

LITTLE MOUNTAIN BUSINESS DEPOT

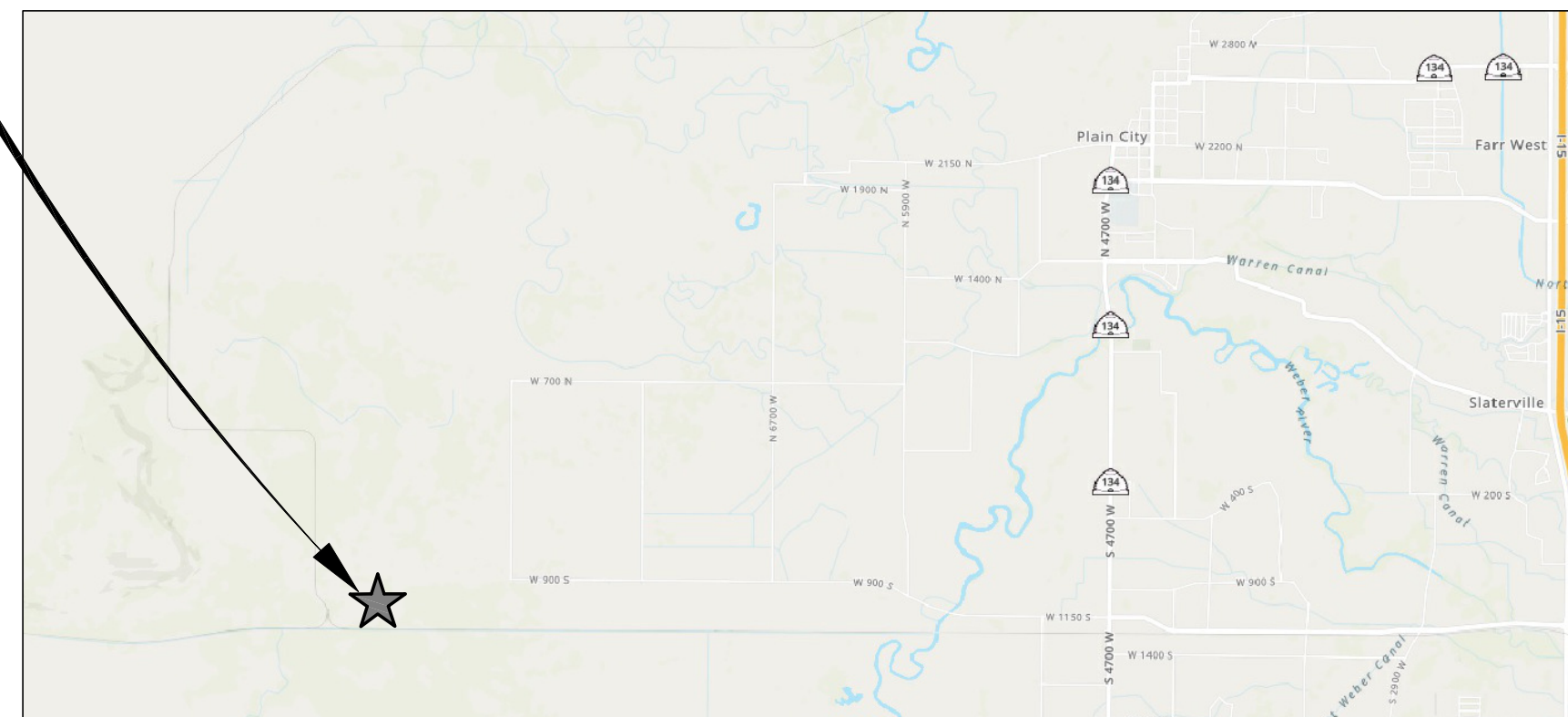
PHASE 1

WEBER COUNTY, UTAH



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Vicinity Maps



1. STANDARD NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO CITY/COUNTY STANDARDS AND TO APPLICABLE UTILITY DISTRICT STANDARDS.
2. THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCES, WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH.
3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE CITY/COUNTY/DISTRICT ENGINEER AND OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.
4. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE CITY/COUNTY/DISTRICT ENGINEER.
5. CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
6. PERMITS ARE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.
7. ALL CITY/COUNTY/DISTRICT MAINTAINED UTILITIES INCLUDING: WATERLINE, FIRE HYDRANTS, STREETLIGHT WIRING, AND STORM DRAIN MUST BE IN PUBLIC RIGHT OF WAY OR RECORDED IN EASEMENTS.
8. CONTRACTOR TO FOLLOW CITY/COUNTY/DISTRICT NOISE ORDINANCE STANDARDS
9. THE CONTRACTOR SHALL TAKE REASONABLE MEASURES TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
10. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF TRANSITIONS TO BE AS SHOWN ON PLANS.
11. ALL GRADING WORK SHALL CONFORM TO THE SOILS REPORT AS PREPARED BY THE SOILS ENGINEER AND APPROVED BY THE CITY/COUNTY/DISTRICT ENGINEER, AND AS SHOWN ON THESE PLANS.
12. EXACT LOCATION OF ALL SAWCUT LINES MAY BE ADJUSTED OR DETERMINED IN THE FIELD BY A CITY/COUNTY/DISTRICT ENGINEER IF LOCATION ON PLANS IS NOT CLEARLY SHOWN, OR EXISTING PAVEMENT CONDITION REQUIRES RELOCATION.
13. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEYING MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER AVAILABLE RECORDS AT THE COUNTY SURVEYORS OFFICE.
14. UTILITY COMPANY METER BOXES, MANHOLE LIDS, VALVE COVERS, ETC., SHALL BE LOCATED OUT OF DRIVEWAYS, DRIVEWAY APRONS, FLOWLINES, AND CROSS GUTTERS UNLESS WRITTEN APPROVAL IS GRANTED BY THE UTILITY COMPANY AND THE CITY/COUNTY/DISTRICT ENGINEER.
16. ALL WALLS, NEW OR EXISTING, ARE ONLY SHOWN ON CIVIL PLANS FOR THE PURPOSE OF REVIEWING GRADING RELATIONSHIPS; FLOOD CONTROL AND SIGHT DISTANCE AT INTERSECTIONS. ALL WALLS SHALL HAVE A MINIMUM 2 FT X 2 FT X 30 INCH DEEP SPOT FOOTINGS. BOTTOM OF ALL FOOTINGS ON ALL WALLS SHALL BE A MINIMUM OF 30 INCHES BELOW FINISHED GRADE. WALLS GREATER THAN 6 FEET REQUIRE A SEPARATE PERMIT AND INSPECTION BY THE BUILDING DEPARTMENT.
17. ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE CITY/COUNTY/UDOT ENGINEER PRIOR TO THE PLACEMENT OF ASPHALT WITHIN CITY/COUNTY/STATE RIGHT OF WAY.
18. CONTRACTOR SHALL ADJUST ALL NEW AND EXISTING INLETS, VALVE BOXES, MANHOLE RIMS, AND SEWER CLEAN OUTS, ETC. TO FINISH GRADE AS APPLICABLE WHETHER OR NOT THEY ARE SHOWN ON THE PLANS.
19. APPLICATION FOR INSPECTION BY THE CITY/COUNTY/DISTRICT ENGINEERING DEPT. SHALL BE MADE BY THE CONTRACTOR AT LEAST 48 HOURS BEFORE THE INSPECTION SERVICES WILL BE REQUIRED.
20. WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
21. THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION.

22. CONTRACTOR TO CONTACT BLUE STAKES FOR MARKING OF EXISTING UTILITIES PRIOR TO PERFORMING ANY EXCAVATION
23. AFFECTED UTILITY COMPANIES SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
24. EXISTING UTILITIES ARE LOCATED ON PLANS FOR THE CONVENIENCE OF THE CONTRACTORS ONLY. THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR THE PROTECTION OF UTILITIES AND THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN ON THE PLANS OR NOT IN THE LOCATION SHOWN ON THE PLANS. THIS INCLUDES ALL SERVICE LATERALS OF ANY KIND.
25. POWER POLES AND/OR OTHER EXISTING FACILITIES NOT IN PROPER LOCATION BASED ON PROPOSED IMPROVEMENTS SHOWN HEREON WILL BE RELOCATED AT NO EXPENSE TO THE CITY/COUNTY/DISTRICT. POWER POLES ARE TO BE RELOCATED AND BURIED.
26. MODIFICATIONS TO EXISTING UTILITIES SHALL CONFORM TO THE OWNER'S UTILITY STANDARDS AND SPECIFICATIONS
27. PROTECTION AND REPLACEMENT OF SURVEY MONUMENTS OR PROPERTY STAKES NOT DELINEATED ON THE CONTRACT DRAWINGS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. REPLACEMENT OF SURVEY MONUMENTS OR PROPERTY STAKES SHALL BE DONE TO COUNTY STANDARDS.
28. ALL STATIONING IS REFERENCED TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
29. ASPHALT REPAIRS FOR ANY TRENCHING OF THE EXISTING ROADWAY WILL REQUIRE CONFORMANCE TO THE CITY'S ROAD CUT STANDARDS AND COORDINATION WITH THE PUBLIC WORKS DIRECTOR.

GRADING NOTES

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER AND COUNTY ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
3. CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.
6. CONTRACTOR SHALL GRADE TO THE LINES AND ELEVATIONS SHOWN ON PLANS.
7. ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED
8. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM THE WATER DEPARTMENT.
9. THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
10. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEMS ARE REQUIRED THAT ARE NOT SHOWN ON THESE DRAWINGS, THE DEVELOPER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE CITY/COUNTY/DISTRICT ENGINEER. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.

WATER SERVICE

1. WEBER BASIN WATER DISTRICT IS THE DOMESTIC WATER PROVIDER IN THIS AREA. ALL WATERLINE CONSTRUCTION SHALL FOLLOW DISTRICT STANDARDS.
2. WEBER BASIN DISTRICT SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO ANY PRECONSTRUCTION MEETINGS AND/OR THE COMMENCEMENT OF ANY CONSTRUCTION.

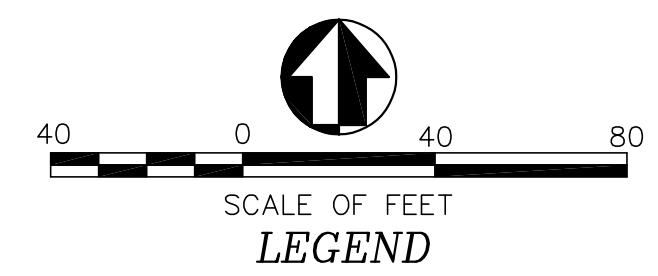
Boundary Consultants

5554 West 2425 North, Hooper, Utah
801-792-1569 dave@boundaryconsultants.biz

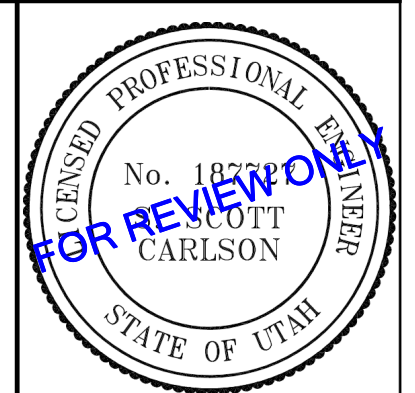
DEVELOPER
ROB HOWARD
801-721-3556



TWIN PEAKS
Engineering & Land Surveying
2264 NORTH 1450 EAST LEHI, UTAH 84043
(801) 450-3511



- LEGEND**
- 29 28 = SECTION CORNER & SECTION LINE
 - 32 33 = BOUNDARY LINE
 - = RIGHT OF WAY LINES
 - = ADJOINING PARCELS DEED LINES
 - = EXISTANT FENCE LINES
 - = EDGE OF PAVEMENT
 - = EXISTING DRAINAGE DITCH



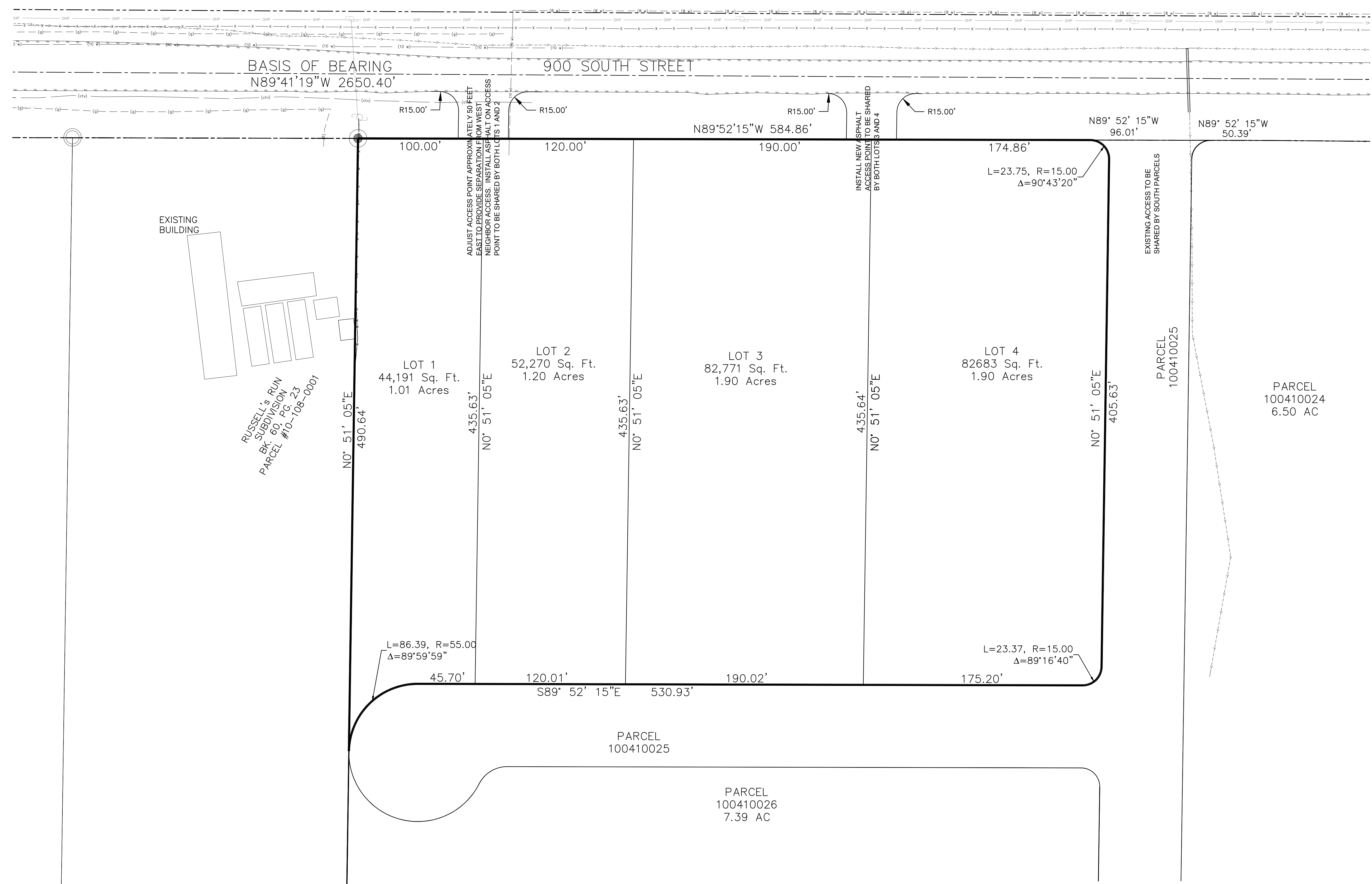
LITTLE MOUNTAIN BUSINESS DEPOT
 PHASE 1 SITE PLAN
 WEBER COUNTY, UTAH

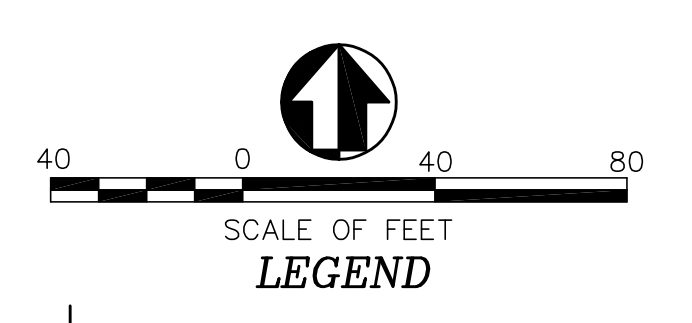
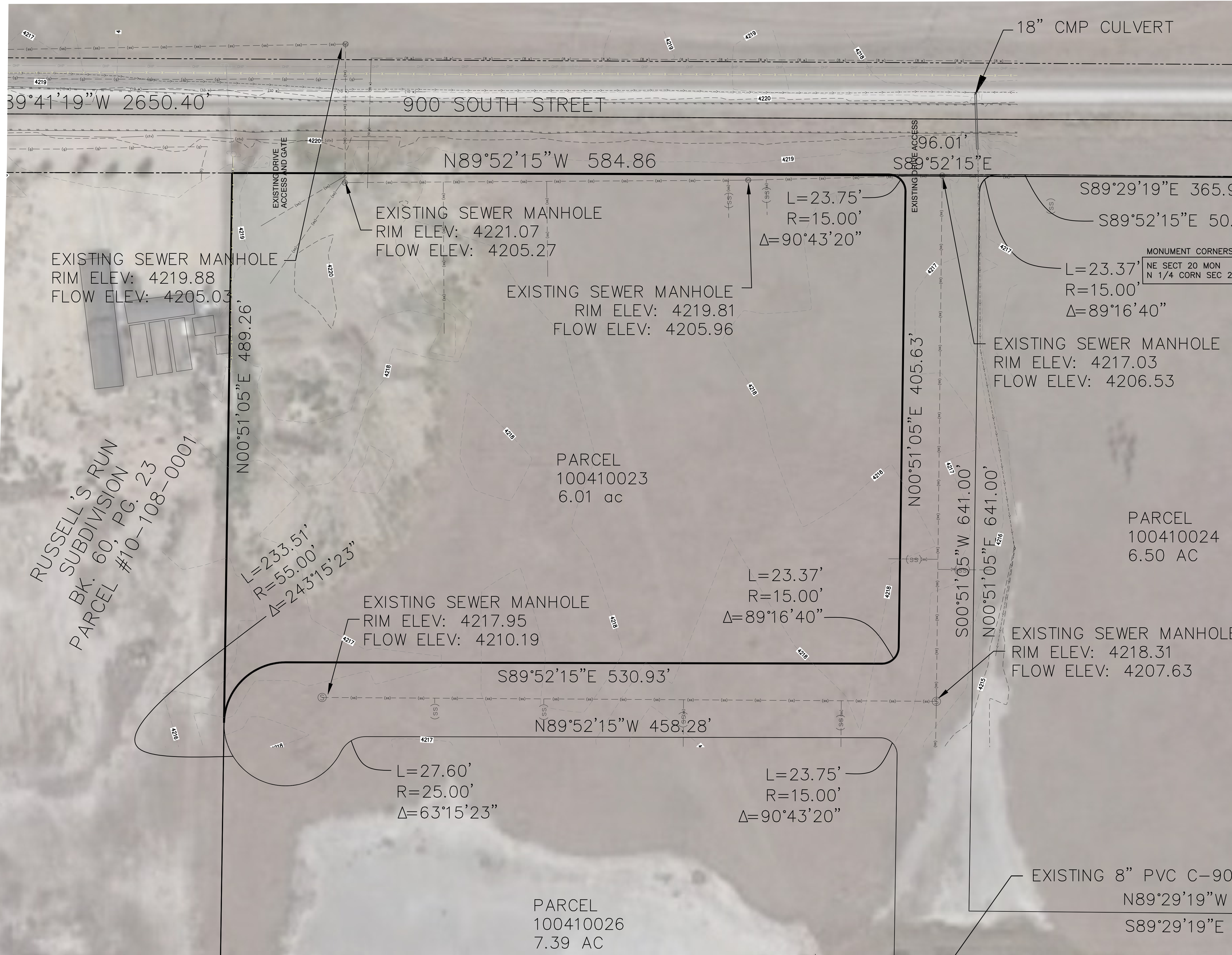
TWIN PEAKS
 Engineering & Land Surveying
 2264 NORTH 1450 EAST LEHI, UTAH 84043
 (801) 450-3511

DWG. DATE: **FEBRUARY 2022**
 PLOT DATE: 23 February 2022

SHEET

3

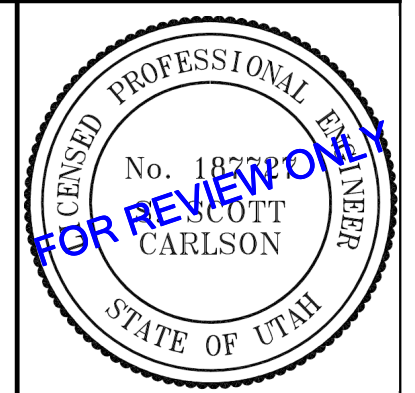




- LEGEND**
- 29 28 = SECTION CORNER & SECTION LINE
 - 32 33 = BOUNDARY LINE
 - = RIGHT OF WAY LINES
 - = ADJOINING PARCELS DEED LINES
 - = EXISTING RAILROAD
 - = EXISTANT FENCE LINES
 - = EDGE OF PAVEMENT
 - = EXISTING DRAINAGE DITCH
 - = EXISTING CONTOURS

MONUMENT CORNERS

	NORTHING	EASTING	ELEVATION
NE SECT 20 MON	15700.294	46095.445	4220.148
N 1/4 CORN SEC 20	15714.698	43445.084	4220.167

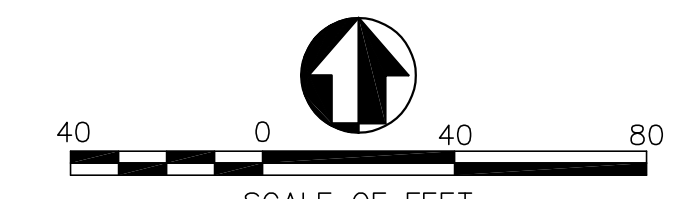
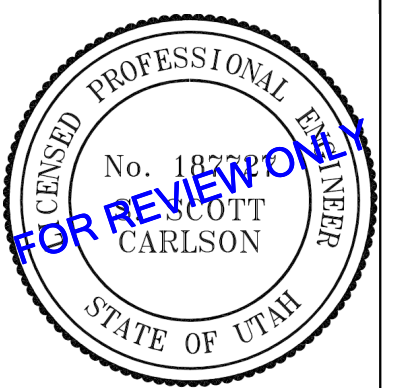


LITTLE MOUNTAIN BUSINESS DEPOT
EXISTING CONDITIONS
WEBER COUNTY, UTAH

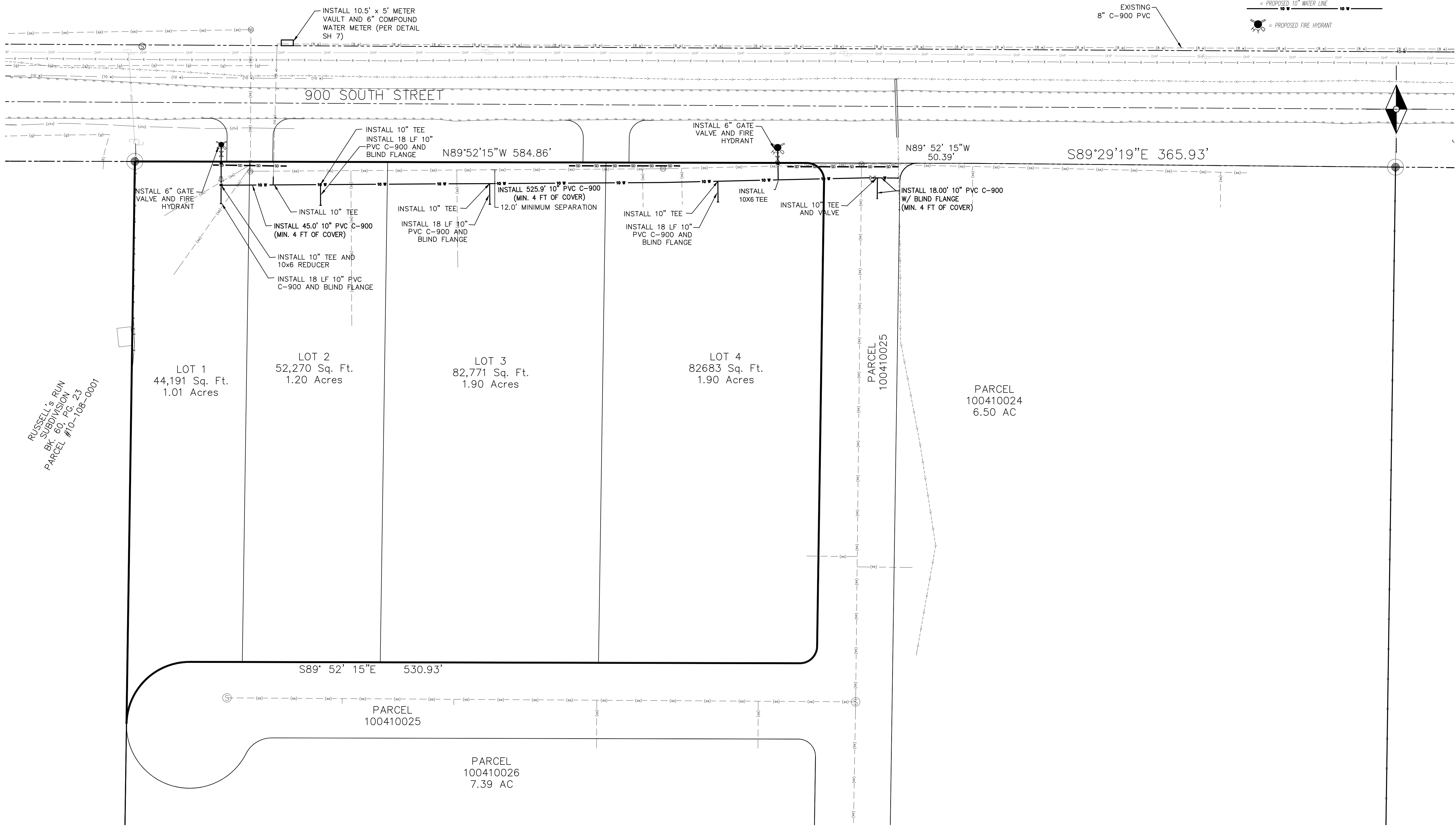


DWG DATE: FEBRUARY 2022
PLOT DATE: 21 March 2022

SHEET
2



- LEGEND**
- 29/32 = SECTION CORNER & SECTION LINE
 - = BOUNDARY LINE / #5 BAR & CAP "PLS 356548"
 - - - = RIGHT OF WAY LINES
 - - - = ADJOINING PARCELS DEED LINES
 - - - = EXTANT FENCE LINES
 - - - = PROPOSED 10" WATER LINE
 - ⊙ = PROPOSED FIRE HYDRANT



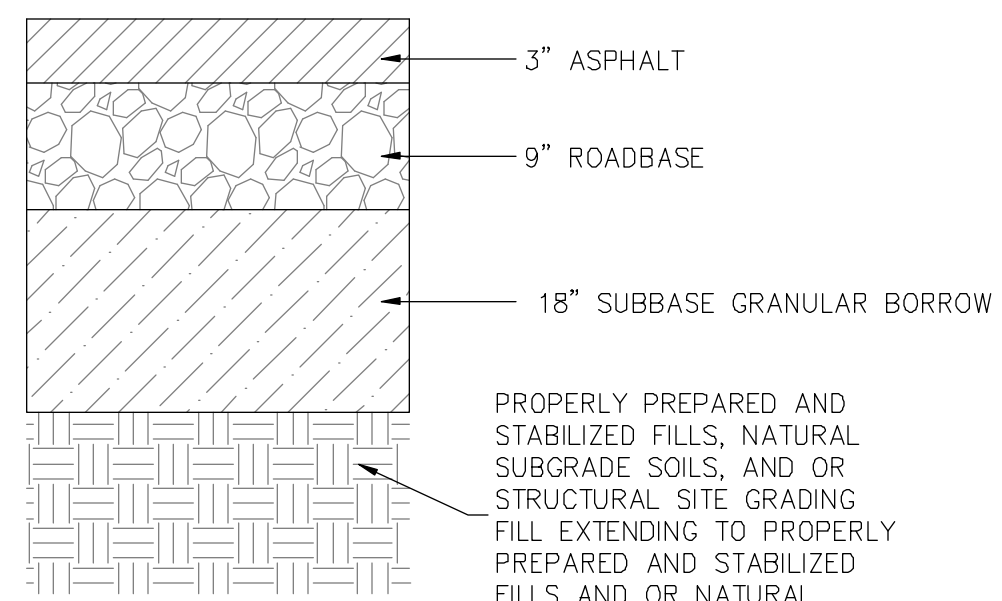
RUSSELL'S RUN
BK. 80, PG. 23
PARCEL #10-108-0001

LITTLE MOUNTAIN BUSINESS DEPOT
PHASE 1 UTILITY PLAN
WEBER COUNTY, UTAH

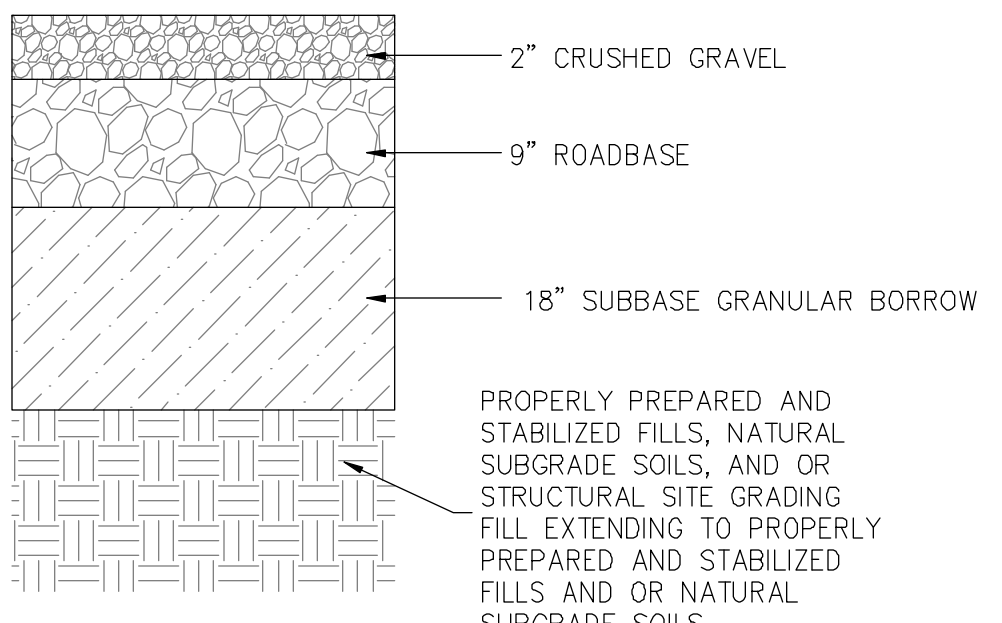
TWIN PEAKS
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2264 NORTH 1450 EAST LEHI, UTAH 84043
(801) 450-3511

DWG. DATE: FEBRUARY 2022
PLOT DATE: 23 February 2022

SHEET
4

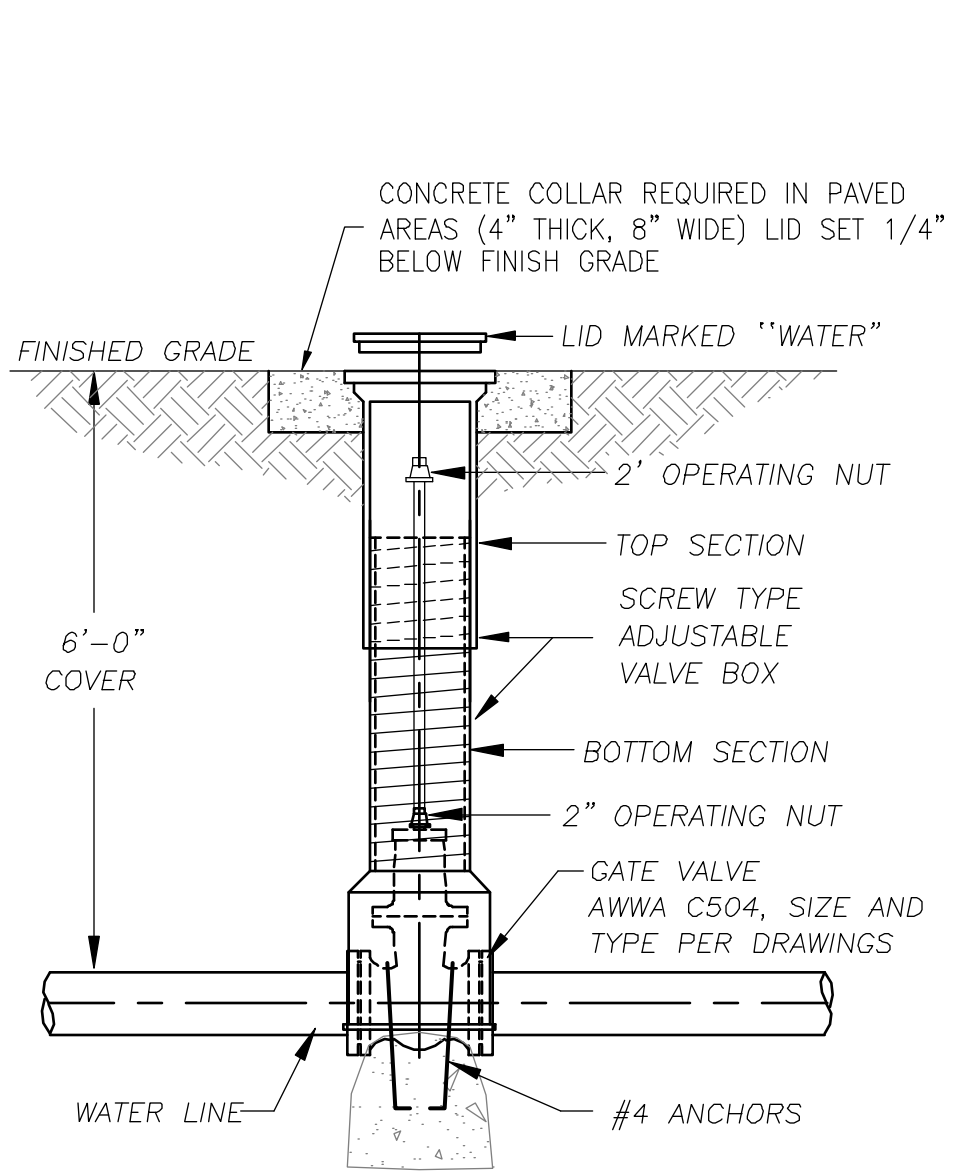
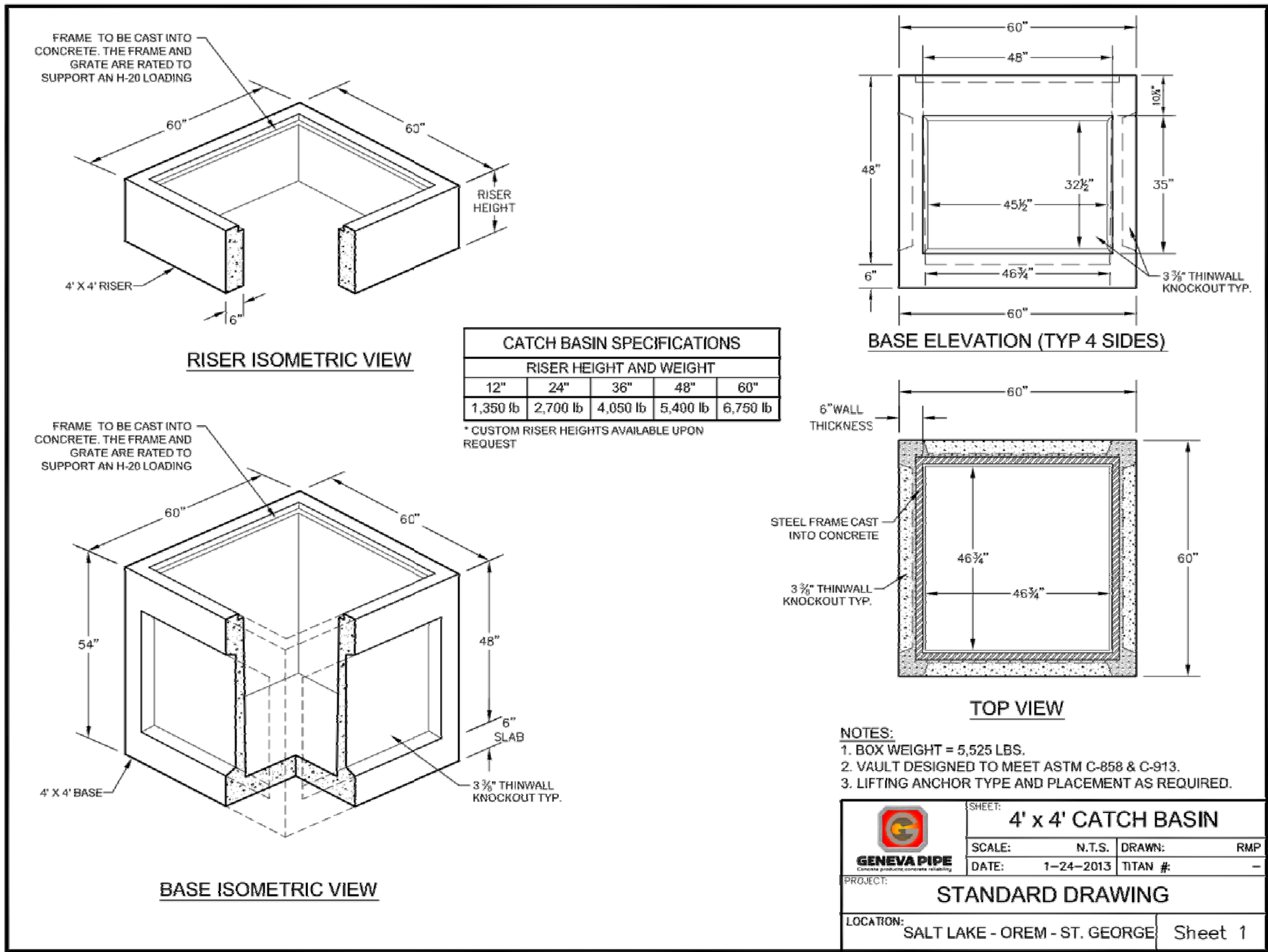
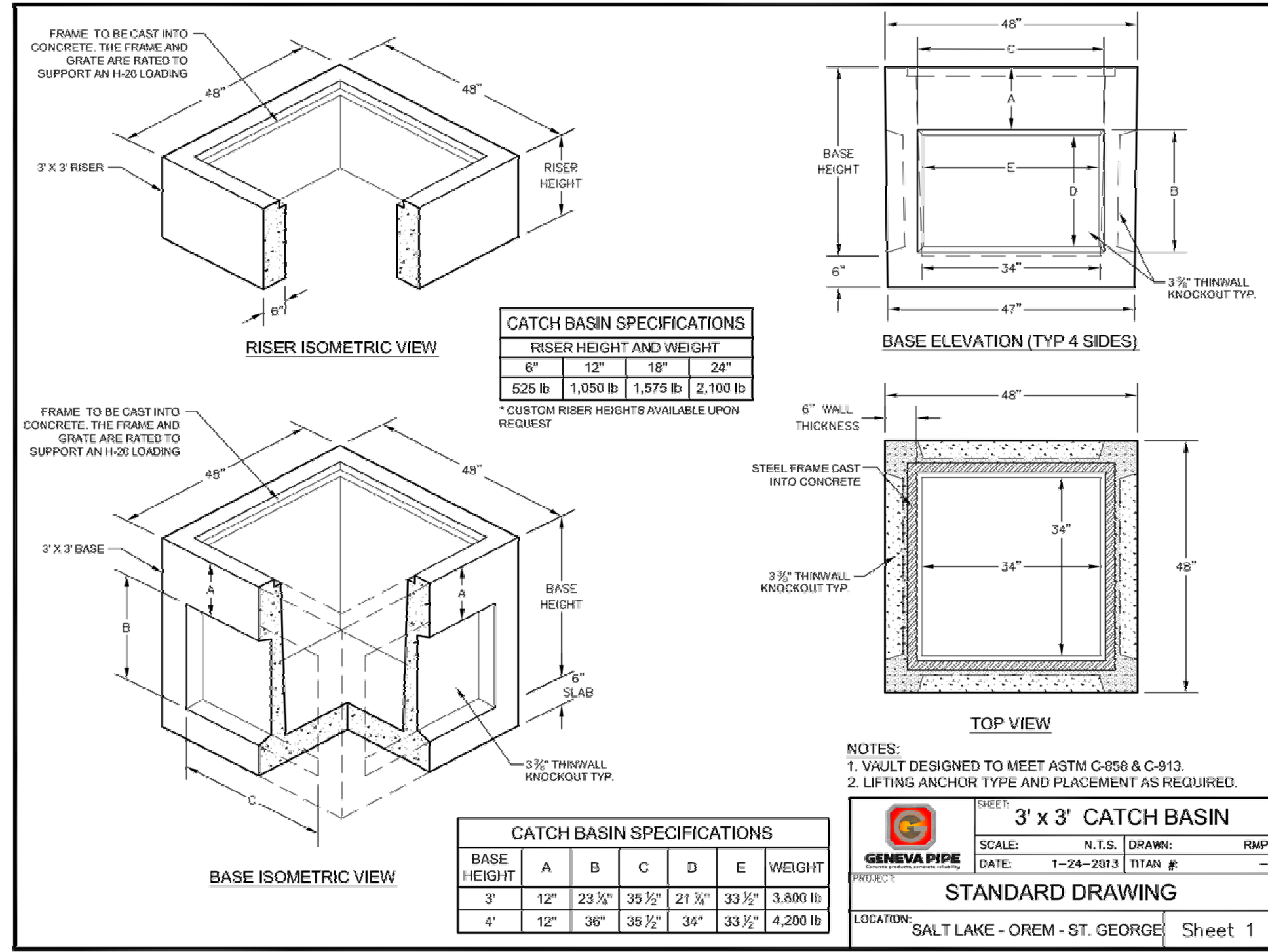


SECTION ONE

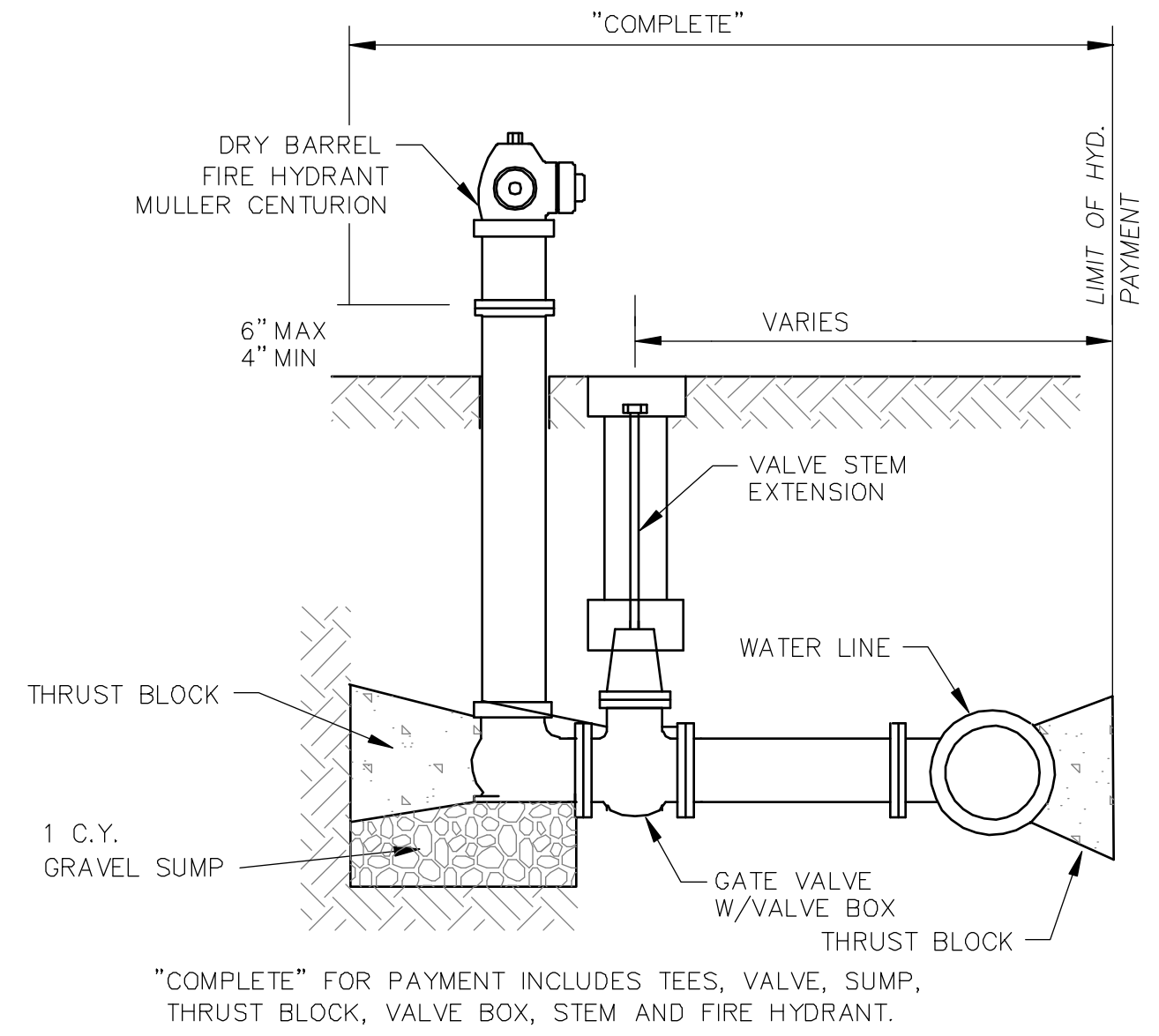


SECTION TWO

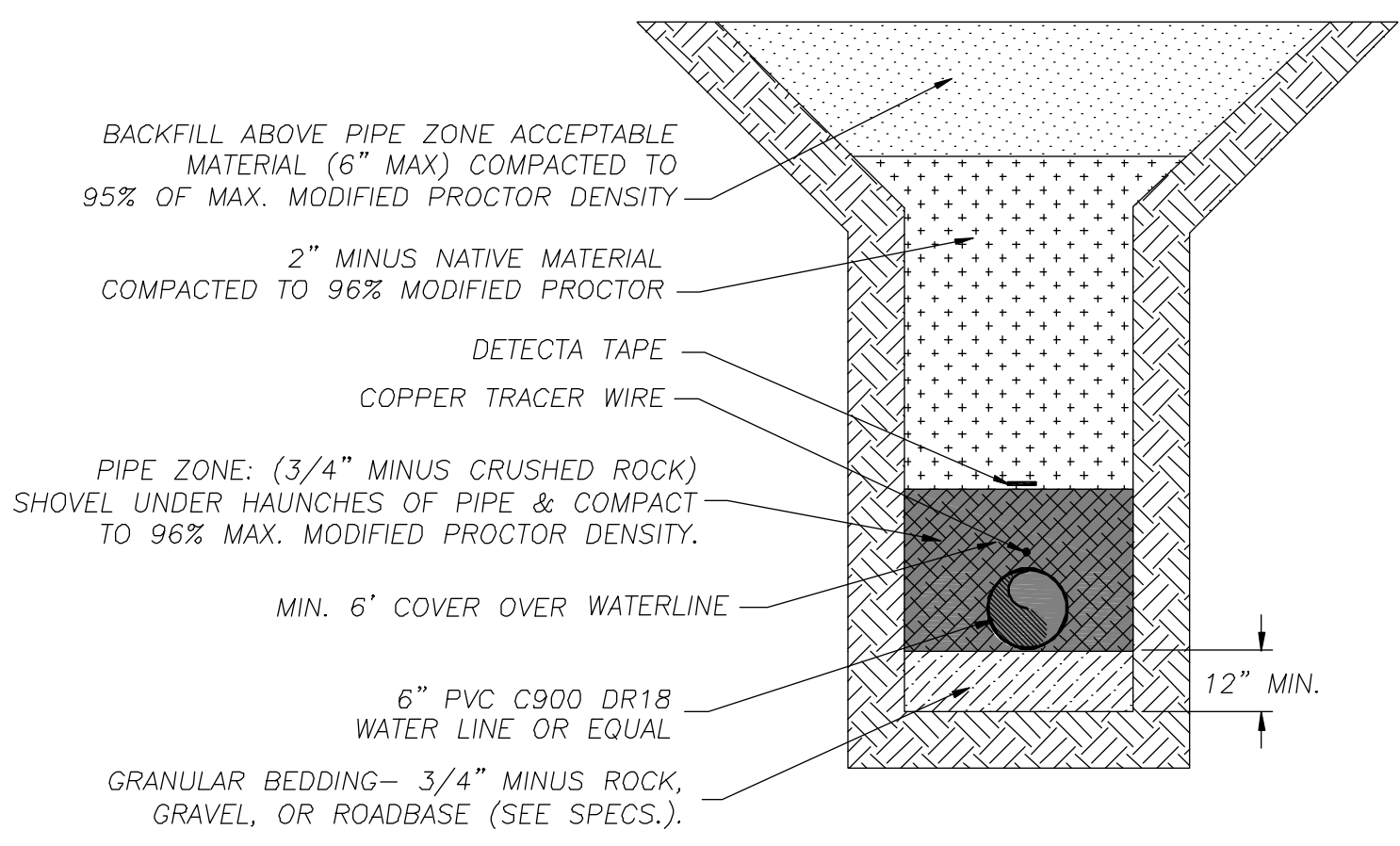
ROAD STRUCTURAL SECTION
N.T.S.



TYPICAL VALVE BOX DETAIL
N.T.S.



TYPICAL FIRE HYDRANT INSTALLATION
NOT TO SCALE



TYPICAL WATER TRENCH DETAIL
NOT TO SCALE



LITTLE MOUNTAIN BUSINESS DEPOT
DETAILS
WEBER COUNTY, UTAH



DWG DATE: FEBRUARY 2022
PLOT DATE: 21 February 2022