#### Code Compliance

2015 IECC

#### Code Summary

#### Zone: See Site Plan

Max Height: 35' From finished grade (no more than 5' above natural grade) to top of roof (108-7-5-a). Roof structure height exception: [...] skylights, cupolas, solar panels, steeples, [...] or similar structures may be erected above the height limit of the zone in which they are located (108-7-5-b)

Climate Zone: 5B

This set of construction documents has been licensed to the customer by Kelly Swan Architecture for use in the construction of a single building. Any use of these plans outside of the aforementioned use is strictly prohibited.

These construction documents have been prepared carefully for use by the owner/contractor; however adaptation of the plans to meet specific local building codes may be required and it is the responsibility of the owner/contractor to bring such requirements to the attention of Kelly Swan Architecture when they occur. Kelly Swan Architecture will not be responsible for any damages relating to the accuracy and overall integrity of the plans except as contracted.

#### **General Notes**

- All work shall comply with the currently adopted building codes. See
- "https://le.utah.gov/xcode/Title15A/15A.html" and "www.iccsafe.org". The contractor is responsible to thoroughly review the plans, including dimensions, prior to
- construction and notify Kelly Swan Architecture for clarification where needed. Dimensions shall have precedence. Contractor shall scale plan prints at his/her own risk.
- All conditions not specifically detailed on drawings shall be similar to those shown or implied. The construction documents are provided to illustrate the design and general type of
- construction desired and imply high quality construction, material, and workmanship throughout.
- The contractor shall coordinate the specific design of all millwork and cabinetry All fixtures, finishes, and appliances to be pre-approved by the owner prior to installation.

- Finished grade shall slope away 6" minimum for the first 10'-0" from the building.
- Impervious surfaces within 10 feet of the building foundation shall be sloped a minimum of 2
- Contractor shall be responsible to see that all site grading adjacent to building allows for natural site drainage away from foundations.

Attics to be ventilated according to the requirements of section R806.2: The minimum net free

- All dimensions on floor plans are to face of framing members. All trusses shall be designed by a licensed engineer and built according to the engineers
- specifications in accordance with local adopted building codes. All door and window openings shall be framed according to the window or door manufacturer's recommended dimensions. The contractor is to verify all window and door rough opening
- Framing bids to include all fur downs as per plan.
- Where not noted otherwise, connect all wood to concrete, wood to steel, and wood to wood,
- except stud to plate or TJI to plate, with metal connectors. Use Simpson Strong-Tie or equal. All floor sheathing must be fastened with continuous glue bead and ring shank nails (no
- Fire blocking shall be provided in wood-framed walls, horizontally, at intervals not exceeding 10
- All wood framing in contact with concrete or soil shall be pressure treated. Where structural plans differ, the more stringent requirement shall be used.

ventilating area shall be 1/150 of the area of the vented space.

- The maximum stair riser shall be 8" (See 2016 Utah State Amendment 15a-3-202). The minimum head room as measured vertically from the stair nosing shall be 6'-8". The minimum stair width shall be 36".
- Every stairway landing shall have a dimension measured in the direction of travel, at least equal A Minimum of (3) 1 1/4" x 11 7/8" LVL / LSL stringers (or structural equivalent) required at all

Insulation (Minimum Requirements Climate Zone 5 IECC 2105/2018 IRC Chapter 11 Table N1102.1.2

- Fenestration U-Factor: 0.32
- Skylight U-Factor: 0.55 Ceiling R-Value: R-49
- Wood Frame Wall R-Value: R-20

#### Weather Protection:

- Install (1) layer of ice and water shield to extend from the eave's edge to a point at least 24" inside the inside face of the exterior wall of the building. Install (1) layer of ice and water shield at all roof valleys centered on the valley line. All roofing to be flashed in accordance with R905 (R905.2.8 for Asphalt and R905.4.6 for Metal)
- wall assemblies from moisture intrusion. Provide metal flashing or 15lb felt between wood sheathing and concrete porches, landings,
- Provide 9" flashing, counter flashing, and window manufacturer approved caulking at all exterior

Provide metal flashing at all foundations and brick and EIFS transitions to protect the exterior

A 6-mil polyethylene or approved vapor retarder with joints lapped not less than 6" shall be placed between the concrete floor slab and the base course.

#### Doors and Windows:

- All 6'-8" doors to have (3) hinges. All 8'-0" doors to have (4) hinges. All doors to have lockset and/or latchsets by Emtek or as noted in the window and door schedules or selected by the
- All fenestration glazing in the following areas shall be tempered: Glazing within 24" of either side of doors. Glazing in damp areas such as a bath or shower and less than 60" above the floor. Glazing adjacent to stairways, landings and ramps within 36" horizontally of a walking surface and less than 60" above the plane of the adjacent walking surface. Glazing within 18" of the
- Contractor is not to wash windows or remove labels prior to inspection and verification of U Factor and window properties
- Factory and/or field mulled windows shall be determined by architect, owner, and window representative at time of window order.
- All glass to be clear and all windows to be dual glazed with screens where applicable—unless

### noted otherwise

# Tiffany and David Merrill Barn

Lot 2, Asguard Heights Subdivision 3764 East Nordic Meadows Drive Weber County, Utah 84310



## Bathroom receptacle outlets shall be supplied by dedicated 20 amp branch circuit.

- Ground-fault interrupt circuit (GFIC) protection is required for all 110v, single phase 15 and 20 amp receptacles in bathrooms, garages, outdoors, unfinished spaces, and wet locations. GFIC is also required for all kitchen receptacles above the level of the counter-top. Garage outlets must be a min of 18" above
- 4. All incandescent lighting fixtures recessed into insulated areas shall be approved for zero clearance
- Conduit for meter based service entrance shall be anchored to foundation with unistrut and conduit clamps (powder actuated fasteners are not permitted)
- Outlets shall be spaced according to prevailing codes as a minimum requirement. Actual outlet location may Metallic water service or a concrete encased electrode available for use as a grounding electrode for the
- house which meets the requirements of the 2015 IRC shall be required. Ufer ground shall be required when soil conditions and ground water content do not provide adequate grounding resistance.
- Plastic electrical boxes in walls separating garage and living spaces to be 2hr listed. Include one carbon monoxide detector per level; wire in series with smoke alarms and provide a battery
- back-up. Carbon monoxide detectors shall be installed within 10'-0" of all rooms used for sleeping. 10. Locate exterior 110v service outlet within 25' of AC unit.
- Recessed lights above showers & tub/showers are to be waterproof and gasketed.

#### Maximum length of dryer exhaust duct shall be 25'. Maximum length shall be reduce 2.5' for each 45 degree bend

Provide one layer of 5/8" type "x" gypsum board on the ceiling of the garage where separating or bearing

Enclosed usable space under stairs shall be protected on walls and ceiling with 1/2" gypsum board.

backup and must emit a signal when the batteries are low. All detectors shall be interconnected.

shall not be less than 3/16" diameter. Weep holes shall be located immediately above the flashing.

The door shall be equipped with self-latching hardware.

tight construction as defined in the mechanical code.

No cloth type duct tape allowed. Metal or foil tape must be used.

Gas lines shall not pass through or penetrate any duct or plenum.

Insulate heating trunk and branch supply ducts in unfinished areas.

wall and at all other points of support.

or a gravity air inlet into a building.

from a property line.

All stud walls over 10'-0" in height shall have fire blocking at mid-span.

Masonry veneer above openings shall be supported per table R703.

habitable living spaces. Secure gypsum board to the ceiling with nails or screws at 6" on center (IRC R702.3.5).

Provide one layer of 1/2" gypsum board on the walls of the garage where separating or bearing habitable living

Doors leading from garage areas to living area shall be solid wood and 1 3/8" thick or have a 20 minute fire rating.

Permanently wired smoke detectors are required and must be installed in each sleeping room and at a point

centrally located in the corridor or area giving access to each separate area. Detectors must have a battery

Flashing shall be located beneath the first course of masonry above finished grade level above the foundation

Weep holes shall be provided in the outside withe of masonry walls at a maximum spacing of 33" o.c. weep holes

All combustion air to rooms or spaces containing fuel burning appliances shall be obtained from the outdoors or

from spaces freely communicating with the outdoors and the mechanical design shall be considered unusually

Vents shall terminate not less than 4' below or 4' away horizontally and at least 1' above a door, operable window,

Flue vents and exhaust fan vents shall be not less than 3' from an outside air inlet located within 10' and at least 4'

All joints, transverse and longitudinal seams, and connections must be properly sealed with tape or mastic.

A gas line sediment trap shall be installed downstream of the equipment shut off valve as close to the inlet of the

All gas line piping material shall be steel or wrought iron (schedule 40 minimum) and shall be ASME compliant.

Provide prefabricated fireplace units (where shown) with triple wall insulated pipe, termination cap, spark arrestor,

and all items for a complete and operating system. All systems shall meet state energy requirements.

- Water heaters shall be strapped to walls within 12" at the upper one third and lower one third, with the lower strap not closer than 4" above any controls.
- Provide pressure regulator and shut off valve. Provide anti-scald faucets on all showers and tub-shower combinations. Bathtubs and whirlpool tub valves shall Limit the temperature to a maximum of 120 degrees F.
- Interior waste and vent lines shall be constructed of ABS.
- Freeze resistant backflow prevention hose bibs with interior located accessible shut off valves required. Plumbing vents shall be at least 6'-0" above or 10'-0" away from all outside air intake openings.
- No slip joint plumbing connections allowed in concealed areas. Individually insulate all plumbing, water, and drain lines in areas subject to freezing.
- Install expansion tank for water heater. Insulate hot water lines in unfinished areas with 1/2" foam.
- Check valve required at water heater inlet. 11. Bathrooms divided into separate water fixture areas require individual venting for each of the individual

- Handrails are required at all stairways having four or more risers.
- Provide 1 1/4" to 2 5/8" handrails 34" to 38" in height that run continuous and have returning ends to wall, newel post, or 12" past last tread.
- Handrails deeper than 2 5/8" shall have a finger groove 3/4" x 1/4" deep routed the entire length of at Handrails adjacent to walls shall have a space not less than 1-1/2" between wall and handrail. Minimum 36" high guardrails are required at all landings, decks or floor levels that are more than 30"
- above an adjacent surface within 36". Stair, guardrails and handrails shall be designed & pre-engineered by the manufacturer to meet all applicable codes and requirements governing its construction. The handrails are to be designed for a
- 200 lbs. point load applied at any angle. Balusters shall be arranged such that a 4" diameter sphere cannot pass through.
- 8. One handrail shall be continuous for the full length of the stairs and shall end in a newel post, or return to the wall.

#### Finishes and Finish Materials:

- All gypsum board to have square corner—unless noted otherwise. All gypsum board shall have a smooth wall/hand applied light plaster finish, as selected by owner—unless noted otherwise. Contractor shall examine all surfaces to receive finish and notify owner of any unsatisfactory conditions
- of surfaces that will affect application of finish materials. 3. Cement, fiber cement, or glass mat gypsum backers are required as a backer for wall tile in tub and
- shower areas and wall panels in shower areas.
- 4. Contractor shall coordinate the final selection of all finishes, exposed hardware and paint colors with the Tile floors at showers are required to be a ceramic tile with slip resistant surface, and shall be installed
- over mortar setting bed or an approved underlayment. All hardware finishes shall be selected by owner.

specifically exclude them from the contract and provide for installation only.

All painting work shall be coordinated with owner. Contractor shall provide paint specification to owner The owner shall select all plumbing fixtures (i.e. sinks, faucets, tubs, etc.), appliances and surface

mounted light fixtures. The contractor shall provide an allowance in the contract for these items, or

#### Floor Area 4486 SF Garage/Stable 1608 SF 6094 SF

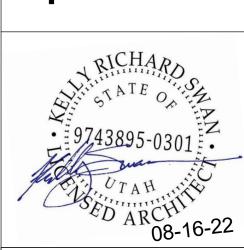
Areas are measured to the exterior face of stud and the exterior face of concrete. Exterior finishes and masonry are not included. Areas that are open to below, except for stair treads and landings, are also excluded. Walls between garages or unfinished space and finished space are included as part of the finished space.

Number	Sheet Name
A000	Cover Sheet
A003	Site Plan
A101	First Floor Plan
A102	Second Floor Plan
A103	Roof Plan
A200	Elevations
A201	Elevations
A300	Building Sections
A301	Building Sections
A501	Details
A900	Perspectives
E000	Electrical
E001	Exterior Lighting
SN1	General Structural Notes
S0-0	Footing and Foundation Plan
S1-0	Main Floor Shear Wall Plan
S2-0	Upper Floor Framing Plan
S2-1	Upper Floor Shear Wall Plan
S3-0	Roof Framing Plan
SD1	Structural Details
SD2	Structural Details
SD3	Structural Details
WSWH1	Strong-Wall WSWH
WSWH2	Strong-Wall WSWH

#### **Deferred Submittals**

#### **Supplemental Documents**

Structural Calculations



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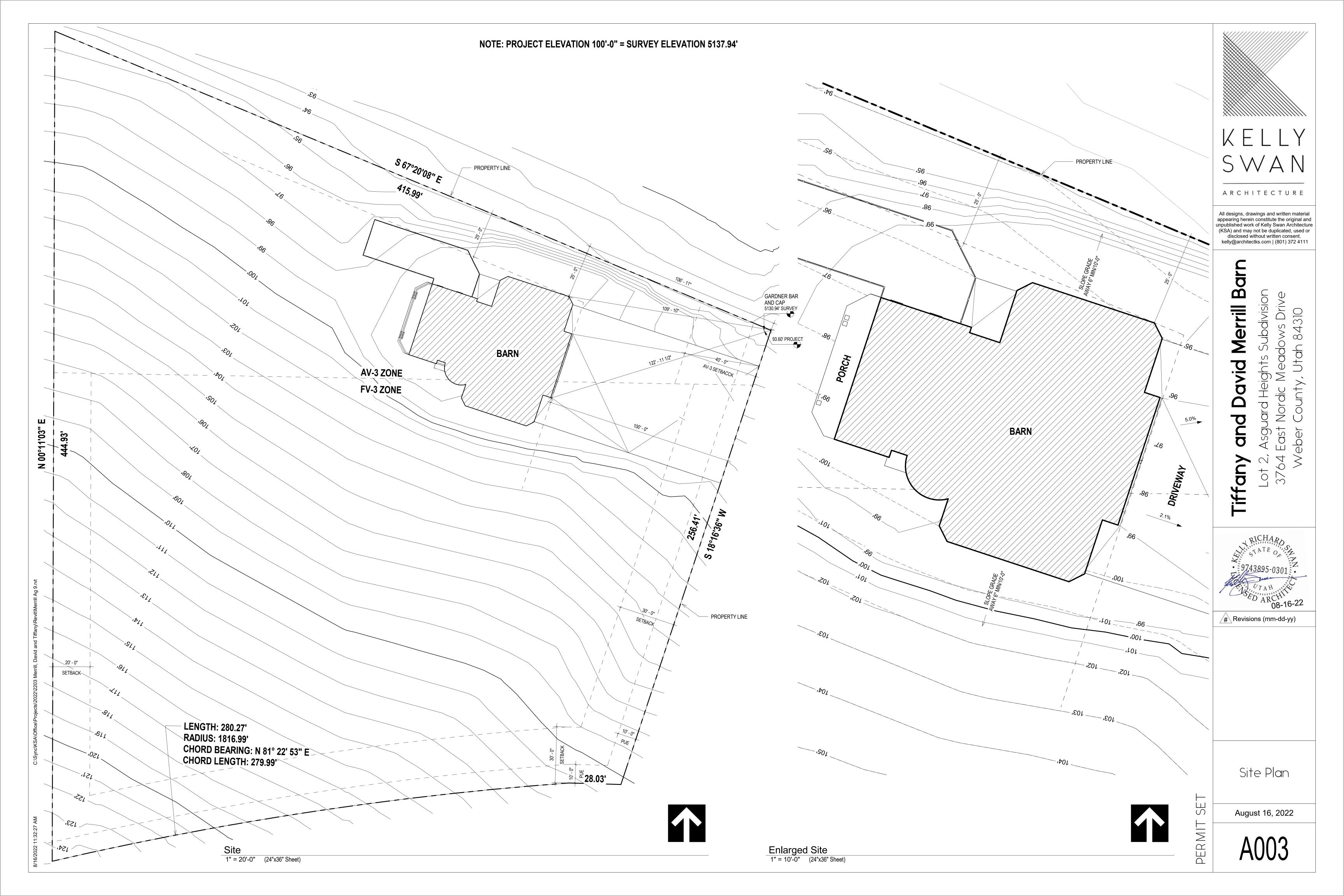
disclosed without written consent.

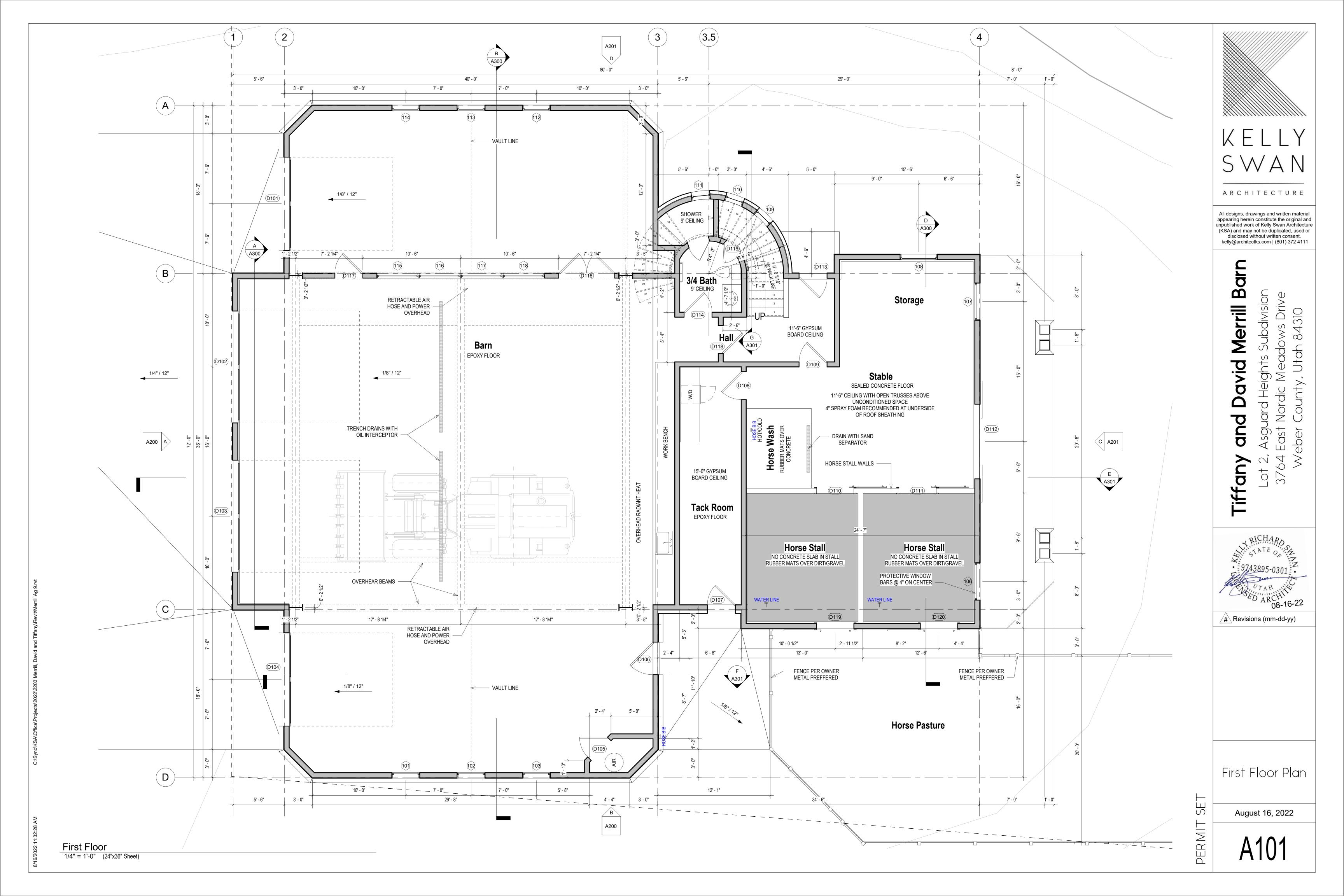
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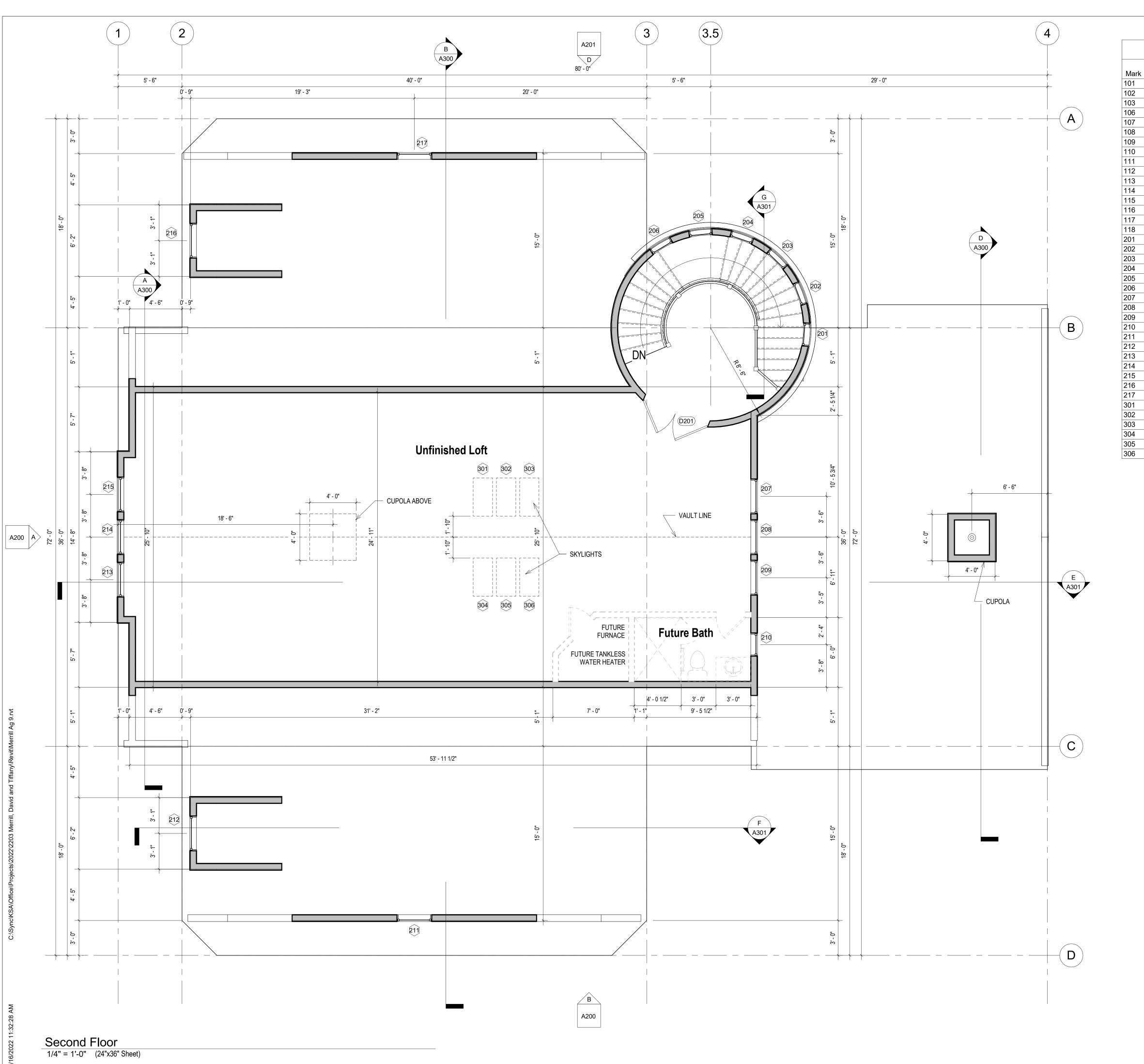
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Cover Sheet

August 16, 2022

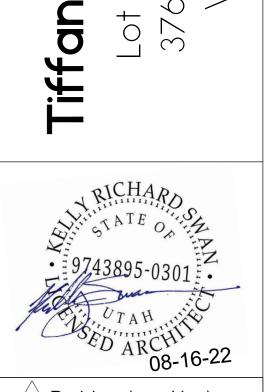






		S	ize		Sill	Head	
Mark	Туре	Width	Height	Level	Height	Height	Comments
101	Fixed	3' - 0"	4' - 0"	First Floor	6' - 0"	10' - 0"	
102	Fixed	3' - 0"	4' - 0"	First Floor	6' - 0"	10' - 0"	
103	Fixed	3' - 0"	4' - 0"	First Floor	6' - 0"	10' - 0"	
106	Fixed	4' - 0"	2' - 6"	First Floor	7' - 0"	9' - 6"	Inside bars @ 4" on center
107	Fixed	4' - 0"	2' - 6"	First Floor	7' - 0"	9' - 6"	_
108	Fixed	4' - 0"	2' - 6"	First Floor	7' - 0"	9' - 6"	
109	Fixed	2' - 0"	4' - 0"	First Floor	10' - 6"	14' - 6"	Safety Glazing
110	Fixed	2' - 0"	4' - 0"	First Floor	10' - 6"	14' - 6"	Safety Glazing
111	Fixed	2' - 0"	4' - 0"	First Floor	10' - 6"	14' - 6"	Safety Glazing
112	Fixed	3' - 0"	4' - 0"	First Floor	6' - 0"	10' - 0"	
113	Fixed	3' - 0"	4' - 0"	First Floor	6' - 0"	10' - 0"	
114	Fixed	3' - 0"	4' - 0"	First Floor	6' - 0"	10' - 0"	
115	Interior Fixed	4' - 6"	11' - 0"	First Floor	1' - 6"	12' - 6"	Interior Glazing
116	Interior Fixed	4' - 6"	11' - 0"	First Floor	1' - 6"	12' - 6"	Interior Glazing
117	Interior Fixed	4' - 6"	11' - 0"	First Floor	1' - 6"	12' - 6"	Interior Glazing
118	Interior Fixed	4' - 6"	11' - 0"	First Floor	1' - 6"	12' - 6"	Interior Glazing
201	Fixed	2' - 0"	5' - 0"	Second Floor	3' - 1"	8' - 1"	
202	Fixed	2' - 0"	5' - 0"	Second Floor	3' - 1"	8' - 1"	
203	Fixed	2' - 0"	5' - 0"	Second Floor	3' - 1"	8' - 1"	
204	Fixed	2' - 0"	5' - 0"	Second Floor	3' - 1"	8' - 1"	
205	Fixed	2' - 0"	5' - 0"	Second Floor	3' - 1"	8' - 1"	
206	Fixed	2' - 0"	5' - 0"	Second Floor	3' - 1"	8' - 1"	
207	Casement	3' - 0"	3' - 6"	Second Floor	5' - 0"	8' - 6"	
208	Fixed	3' - 0"	3' - 6"	Second Floor	5' - 0"	8' - 6"	
209	Casement	3' - 0"	3' - 6"	Second Floor	5' - 0"	8' - 6"	
210	Casement	2' - 0"	2' - 0"	Second Floor	5' - 6"	7' - 6"	
211	Fixed	3' - 0"	5' - 0"	Second Floor	1' - 6"	6' - 6"	
212	Fixed	3' - 0"	4' - 2"	Second Floor	1' - 0"	5' - 2"	
213	Single Hung	3' - 0"	6' - 0"	Second Floor	2' - 6"	8' - 6"	
214	Single Hung	3' - 0"	6' - 0"	Second Floor	2' - 6"	8' - 6"	
215	Single Hung	3' - 0"	6' - 0"	Second Floor		8' - 6"	
216	Fixed	3' - 0"	4' - 2"	Second Floor	1' - 0"	5' - 2"	
217	Fixed	3' - 0"	5' - 0"	Second Floor	1' - 6"	6' - 6"	
301	Fixed Skylight	1' - 10"	3' - 10"				
302	Fixed Skylight	1' - 10"	3' - 10"				
303	Fixed Skylight	1' - 10"	3' - 10"				
304	Fixed Skylight	1' - 10"	3' - 10"				
305	Fixed Skylight	1' - 10"	3' - 10"				
306	Fixed Skylight	1' - 10"	3' - 10"				

		Doc	r Sche	edule
Mark	Туре	Width	Height	Comments
D101	Overhead	10' - 0"	11' - 0"	Owner and Architect Approval Required
D102	Overhead	12' - 0"	13' - 0"	Owner and Architect Approval Required
D103	Overhead	12' - 0"	13' - 0"	Owner and Architect Approval Required
D104	Overhead	10' - 0"	11' - 0"	Owner and Architect Approval Required
D105	Single	3' - 0"	8' - 0"	
D106	Single	3' - 6"	8' - 0"	Exterior
D107	Single	3' - 0"	8' - 0"	Exterior
D108	Single	3' - 0"	8' - 0"	Interior, Gasketed, Locking
D109	Single	3' - 0"	8' - 0"	Interior, Gasketed, Locking
D110	Barn	4' - 0"	8' - 0"	
D111	Barn	4' - 0"	8' - 0"	
D112	Double Barn	8' - 0"	9' - 6"	
D113	Single	3' - 0"	8' - 0"	Exterior
D114	Single	3' - 0"	8' - 0"	
D115	Single	2' - 0"	5' - 0"	
D116	Double - Full Lite	6' - 0"	8' - 0"	
D117	Single	3' - 0"	8' - 0"	
D118	Single	3' - 0"	8' - 0"	Interior, Gasketed, Locking
D119	Barn	4' - 0"	8' - 0"	Exterior Horse Access, Half Lite, Bars @ 4" On Center
D120	Barn	4' - 0"	8' - 0"	Exterior Horse Access, Half Lite, Bars @ 4" On Center
D201	Double	6' - 0"	8' - 0"	



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dr

Merrill

avid

and

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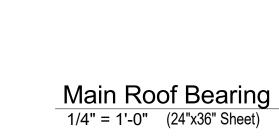
Second Floor Plan

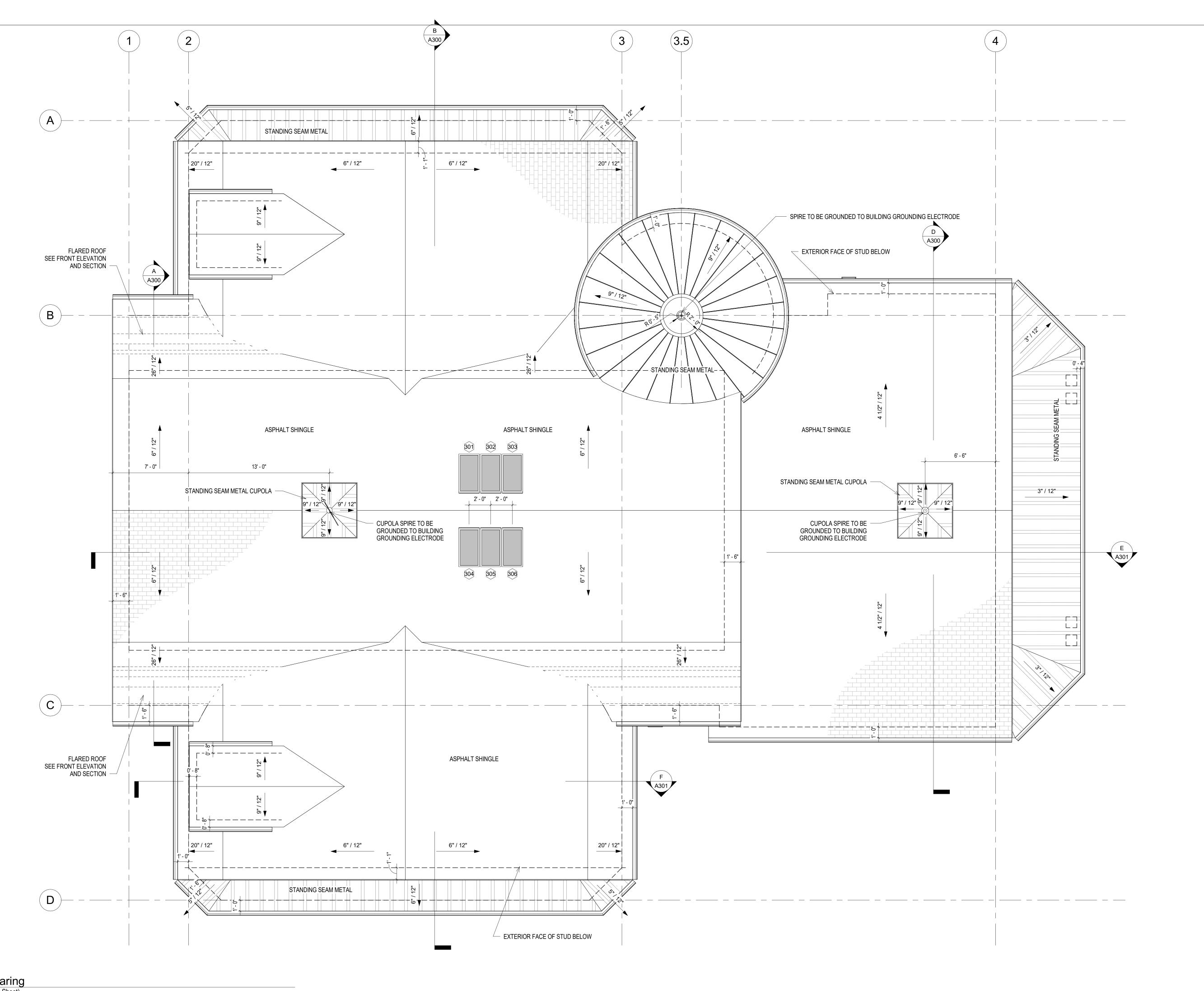
August 16, 2022

A102

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avid and Tiffar

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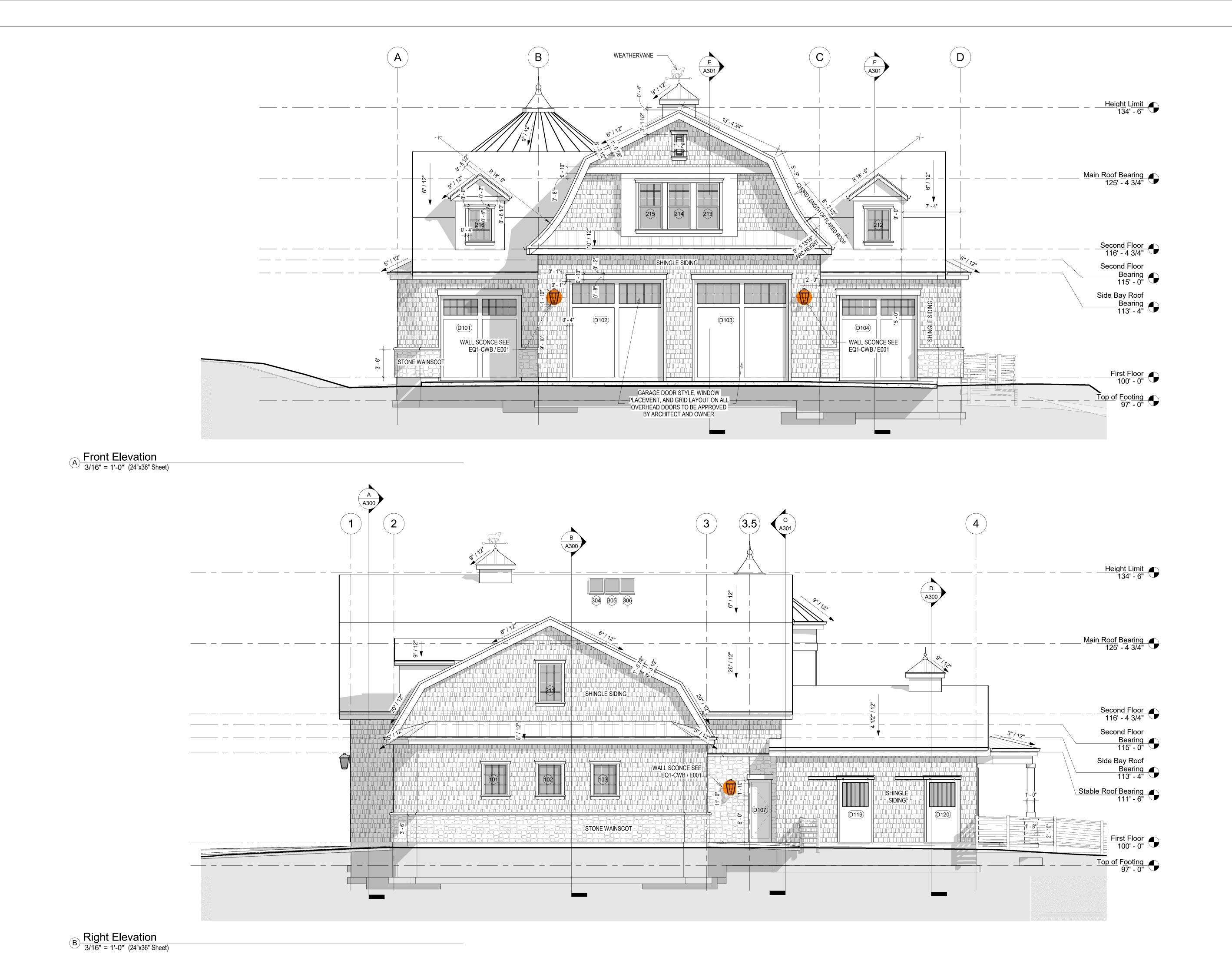
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Roof Plan

August 16, 2022



Tiffan

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Elevations

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and Tiffan

David

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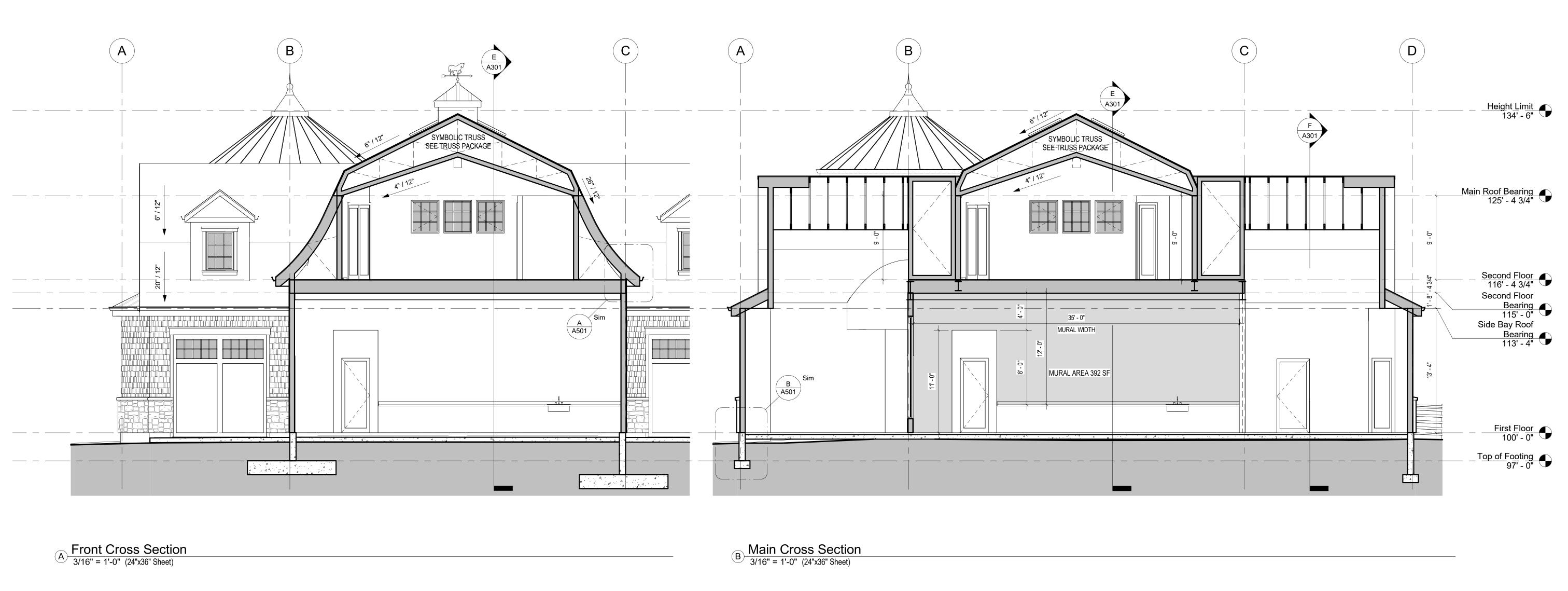
Barn

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Elevations

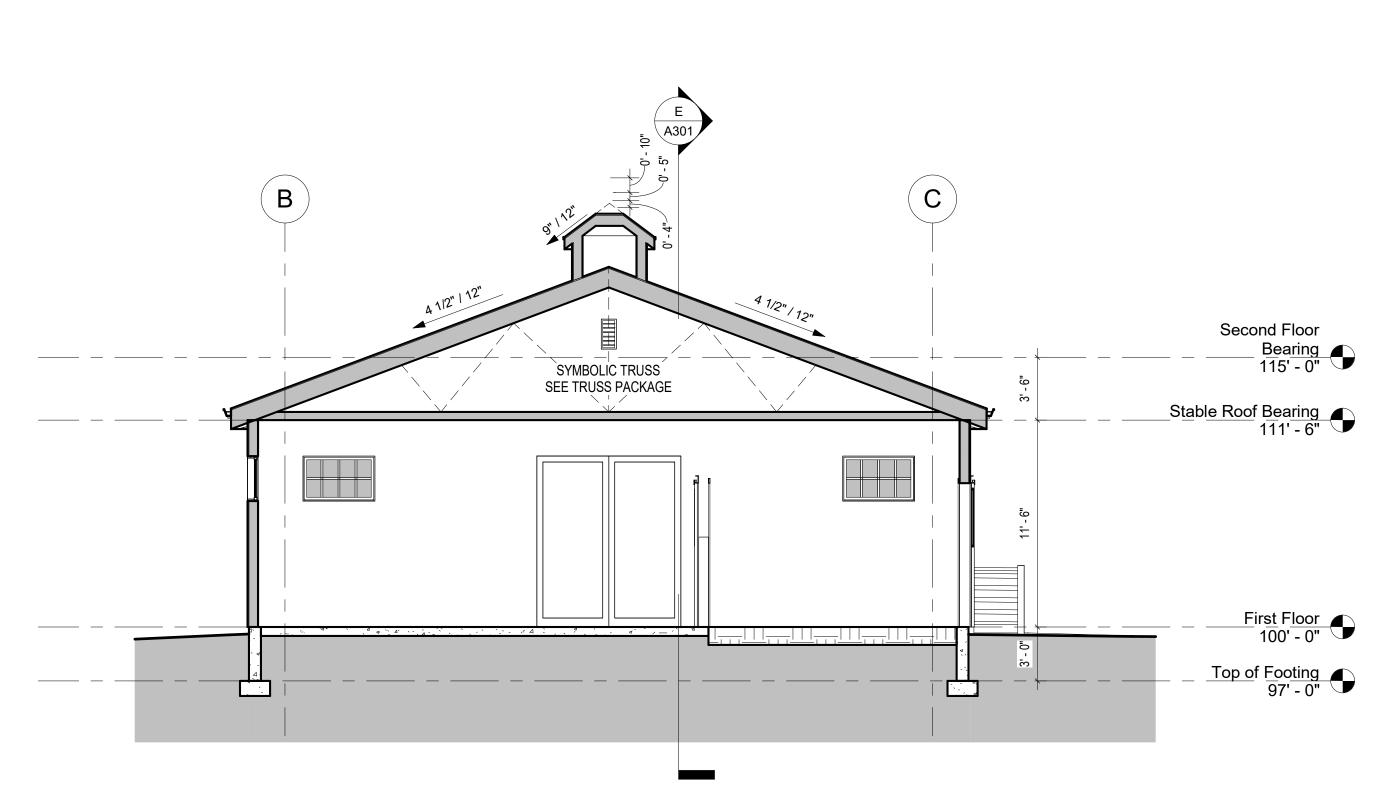
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SEE STRUCTURAL FOR CONCRETE PIERS - BLOCK DOWN FOR DOOR BLOCK DOWN FOR DOOR SEE STRUCTURAL FOR CONCRETE PIERS

> NOTE: 3D FOUNDATION PLANS ARE FOR ILLUSTRATIVE PURPOSES ONLY. SEE ENGINEERED FOOTING AND FOUNDATION PLAN FOR SIZING, REINFORCEMENT, SPOT FOOTINGS, AND ADDITIONAL DETAILS

Stable Cross Section
3/16" = 1'-0" (24"x36" Sheet)



Building Sections

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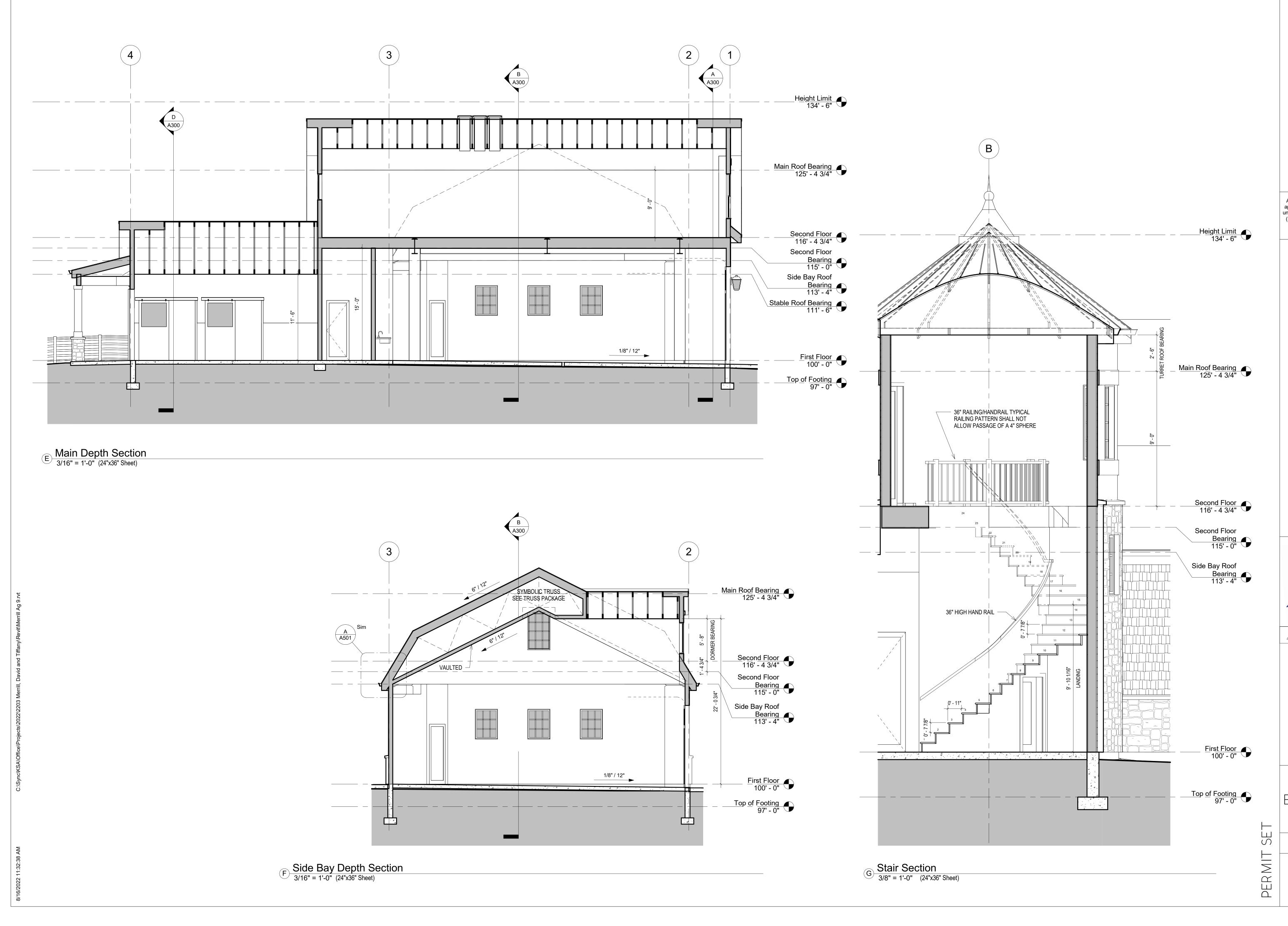
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Tiffar

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© 3D Foundation Plan
Not to scale



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Subdivision Subdin

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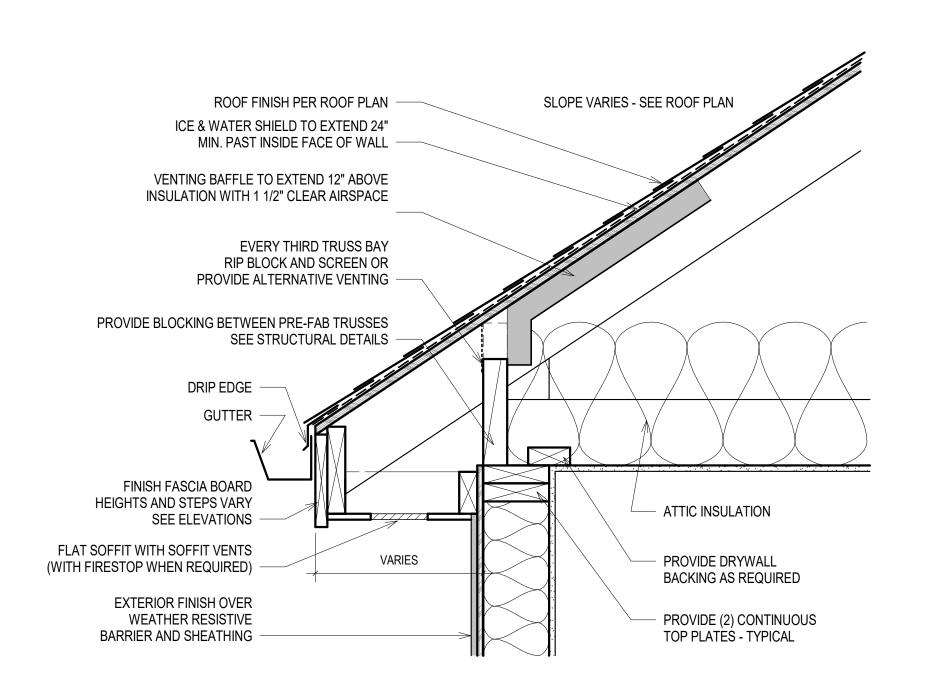
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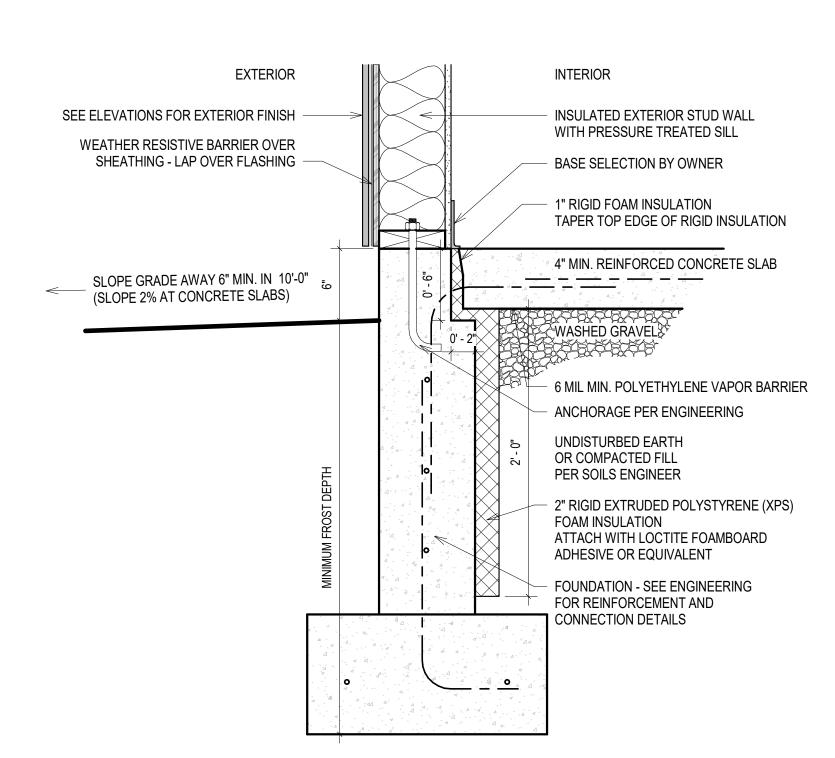
Building Sections

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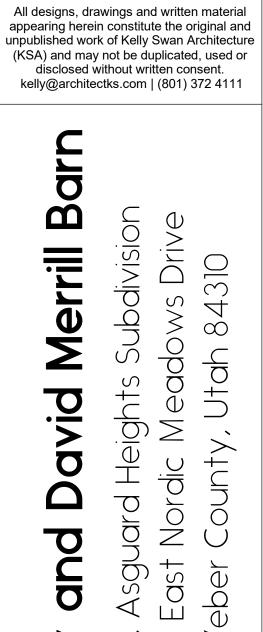
A301



Roof to Exterior Wall - Shingle/Flat A Soffit/Raised Heel Not to scale

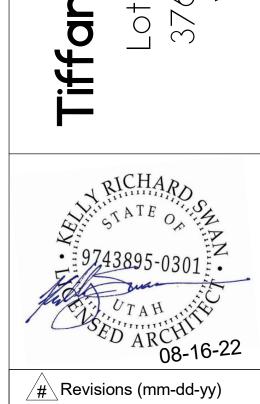


Slab to Exterior Foundation B Not to scale



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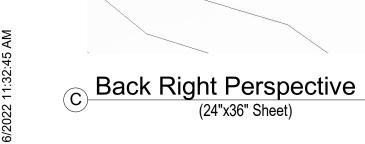
ARCHITECTURE

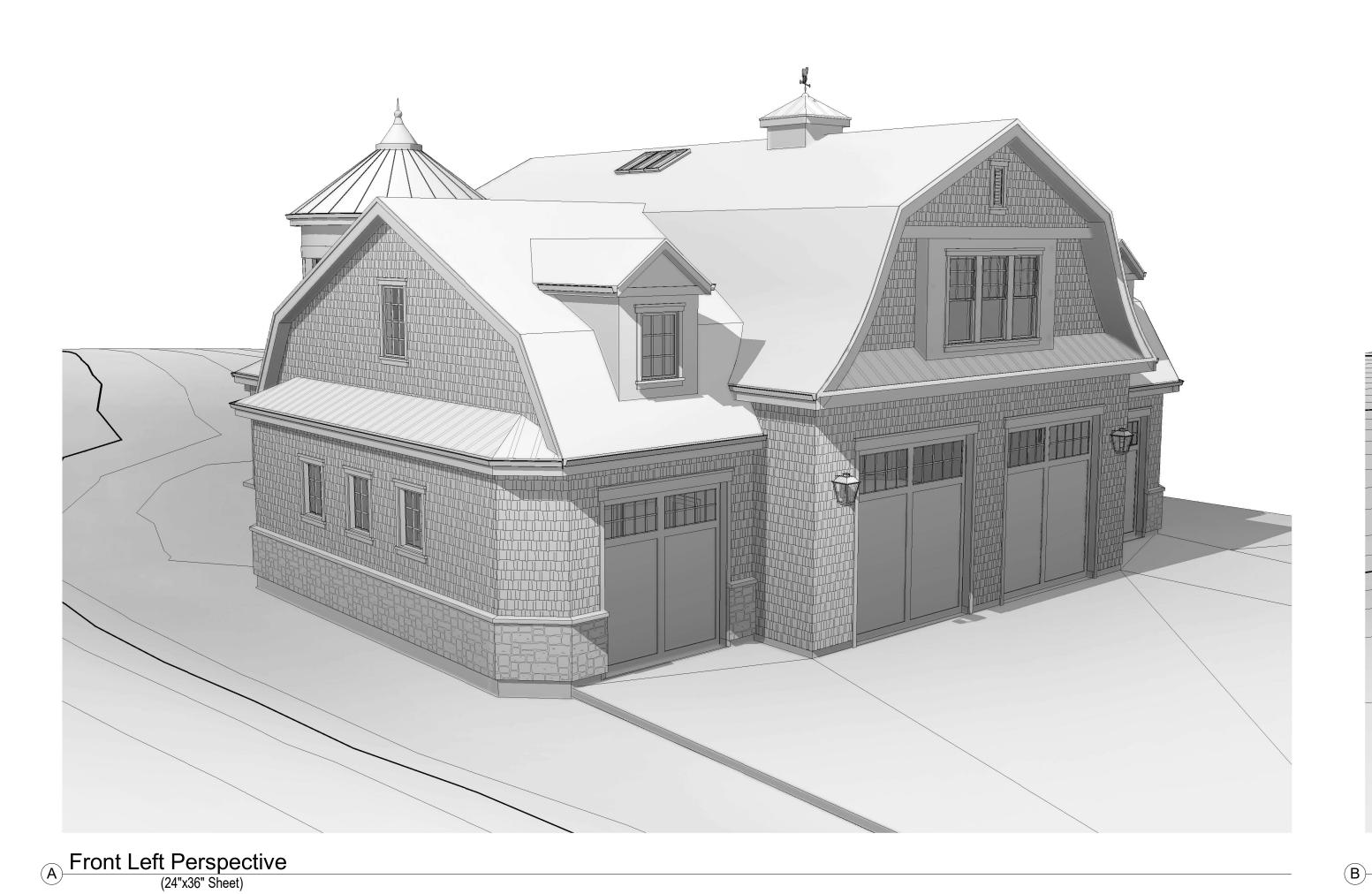


Details

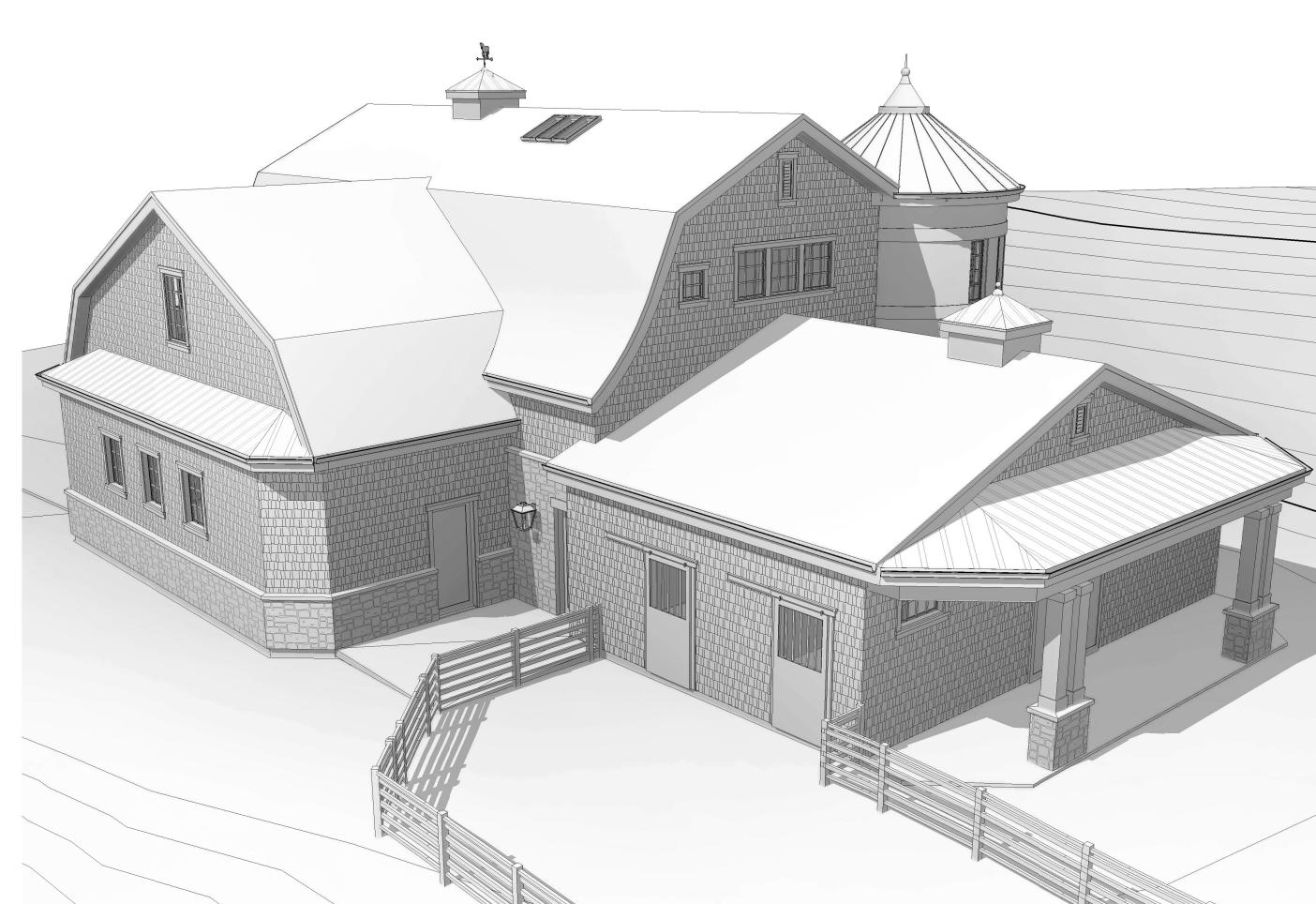
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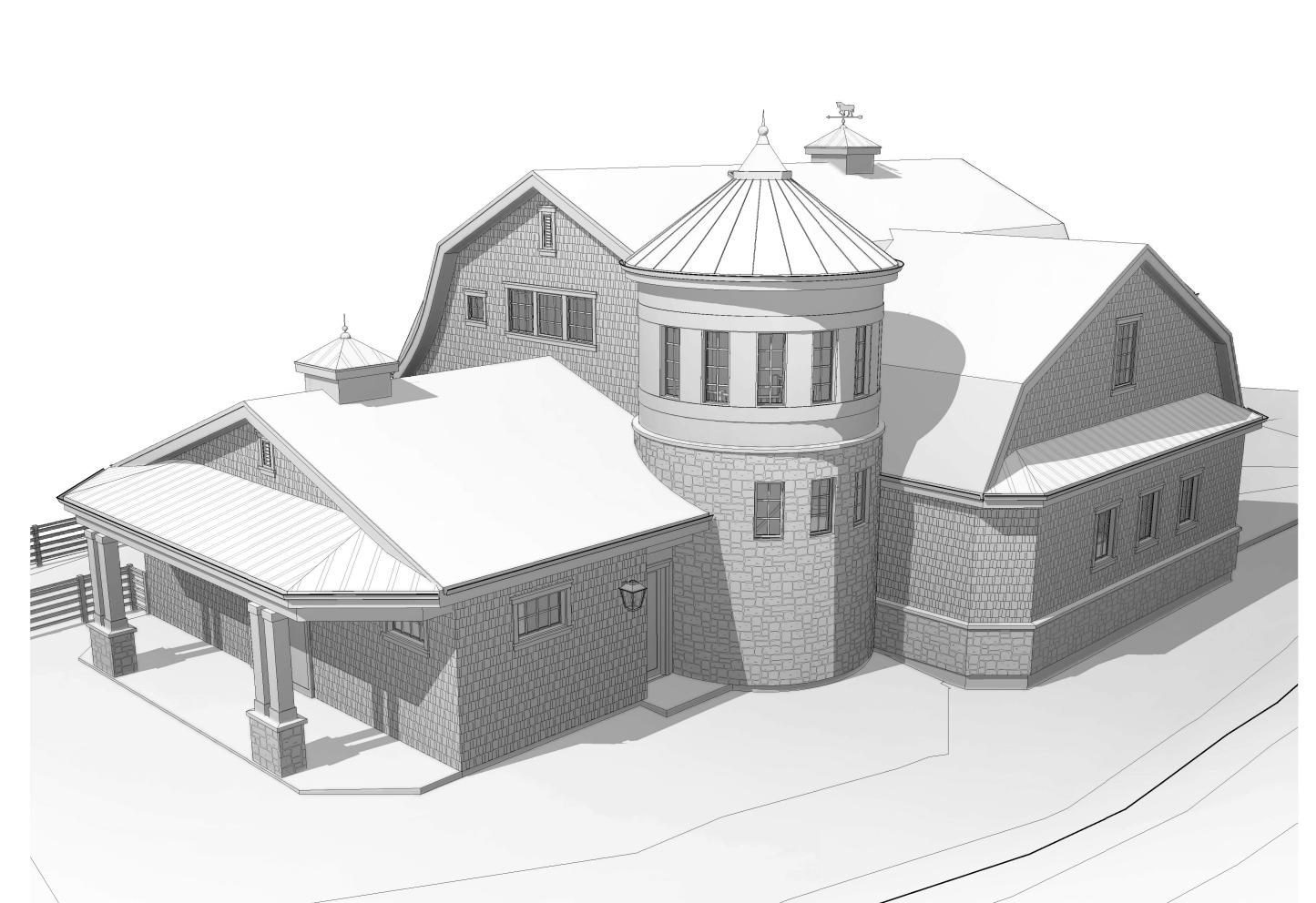












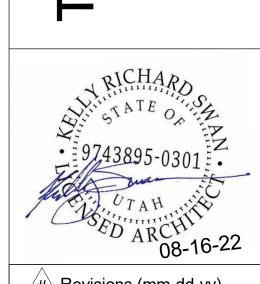
# Merrill David

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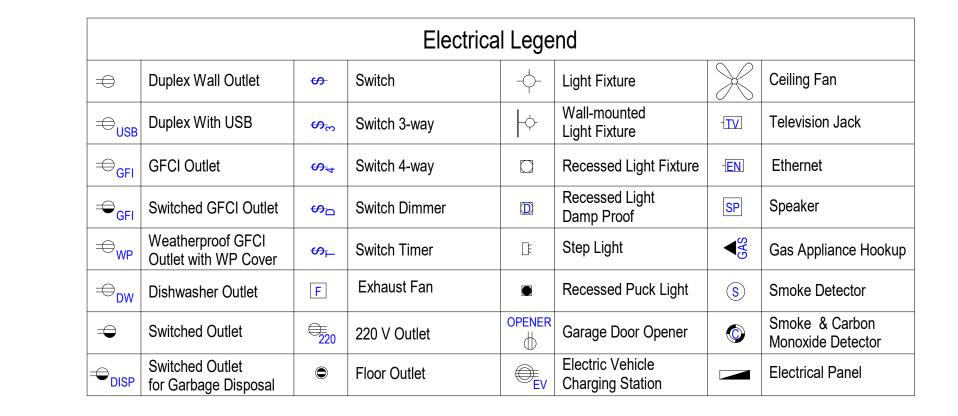
Barn

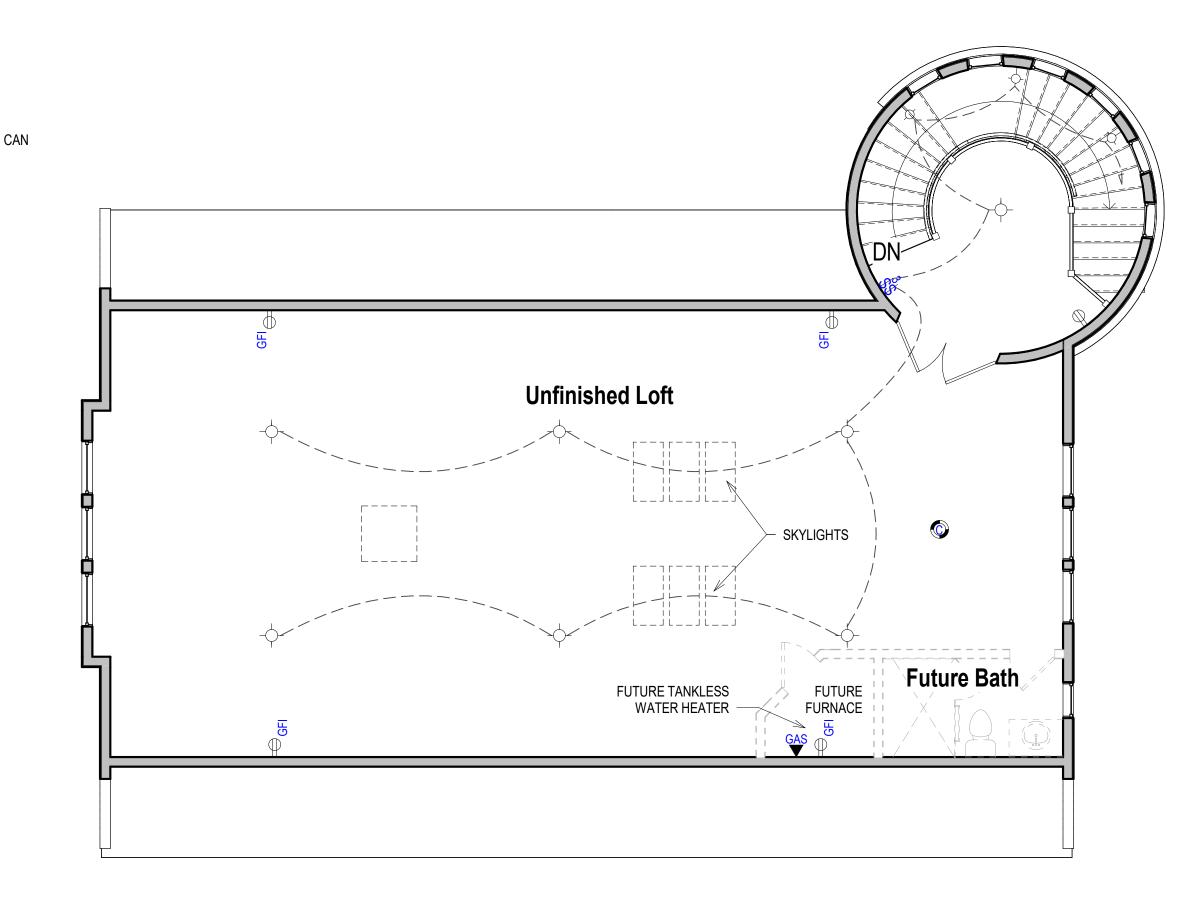


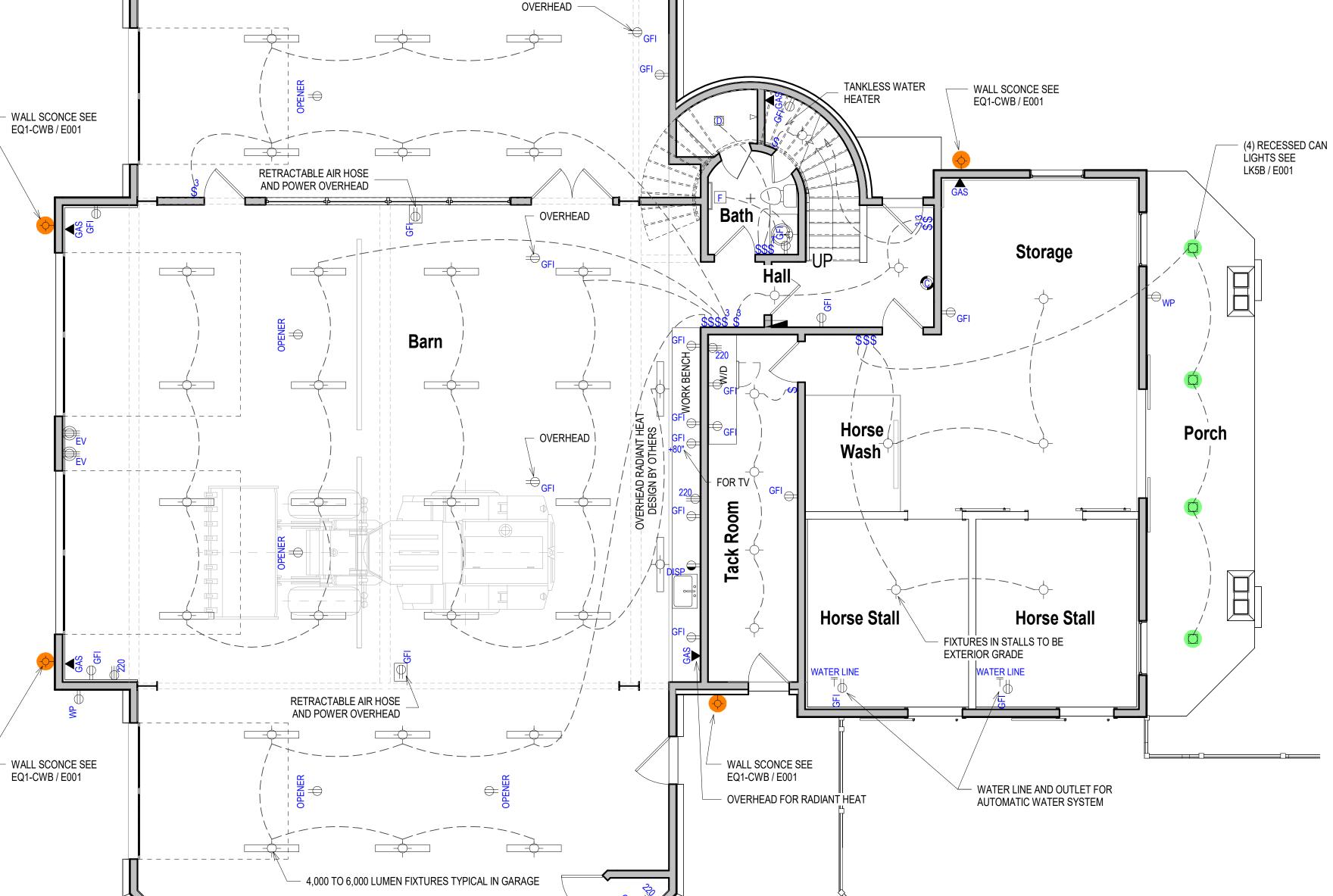
# Revisions (mm-dd-yy)

Perspectives

August 16, 2022







A First Floor Electrical
3/16" = 1'-0" (24"x36" Sheet)

B Second Floor Electrical 3/16" = 1'-0" (24"x36" Sheet)

Tiffany and David Merrill Barn

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84310

# Revisions (mm-dd-yy)

Electrical

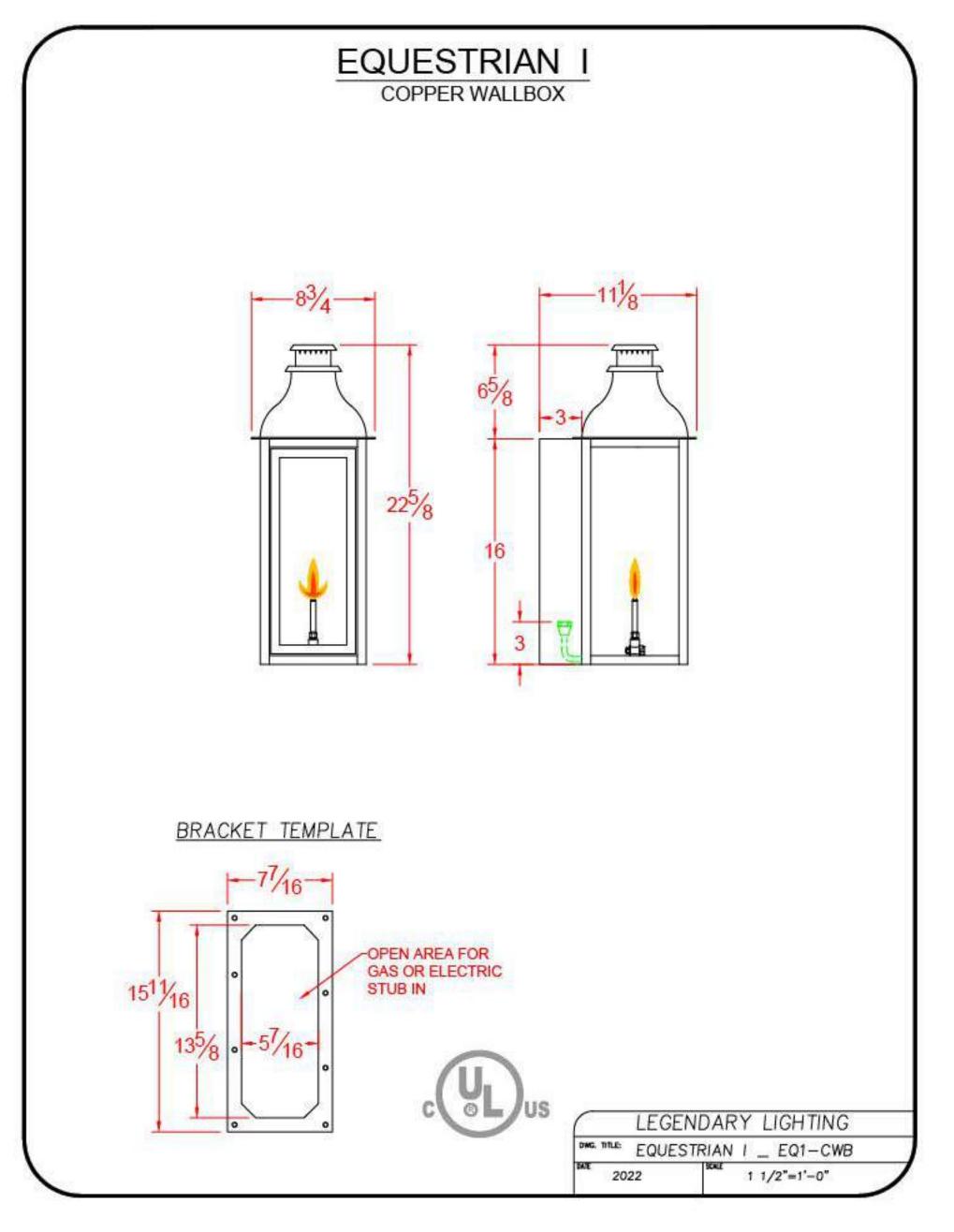
August 16, 2022

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SET







#### **FEATURES & SPECIFICATIONS**

INTENDED USE — Recessed LED kits include housing, trim, and wire connectors in one package. The LED kit is the most economical means to create a well lit environment with exceptional energy efficiency and near zero maintenance. The LED kit maintains at least 70% light output for 35,000 hours.

**CONSTRUCTION** — Steel housing with 4 remodel clips and 3 wire nuts for installation in existing plaster, sheet rock or mechanical ceiling. Heavy-gauge galvanized steel raceway arm. Durable, powder coat paint prevents rust. Easily converts to new construction application using accessories (sold separately).

Galvanized steel junction box with three 7/8" knockouts with slots for pryout. Not suitable for pulling wires.

Hook & hang snap-on J-box doors for easy access.

Rated for 90°C. Ground wire provided.

Available in 3000 K or 5000 K color temperature LEDs.

**OPTICS** — White baffle recesses optical system into the ceiling to prevent glare and provide a traditional look. Diffused lens provides even illumination throughout the space.

**ELECTRICAL** — High-efficiency driver mounted on the module. Primary power disconnect provided for simple connection to a dedicated LED connector in the housing.

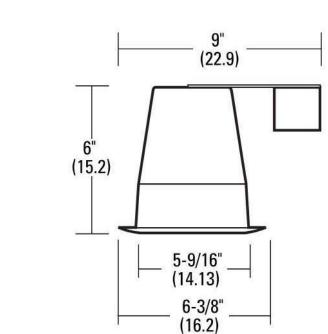
Dimming down to 15%. See page 2 for recommended triac dimmers.

Standard input wattage is 10.6 W, 62 lumens per watt (3000 K) and 10.2W, 77 lumens per watt (5000 K); equivalent to 65 watt PAR30.

LISTINGS — ETL certified for use in the US and Canadian safety standards. California T24 compliant. ENERGY STAR® qualified. WSEC ASTM E283 for Air-Tight. Wet location listed.

**WARRANTY** — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: <a href="www.acuitybrands.com/support/warranty/">www.acuitybrands.com/support/warranty/</a> terms-and-conditions

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



Max. ceiling thickness: 1 (2.54) All dimensions are inches (centimeters) unless otherwise indicated.

Specifications

Aperture: 5 (12.7)

Height: 6 (15.2)

Length: 9 (22.9)

DOWNLIGHTING

Ceiling opening: 5-1/2 (14)

Overlap trim: 6.4 (16.3)

Catalog Number			
Notes			
Туре			

**LED Recessed Downlighting** 

# LK5B

# 5" Baffle LED Recessed Kit

IC/Non-IC **New & Remodel Construction** 



Tiffar Lot
9743895-0301
08-16-22

Voltage (blank) 120V

Exterior Lighting

#\Revisions (mm-dd-yy)

KELLY

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ARCHITECTURE

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Barn

Merrill

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August 16, 2022

For shortest lead times, configure products using bolded options. **Example:** LK5BMW LED Finish Color temp/CRI/Watts/Lumens Series Reflector Lamps **LK5** 5" LED recessed kit **B** Baffle (blank) 3000 K/93CRI/10.6W/660L (WH), 530L (ORB) **ORB** Oil-rubbed bronze

LK5B-LED\_(GEN4)