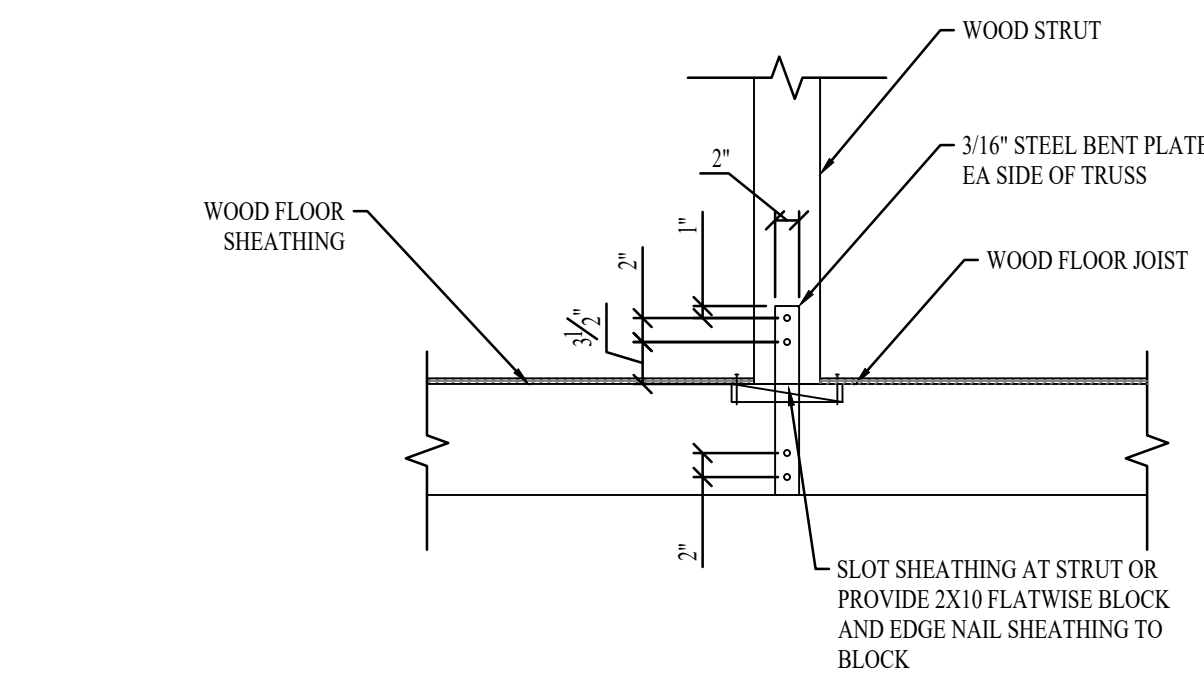
8 WOOD RAFTER CONNECTION AT WOOD STRUT

S501 / 3/4"=1'-0"



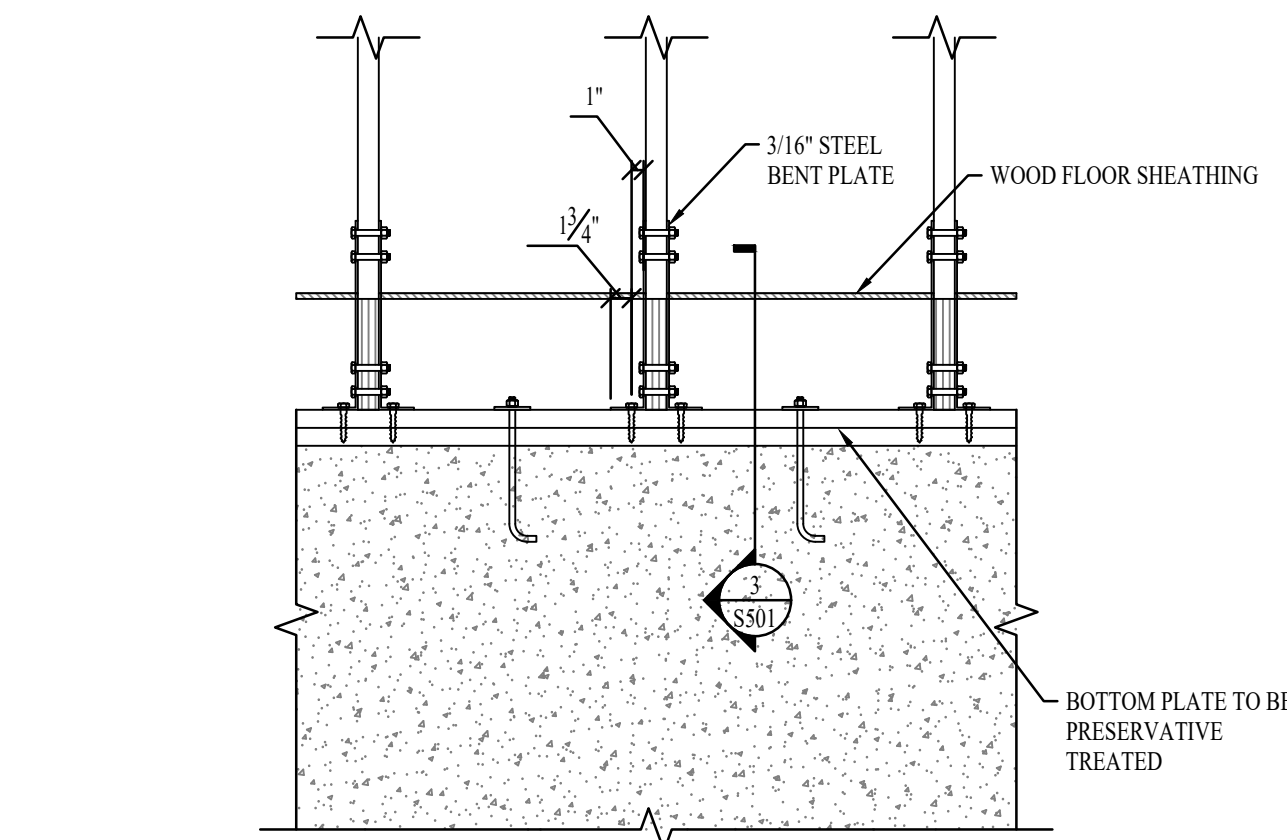
7 LOFT FRAMING CONNECTION

S501 / 3/4"=1'-0"



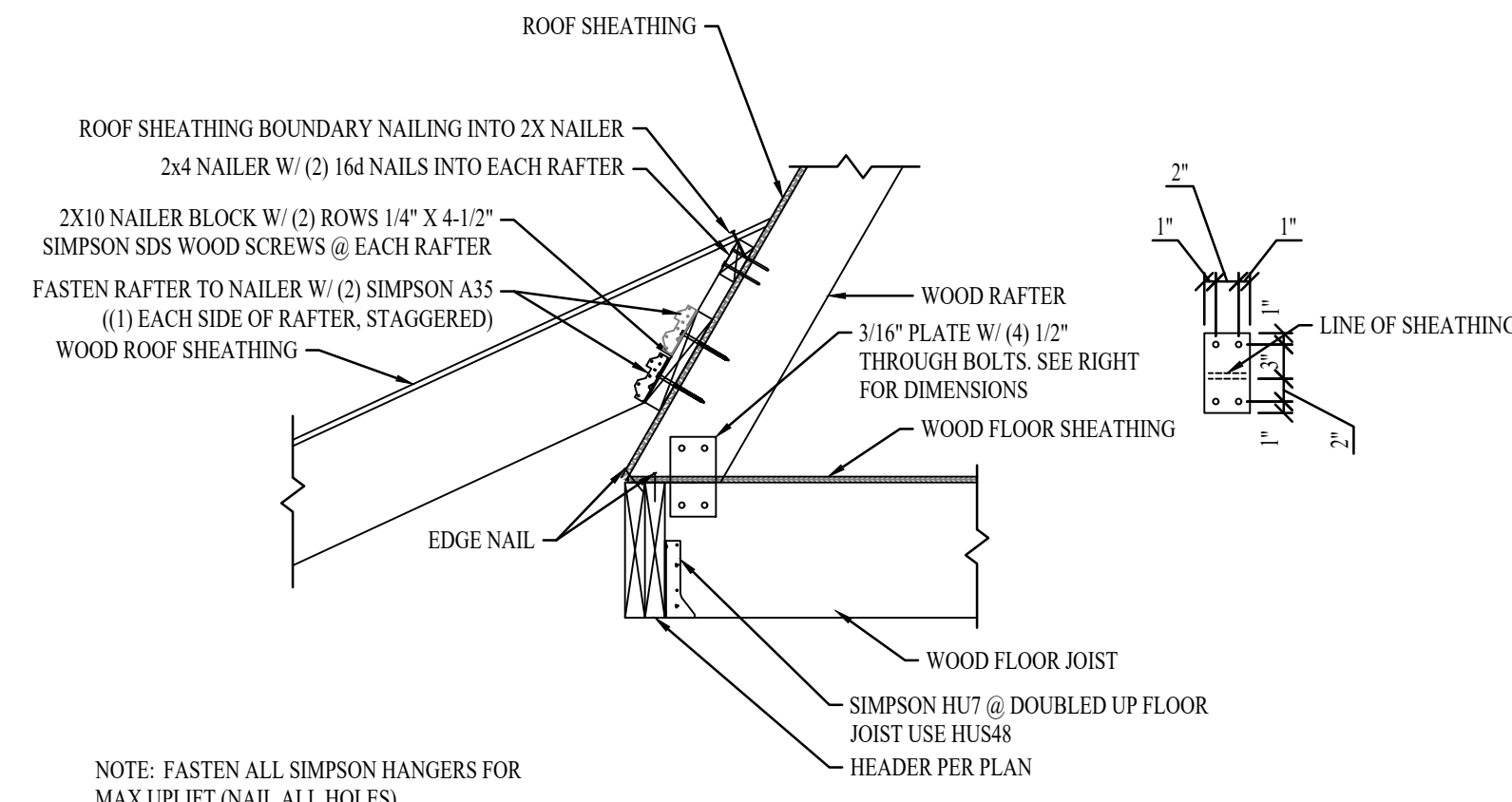
6 STRUT TO FLOOR JOIST

S501 / 3/4"=1'-0"



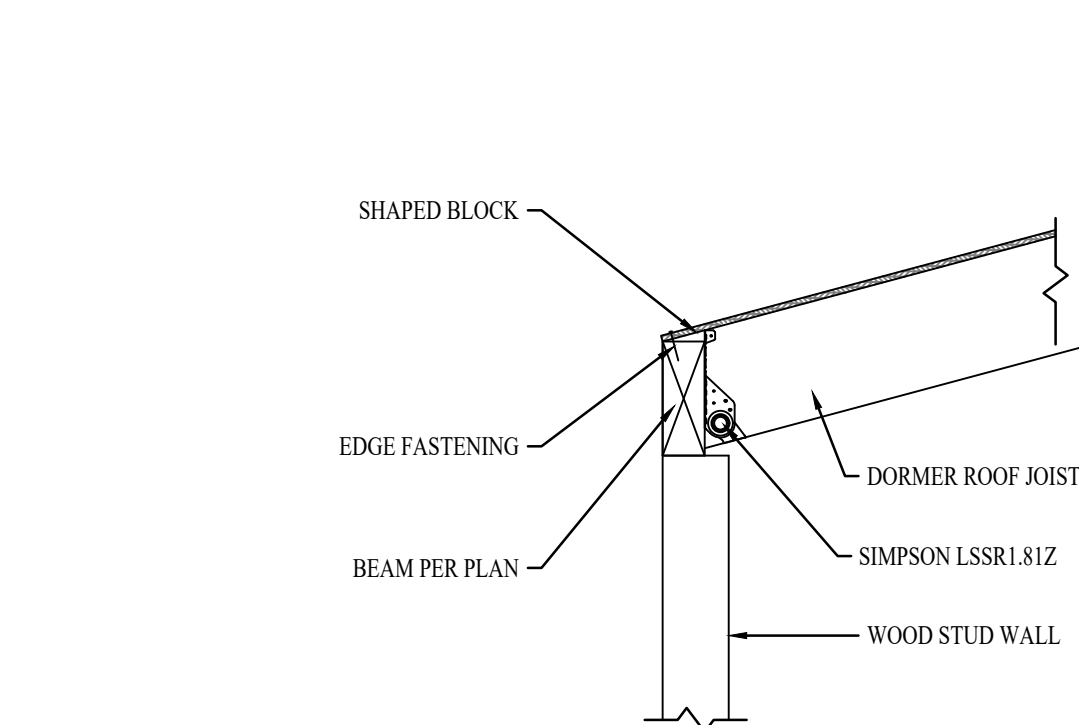
5 TRUSS HOLDOWN

S501 / 3/4"=1'-0"



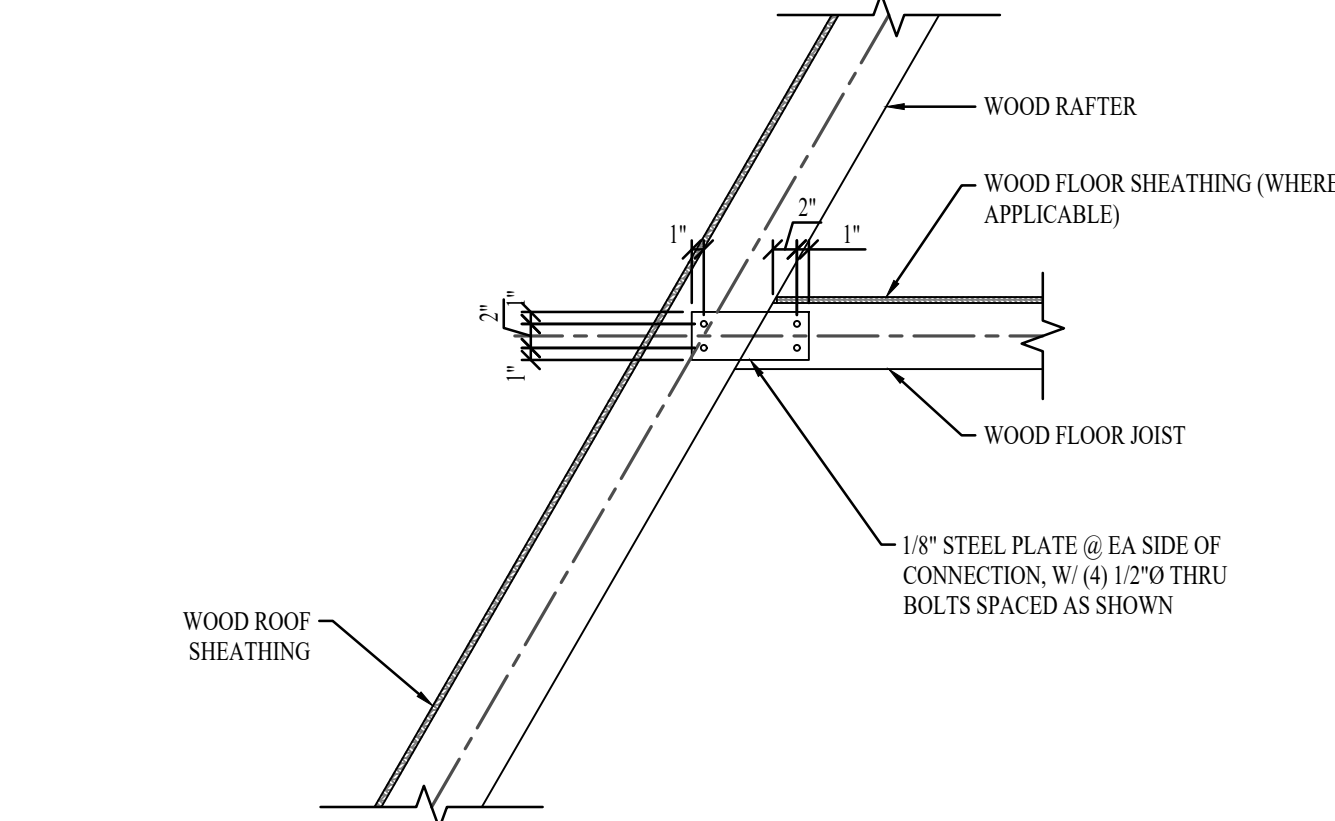
12 SECTION THROUGH DORMER FRAMING

S501 / 3/4"=1'-0"



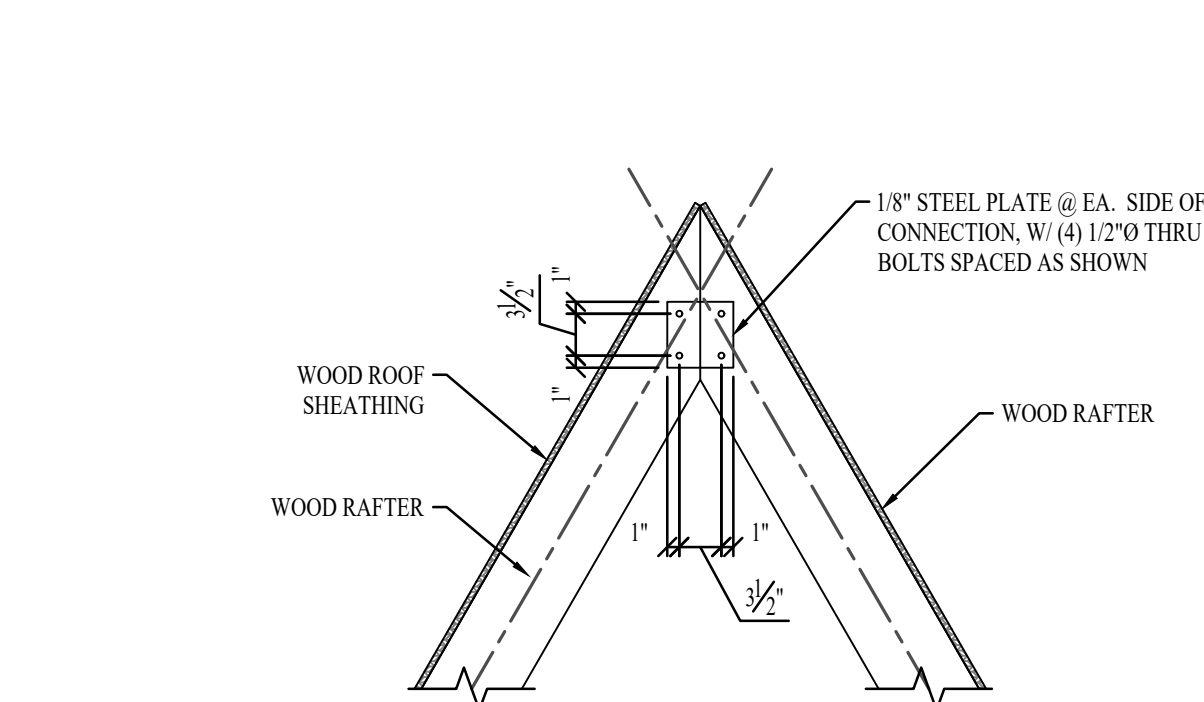
11 SECTION THROUGH DORMER FRAMING

S501 / 3/4"=1'-0"



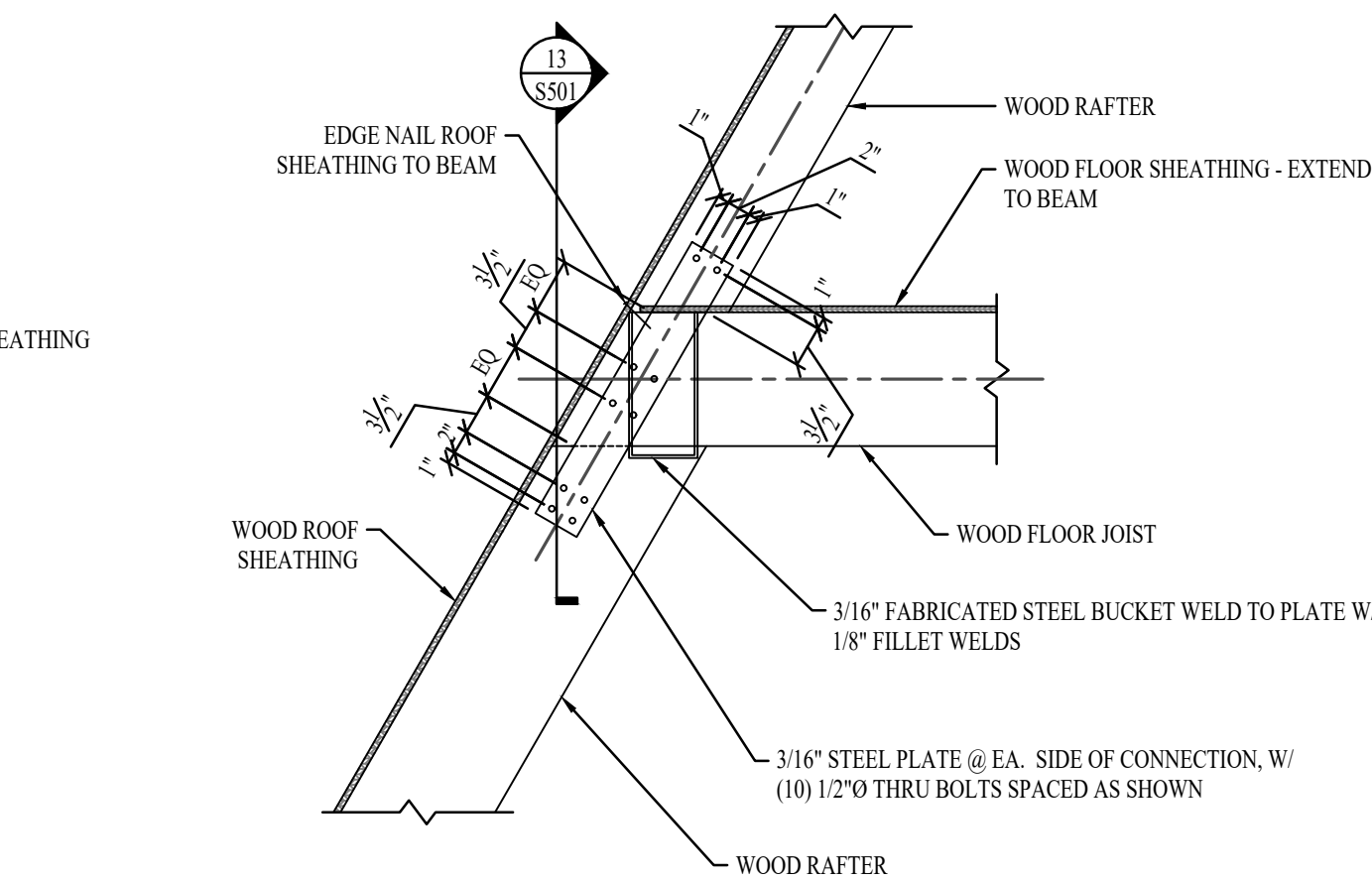
10 LOFT FRAMING CONNECTION AT RAFTERS

S501 / 3/4"=1'-0"



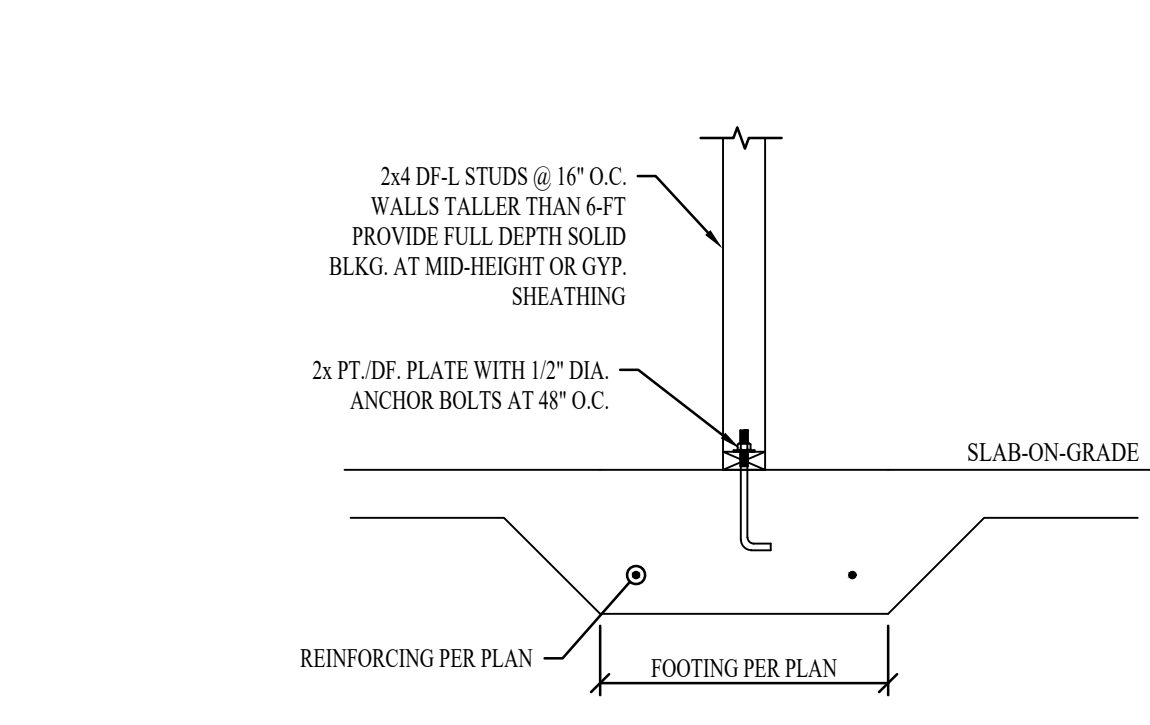
9 CONNECTION OF WOOD RAFTERS AT A-FRAME DECK

S501 / 3/4"=1'-0"



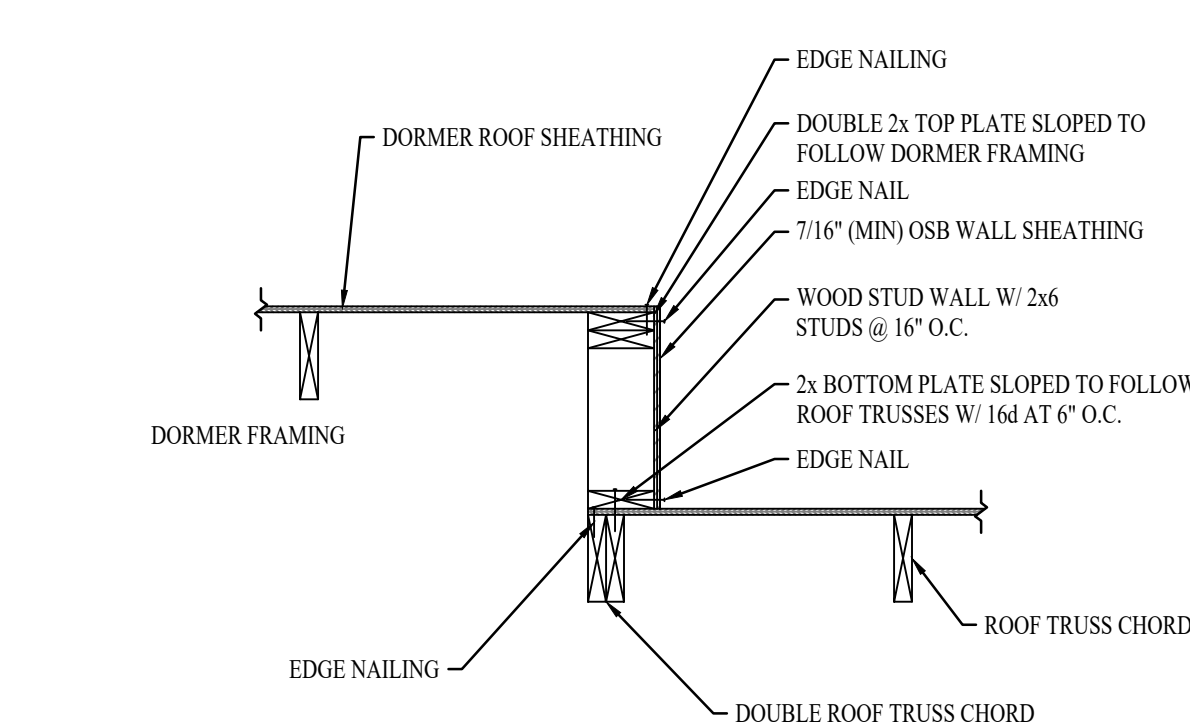
16 LOFT FRAMING CONNECTION AT DORMER

S501 / 3/4"=1'-0"



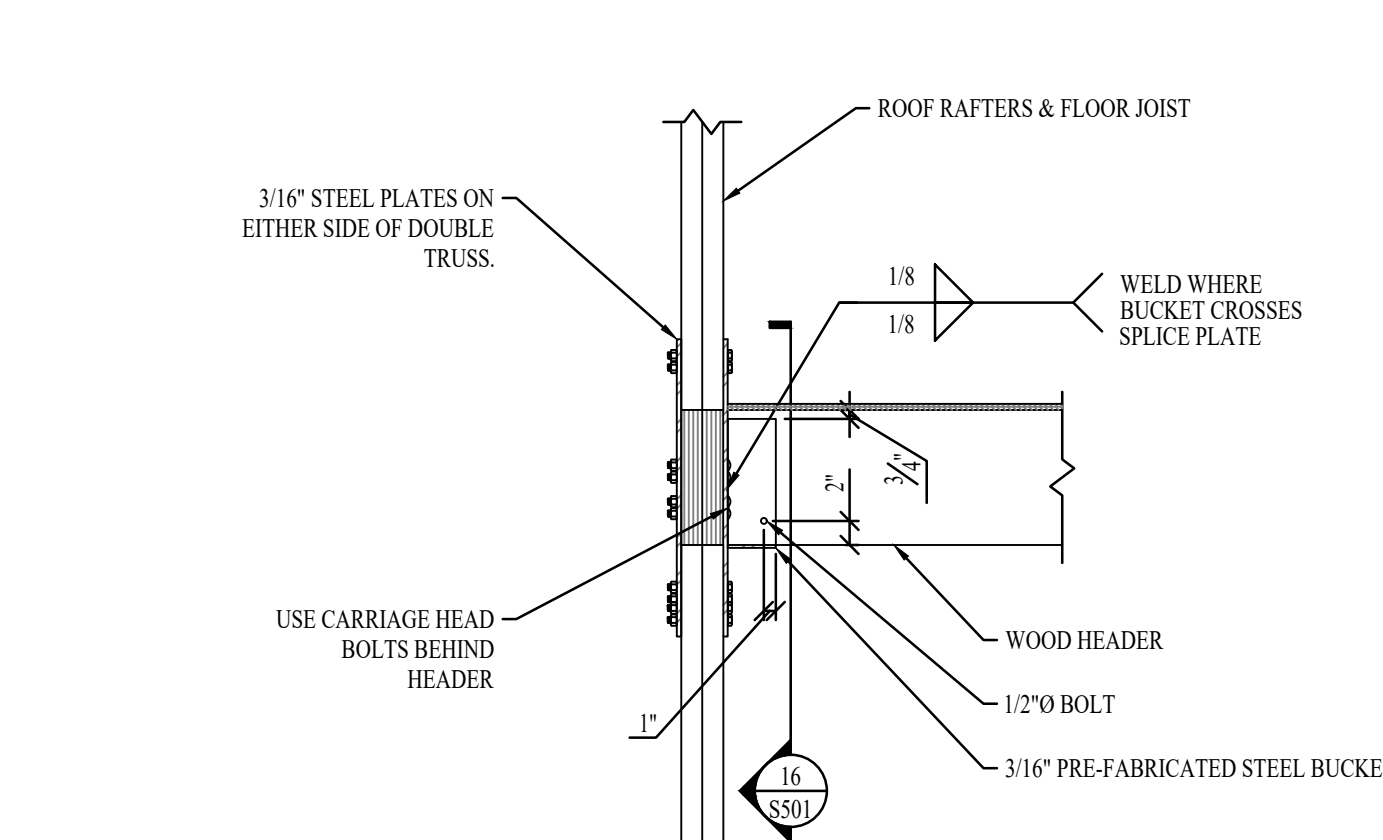
15 INTERIOR FOOTING

S501 / 3/4"=1'-0"



14 SLOPED WOOD STUD PONY WALL AT DORMER

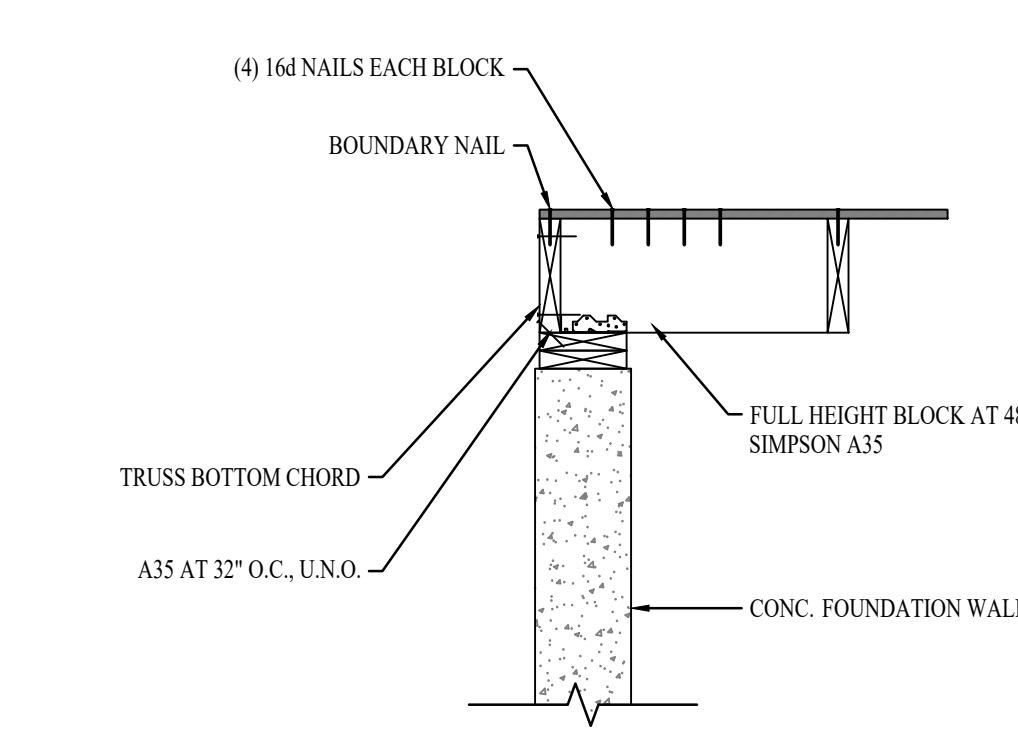
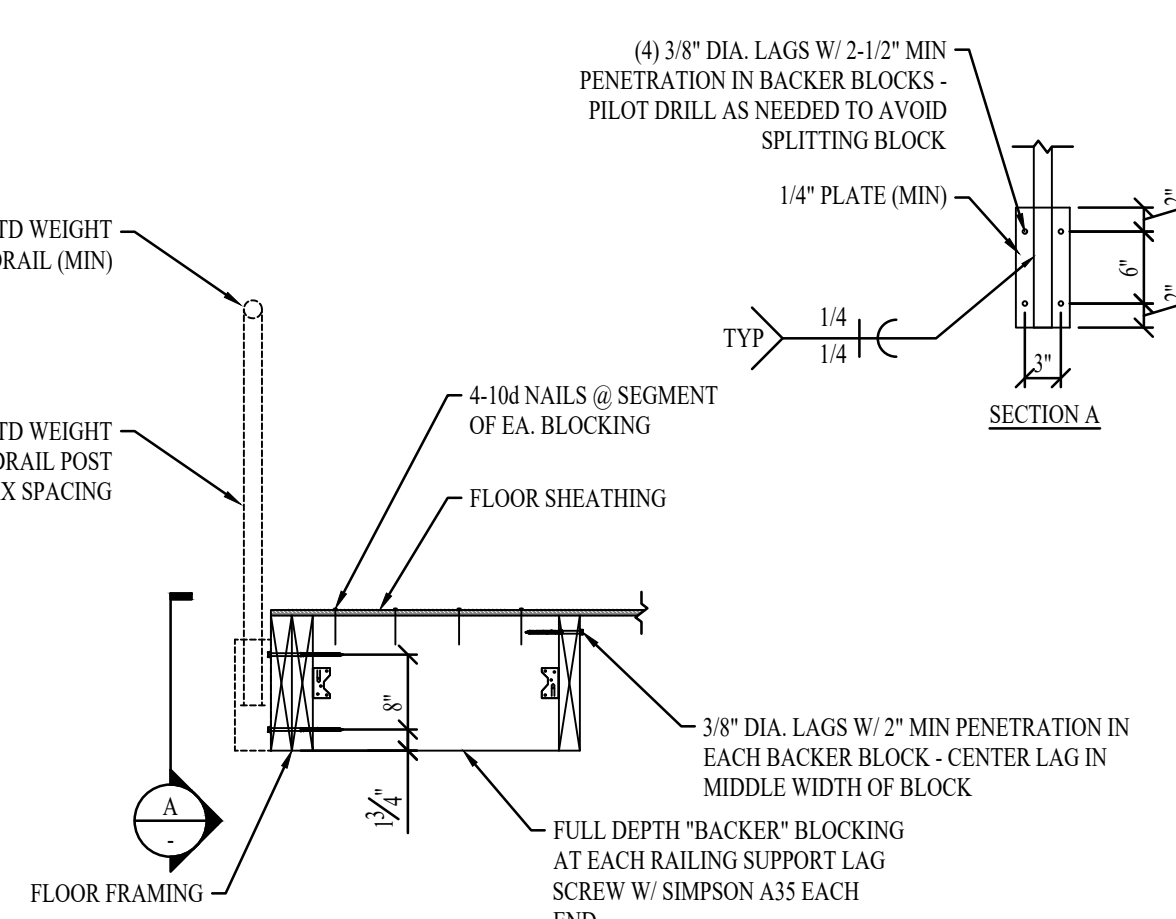
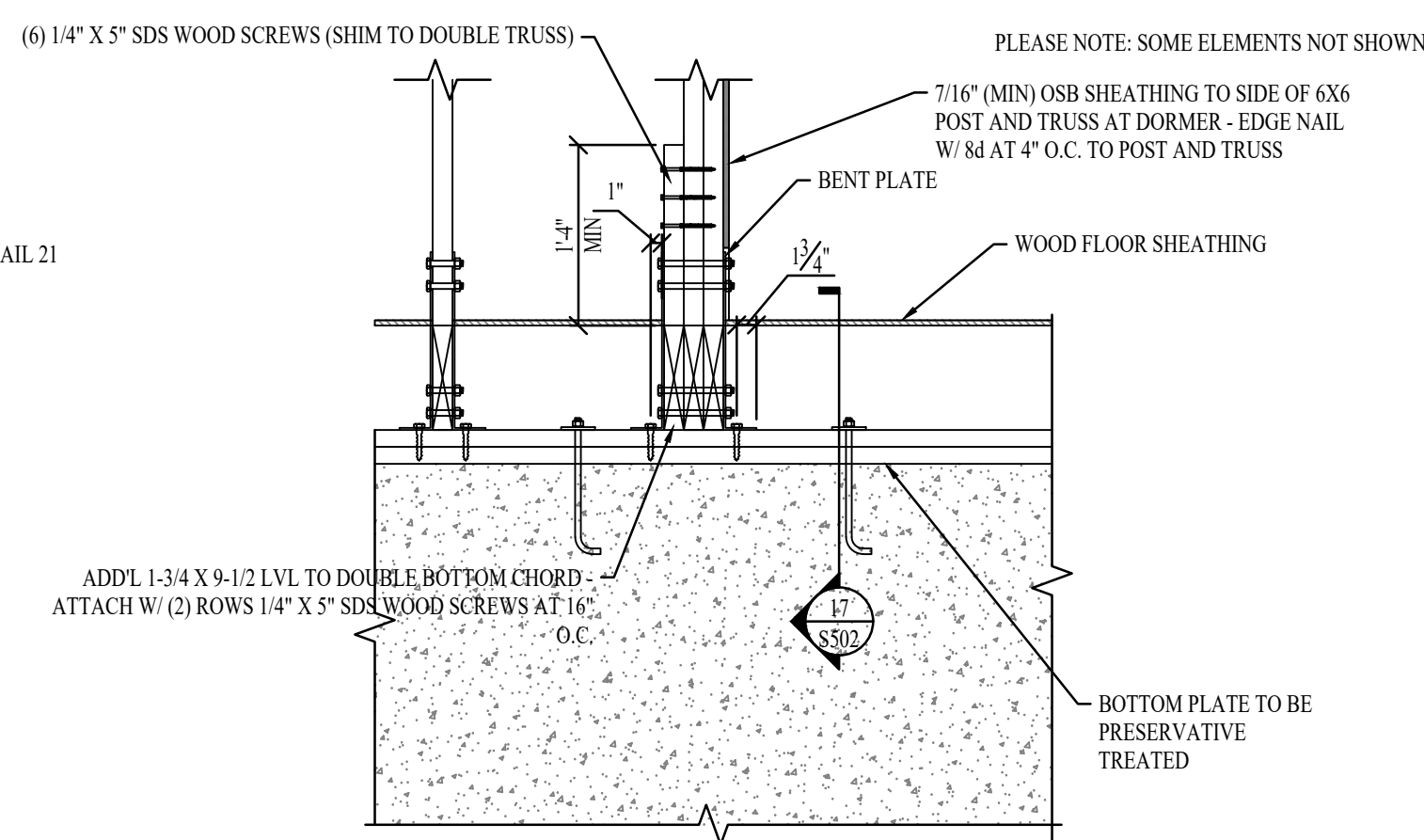
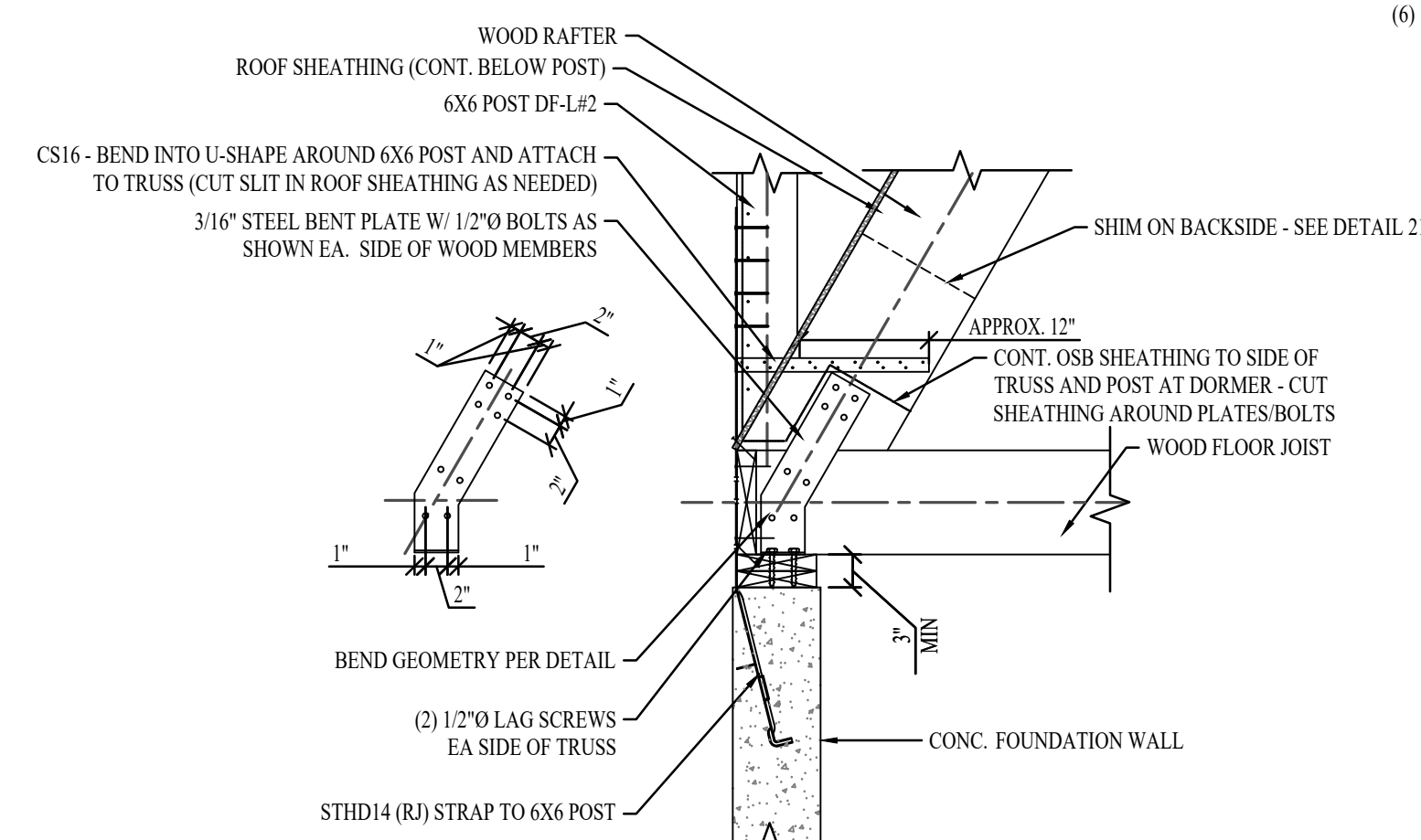
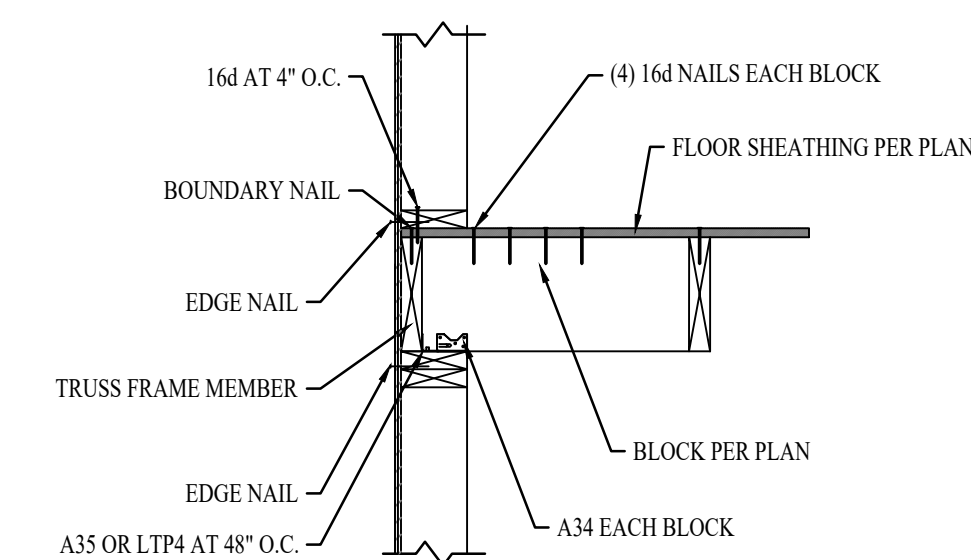
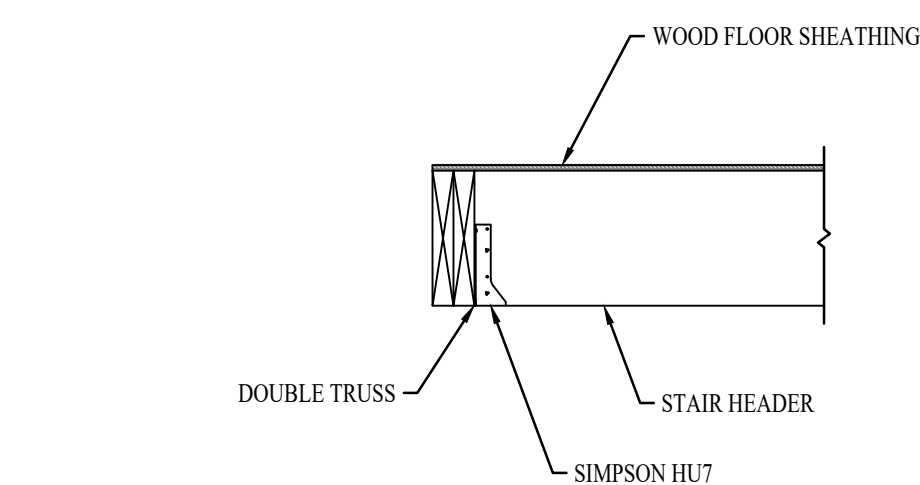
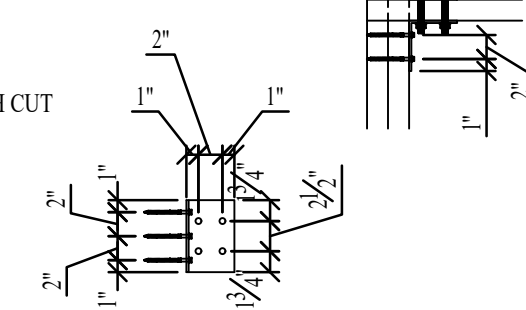
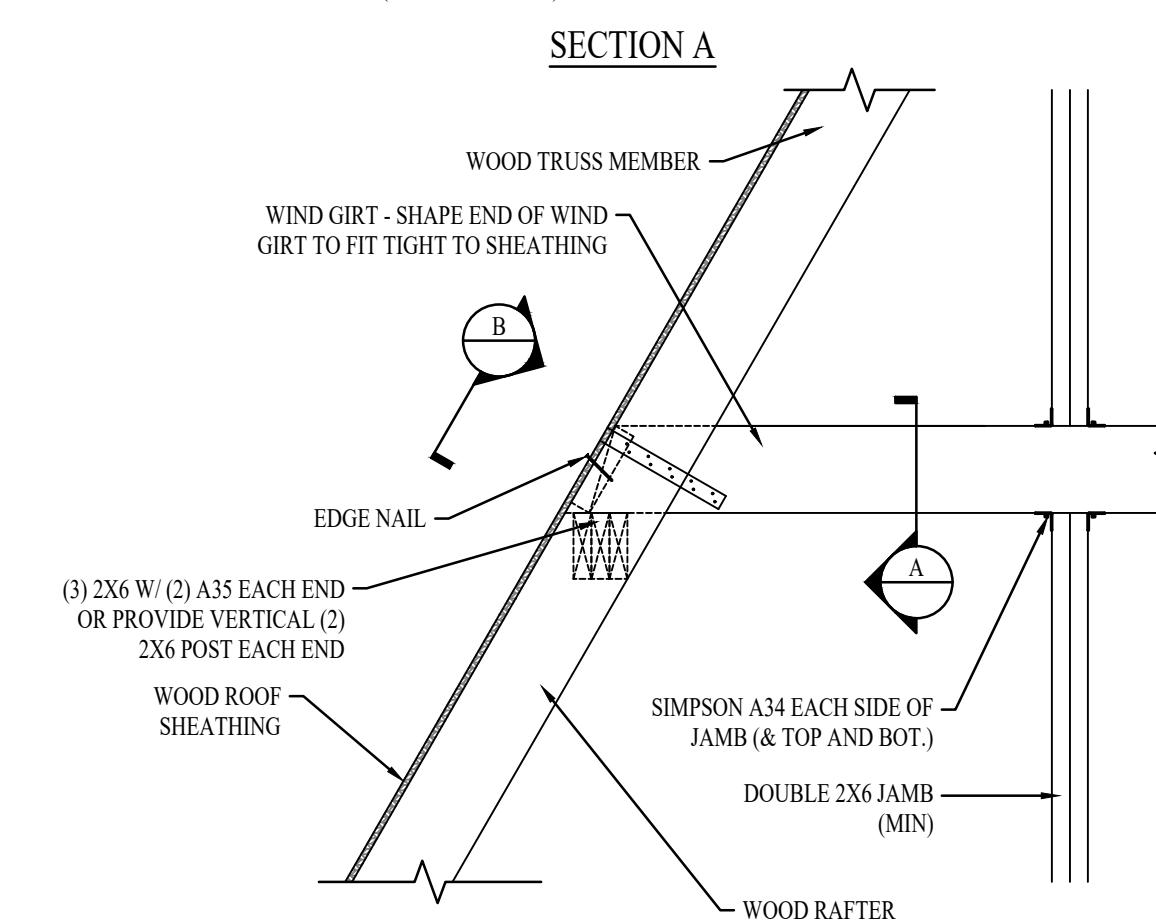
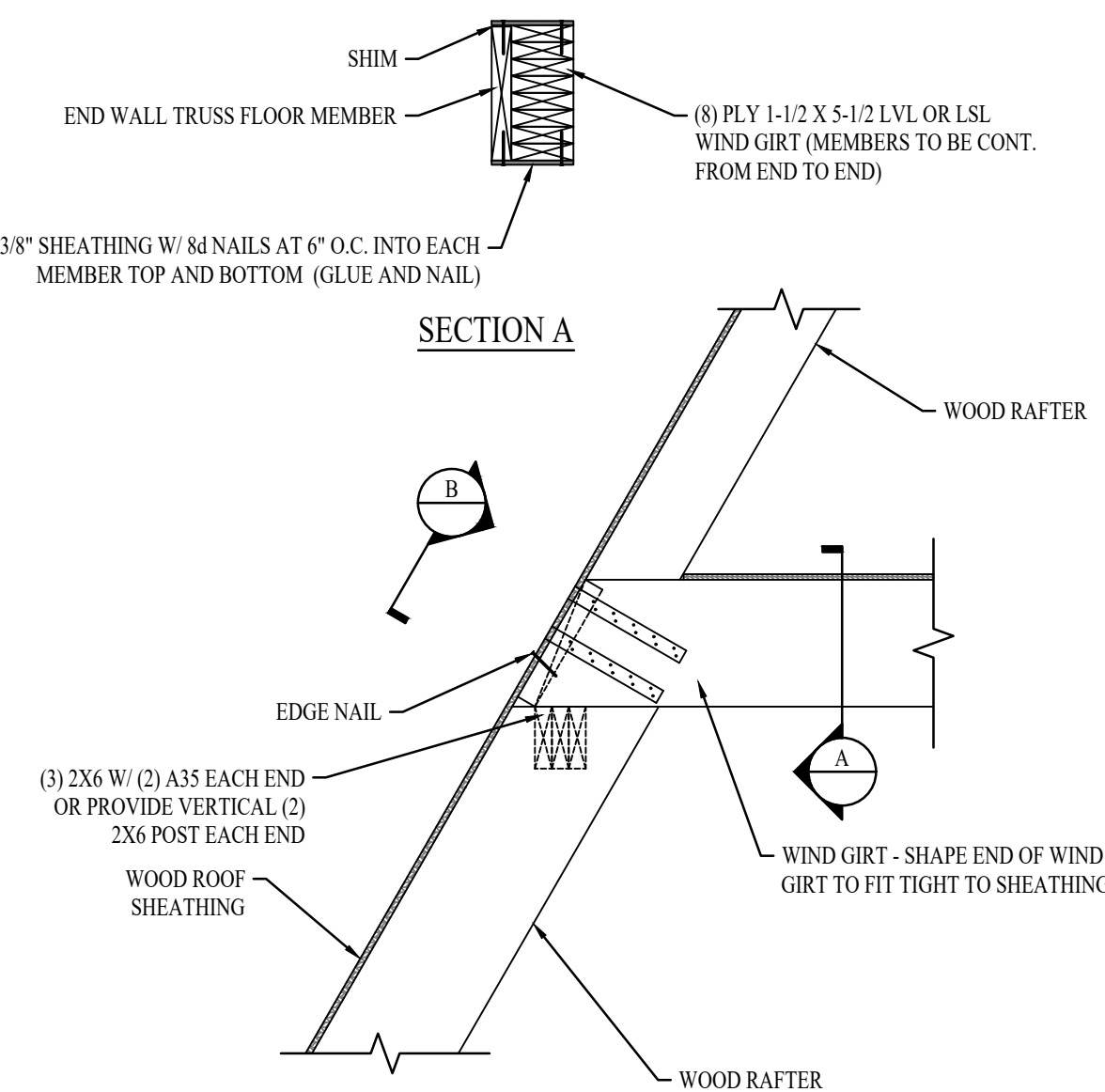
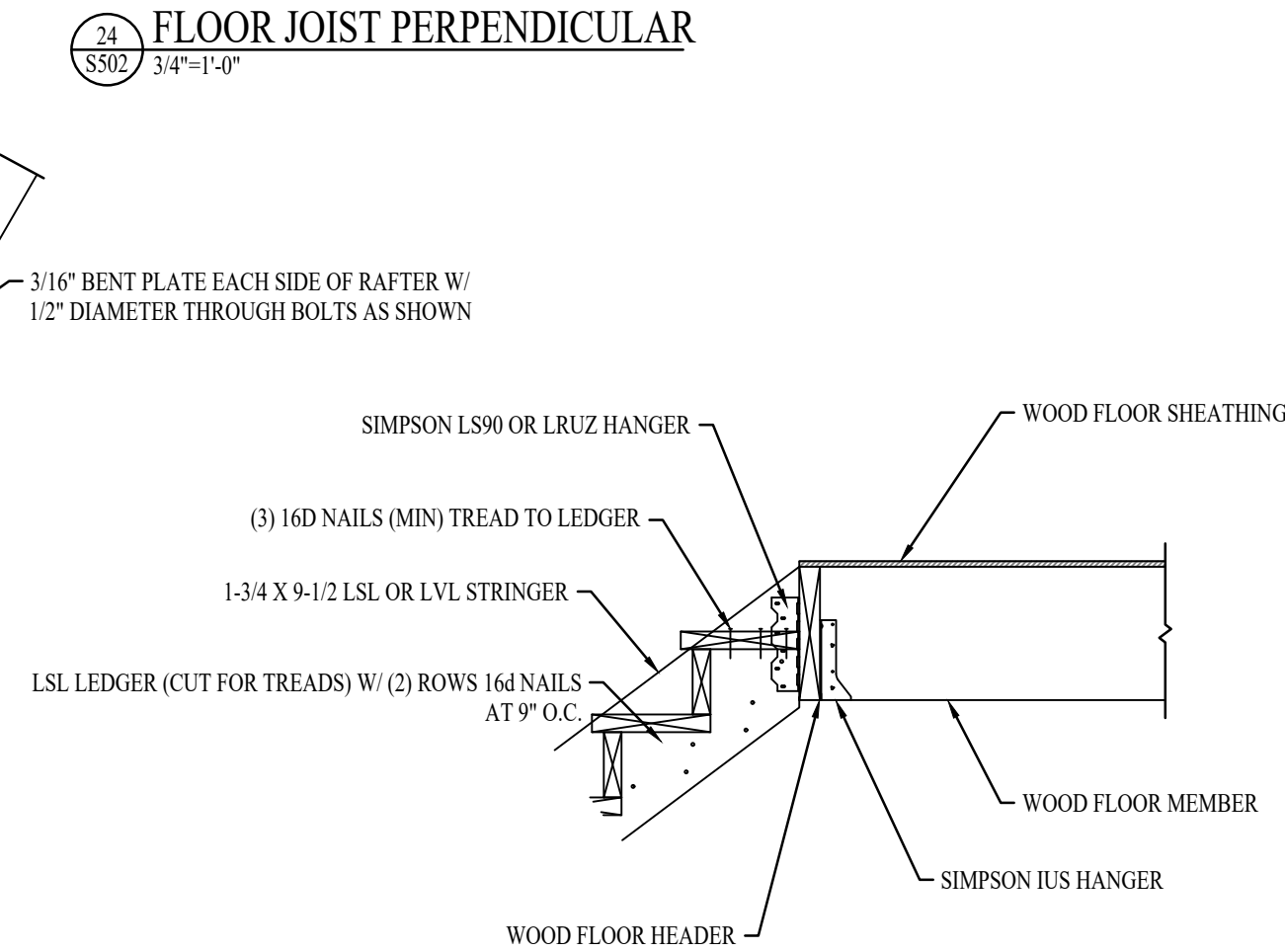
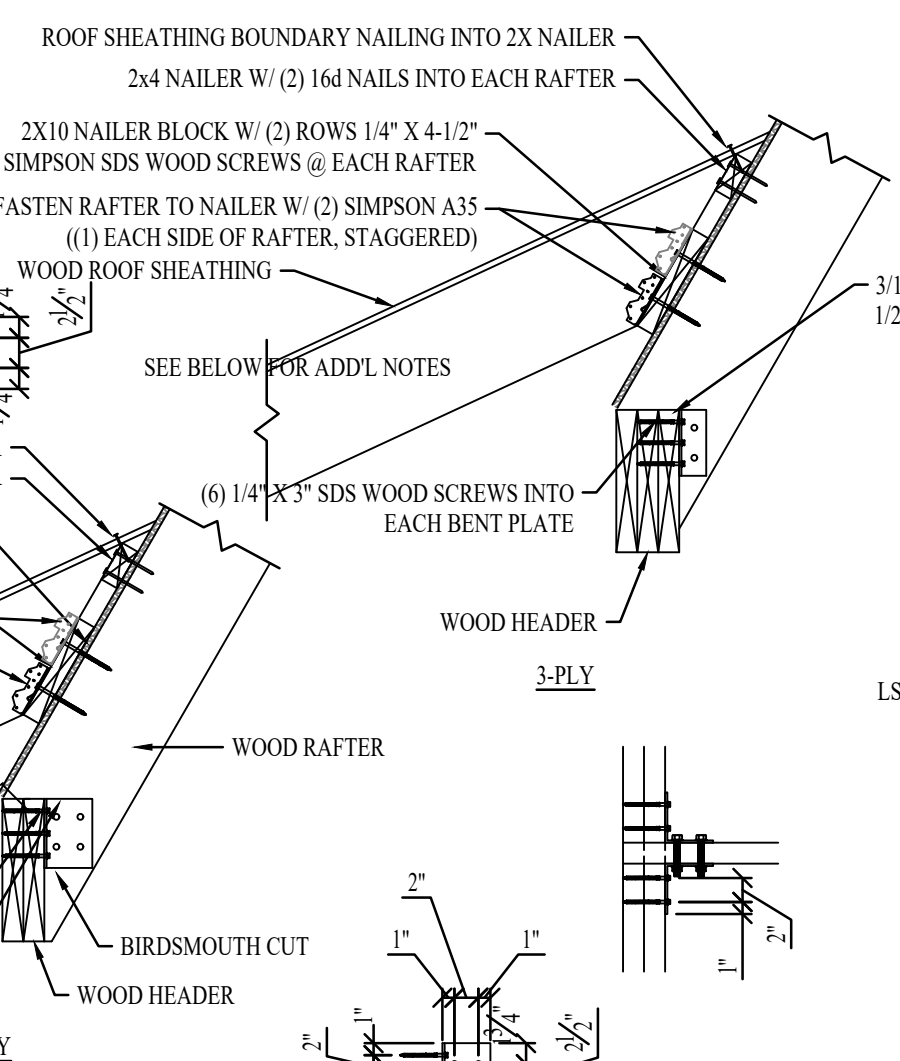
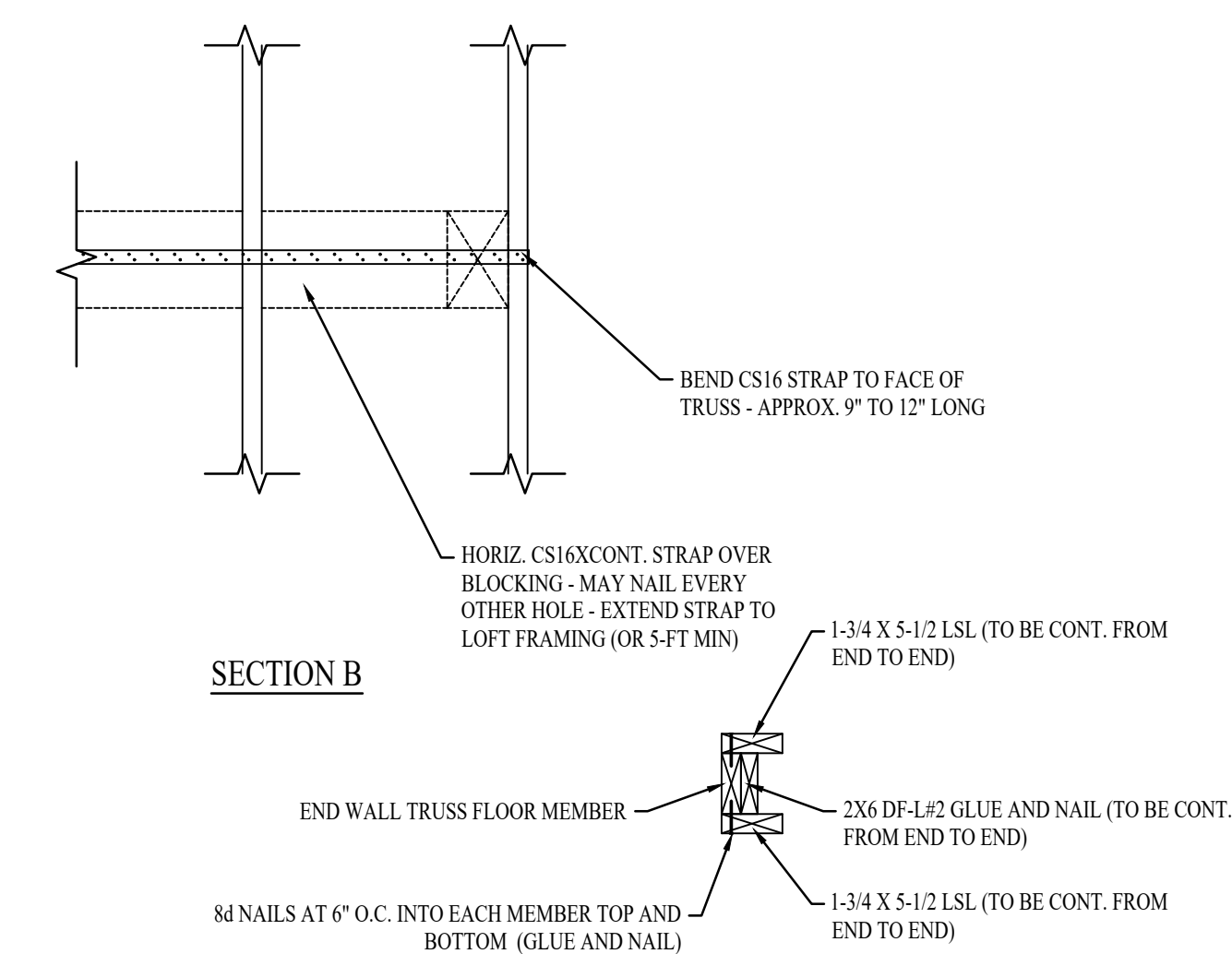
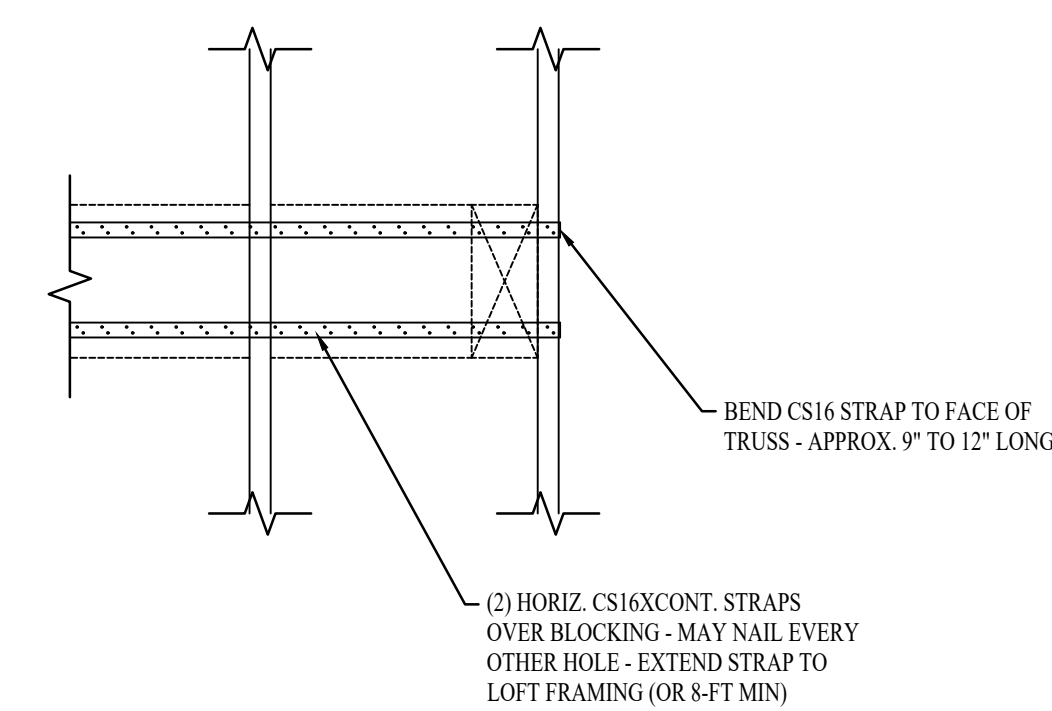
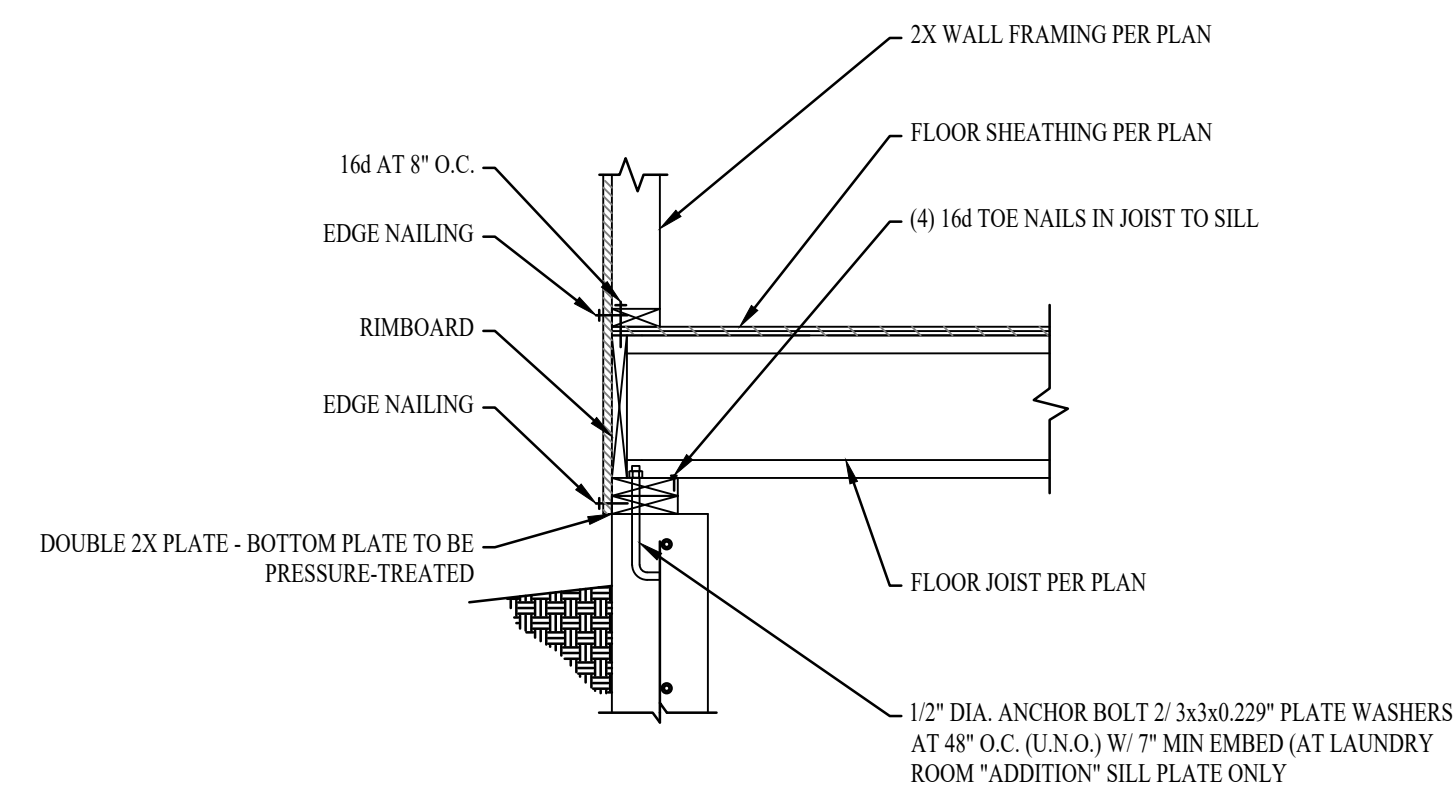
S501 / 3/4"=1'-0"



13 DORMER HEADER AT DOUBLE ROOF RAFTER

S501 / 3/4"=1'-0"

REVISIONS		
#	DESCRIPTION	DATE



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KEYNOTES

[illegible]

CITY REVIEW

RIO 120 - SCIAMMARELLA RES.
VILLAGES AT WOLF CREEK, LLC
LOT 221910001

FOR ONE
FOR:
AVRAME U.S.A.

PLAN:	20003.010
-------	-----------

DATE: 04/20/2022

SHEET:

BASEMENT LEVEL:
1,101 S.F.

0500

MAIN LEVEL:
1,242 S.F.

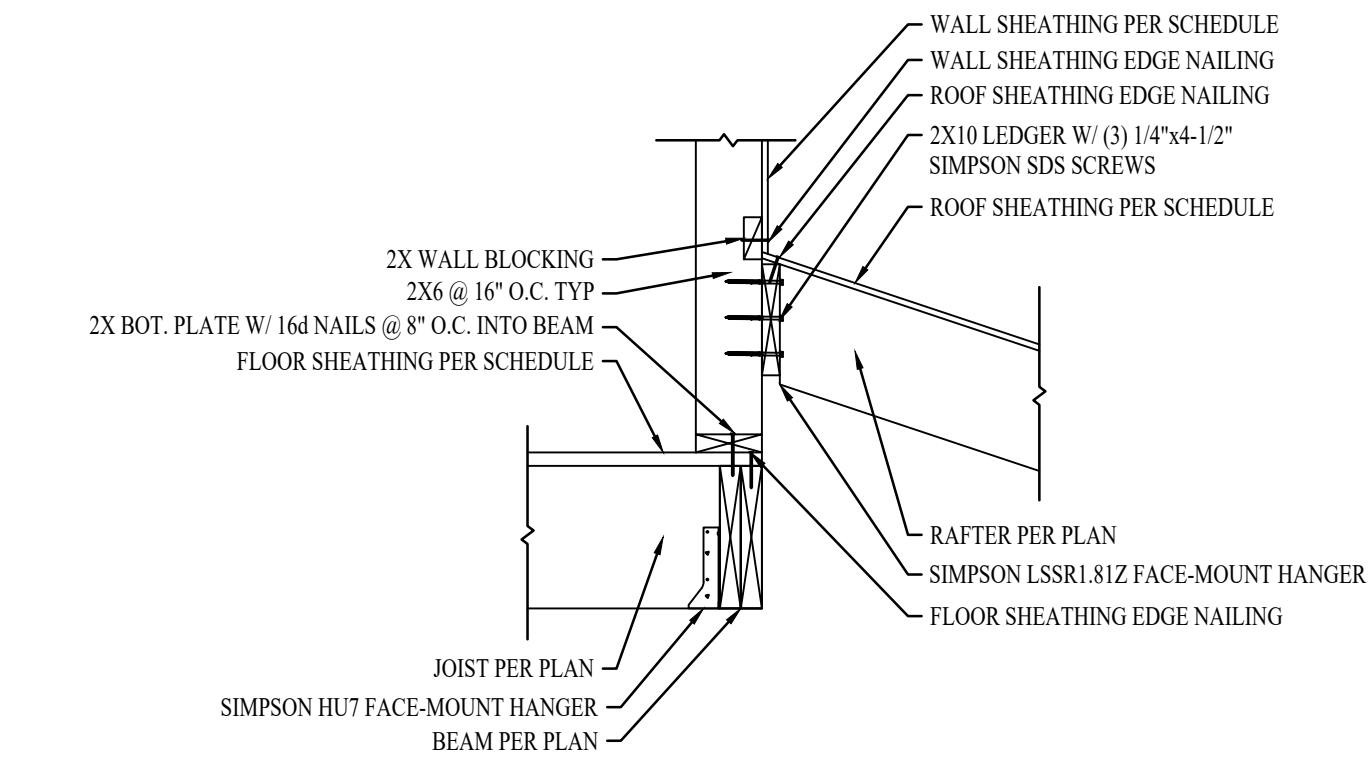
S502

UPPER LEVEL:
451 S.F.

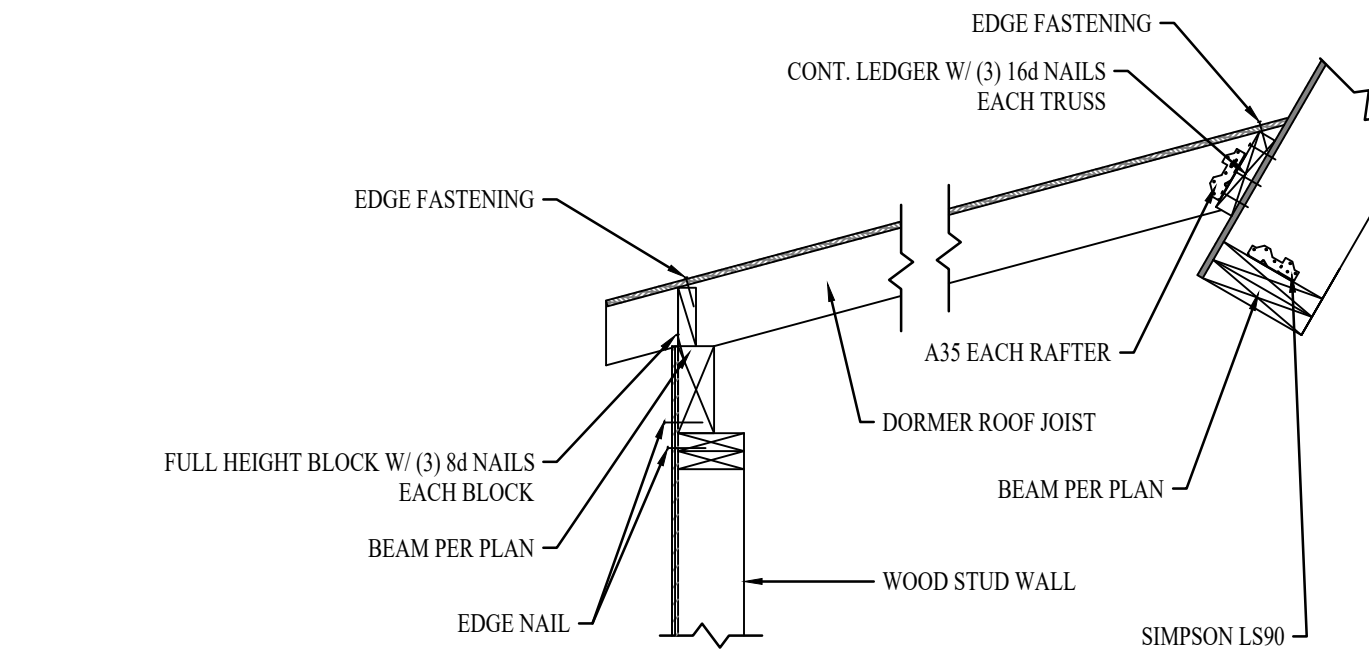
TOTAL FINISHED:
2,784 S.F.

TOTAL FINISHED:
2,784 S.F.

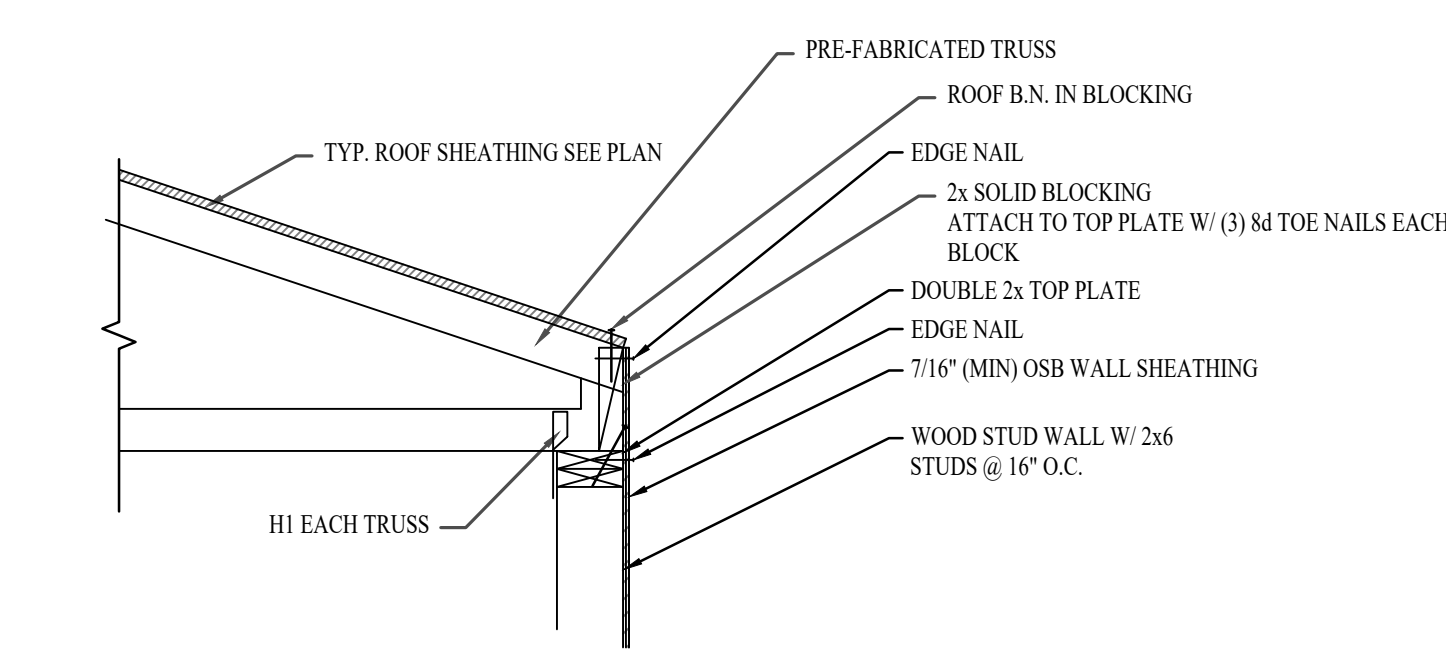




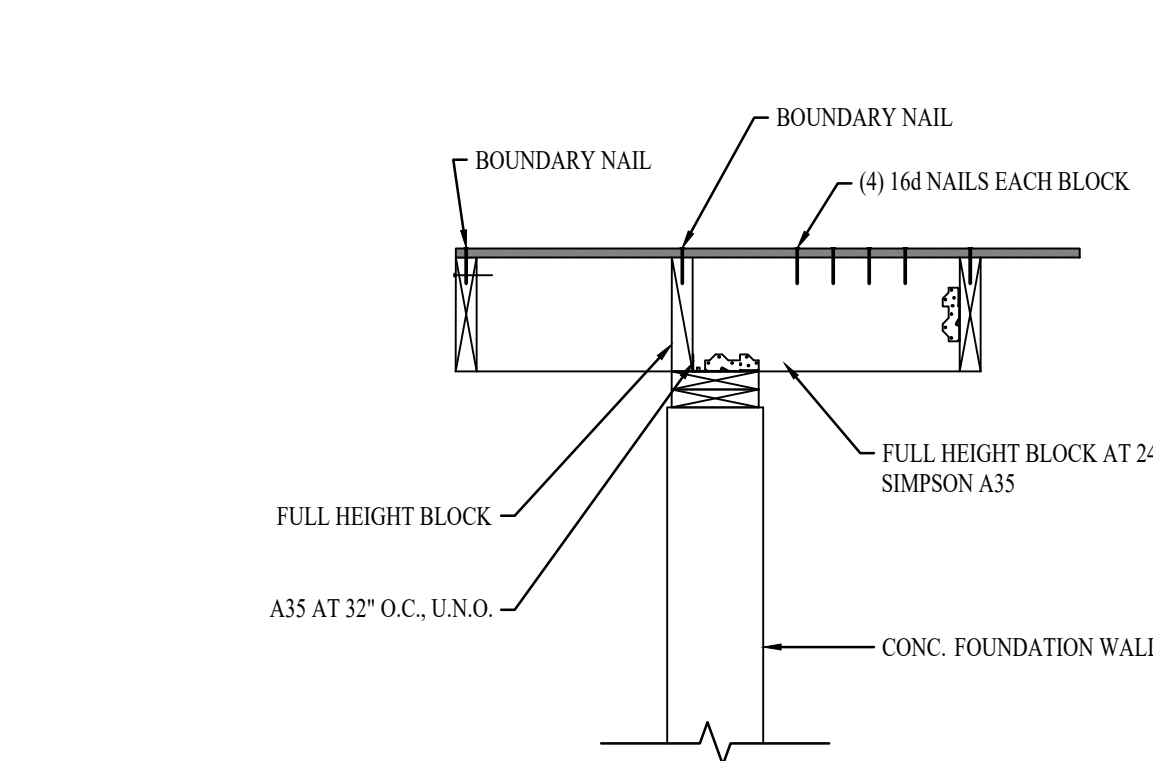
35 UPPER DORMER WALL TO LOFT FLOOR
S503 3/4"=1'-0"



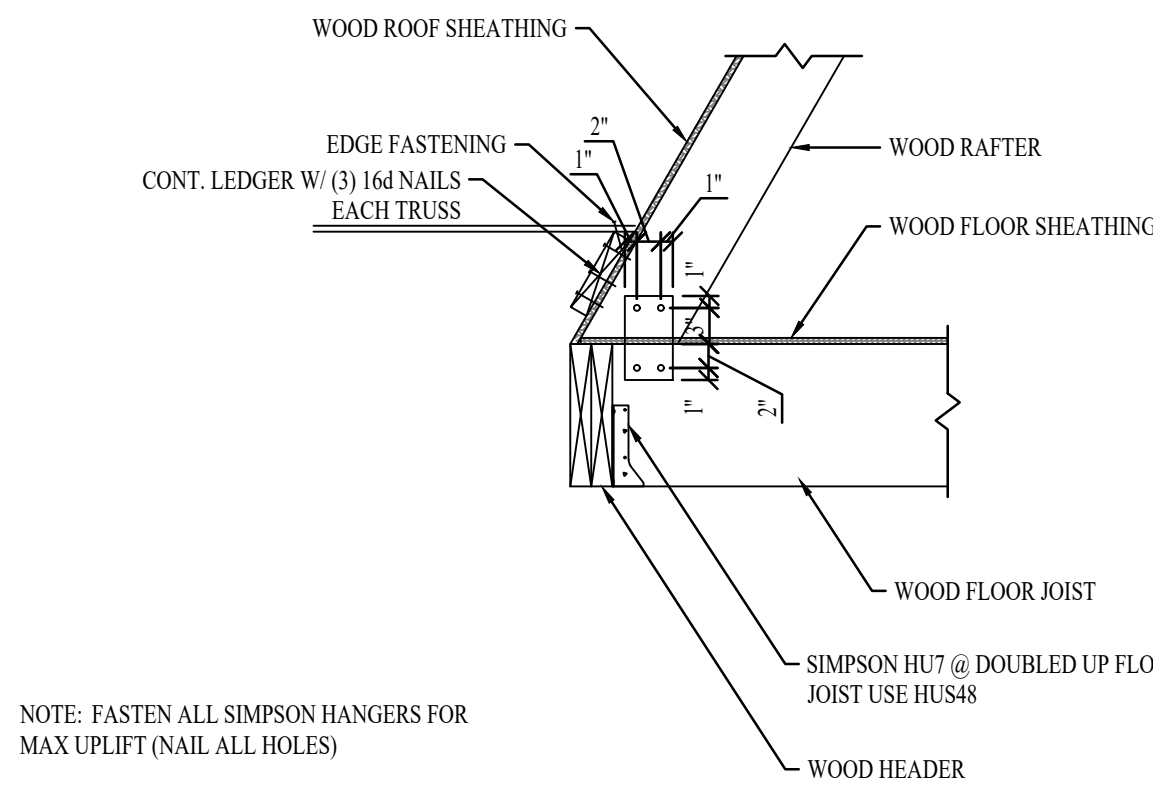
34 UPPER DORMER ROOF
S503 3/4"=1'-0"



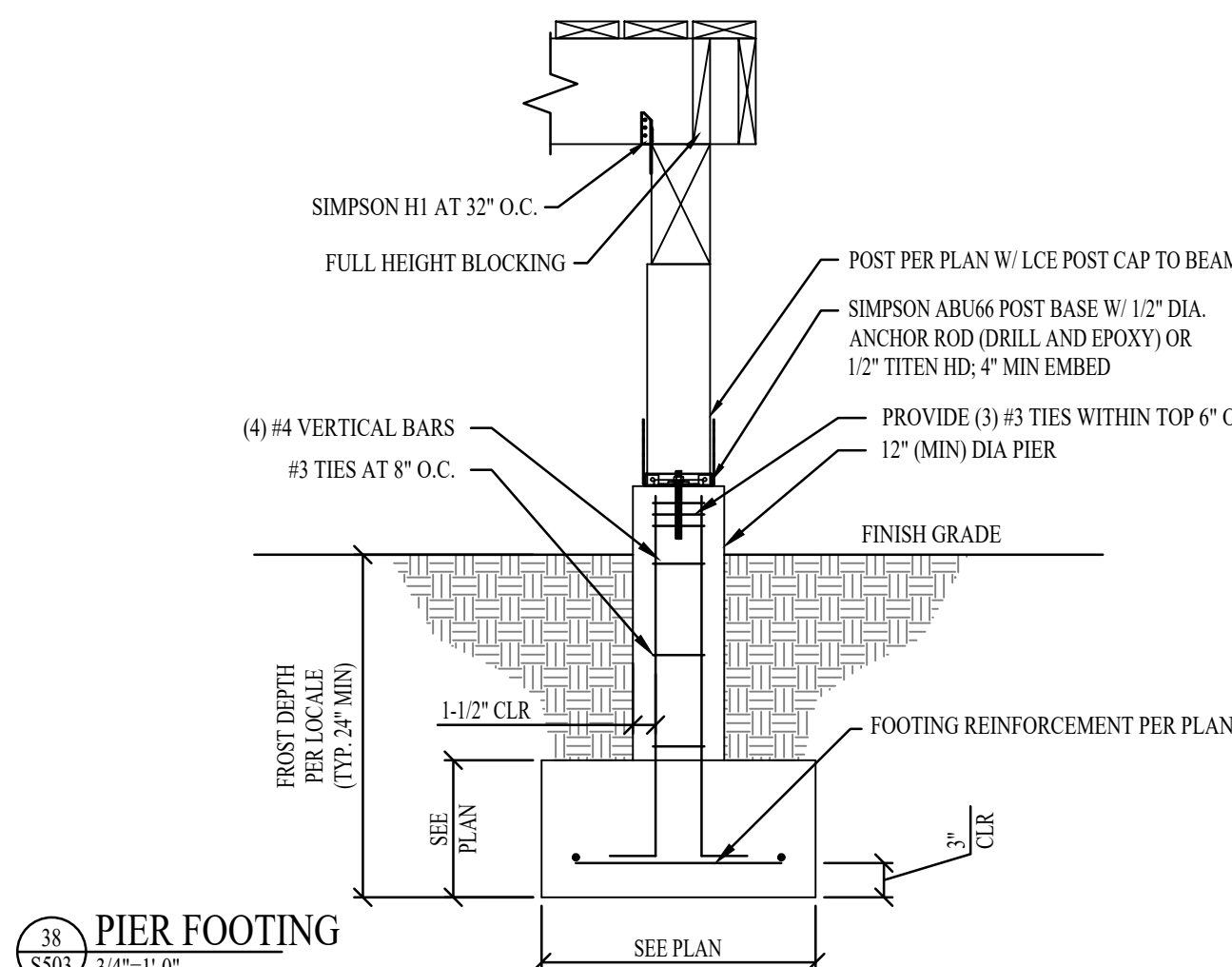
33 TRUSS TO WALL
S503 3/4"=1'-0"



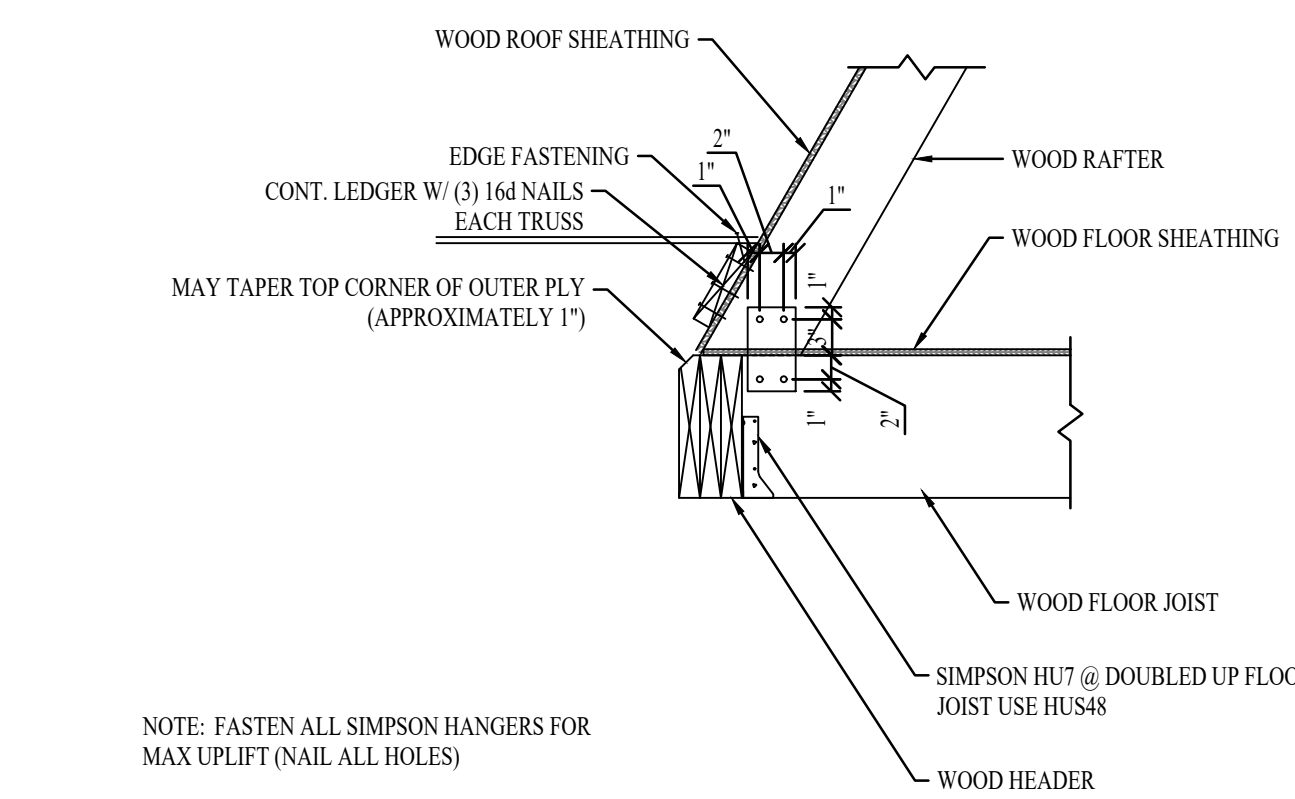
32 CANTILEVER AT CLOSET
S503 3/4"=1'-0"



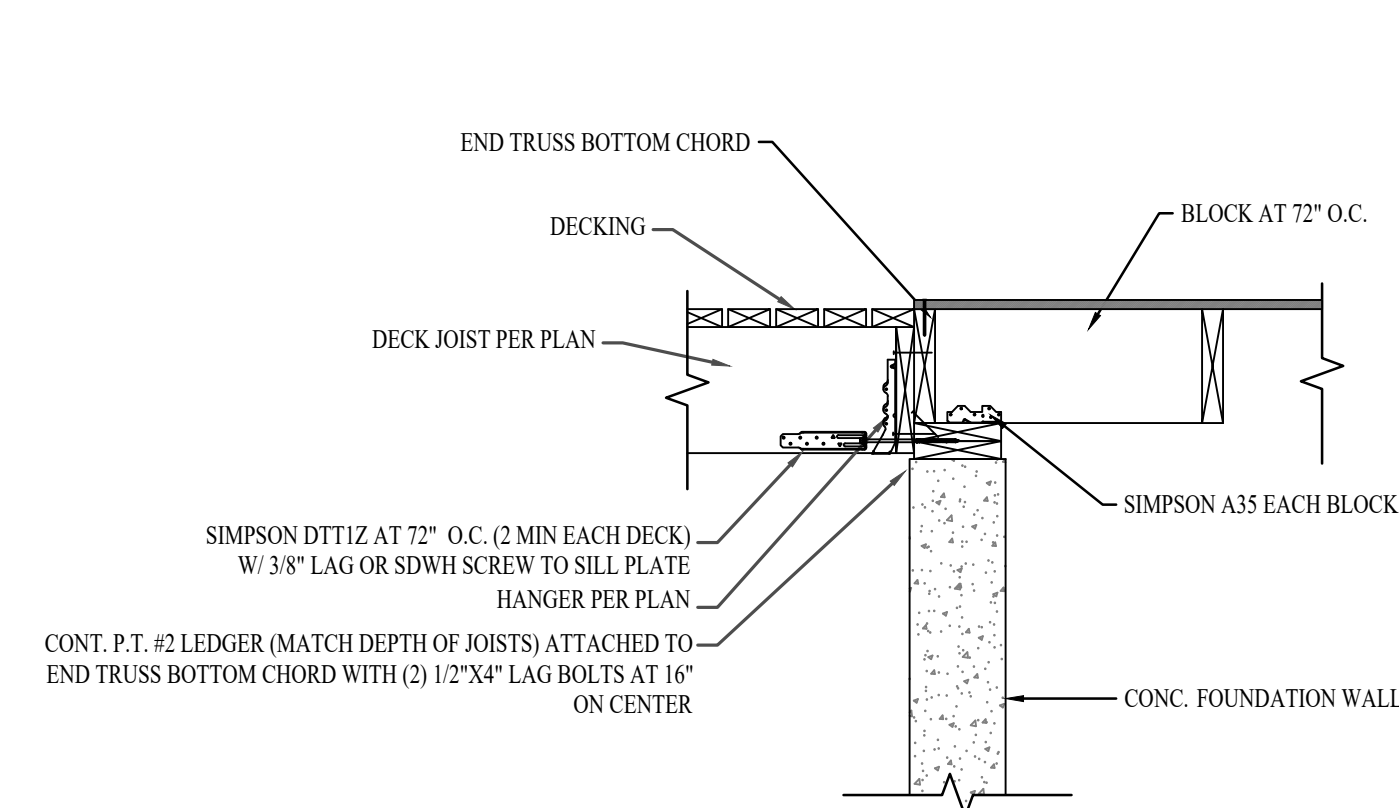
39 SECTION THROUGH DORMER FRAMING
S503 3/4"=1'-0"



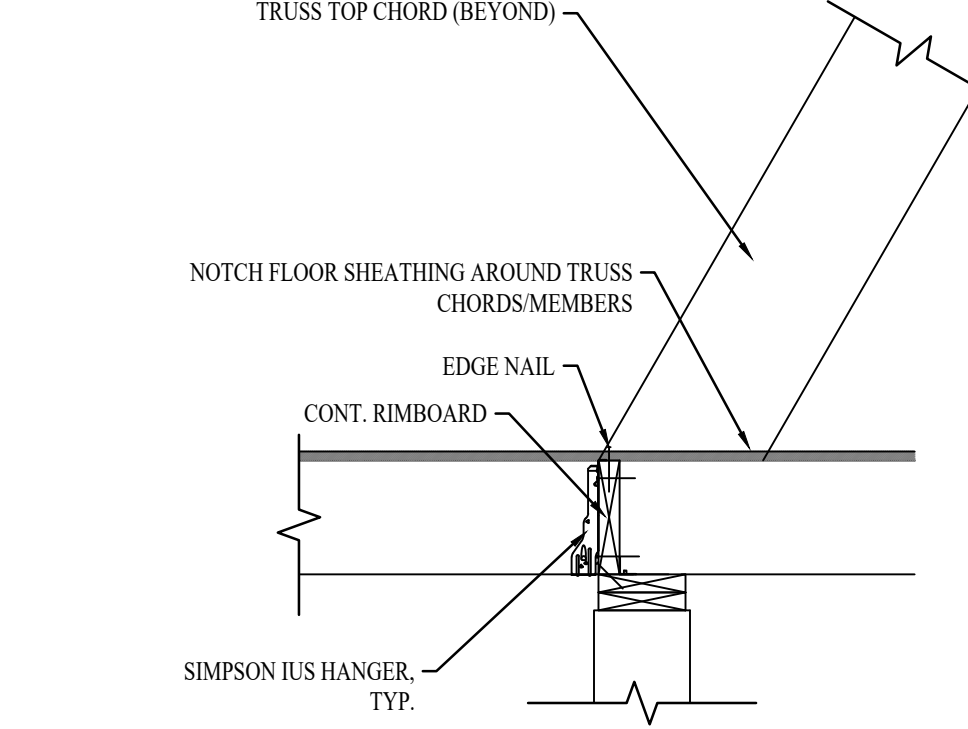
38 PIER FOOTING
S503 3/4"=1'-0"



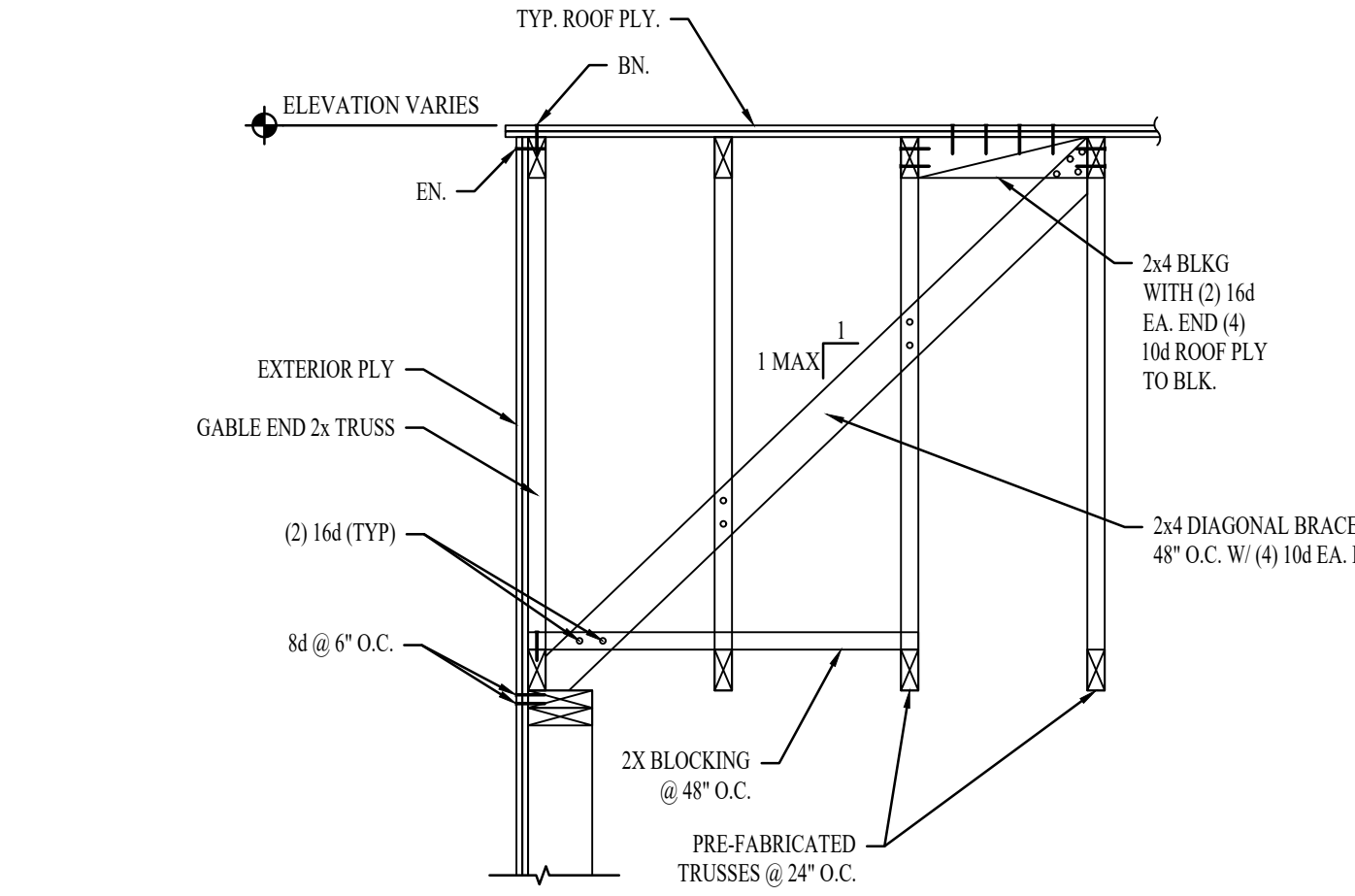
37 SECTION THROUGH DORMER FRAMING
S503 3/4"=1'-0"



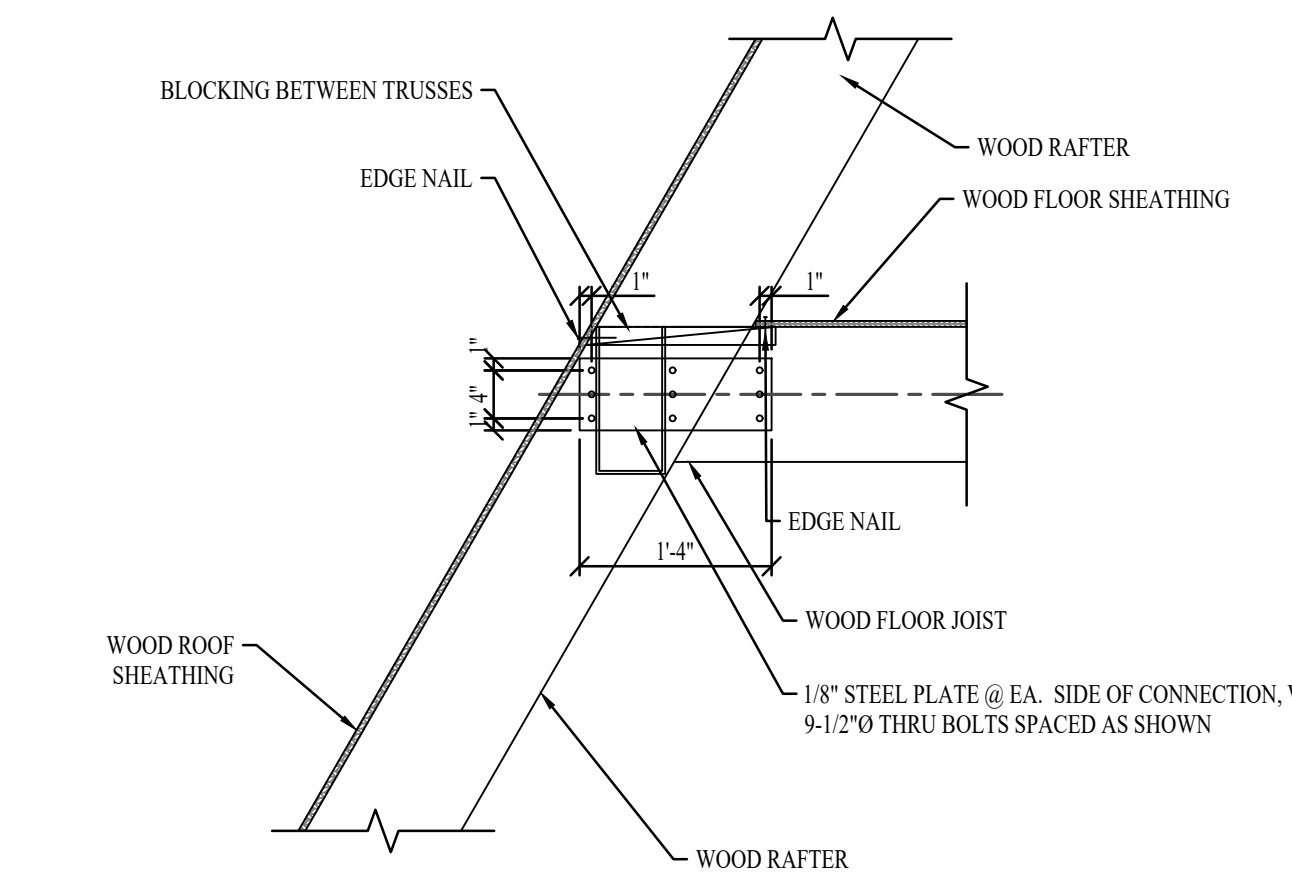
36 DECK LEDGER TO RIMBOARD
S503 3/4"=1'-0"



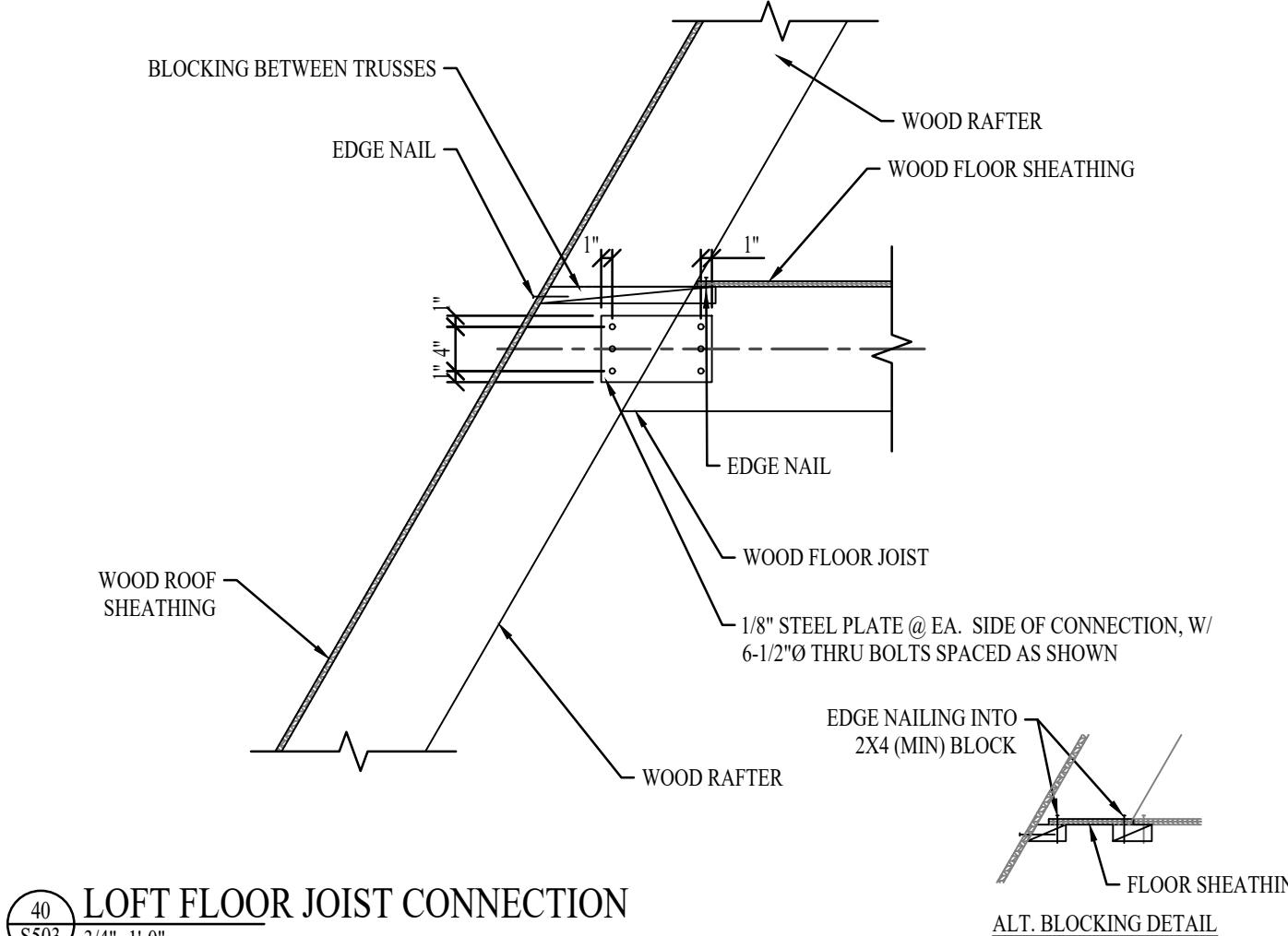
43 ENTRY JOISTS
S503 3/4"=1'-0"



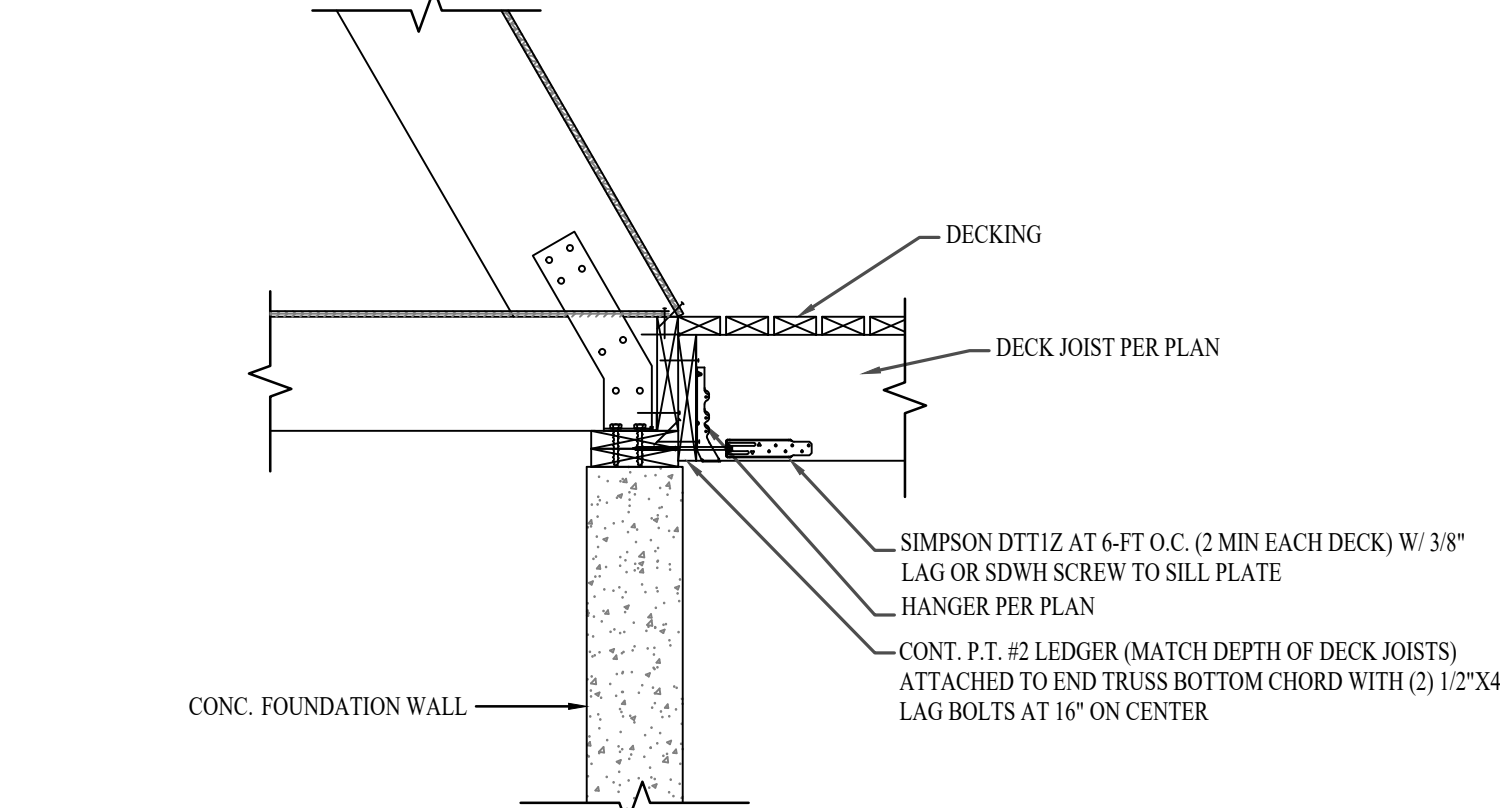
42 SECTION THROUGH FRONT ENTRY TRUSSES
S503 3/4"=1'-0"



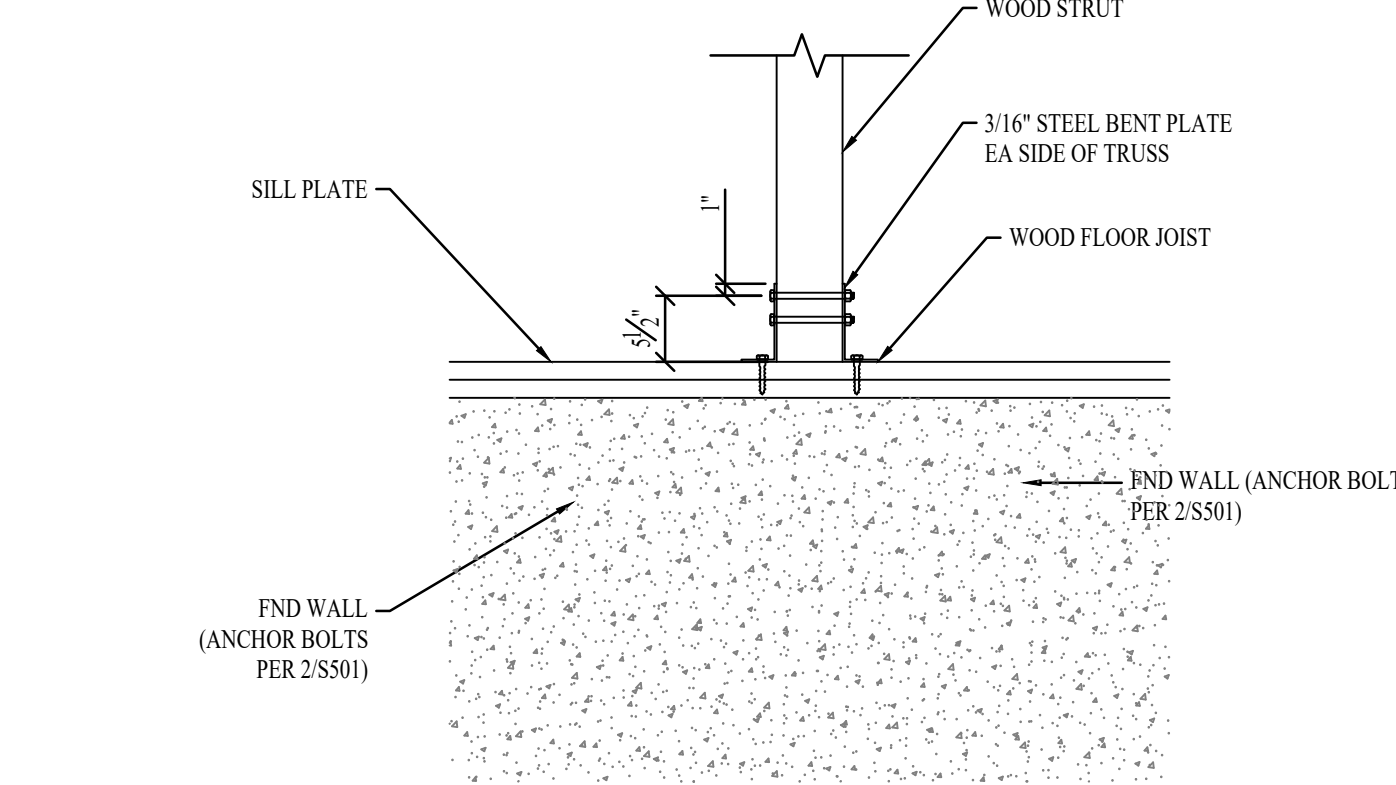
41 LOFT FLOOR JOIST CONNECTION AT GIRDER
S503 3/4"=1'-0"



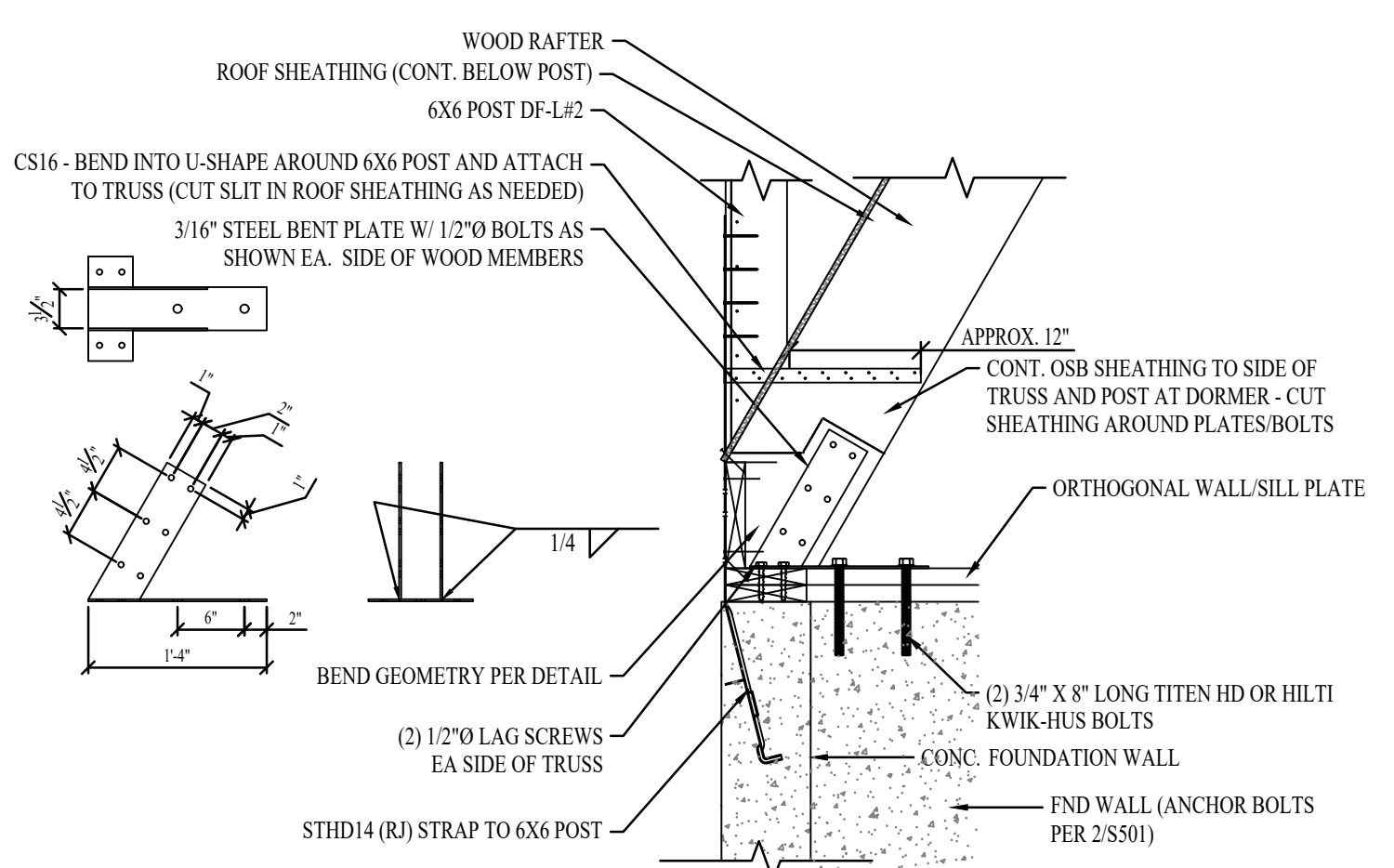
40 LOFT FLOOR JOIST CONNECTION
S503 3/4"=1'-0"



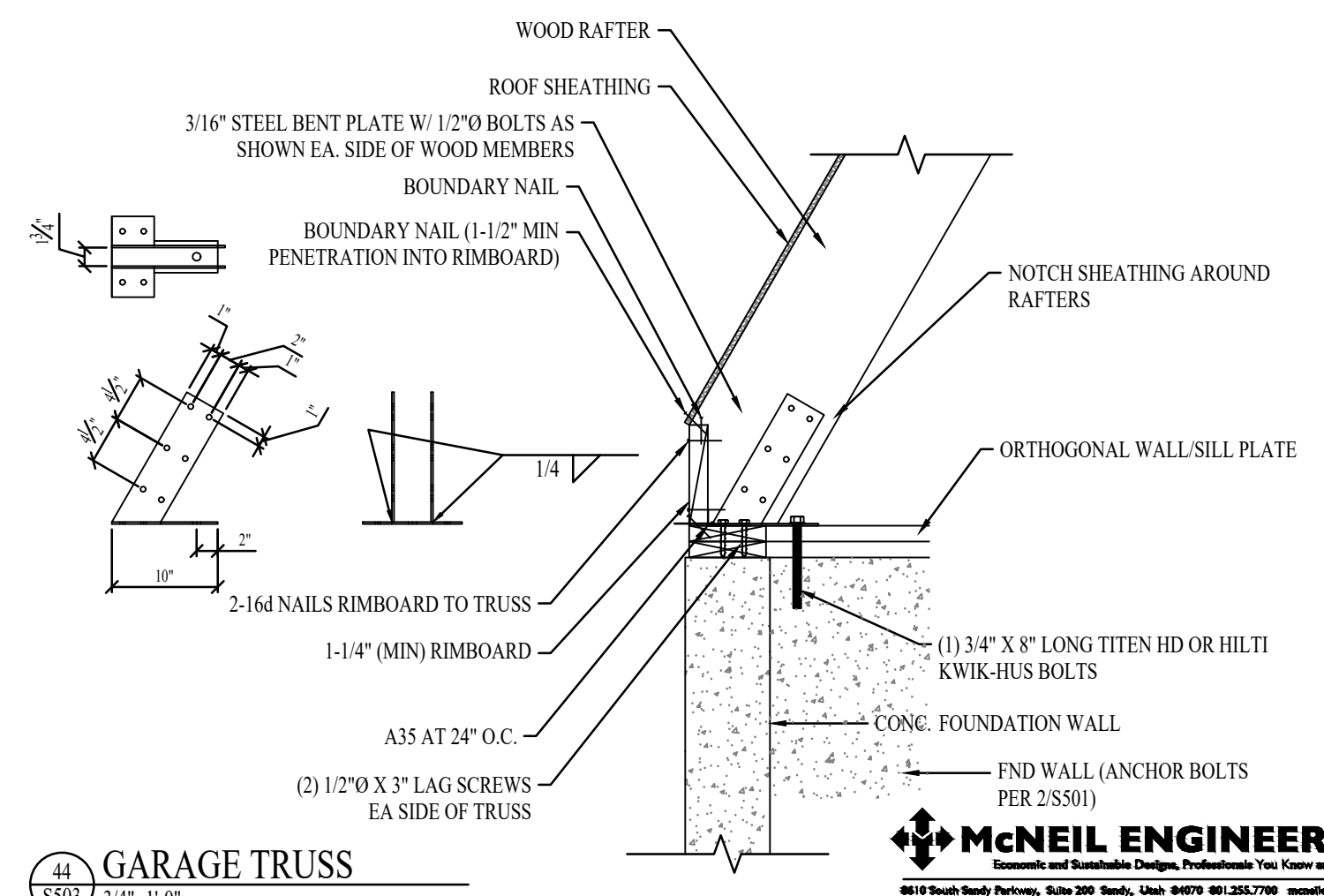
47 DECK LEDGER TO RIMBOARD
S503 3/4"=1'-0"



46 STRUT TO FND
S503 3/4"=1'-0"



45 GARAGE GIRDER
S503 3/4"=1'-0"



44 GARAGE TRUSS
S503 3/4"=1'-0"



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KEYNOTES



REVISIONS		
#	DESCRIPTION	DATE

CITY REVIEW

TRIO 120 - SCIAMARELLA RES. VILLAGES AT WOLF CREEK, LLC LOT 221910001 EDEN UT, 84310		DRAWN FOR ONE TIME USE FOR: AVRAMA U.S.A.	
PLAN: 20003.010	DATE: 04/20/2022	BASEMENT LEVEL: 1,101 S.F.	
SHEET: S503		MAIN LEVEL: 1,242 S.F.	
		UPPER LEVEL: 451 S.F.	
		TOTAL FINISHED: 2,784 S.F.	





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DESIGNS ARE THE PROPERTY
OF AVFRAME U.S.A. ALL RIGHTS
ARE RESERVED AND SHALL
NOT BE REPRODUCED
WITHOUT WRITTEN CONSENT
OF AVFRAME U.S.A. THESE
PLANS ARE DESIGNED FOR A
ONE TIME USE FOR CONSTRUCTION OF SITE
BELOW

KEYNOTES



REVISIONS		
#	DESCRIPTION	DATE

CITY REVIEW

TRIO 120 - SCIAMMARELLA RES.
VILLAGES AT WOLF CREEK, LLC
LOT 221910001
EDEN UT, 84310

AVFRAME U.S.A.

PLAN:
20003.010

DATE:
04/20/2022

SHEET:

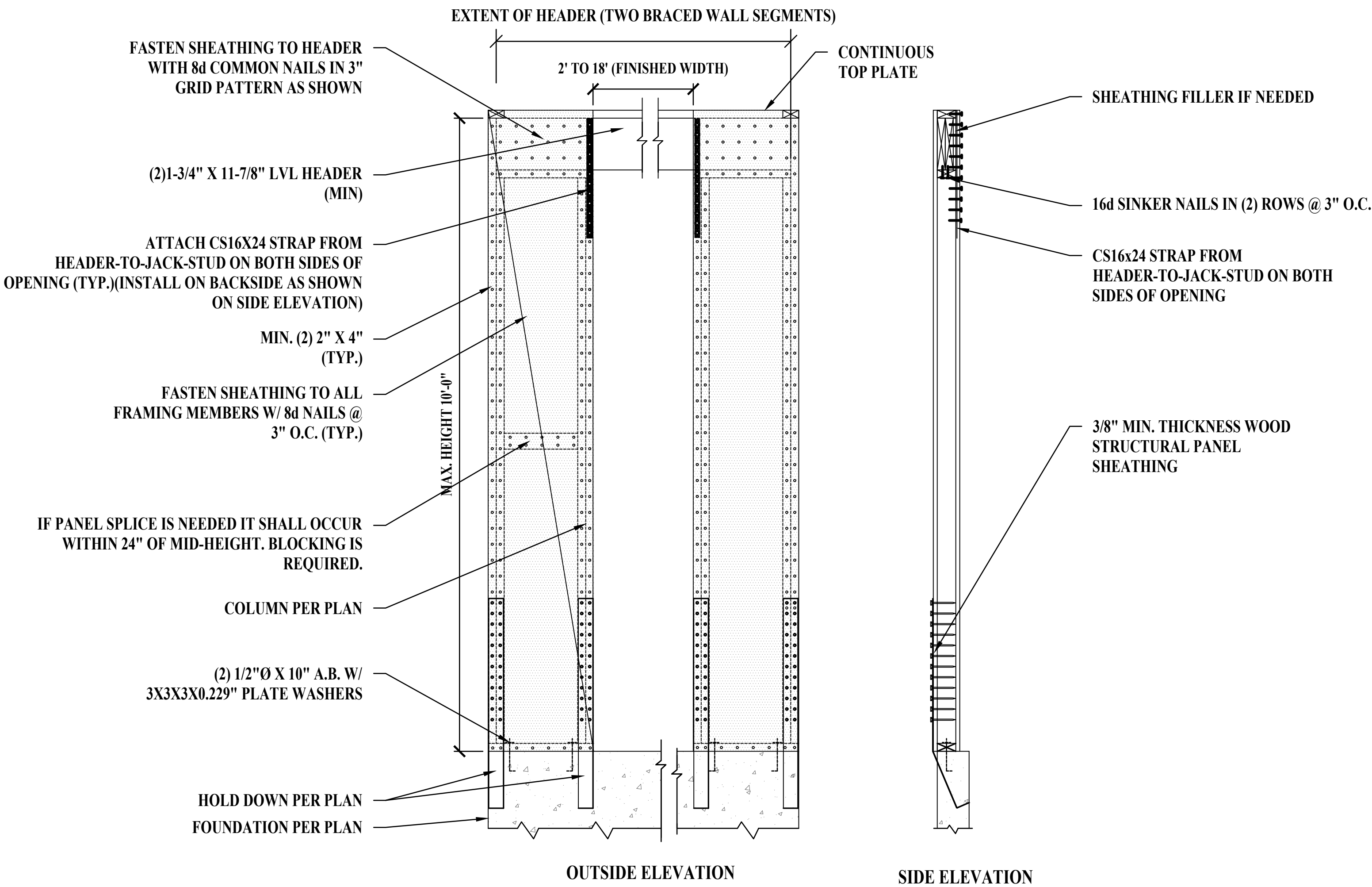
BASEMENT LEVEL:
1,101 S.F.

S504

MAIN LEVEL:
1,242 S.F.

UPPER LEVEL:
451 S.F.

TOTAL FINISHED:
2,784 S.F.

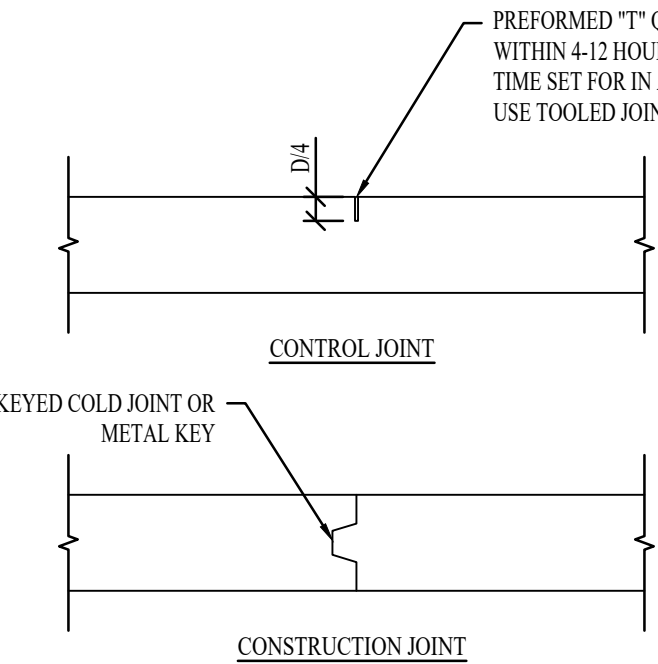
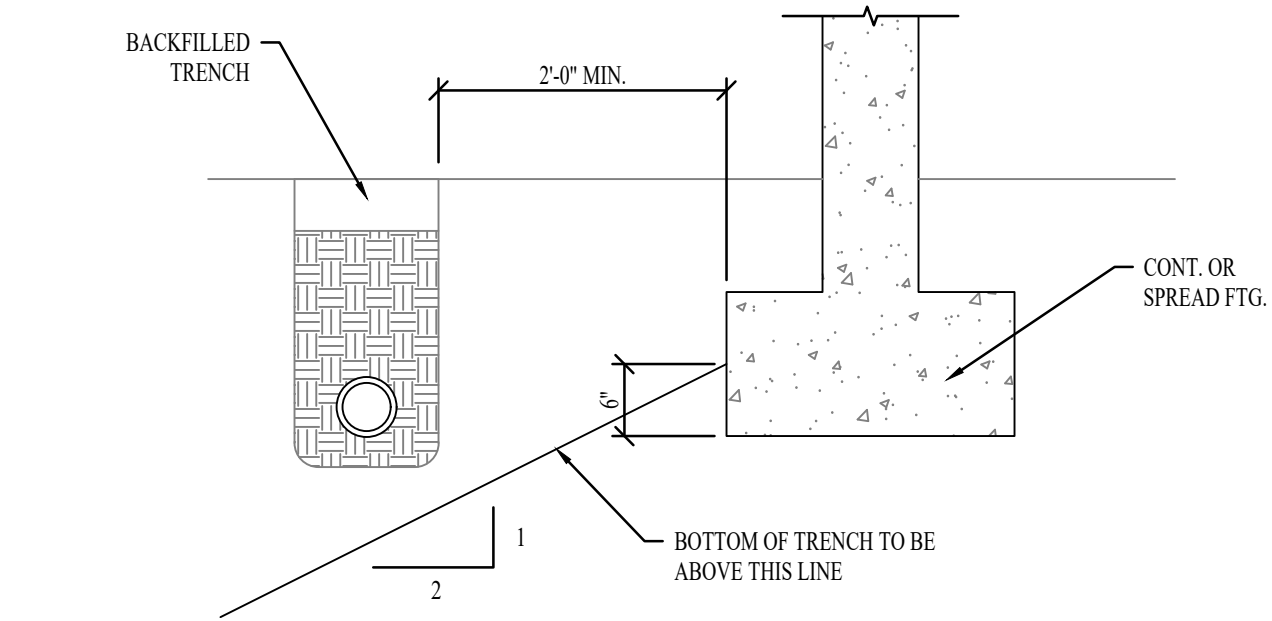
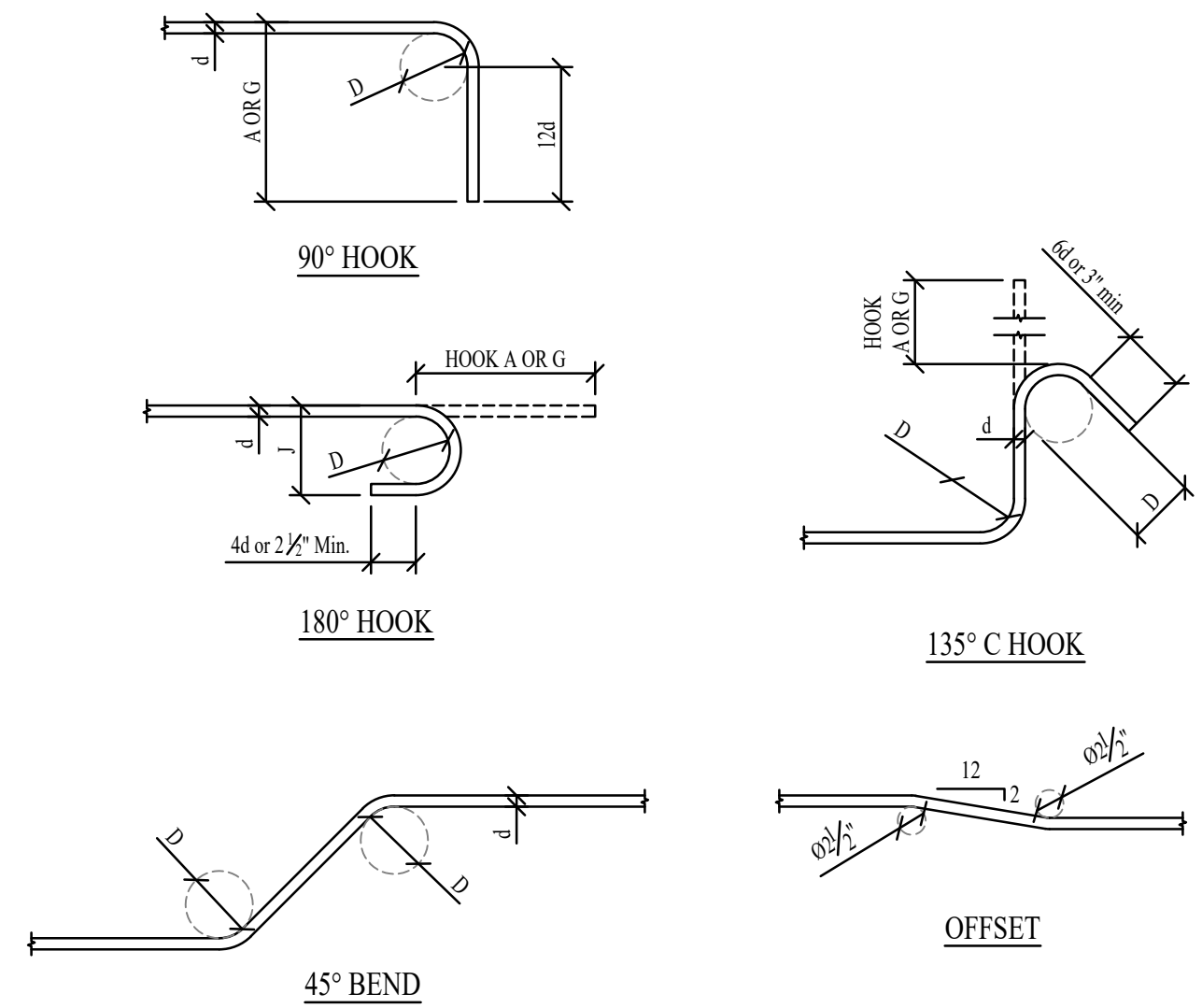


MINIMUM NAILING SCHEDULE	
CONNECTION	NAILING
1. JOIST TO SILL OR GIRDER, TOP NAIL	3-8d
2. BRIDGING TO JOIST, TOP NAIL EACH END	2-8d
3. 1"x6" SUB FLOOR TO EACH JOIST, FACE NAIL	3-8d
4. WIDER THAN 1"x6" SUB FLOOR TO EACH JOIST, FACE NAIL	3-2d
5. 2" SUB FLOOR TO JOIST OR GIRDER, BLIND END FACE NAIL	3-2d
6. SOLE PLATE TO JOIST OR BLOCKING	16d @ 16" O.C.
7. TOP PLATE TO STUD END NAIL	2-16d
8. STUD TO SOLE PLATE NAIL	4-8d, TOP NAIL OR 2-16d END NAIL
9. DOUB. L.T. STUDS, FACE NAIL	16d @ 24" O.C.
10. DOUB. L.T. TOP PLATES, FACE NAIL	16d @ 16" O.C.
11. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	3-16d
12. CONTINUOUS HEADER, TWO PLICES	16d @ 16" O.C. ALONG EACH END
13. CEILING JOISTS TO PLATE, TOP NAIL	3-8d
14. CONTINUOUS HEADER TO STUD, TOP NAIL	3-16d
15. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-8d
16. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-8d
17. RAFTER TO PLATE, TOP NAIL	3-8d
18. 1" BRACE TO EACH STUD AND PLATE, FACE NAIL	3-8d
19. 1"x8" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	3-8d
20. WIDER THAN 1"x8" SHEATHING TO EACH BEARING, FACE NAIL	3-24d
21. BUILD-UP CORNER STUD	16d @ 24" O.C.
22. BUILD-UP GIRDER AND BEAMS:	20d @ 32" O.C. AT TOP AND BOTTOM AND STAGGERED 2-20d AT ENDS AND AT EACH PLICE
23. 2" PLANKS	2-16d AT EACH BEARING

NOTES:

1. COMMON NAILS SHALL BE USED EXCEPT WHERE OTHERWISE STATED. SEE GENERAL STRUCTURAL NOTES.

CONCRETE REINFORCING BAR DEVELOPMENT AND LAP SPlice LENGTH SCHEDULE					
BAR SIZE	F _c = 2500 PSI				
	Ld	Li	Lsb	Lsbt	
#3	18"	23"	23"	30"	
#4	24"	31"	31"	41"	
#5	30"	39"	39"	51"	
#6	36"	47"	47"	61"	

[illegible]

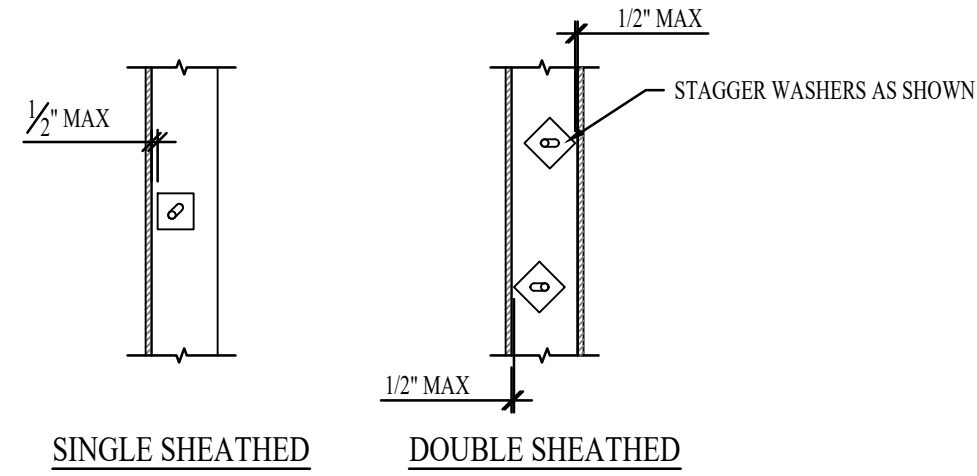
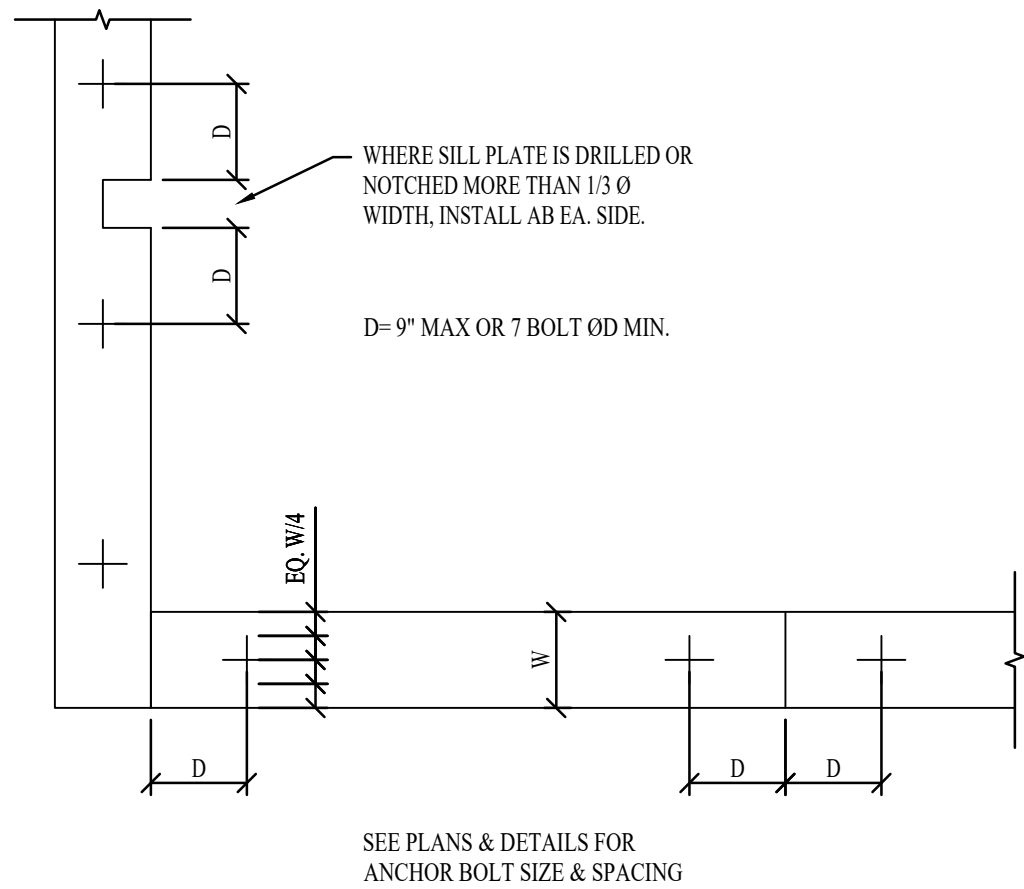
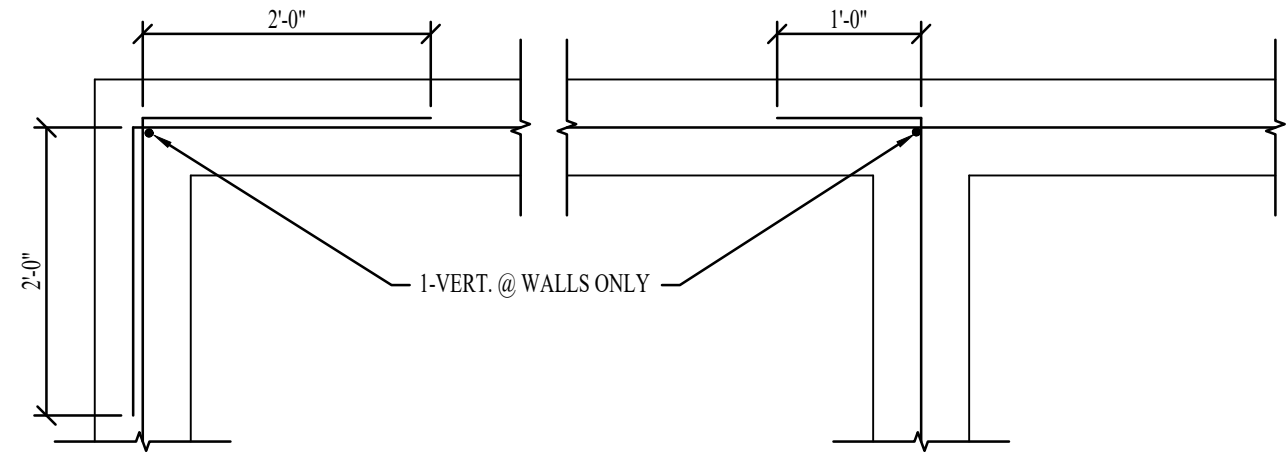
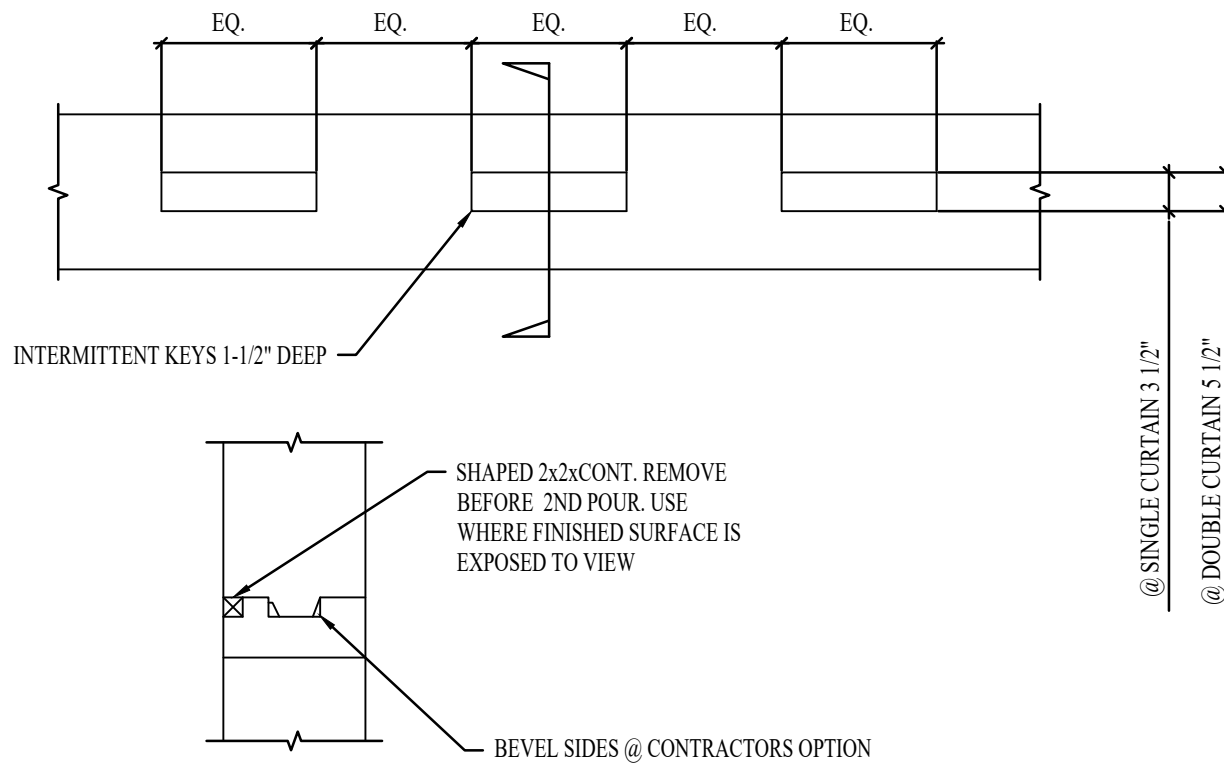
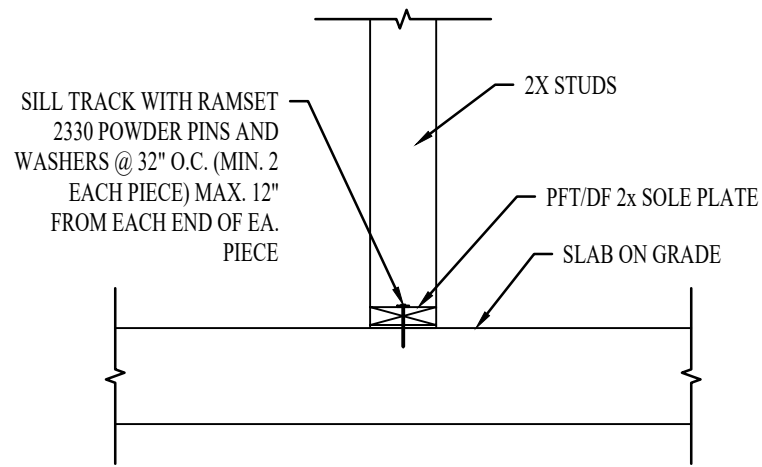
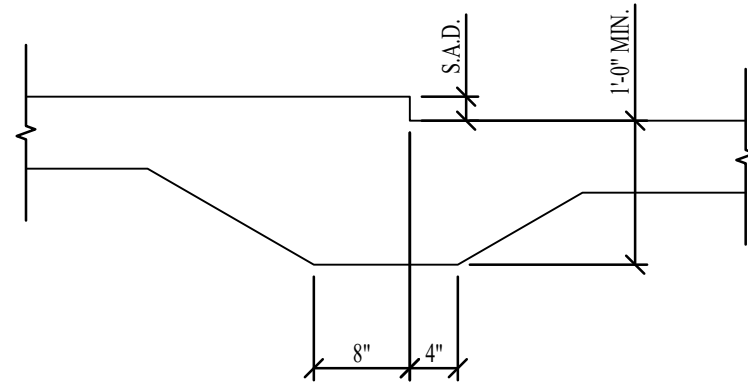
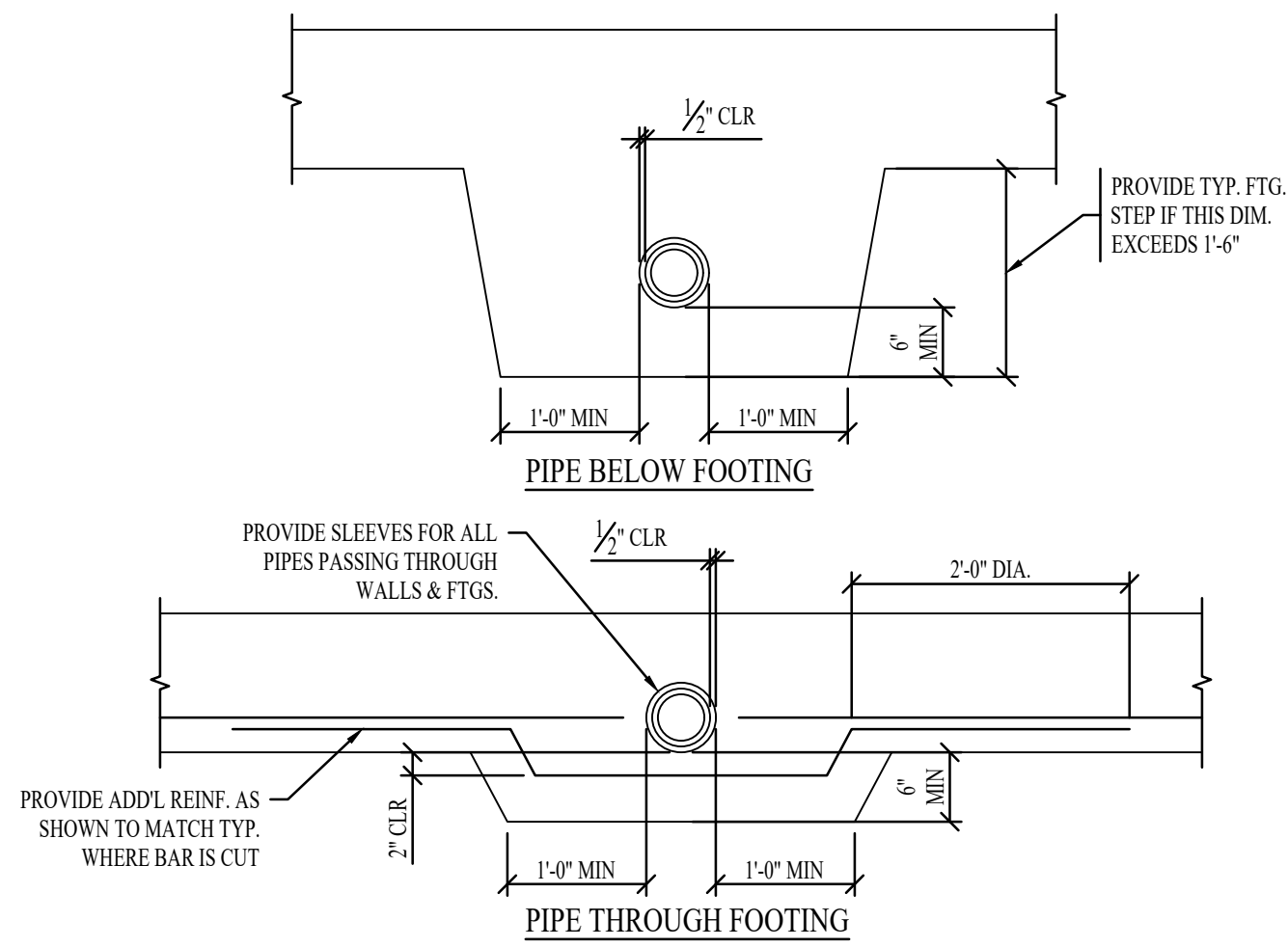
CONSTRUCTION JOINT NOTES

INSTALL SO STRENGTH AND APPEARANCE OF
CONCRETE ARE NOT IMPAIRED, AT LOCATION
INDICATED OR AS APPROVED BY ARCHITECT

SPACE CONTROL AND/OR CONSTRUCTION JOINTS AT
30 TIMES SLAB THICKNESS MAX EACH WAY UNLESS
NOTED OTHERWISE ON PLANS.

CONTROL JOINT ASPECT RATION SHOULD NOT BE MORE THAN 1.5 TO 1. ALIGN SAW CUTS TO ELIMINATE A "T" CONFIGURATION WITH THREE SIDES.

PLACE CONTROL JOINTS AT LOCATIONS WHERE SLAB THICKNESS CHANGES.



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KEYNOTES



REVISIONS		
#	DESCRIPTION	DATE

CITY REVIEW

TRIO 120 - SCIAMMARELLA RES.
VILLAGES AT WOLF CREEK, LLC
LOT 221910001

FOR ONE
E FOR:
AVRAME U.S.A.

DRAWN FOR OR
TIME USE FOR:

PLAN:
20003.010

DATE: 04/20/2022

SHEET

BASEMENT LEVEL:
1.101 S.F.

MAIN LEVEL:
4.010.05

SA

UPPER LEVEL:

451 S.F.
TOTAL FINISHED

TOTAL FINISHED:
2,784 S.F.

