

## WESTERN WEBER PLANNING COMMISSION MEETING

### MEETING AGENDA

May 10, 2022

Pre-Meeting 4:30/ Regular meeting 5:00 p.m.

- *Pledge of Allegiance*
- *Roll Call:*

1. **Minutes:** April 6, 2022 April 12, 2022

**Petitions, Applications, and Public Hearings:**

2. **Administrative items:**

**2.1 DR2022-02:** Consideration and action on a design review amendment for machinery and warehouse additions (approximately 110,000 square feet) to the Kimberly Clark site located at 2010 N Rulon White Blvd, Ogden. **Presenter Steve Burton**

**2.2 LVJ022222:** Consideration and action on a request for final plat approval of Jacquelyn Estates Phase 1 Amended Subdivision. **Presenter Steve Burton**

**2.3 LVC042022** - Consideration and action on a request for preliminary approval of Cameron Pointe Subdivision (6 lots). **Presenter Felix Lleverino**

**Petitions, Applications, and Public Hearings:**

3. **Legislative Items:**

**ZTA 2022-01:** Discussion and action on a county-initiated zoning text amendment to regulations in the manufacturing zones (MV-1, M-1, M-2, & M-3) regarding garbage dumps, landfills, incinerators, transfer stations, automobile wrecking or junk yards, and similar uses. **Staff Presenter: Scott Perkes**

4. **Public Comment for Items not on the Agenda:**

5. **Remarks from Planning Commissioners:**

6. **Planning Director Report:**

7. **Remarks from Legal Counsel**

8. **Adjourn to Work Session**

**Adjourn**

*The regular meeting will be held in the Weber County Commission Chambers, in the Weber Center, 1st Floor, 2380 Washington Blvd., Ogden, Utah.*

*Public comment may not be heard during administrative items. Please contact the Planning Division Project Manager at 801-399-8374 before the meeting if you have questions or comments regarding an item.*

**A Pre-Meeting will be held at 4:30 p.m.** The agenda for the pre-meeting consists of discussion of the same items listed above, on the agenda for the meeting.

***In compliance with the Americans with Disabilities Act, persons needing auxiliary services for these meetings should call the Weber County Planning Commission at 801-399-8374***

## Meeting Procedures

### Outline of Meeting Procedures:

- ❖ The Chair will call the meeting to order, read the opening meeting statement, and then introduce the item.
- ❖ The typical order is for consent items, old business, and then any new business.
- ❖ Please respect the right of other participants to see, hear, and fully participate in the proceedings. In this regard, anyone who becomes disruptive, or refuses to follow the outlined procedures, is subject to removal from the meeting.

### Role of Staff:

- ❖ Staff will review the staff report, address the approval criteria, and give a recommendation on the application.
- ❖ The Staff recommendation is based on conformance to the general plan and meeting the ordinance approval criteria.

### Role of the Applicant:

- ❖ The applicant will outline the nature of the request and present supporting evidence.
- ❖ The applicant will address any questions the Planning Commission may have.

### Role of the Planning Commission:

- ❖ To judge applications based upon the ordinance criteria, not emotions.
- ❖ The Planning Commission's decision is based upon making findings consistent with the ordinance criteria.

### Public Comment:

- ❖ The meeting will then be open for either public hearing or comment. Persons in support of and in opposition to the application or item for discussion will provide input and comments.
- ❖ The commission may impose time limits for comment to facilitate the business of the Planning Commission.

### Planning Commission Action:

- ❖ The Chair will then close the agenda item from any further public comments. Staff is asked if they have further comments or recommendations.
- ❖ A Planning Commissioner makes a motion and second, then the Planning Commission deliberates the issue. The Planning Commission may ask questions for further clarification.
- ❖ The Chair then calls for a vote and announces the decision.

## Commenting at Public Meetings and Public Hearings

**Public comment may NOT be heard during Administrative items, the Planning Division Project Manager may be reached at 801-399-8371 before the meeting if you have questions or comments regarding an item.**

### Address the Decision Makers:

- ❖ When commenting please step to the podium and state your name and address.
- ❖ Please speak into the microphone as the proceedings are being recorded and will be transcribed to written minutes.
- ❖ All comments must be directed toward the matter at hand.
- ❖ All questions must be directed to the Planning Commission.
- ❖ The Planning Commission is grateful and appreciative when comments are pertinent, well organized, and directed specifically to the matter at hand.

### Speak to the Point:

- ❖ Do your homework. Obtain the criteria upon which the Planning Commission will base their decision. Know the facts. Don't rely on hearsay and rumor.
- ❖ The application is available for review in the Planning Division office.
- ❖ Speak to the criteria outlined in the ordinances.
- ❖ Don't repeat information that has already been given. If you agree with previous comments, then state that you agree with that comment.
- ❖ Support your arguments with relevant facts and figures.
- ❖ Data should never be distorted to suit your argument; credibility and accuracy are important assets.
- ❖ State your position and your recommendations.

### Handouts:

- ❖ Written statements should be accurate and either typed or neatly handwritten with enough copies (10) for the Planning Commission, Staff, and the recorder of the minutes.
- ❖ Handouts and pictures presented as part of the record shall be left with the Planning Commission.

### Remember Your Objective:

- ❖ Keep your emotions under control, be polite, and be respectful.
- ❖ It does not do your cause any good to anger, alienate, or antagonize the group you are standing in front of.

**April 6-2022 Minutes**

Minutes for Western Weber Planning Commission meeting of April 6, 2022, held in the Weber County Commission Chamber, 2380 Washington Blvd. Floor 1 Ogden UT at 4:30 pm.

**Members Present:** Andrew Favero—Chair

Wayne Andreotti

Jed McCormick

Bren Edwards

Cami Clontz

Chad Call

**Excused:** Sarah Wichern

**Pledge of Allegiance**

**Staff Present:** Steve Burton, Principal Planner; Liam Keogh, Legal Counsel; June Nelson, Secretary

**1. Minutes were approved for March 1, 2022 6-0**

**2. Administrative Items**

**1.1 DR 2022-01:** Consideration and action on a design review application for a medical cannabis cultivation operation, located at approximately 1901 S 5100 W, Ogden. **Presenter Steve Burton**

The applicant is requesting approval of a design review to operate a medical cannabis cultivation operation. The proposed use will take place in three separate greenhouses. The applicant states in their narrative, that they anticipate minimal impact on adjacent properties. The narrative explains that the cultivation will operate under the existing facility's hours of operation, 6:30 am through 8:30 PM Monday through Friday, with some Saturdays during harvesting. Twenty employees are anticipated to participate in this operation. The following is a synopsis of the proposal's compliance with the County's land use codes.

Steve Burton read the county code to show that this is allowed in the A-2 zone. Commissioner Bren Edwards asked the owners if there would be a berm to block the greenhouse. They said that there is a 12 foot berm and other greenhouses between the greenhouses and the property line.

**Chair Favero called for a motion. Commissioner Edwards motioned to follow Staff Recommendations and findings listed in the staff report.**

Staff recommends approval of Design Review Application 2022-01 for a medical cannabis cultivation operation located at 1901 S 5100 W, Ogden. This recommendation is based on any review agency comments and the following conditions:

1. The cultivation operation must follow all applicable county and state regulations.

This recommendation is based on the following findings:

1. The proposed use conforms to the Western Weber General Plan.
2. The proposed use is not anticipated to be detrimental to public health, safety, or welfare.
3. The proposed use complies with applicable County ordinances.
4. The proposed use, if conditions are imposed, is not anticipated to deteriorate the environment or negatively impact surrounding properties and uses.

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Commissioner Jed McCormick seconded the motion. All commissioners voted in favor 6-0.

3. Public Comment for Items not on the Agenda: None

4. Remarks from Planning Commissioners: None

5. Planning Director Report: None

6. Remarks from Legal Counsel: None

Bren Edwards motions to adjourn. All voted in favor 6-0

Respectfully Submitted,  
*June Nelson*  
Lead Office Specialist

*The regular meeting will be held in the Weber County Commission Chambers, Break -Out Room, in the Weber Center, 1st Floor, 2380 Washington Blvd., Ogden, Utah.*

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**April 12-2022 Minutes**

Minutes for Western Weber Planning Commission meeting of April 12, 2022, held in the Weber County Commission Chamber, 2380 Washington Blvd. Floor 1 Ogden UT at 4:30 pm.

**Members Present:** Andrew Favero—Chair

Wayne Andreotti

Jed McCormick

Sarah Wichern

**Excused:** Chad Call, Cami Clontz, Bren Edwards

**Pledge of Allegiance**

**Staff Present:** Rick Grover, Planning Director; Charlie Ewert, Principal Planner; Steve Burton, Principal Planner; Scott Perkes, Planner; Tammy Aydelotte, Planner; Liam Keogh, Legal Counsel; June Nelson, Secretary

**1. Minutes: No minutes were available.**

**2. Administrative Items**

- 2.1 DR 2021-15:** Request for approval of a design review for a new high school, located at approximately 4400 West 2200 South, Taylor, UT, 84405. Proposal outlines additional site improvements that include hard-surface parking, sports fields, landscaping in addition to the main school building(s). **Presenter Tammy Aydelotte**

12/16/2021 – Design Review Application accepted.

The applicant is requesting approval of a design review for a new high school located in the A-1 zone at 2200 South 4300 West, Ogden, UT, 84401. This 52-acre site includes the main building, sports fields and associated accessory structures, and parking for 1501 vehicles.

Design Review: The A-1 zone and the proposed use mandate a design review as outlined in LUC §108-1 to ensure that the general design, layout and appearance of the building remains orderly and harmonious with the surrounding neighborhood. As part of this review, the Planning Commission shall consider the applicable matters based on the proposed use and impose conditions to mitigate deficiencies where the plan is found deficient. The matters for consideration are as follows:

Considerations relating to traffic safety and traffic congestion: The proposal includes a site plan that identifies the location of each structure, field, and parking stall, as well as the plan to access the school from 2200 South Street and 4300 West Street. Planning is requesting a pathway access from the west, per Weber County Land Use Code 108-1-4(a)(2). The applicant does not agree with this requirement and has stated a potential refusal to comply with this requirement, per previous conversations.

The following section of Utah State Code applies to this application (Utah State Code 17-27a-305(3) "A county may not: (b): "...except as otherwise provided in this section, require a school district or charter school to participate in the cost of any roadway or sidewalk, or a study on the impact of a school on a roadway or sidewalk, that is not reasonably necessary for the safety of school children and not located on or contiguous to school property, unless the roadway or sidewalk is required to connect an otherwise isolated school site to an existing roadway;"

Access to the proposed school site will be from the south (2200 South Street – 2 points of ingress/egress) and from the east (4300 West Street – 5 points of ingress/egress).

Considerations relating to landscaping, buildings and site layout. Per Utah State Code 17-27a-305 (3) " county may not:

**April 12-2022 Minutes**

(a) impose requirements for landscaping, fencing, aesthetic considerations, construction methods or materials, additional building inspections, county building codes, building use for educational purposes, or the placement or use of temporary classroom facilities on school property;"

The application proposal includes four structures, five sports courts/field areas, a driving range, and 1501 parking stalls. This proposal also includes landscaping, and sidewalk along 2200 South Street, and 4300 West Street.

Considerations relating to utility easements, drainage, and other engineering questions. The applicant will need to adhere to all conditions of the Engineering Division including but not limited to recommendations regarding retention ponds and a SWPP. There is a drainage easement along the northern lot boundary. An easement located along the east boundary has been vacated for the purposes of combining parcels into a single lot

Considerations relating to prior development concept plan approval associated with any rezoning agreement, planned commercial or manufacturing rezoning, or planned residential unit development approval. The proposed site does not have any type of development agreement associated with the property; therefore considerations pertaining to this portion of the code are not applicable at this time.

Review Agencies: To date, the design review has been approved by the Weber Fire District. Weber County Engineering has reviewed, but not yet approved this project. Planning has issued conditional approval. All review agency requirements must be addressed and completed prior to the written approval of the design review being issued.

Tammy Aydelotte stated that at a minimum the County would like to see an east-west pathway through the property. The commissioners were asking how many students were expected at the school. Commissioner Andreotti asked if there will be street parking. The streets are kind of narrow. Tammy Aydelotte stated that will be up to Engineering. Commissioner Favero stated that he was concerned about not having a road that goes through. His concern is about safety.

**Commissioner Favero called for a motion. Sarah Wichern motioned to follow staff recommendation and findings with the addition of item 2 in the recommendations:**

Staff recommends approval of the Weber School District New High School Design Review Application. This recommendation is conditioned upon all review agency requirements, and the following conditions:

1. A pedestrian pathway access as shown in exhibit C, shall be shown and legally granted to the county as a public pathway prior to written approval of this design review application is issued.
2. Thirty three foot road dedication to be added on the western boundry.

This recommendation is based on the following findings:

1. Warehouse storage is permitted as a primary use within the A-1 zone.
2. The applicant has demonstrated compliance with the applicable land use codes.

**Commissioner Jed McCormick seconded the motion. All commissioners voted in favor 4-0. Motion passed.**

**2.2 LVT010622:** A request for final approval of Taylor Landing Phase 3 Cluster Subdivision consisting of 34 lots located near 4075 W 2200 S.; **Staff Presenter: Scott Perkes**

**Scott Perkes states that there will be 35 lots not 34.**

The applicant presented the overall cluster subdivision sketch plan on February 11, 2020. The applicant then submitted for preliminary approval based on the sketch plan design. The proposed subdivision included 5 phases and requested a 50% bonus density to create a total of 156 lots and a total of 55.97 acres of agricultural open space (see **Exhibit A**). Preliminary approval was denied by the Western Weber Planning Commission during their May 12, 2020 meeting based on findings that the proposed design did not prioritize the most prime agricultural land within the subdivision boundary for preservation. The Planning Commission's denial of preliminary approval was then appealed by the applicant to the County Commission. This appeal was heard by the County Commission during their June 16, 2020 meeting and resulted in the overturning of the Planning Commissions denial of preliminary approval by a County Commission vote of 2 to 1.

**April 12-2022 Minutes**

Following preliminary approval, the applicant was granted final approval of Phases 1A and 2 by the WWPC during their November 10, 2020 meeting. The applicant is now requesting final approval of Phase 3 (see **Exhibit B**).

The proposed Phase 3 is consistent with the approved preliminary plan and consists of 34 lots totaling 12.85 acres of developed land. This request for final approval also requires the dedication of a proportionate amount of open space (58.25%, per the preliminary/open space plan) consisting of 13.16 acres.

The Commissioners stated some concern about existing buildings on the property. When will they be taken down?

Applicant Representative Marsha Stokes, 2650 Washington Blvd. Suite 203, Ogden. She stated that they have begun work to take down the buildings. They have engaged a demo company. Work should be completed by mid to end of May.

The Commissioners were satisfied with that information.

**Chair Favero called for a motion: Sarah Wichern motioned to follow all staff recommendations and findings with the inclusion of item 4 in the recommendations.**

The Planning Division recommends final approval of the Taylor Landing Cluster Subdivision Phase 3 based on the proposed plan adhering to the requirements of the Weber County Land Use Codes including the design standards in the Cluster Subdivision Ordinance. This recommendation for approval is subject to all review agency requirements and based on the following conditions:

1. Per LUC 108-3-5(f)(3), an agreement shall be recorded with the final plats to the title of all open space preservation parcels that details the open space preservation plan and any conditions necessary to execute the open space preservation plan.
2. Final letters of approval shall be submitted from Taylor West Weber Water, Hooper Irrigation Company, and the Central Weber Sewer Improvement District prior to recording the final plat.
3. Approved subdivision improvements shall be installed, or an escrow established for their installation prior to recording the final plat.
4. Open space parcel must be cleared of buildings before permit is issued.

This recommendation is based on the following findings:

1. The proposed subdivision conforms to the Western Weber General Plan.
2. The proposed subdivision complies with applicable County ordinances.

**Wayne Andreotti seconded the motion. All voted in favor 4-0. Motion passed.**

**3. Public Comment for Items not on the Agenda:** Chad Buck, 2205 S 2200 E Clearfield. He owns some land near the new school. He is concerned about a road behind the school. The school has told him that they won't do a road. He is also concerned that a pathway through the school property will bring lots of parking in the subdivision.

**4. Remarks from Planning Commissioners:** Commissioner Wichern commented on an article on KSL. Is California to blame for Utah's problem? We have a home grown problem, not a California problem. We can't keep all the land. We need to create places for Utahns to live in Utah.

**5. Planning Director Report:** We will be revising the General Plan schedule. It will more than likely go to the County Commission in July. To Mr. Buck, if there are parking issues, we can put in parking restrictions in the area to curb that problem.

**6. Remarks from Legal Counsel:** Liam Keogh said that he would like to commend and congratulate all the planners, but especially Tammy Aydelotte for her work on the Design Review.

**Wayne Andreotti motions to adjourn to Work Session. All voted in favor 4-0**

April 12-2022 Minutes

7. Adjourn to Work Session

7.1 Western Weber General Plan Work Session

Next meeting for the General Plan will be April 27, 4:00. There will be no Western Weber Planning Commission meeting on May 3.

There will be some changes in the timeline for the General Plan. Timeline has been extended. More information will follow.

Charlie Ewert had updates on the General Plan.

Adjourn

Respectfully Submitted,  
*June Nelson*  
Lead Office Specialist

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# Staff Report to the Western Weber Planning Commission

Weber County Planning Division

## Synopsis

### Application Information

**Application Request:** Consideration and action on a design review amendment for machinery and warehouse additions (approximately 110,000 square feet) to the Kimberly Clark site located at 2010 N Rulon White Blvd, Ogden.

**Agenda Date:** May 10, 2022

**Applicant:** Kenton Wall

**File Number:** DR 2022-02

### Property Information

**Approximate Address:** 2010 N Rulon White Blvd, Ogden

**Project Area:** 130,974 square feet

**Zoning:** Manufacturing (M-1 Zone)

**Existing Land Use:** Distribution Center

**Proposed Land Use:** Distribution Center

**Parcel ID:** 190410076

**Township, Range, Section:** T7N, R2W, Section 36

### Adjacent Land Use

<b>North:</b>	Industrial	<b>South:</b>	Industrial
<b>East:</b>	Industrial	<b>West:</b>	Industrial

### Staff Information

**Report Presenter:** Steve Burton  
sburton@webercountyutah.gov  
801-399-8766

**Report Reviewer:** RG

## Applicable Ordinances

1. Title 104 Zones Chapter 22 Manufacturing Zone (M-1)
2. Title 104 Chapter 1 (Design Review)
3. Title 108 Standards Chapter 7 (Supplemental and Qualifying Regulations)
4. Title 108 Standards Chapter 8 (Parking and Loading Space, Vehicle Traffic and Access Regulations)

## Proposal

The applicant is proposing a warehouse addition of 80,143 square feet and machinery addition of 30,603 square feet. These additions will be used as part of the existing manufacturing site which is used for the manufacturing and distribution of toiletries. The use of a warehouse is permitted in the M-1 zone. The proposal meets the requirements of the Design Review chapter, 108-1.

## Anaylsis

**General Plan:** The proposal is in compliance with the West Central Weber General Plan by continuing permitted uses within the existing manufacturing zones.

**Zoning:** The M-1 zone allows warehouses as a permitted use. The proposed warehouse expansion and machinery addition meet the following setbacks and site layout requirements:

Front yard: 30 feet.

Side yard: 20 feet where adjacent to residential zone.

Rear yard: 30 feet where building rears on a residential zone.

Building height: None.

Lot coverage: 80 percent.

Design Review: The design review chapter requires the land use authority to review an application with the following considerations:

(a). Considerations relating to traffic safety and traffic congestion:

Impact fees for the proposal's impact on existing streets will be collected as a building permit is issued. The owner is not expected to do more than pay impact fees as a means of addressing traffic concerns. Concerns of congestion or safety are not anticipated to be a result of this proposal.

(b). Considerations relating to outdoor advertising:

The proposal does not include any outdoor advertising.

(c). Considerations to landscaping:

The existing site is landscaped with turf grass, evergreen trees, and deciduous trees. The existing landscaping meets the requirements of the design review chapter including the requirement to have 10 percent of the project landscaped.

(d). Considerations relating to buildings and site layout:

The proposed building material, architecture, and colors conform to the existing site and surrounding neighborhood concept.

(e). Considerations relating to utility easements, drainage, and other engineering questions:

The site is required to detain the water that could runoff the site from hard surface parking and existing structures. The Weber County Engineering Division has approved the proposal.

(f). Considerations relating to prior development concept plan approval associated with any rezoning agreement, planned commercial or manufacturing rezoning, or planned residential unit development approval:

There have been no development agreements that apply to this property. There have been several design review and conditional use permit approvals on this site, with which this proposal complies.

Review Agencies: Weber Fire District and the County Engineer have approved this project.

## Staff Recommendation

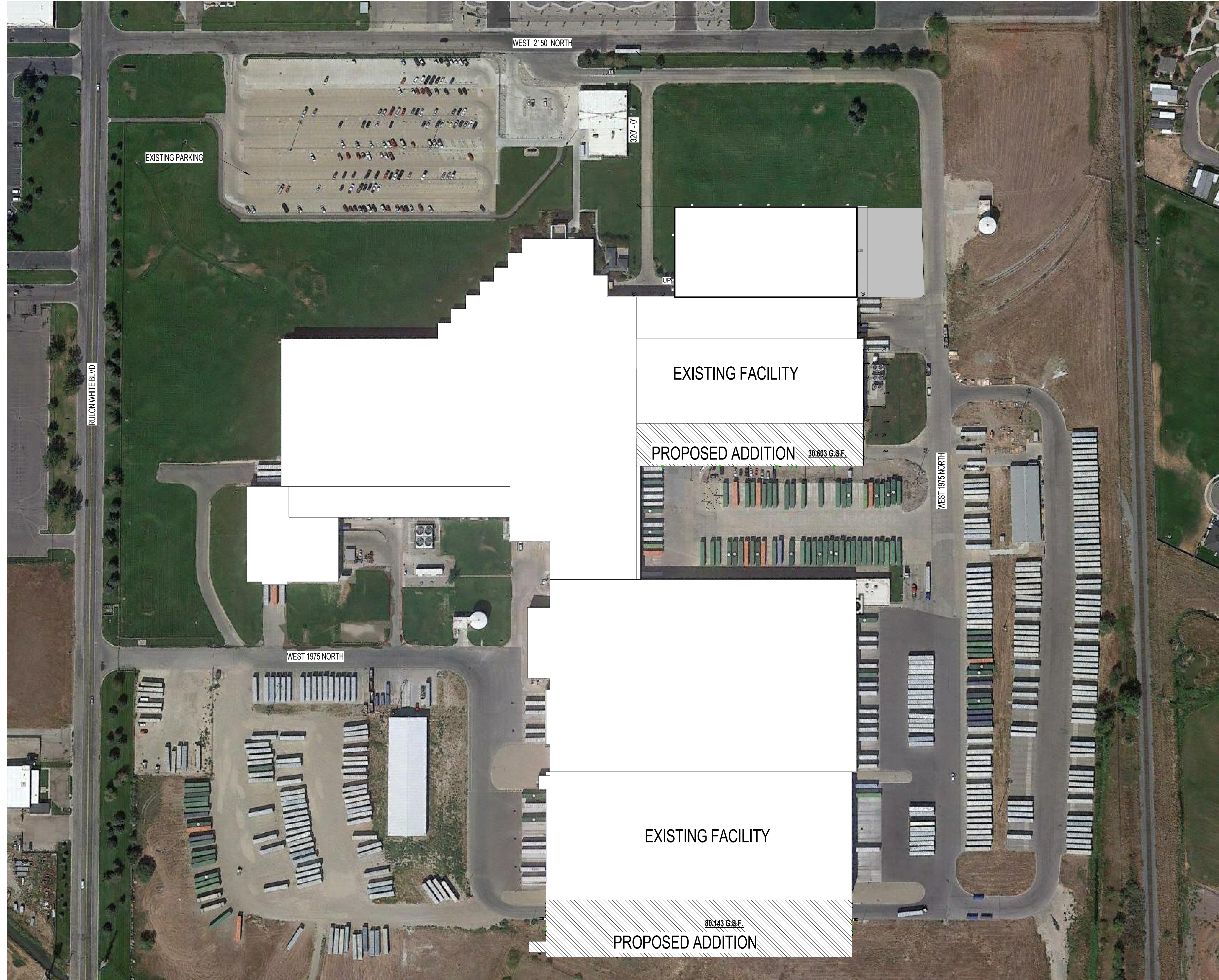
Staff recommends approval of DR 2022-02. This recommendation is based on review agency comments and is based on the following findings:

1. The proposed use conforms to the Western Weber General Plan.
2. The proposed use is not detrimental to public health, safety, or welfare.
3. The proposed use complies with applicable County ordinances.
4. The proposed use, if conditions are imposed, is not anticipated to deteriorate the environment or negatively impact surrounding properties and uses.

## Exhibits

- A. Engineered plans and site plan.





**A5 ARCHITECTURAL SITE PLAN**  
 AS101 1" = 100'-0"



ARCH | NEXUS

Architectural NEXUS, Inc.  
 2505 East Parleys Way  
 Salt Lake City, Utah 84109  
 T 801.924.5000  
 http://www.archnexus.com

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**KIMBERLY-CLARK**  
**U-13 MACHINE BAY & FINISHED**  
**PRODUCT WAREHOUSE 3**  
 2010 RULON WHITE BOULEVARD, OGDEN UT 84404

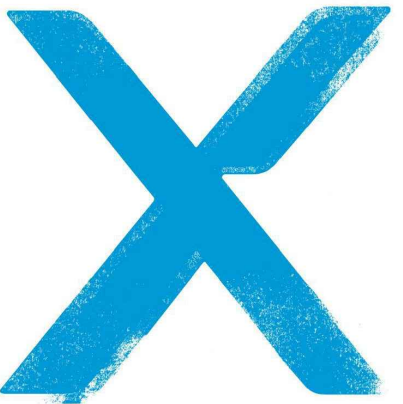
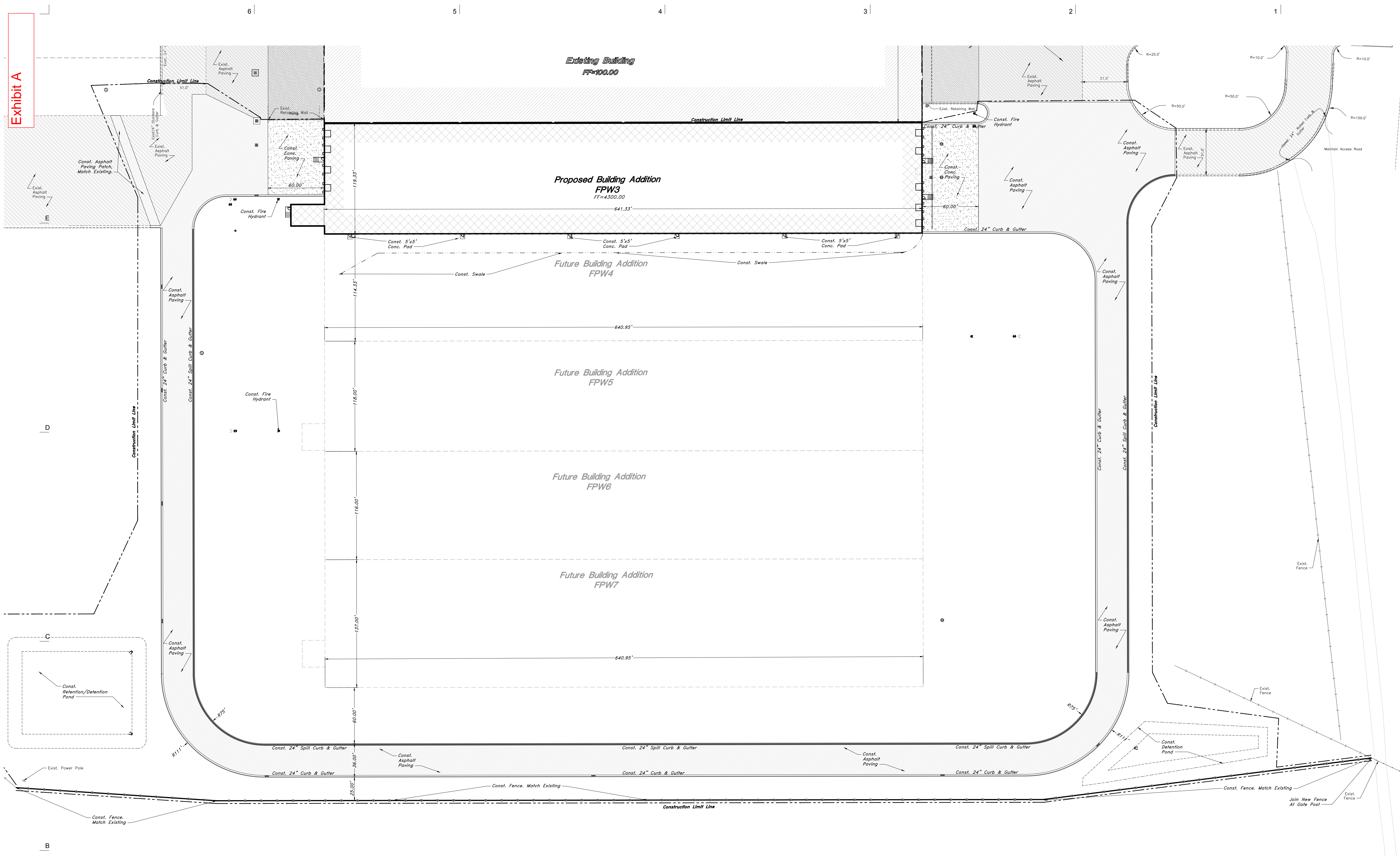
#	Date	Revision

**CONSTRUCTION SET**

NEXUS PROJ. #: 22003  
 CHECKED BY: BJS  
 DRAWN BY: JFW  
 DATE: 02.25.2022

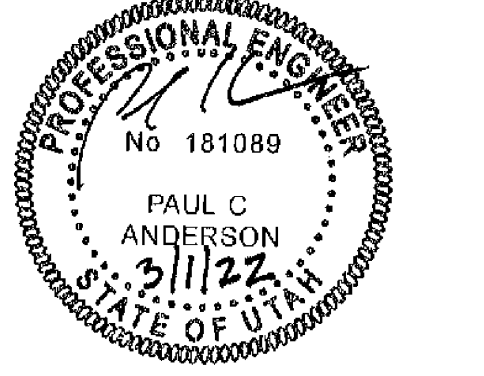
**ARCHITECTURAL SITE PLAN**

**AS101**



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**KIMBERLY-CLARK**  
**U-13 MACHINE BAY & FINISHED**  
**PRODUCT WAREHOUSE 3**  
 2010 Ruion White Boulevard, Ogden, UT

# Date Revision

- GENERAL SITE NOTES:**
1. Stalls designated as accessible will require a painted accessible symbol and sign. (See Details)
  2. Fire line markings and signs to be installed as directed by the Fire Marshal.
  3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
  4. Building sidewalks, ramps, and bollards are building contractor responsible items. See architectural plans.
  5. All dimensions are to back of curb unless otherwise noted.

**PRIVATE ENGINEER'S NOTICE TO CONTRACTORS**  
 The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

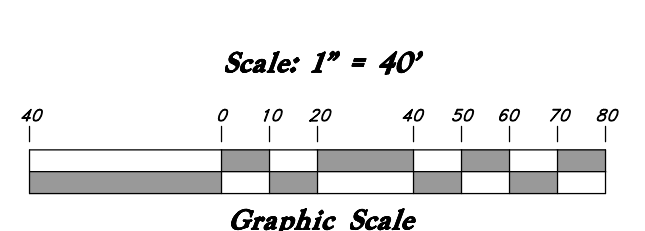
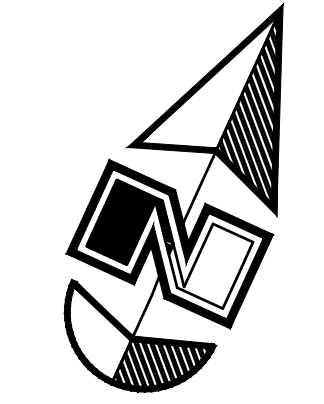
ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

- San. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Cleanout
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Exist. Water Valve
- Water Valve
- Sanitary Sewer
- Culinary Water
- Gas Line
- Irrigation Line
- Storm Drain
- Telephone Line
- Secondary Waterline
- Power Line
- Fire Line
- Land Drain
- Power pole w/guy

**Legend**  
 (Note: All items may not appear on drawings)

- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- Polyvinyl Chloride
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Walk
- Top of Concrete
- Finish Grade
- Natural Ground
- Match Existing
- Fire Department Connection
- Finish Contour
- Exist. Contour

- Finish Grade
- Exist. Grade
- Ridge Line
- Direction of Flow
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Existing Concrete
- New Concrete
- Spill Curb & Gutter
- Demo Tree

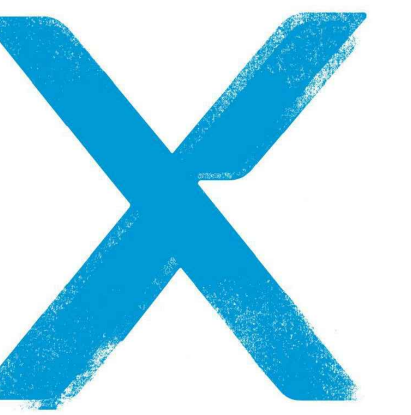


**PERMIT SET**

NEXUS PROJ. #: 22003  
 CHECKED BY: PCA  
 DRAWN BY: SDW  
 DATE: 03-01-2022

**Site Plan**

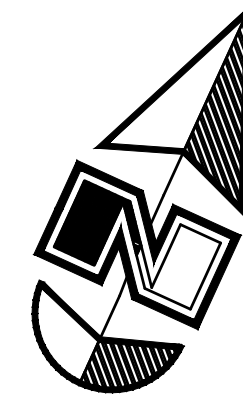
SHEET NO.  
**C101F**



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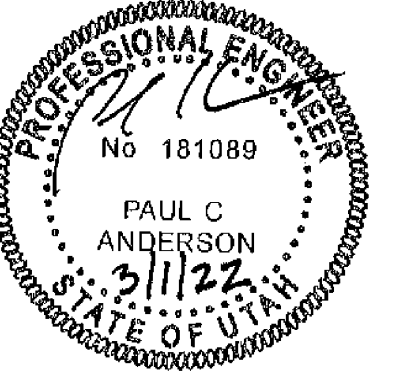
Original drawings remain the property of the Architect and as such the Architect retains total ownership and control. The design represented by these drawings is sold to the client for a one time use, unless otherwise agreed upon in writing by the Architect. ©ARCH NEXUS All Rights Reserved



Scale: 1" = 20'  
Graphic Scale



1-800-662-4111



**KIMBERLY-CLARK  
U-13 MACHINE BAY & FINISHED  
PRODUCT WAREHOUSE 3**  
2010 Ruion White Boulevard, Ogden, UT



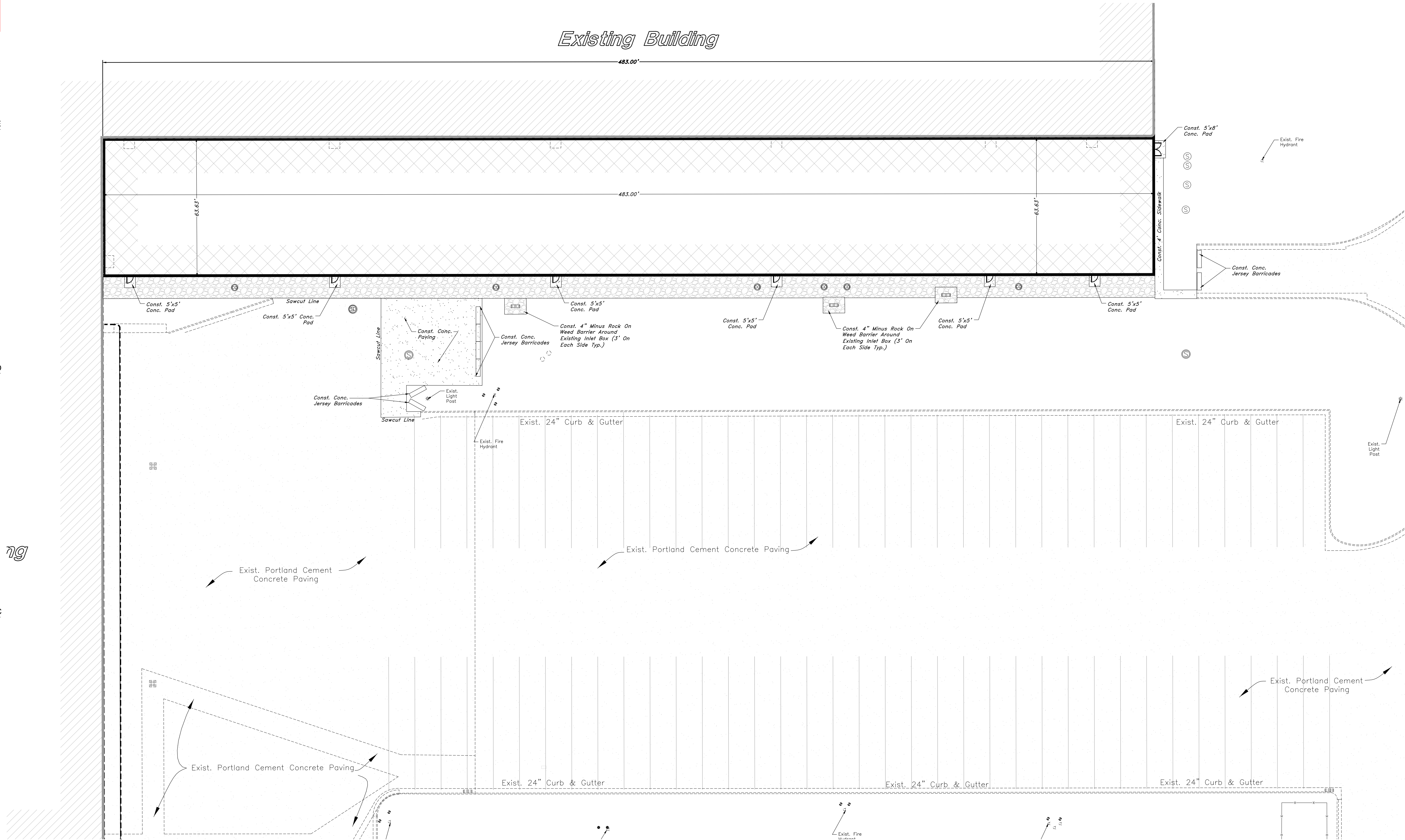
# Date Revision

**PERMIT SET**

NEXUS PROJ. #: 22003  
CHECKED BY: PCA  
DRAWN BY: SDW  
DATE: 03-01-2022

**Site Plan**

SHEET NO.  
**C101U**



- GENERAL SITE NOTES:**
1. Stalls designated as accessible will require a painted accessible symbol and sign. (See Details)
  2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
  3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
  4. Building sidewalks, ramps, and bollards are building contractor responsible items. See architectural plans.
  5. All dimensions are to back of curb unless otherwise noted.

**PRIVATE ENGINEER'S NOTICE TO CONTRACTORS**

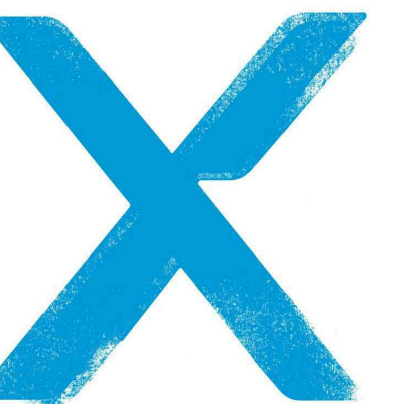
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ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

**Legend**  
(Note: All items may not appear on drawing)

San. Sewer Manhole	⊙	Light Pole	⊙	Finish Grade	SS.337A
Water Manhole	⊙	Fence	—	Exist. Grade	93.727A
Storm Drain Manhole	⊙	Flowline of ditch	—	Ridge Line	—R—
Cleanout	⊙	Overhead Power line	—	Direction of Flow	—
Electrical Manhole	⊙	Corrugated Metal Pipe	—	Existing Asphalt	▨
Catch Basins	⊙	Concrete Pipe	—	New Asphalt	▨
Fire Hydrant	⊙	Reinforced Concrete Pipe	—	Heavy Duty Asphalt	▨
Exist. Water Valve	⊙	Ductile Iron	—	Existing Concrete	▨
Water Valve	⊙	Polyvinyl Chloride	—	New Concrete	▨
Sanitary Sewer	—	Top of Asphalt	—	Spill Curb & Gutter	▨
Utility Water	—	Edge of Asphalt	—	Demo Tree	⊙
Gas Line	—	Centerline	—		
Fire Line	—	Finish Floor	—		
Drainage Line	—	Top of Curb	—		
Storm Drain	—	Top of Wall	—		
Telephone Line	—	Top of Walk	—		
Secondary Waterline	—	Top of Concrete	—		
Power Line	—	Natural Ground	—		
Fire Line	—	Finish Grade	—		
Land Drain	—	Match Existing	—		
Power pole	—	Fire Department Connection	—		
Power pole w/guy	—	Finish Contour	—		
		Exist. Contour	—		

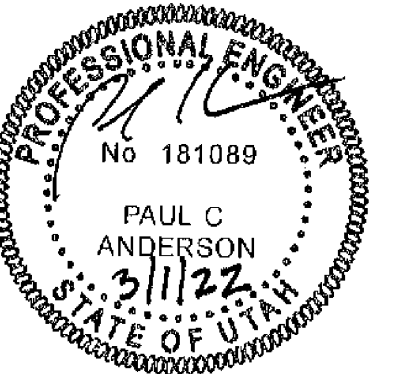
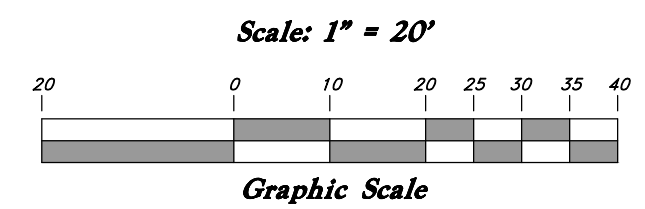
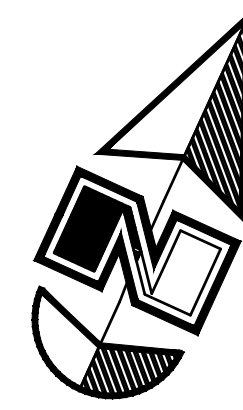




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**KIMBERLY-CLARK  
U-13 MACHINE BAY & FINISHED  
PRODUCT WAREHOUSE 3**  
2010 Ruion White Boulevard, Ogden, UT



# Date Revision

**PERMIT SET**

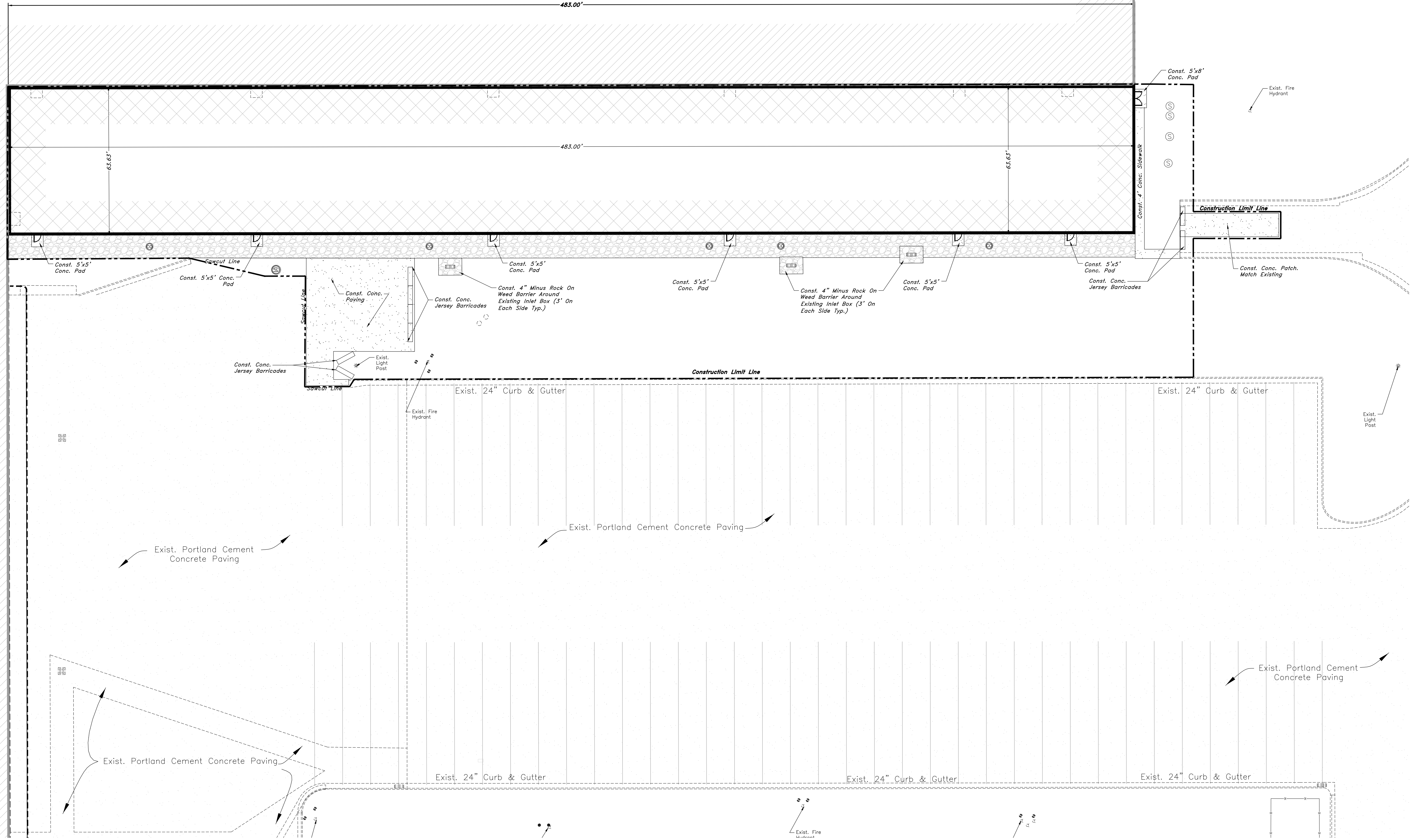
NEXUS PROJ. #: 22003  
CHECKED BY: PCA  
DRAWN BY: SDW  
DATE: 03-01-2022

**Site Plan**

SHEET NO.

**C101U**

Existing Building



- GENERAL SITE NOTES:**  
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ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

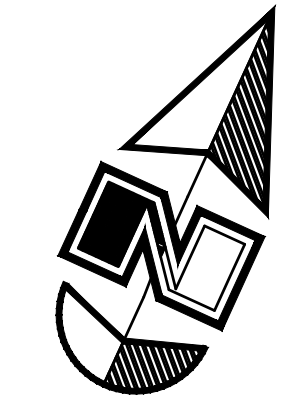
**Legend**

San. Sewer Manhole	⊙	Light Pole	⊙	Finish Grade	95.337A
Storm Manhole	⊙	Flowline of ditch	—	Exist. Grade	95.727A
Water Manhole	⊙	Overhead Power line	—	Ridge Line	—R—
Storm Drain Manhole	⊙	Corrugated Metal Pipe	—	Direction of Flow	→
Catch Basins	⊙	Concrete Pipe	—	Existing Asphalt	▨
Fire Hydrant	⊙	Reinforced Concrete Pipe	—	New Asphalt	▨
Exist. Fire Hydrant	⊙	Ductile Iron	—	Heavy Duty Asphalt	▨
Water Valve	⊙	Polystyrene Chloride	—	Existing Concrete	▨
Sanitary Sewer	—	Top of Asphalt	—	New Concrete	▨
Utility Water	—	Edge of Asphalt	—	Spill Curb & Gutter	▨
Gas Line	—	Centerline	—	Demo Tree	⊙
Storm Drain	—	Finish Floor	—		
Telephone Line	—	Top of Curb	—		
Secondary Waterline	—	Top of Wall	—		
Power Line	—	Top of Walk	—		
Fire Line	—	Storm Drain	—		
Land Drain	—	Natural Ground	—		
Power pole w/guy	⊙	Finish Grade	—		
		Match Existing	—		
		Fire Department Connection	—		
		Power pole	—		
		Exist. Contour	—		
			—		
			—		

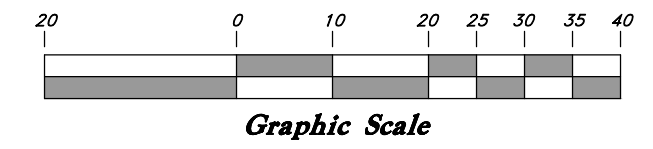


### Existing Building

483.00'



Scale: 1" = 20'



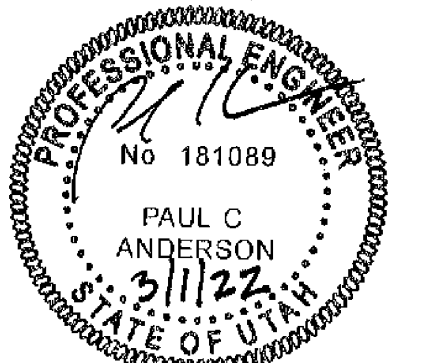
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# KIMBERLY-CLARK U-13 MACHINE BAY & FINISHED PRODUCT WAREHOUSE 3

2010 Rulon White Boulevard, Ogden, UT



# Date Revision

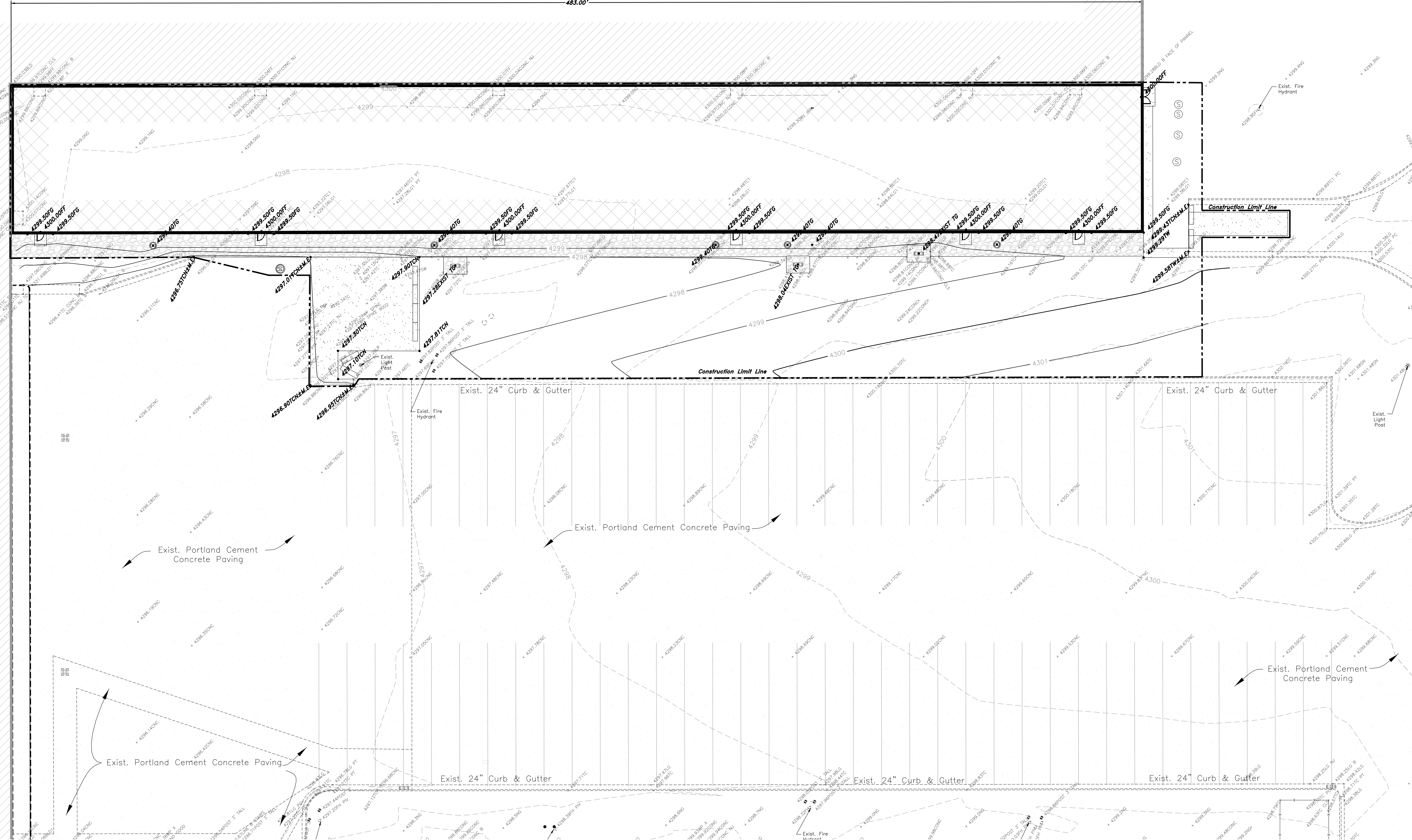
## PERMIT SET

NEXUS PROJ. #: 22003  
CHECKED BY: PCA  
DRAWN BY: SDW  
DATE: 03-01-2022

## Grading & Drainage Plan

SHEET NO.

# C201U



#### GENERAL GRADING NOTES:

- All work shall be in accordance with the City Public Works Standard.
- Cut slopes shall be no steeper than 2 horizontal to 1 vertical.
- Fill slopes shall be no steeper than 2 horizontal to 1 vertical.
- Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by the geotechnical engineer.
- Areas to receive fill shall be properly prepared and approved by the City Inspector and geotechnical Engineer prior to placing fill.
- Fills shall be benched into competent material as per specifications and geotechnical report.
- All trench backfill shall be tested and certified by the site geotechnical engineer per the grading code.
- A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
- The final compaction report and certification from the geotechnical engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
- Dust shall be controlled by watering.
- The location and protection of all utilities is the responsibility of the permittee.
- Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading project.
- All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the city engineer.
- The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
- The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
- Aggregate base shall be compacted per the geotechnical report prepared for the project.
- Elevations shown on this plan are finish grades. Rough grades are the subgrades of the improvements shown herein.

#### 18. The recommendations in the following Geotechnical Engineering Report by xxxx are included in the requirements of grading and site preparation.

- The report is titled "GEOTECHNICAL INVESTIGATION"  
Job No. \_\_\_\_\_  
Address \_\_\_\_\_  
Dated: \_\_\_\_\_
- As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
  - Erosion Control: Protect all inlet boxes, catch basins, etc. with straw bales or other approved method to strain the storm water during construction. Protect surrounding properties and streets from site runoff with sandbags and earth berms.

#### CURB AND GUTTER CONSTRUCTION NOTES:

- Open face gutter shall be constructed where drainage is directed away from curb.
- Open face gutter locations are indicated by shading and notes on site and grading plan.
- It is the responsibility of the surveyor to adjust top of curb grades at the time construction staking.
- Refer to the typical details for a standard and open face curb and gutter for dimensions.
- Transitions between open face and standard curb and gutter are to be smooth. Hand form these areas if necessary.

#### ADA NOTES:

- Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If grades on plans do not meet this requirement, notify Consultants immediately.  
The Client, Contractor, and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of the ADA and/or FHAA.

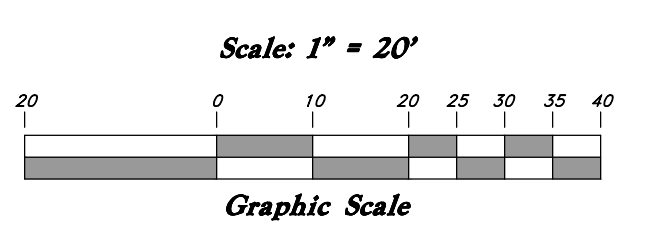
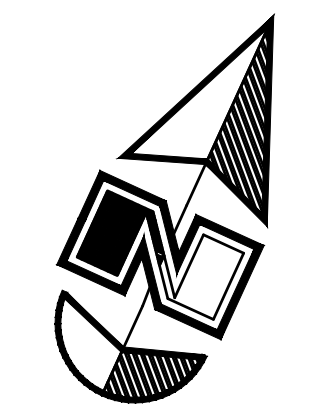
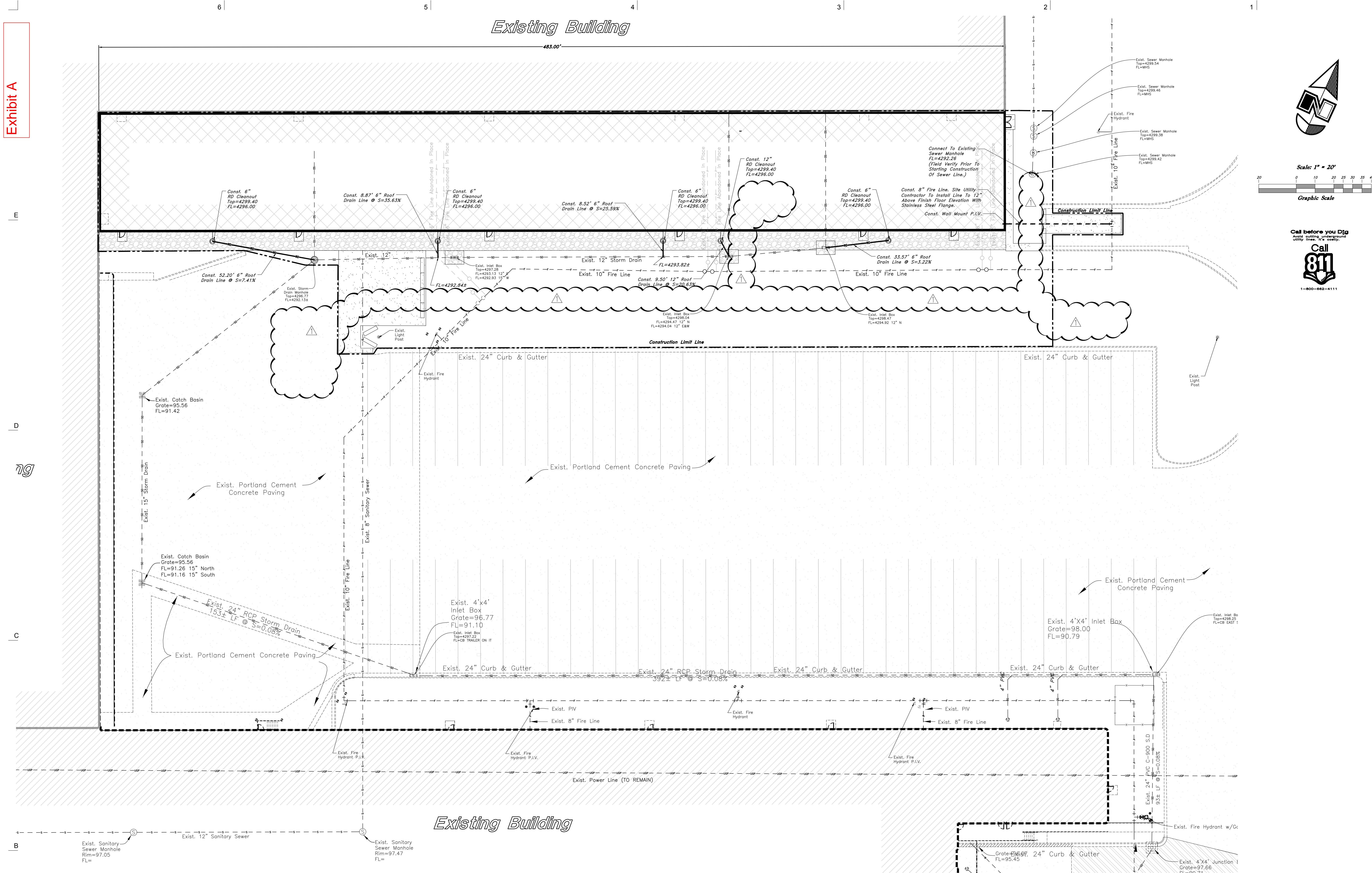
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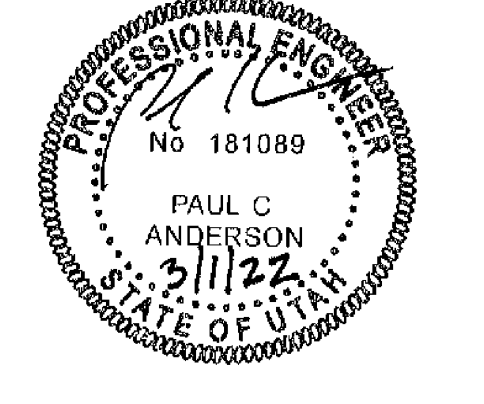
Legend	
San. Sewer Manhole	Light Pole
Water Manhole	Finish Grade
Storm Drain Manhole	Exist. Grade
Cleanout	Ridge Line
Electrical Manhole	Direction of Flow
Catch Basin	Existing Asphalt
Exist. Fire Hydrant	New Asphalt
Exist. Water Valve	Heavy Duty Asphalt
Water Valve	Existing Concrete
Sanitary Sewer	New Concrete
Culinary Water	Spill Curb & Gutter
Gas Line	Demo Tree
Irrigation Line	
Telephone Line	
Secondary Waterline	
Fire Line	
Land Drain	
Power pole	
Power pole w/guy	
	95.337A
	95.721A
	R

Existing Building



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KIMBERLY-CLARK  
**U-13 MACHINE BAY & FINISHED PRODUCT WAREHOUSE 3**  
2010 Rulon White Boulevard, Ogden, UT



# Date Revision  
1 04-04-2022 ADD-01

PERMIT SET

NEXUS PROJ. #: 22003  
CHECKED BY: PCA  
DRAWN BY: SDW  
DATE: 03-01-2022

Utility Plan

SHEET NO.  
**C301U**

**GENERAL UTILITY NOTES:**

- Coordinate all utility connections to building with plumbing plans and building contractor.
- Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
- All catch basins and inlet box grates are to be bicycle proof.
- All inlet boxes located in curb and gutter are to be placed parallel to the curb and gutter and set under the frame and grate. Improperly placed boxes will be removed and replaced at no additional cost to the owner. Precast or cast in place boxes are acceptable.
- Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
- Gas lines, telephone lines, and cable TV lines are not a part of these plans unless otherwise noted.
- Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
- Water lines, valves, fire hydrants, fittings, etc. are to be constructed as shown. Contractor is responsible to construct any vertical adjustments necessary to clear sewer, storm drain or other utilities as necessary including valve boxes and hydrant spools to proper grade.
- Field verify all existing and/or proposed Roof Drain/Roof Drain down spout connections to Storm Water System with Civil, Plumbing & Architectural plans. Notify Engineer of any discrepancies.
- All gravity flow utility lines shall be installed prior to any pressurized utilities unless written permission is obtained from the engineer of record before construction begins.

**UTILITY PIPING MATERIALS:**

All piping to be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

**CULINARY SERVICE LATERALS:**

- 3/4" to 2" diameter pipe = copper tube ASTM B, Type K, Soft Temper
- Over 2" diameter pipe = AWWA C-900 Class 150 pipe

**WATER MAIN LINES AND FIRE LINES:**

- Pipe material as shown on utility plan view or to meet city standards.

**SANITARY SEWER LINES:**

- All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D 3034, Type PSM, SDR 35

**STORM DRAIN LINES:**

- 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
- 12" or larger - Reinforced Concrete Pipe, ASTM C76, Class III up to 13" of cover, Class IV for 13" to 21" of cover, Class V for 21" to 32" of cover, and Special Design for cover greater than 32 feet.

**NATURAL GAS SERVICE LATERALS (QUESTAR)**

- PLASTIC PIPING MATERIAL: Plastic polyethylene pipe materials and compression couplings must be approved for natural gas applications and must be installed underground. All plastic pipe and fittings must conform to ASTM D2513 (60 psi and above high density pipe approved 3408).
- Plastic pipe must be joined by individuals qualified in the heat fusion method of connecting pipe and fittings or approved mechanical fittings. A minimum number 18 insulated yellow copper tracer wire shall be installed with underground nonmetallic gas piping and shall terminate above grade at each end. Tracer wire shall not come in contact with plastic piping.
- Risers and prefabricated risers inserted with plastic pipe shall conform to ASTM D2513, shall be metallic, have a space of 10 inches from the bottom of the service valve and grade, and shall be wrapped or coated to a point at least 6 inches above grade or protected in an approved manner. When a riser connects underground to plastic pipe, the underground horizontal metallic portion of the riser shall extend at least 12 inches before connecting to the plastic pipe by means of an approved transition fitting, adapter or heat fusion.
- Plastic pipe used underground for customer fuel lines must be approved polyethylene material and be buried a minimum of 12 inches. It shall not be used inside buildings or above ground. PVC (Polyvinyl Chloride) is not approved for piping systems in Questar Gas's service area. Individual gas lines (metallic or plastic) to single outside appliance (outside lights, grills, etc.) shall be installed a minimum of 8 inches below grade, provided such installation is approved and installed in locations not susceptible to physical damage.

**CAUTION NOTICE TO CONTRACTOR**

The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.

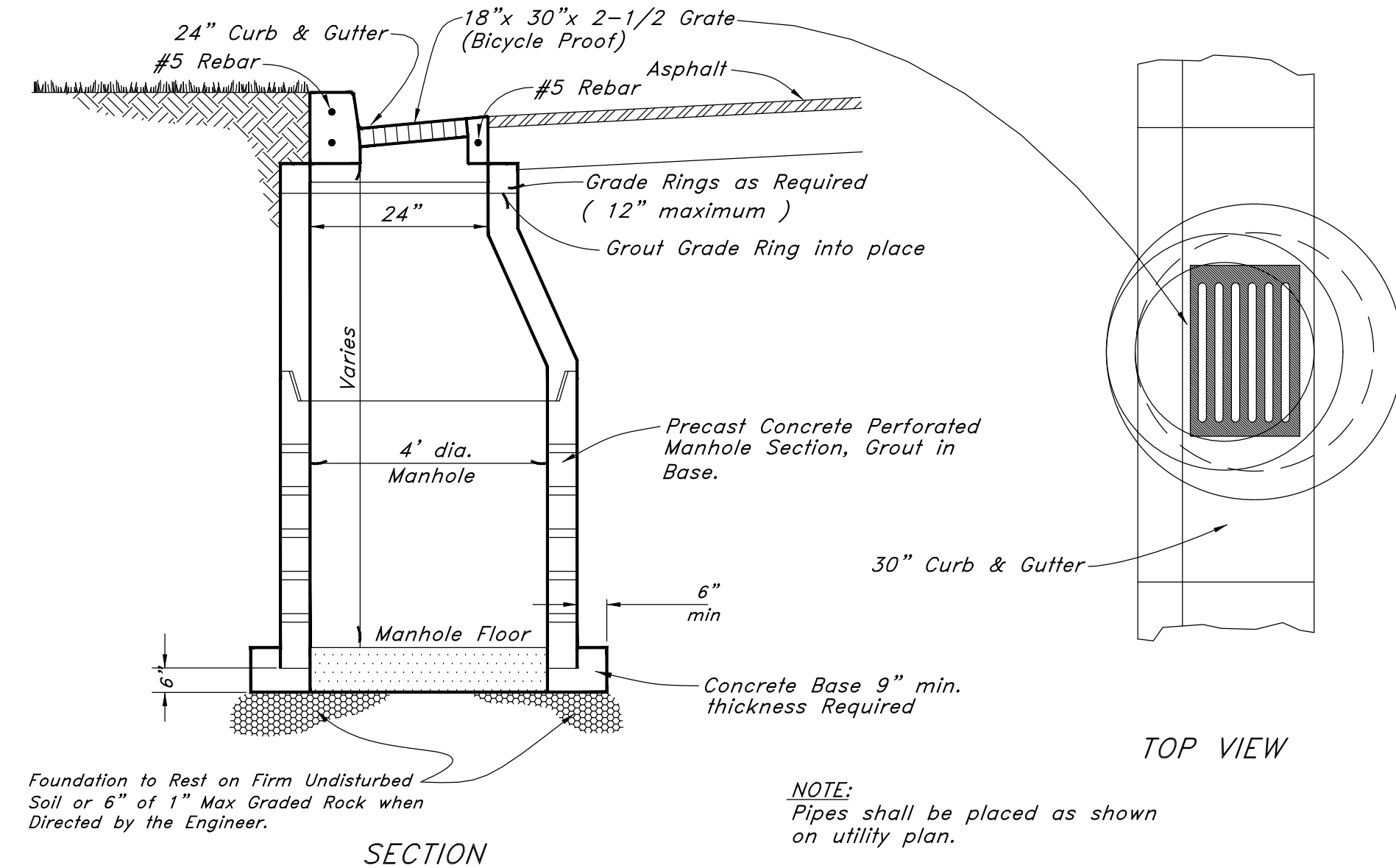
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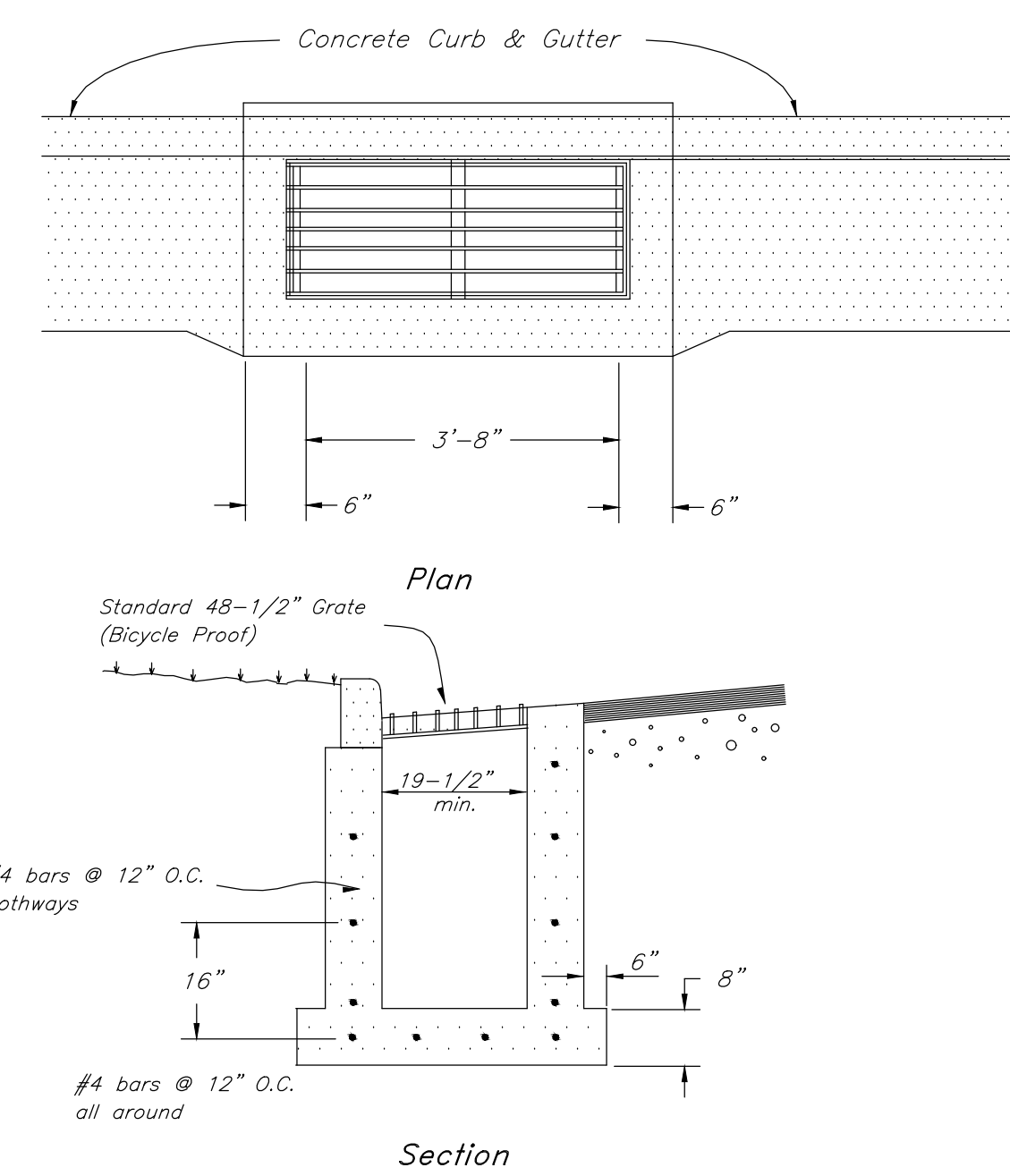
ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

Legend

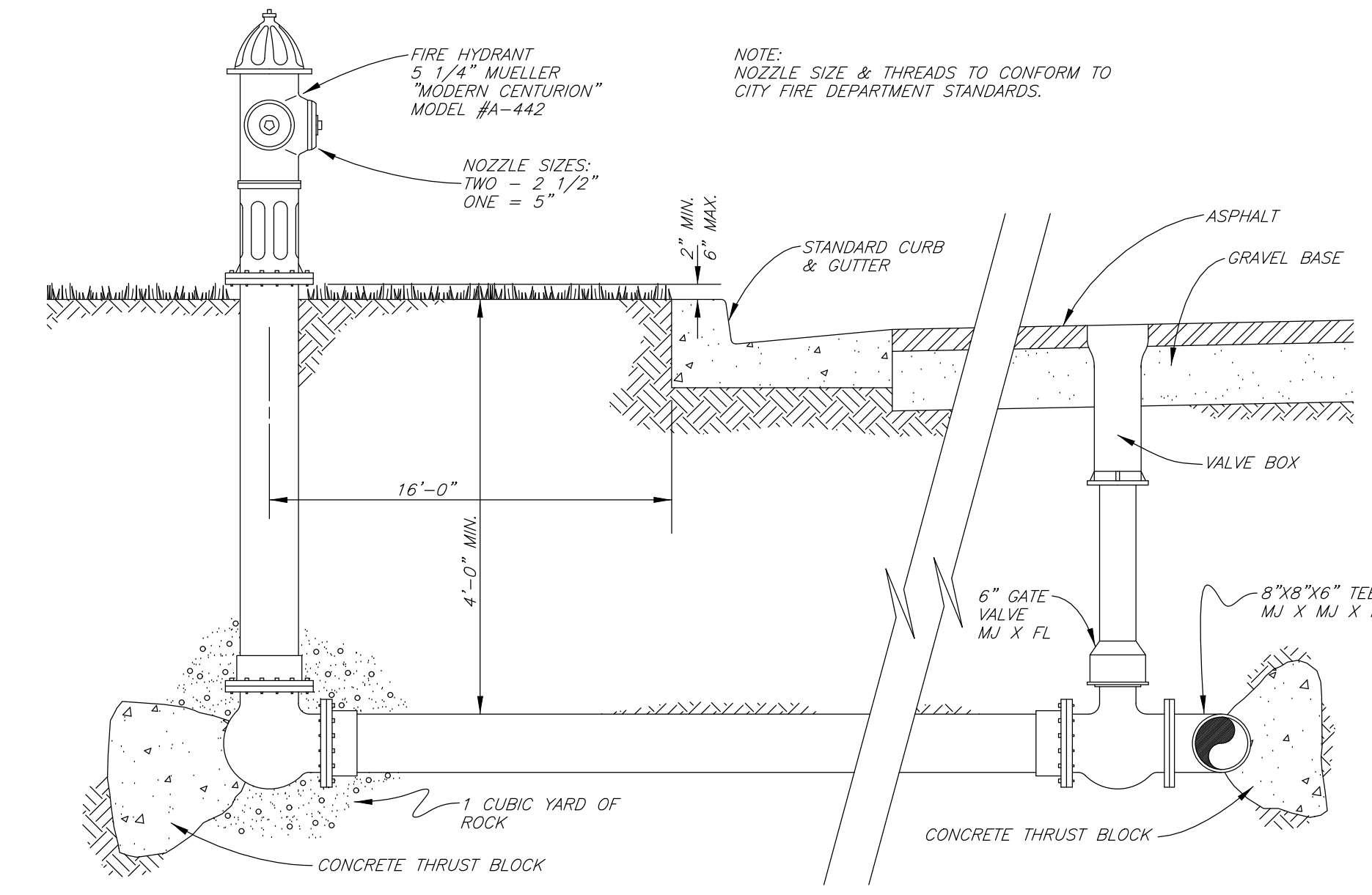
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Storm Drain Manhole	Flowline of ditch	Ridge Line	R
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Water Valve	Top of Asphalt	New Concrete	
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Land Drain	Exist. Contour		
Power pole w/guy			



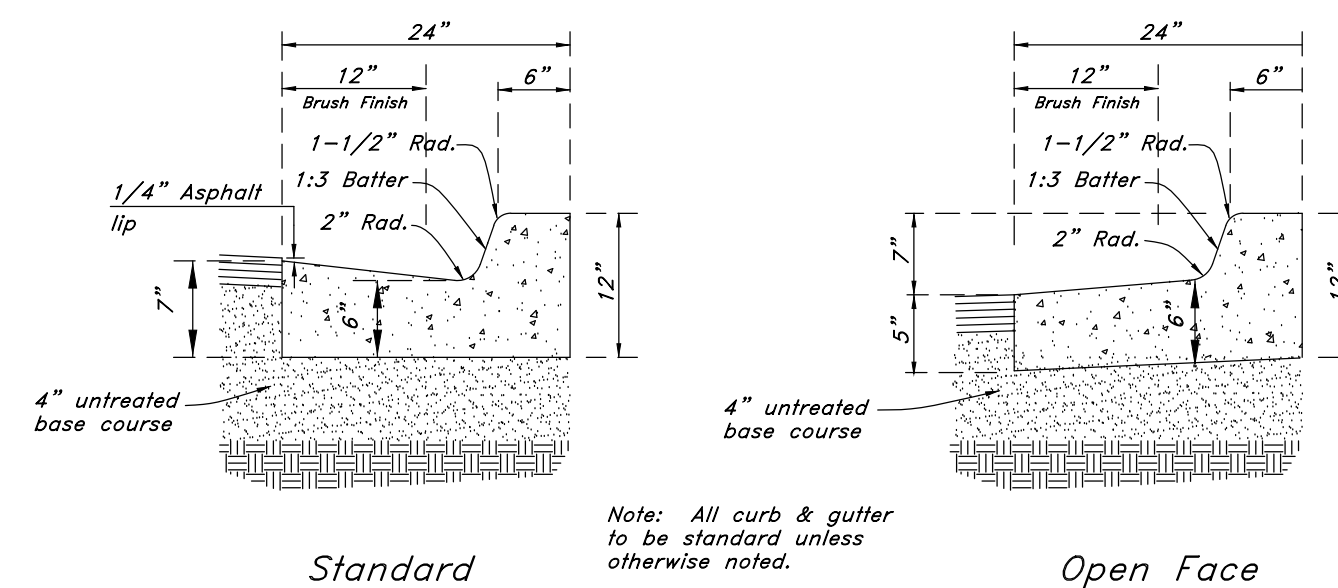
**Inlet/Junction Manhole  
(In Curb & Gutter)**



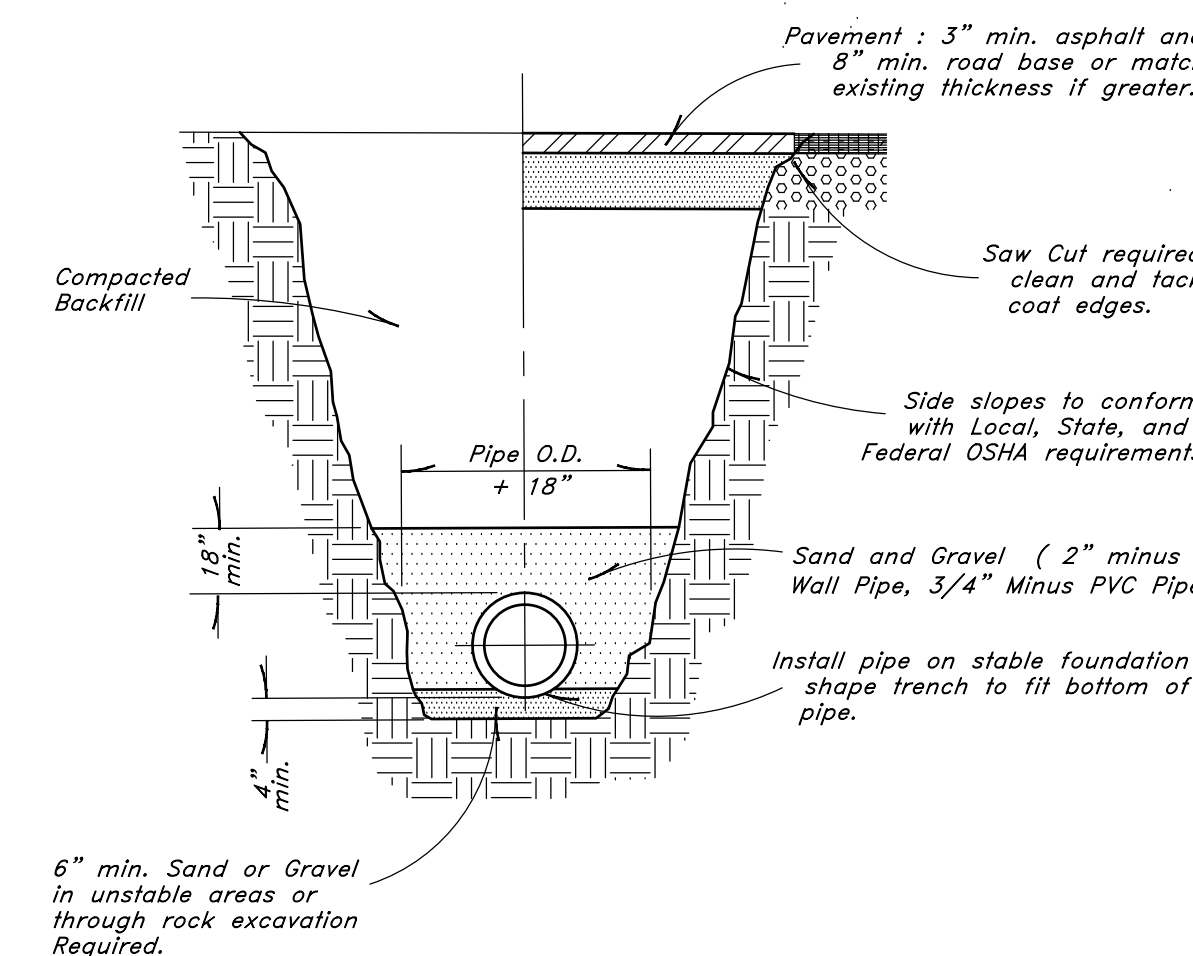
**Typical Inlet Box  
in curb & gutter**



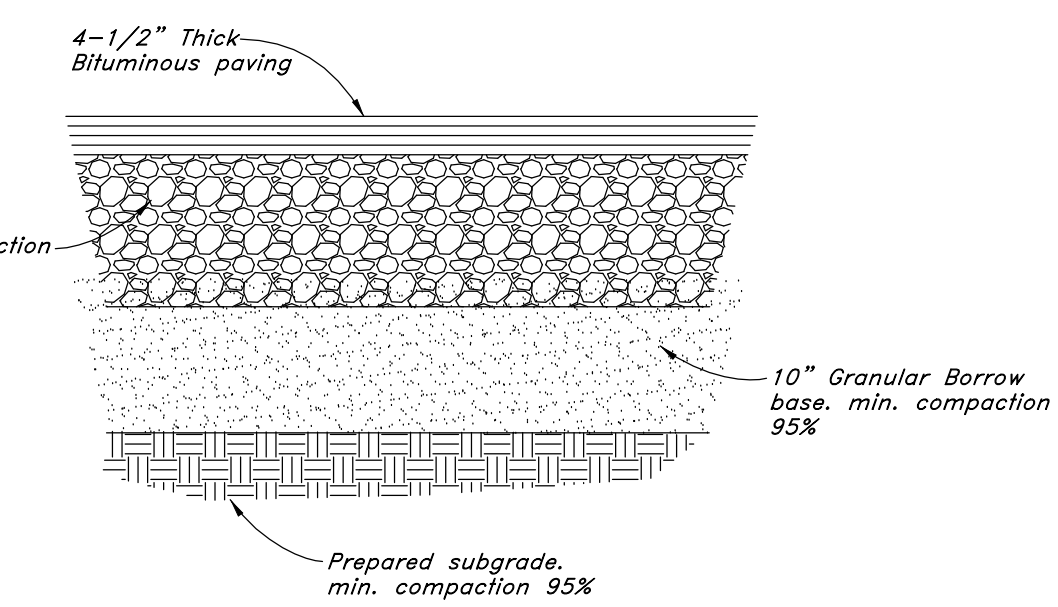
**TYPICAL FIRE HYDRANT & VALVE CONNECTION**



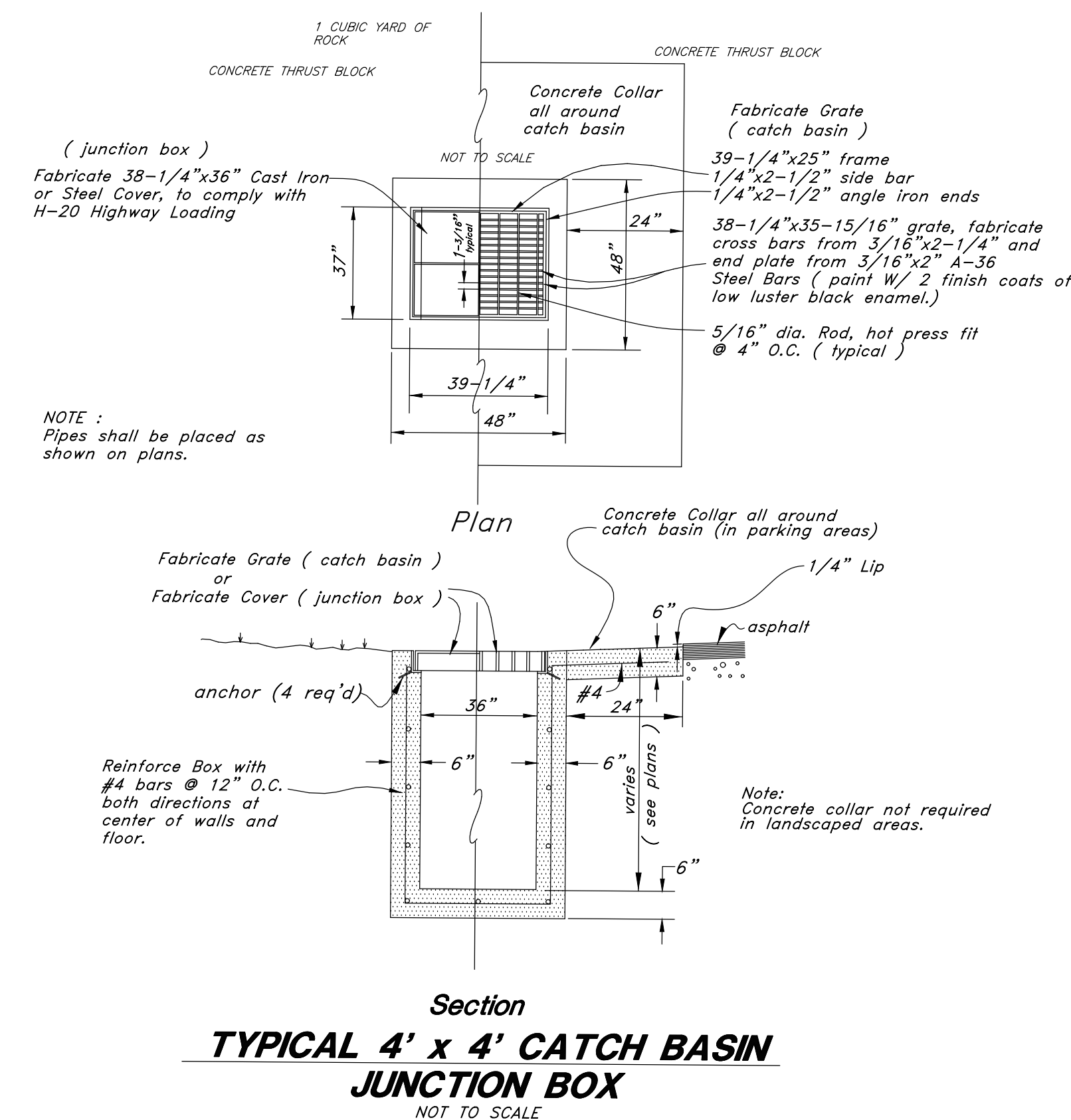
**Typical Section - 24\"/>**



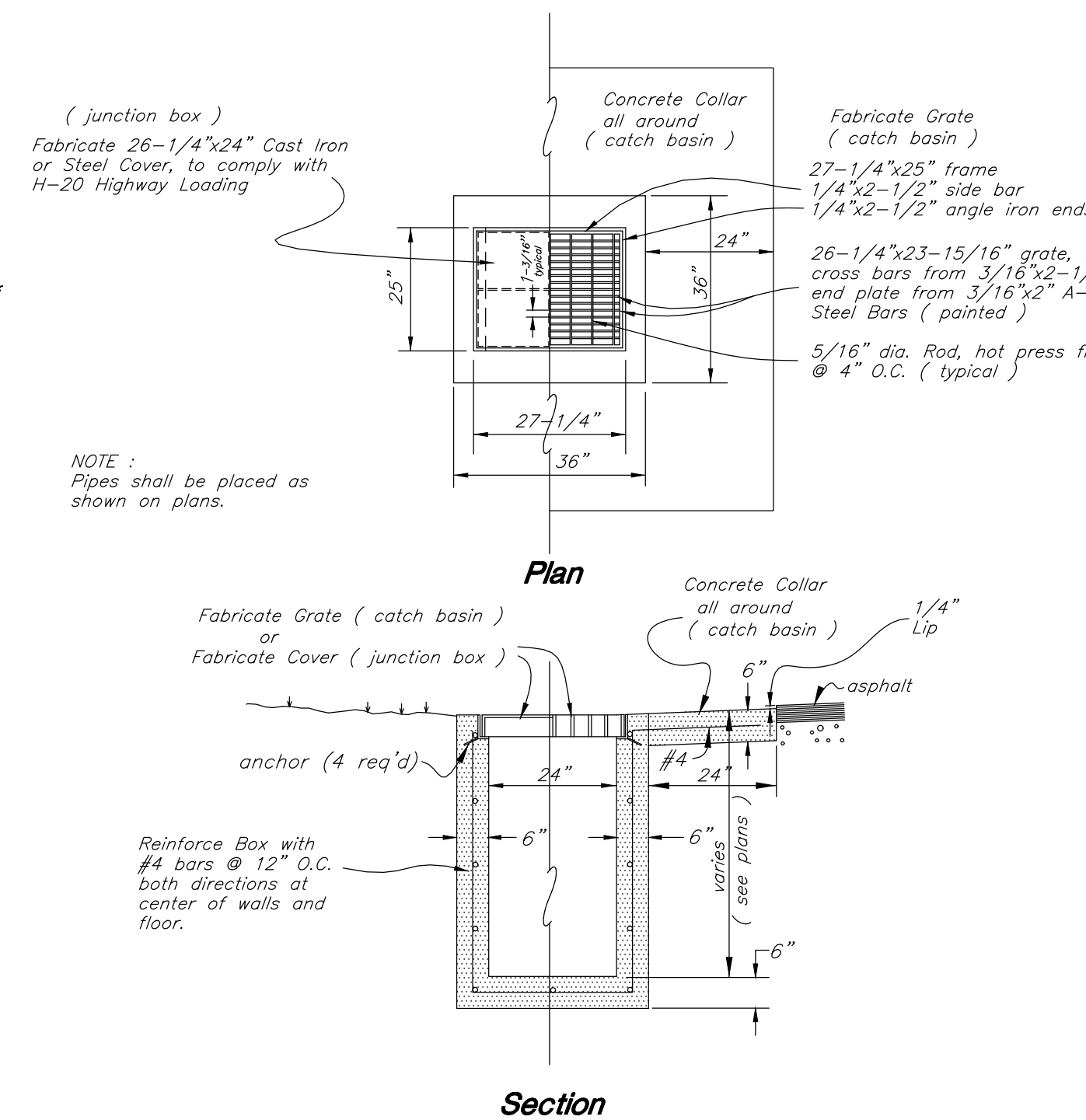
**Typical Trench Detail**



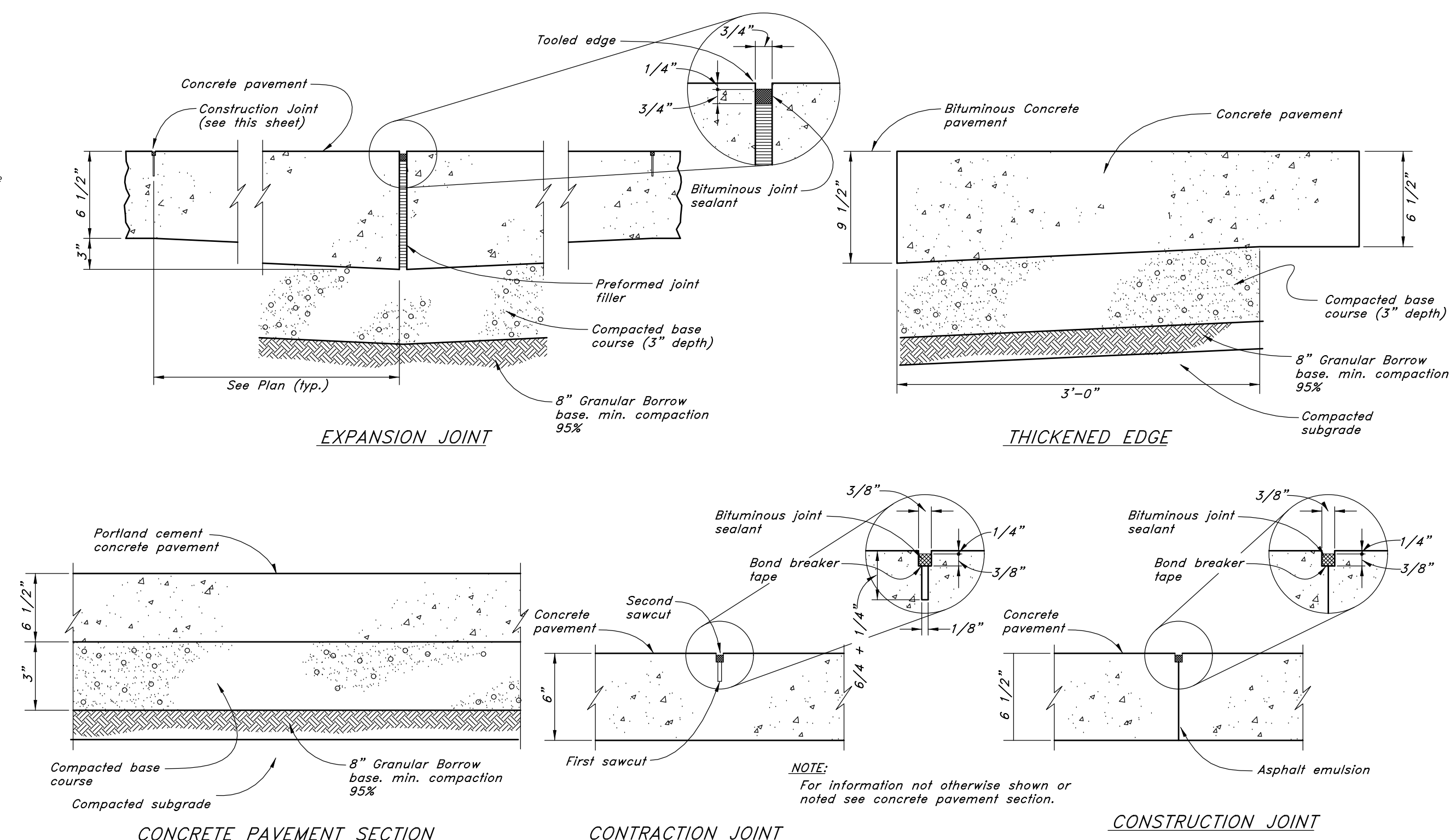
**Typical Bituminous Pavement Section**



**TYPICAL 4' x 4' CATCH BASIN  
JUNCTION BOX**



**TYPICAL 2' x 2' CATCH BASIN  
JUNCTION BOX**



**Portland Cement Concrete Pavement**

Key Value	Keynote Text
02:CR1	(E) CONCRETE RAMP TO REMAIN
02:DH1	SALVAGE ALL DOORS AND DOOR HARDWARE ALONG THIS WALL FOR RE-USE
02:HW1	CAREFULLY DISASSEMBLE (E) IMP AND STEEL GIRTS. PREAPRE FOR RE-USE AT (N) SOUTH WALL
02:TW2	DEMOLISH (E) PORTION OF CONCRETE TILT-UP WALL FOR (N) OPENING. REFER TO STRUCTURAL. COORDINATE LOCATION AND SIZE OF OPENING

GENERAL NOTE - DEMOLITION PLAN

- A. PROTECT WALLS, CEILINGS, FLOORS AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN OR THAT ARE EXPOSED DURING SELECTIVE DEMOLITION OPERATIONS
- B. PATCH AND REPAIR DAMAGE IN WALLS, CEILINGS, AND FLOORS RESULTING FROM DEMOLITION OF EXISTING ITEMS OR CONSTRUCTION OF NEW ITEMS AND/OR REPLACE WITH NEW TO MATCH EXISTING. CLEAN AND PREPARE TO RECEIVE NEW FINISH.
- C. PROTECT ADJACENT AREAS FROM DUST AND DEBRIS DURING SELECTIVE DEMOLITION OPERATIONS.
- D. TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF DEBRIS.
- E. FIELD VERIFY EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO THE COMMENCEMENT OF WORK. COORDINATE DISCREPANCIES WITH ARCHITECT.
- F. CLEAN ADJACENT IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSE BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN.
- G. SEE MECHANICAL, ELECTRICAL, AND AUDIO-VISUAL DRAWINGS FOR ADDITIONAL INFORMATION. COORDINATE DISCREPANCIES WITH ARCHITECT PRIOR TO PROCEEDING WITH WORK.

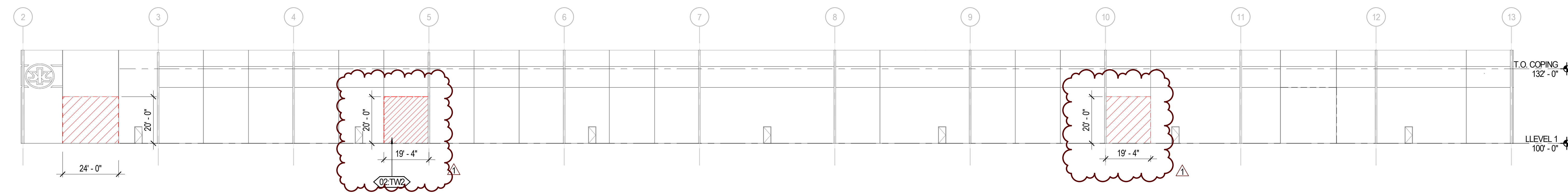


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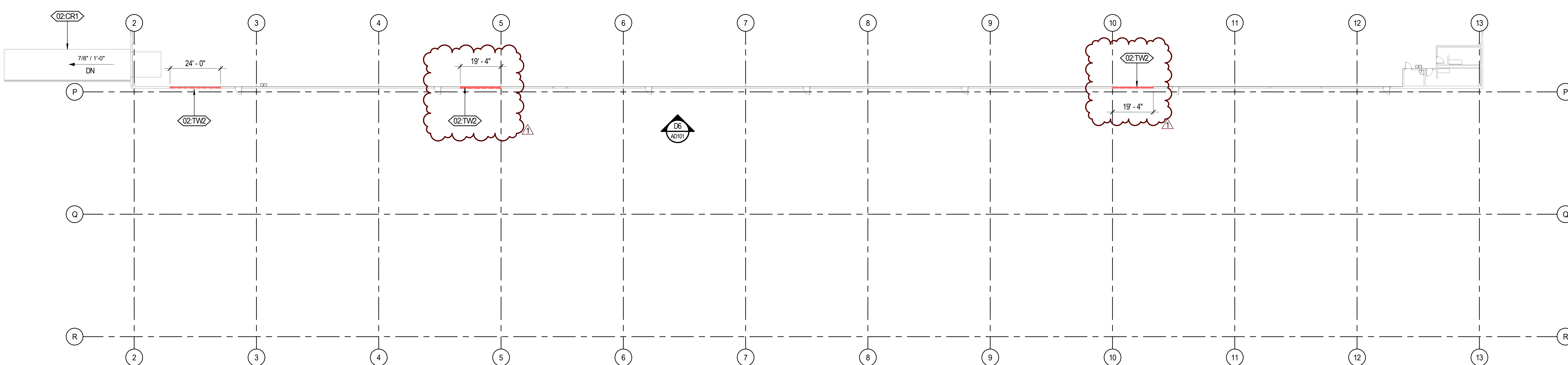
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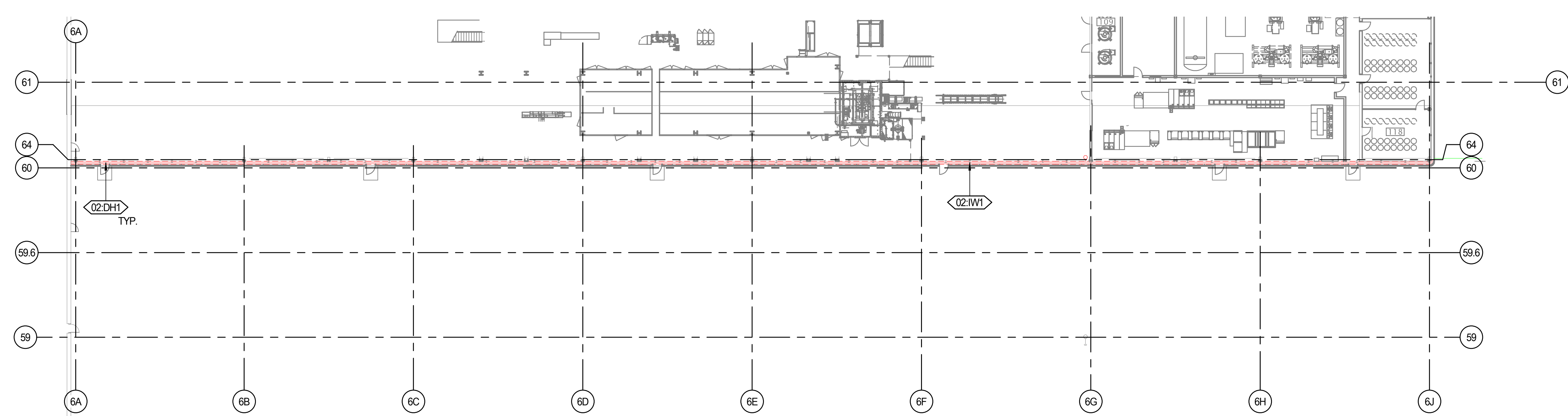
KIMBERLY-CLARK  
**U-13 MACHINE BAY & FINISHED PRODUCT WAREHOUSE 3**  
 2010 RULON WHITE BOULEVARD, OGDEN UT 84404



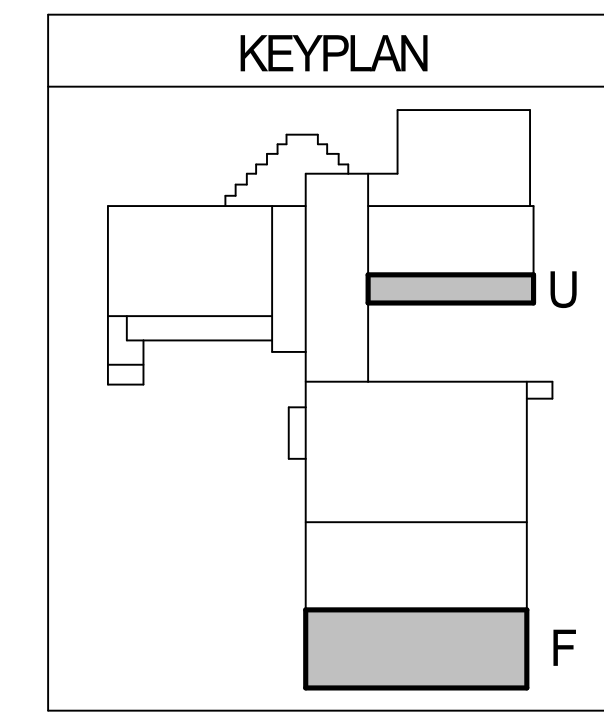
**D6 DEMO ELEVATION AT NORTH WALL - FPW3**  
 AD101 3/64" = 1'-0"



**D1 LEVEL 01 - DEMOLITION PLAN - FPW3**  
 AD101 3/64" = 1'-0"



**A5 LEVEL 01 - DEMOLITION PLAN - MALCOM**  
 AD101 3/64" = 1'-0"

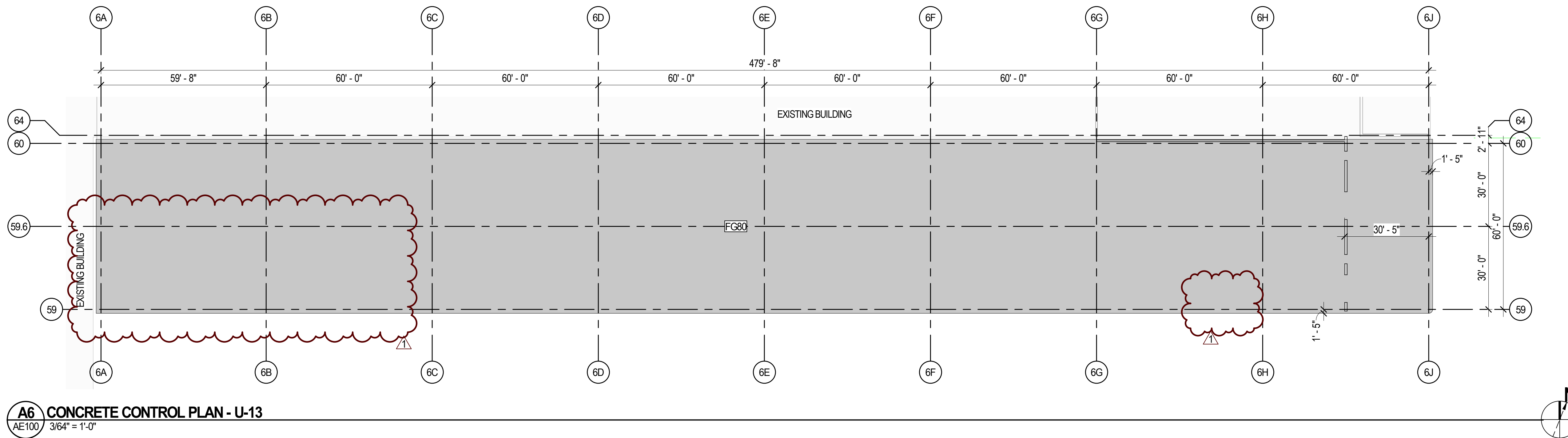
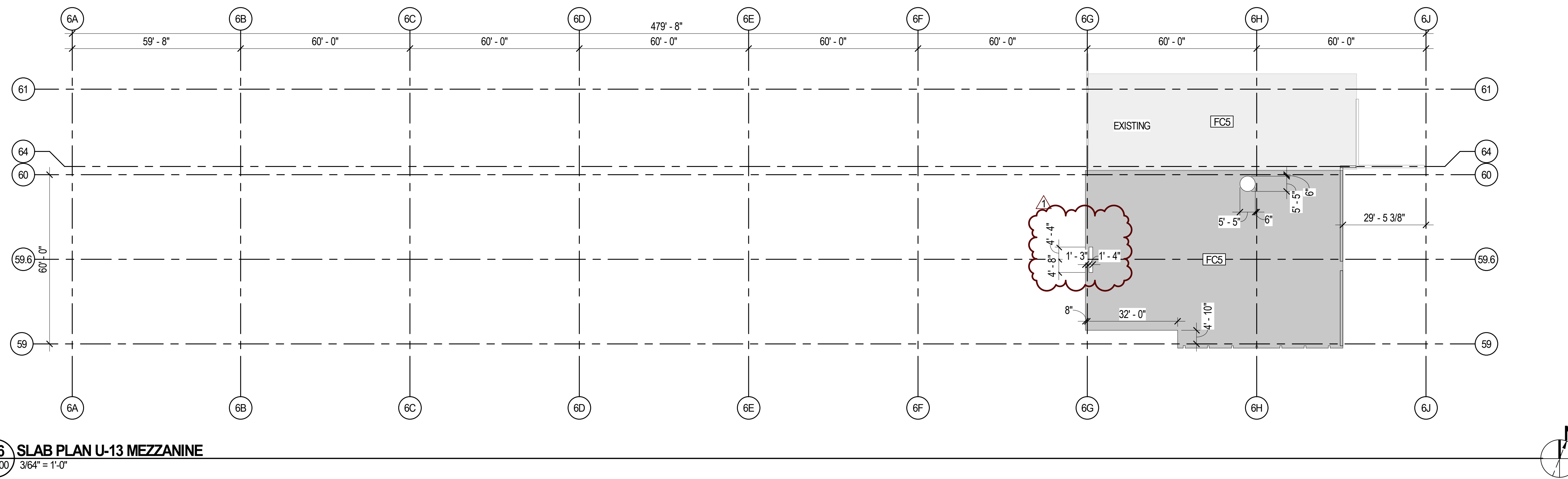
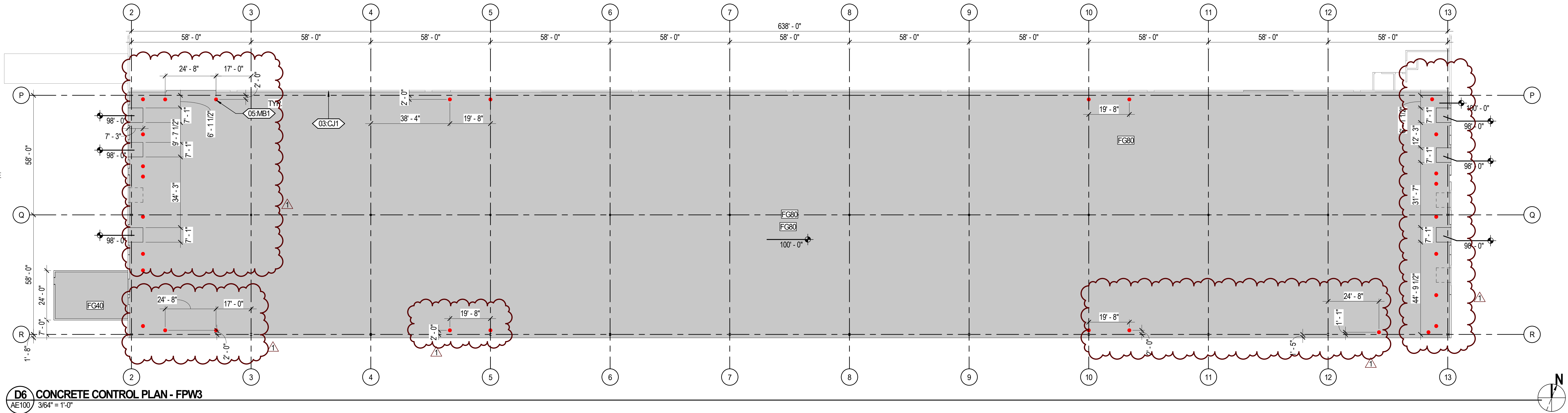


#	Date	Revision	B/S
1	04.04.22	ADD-001	

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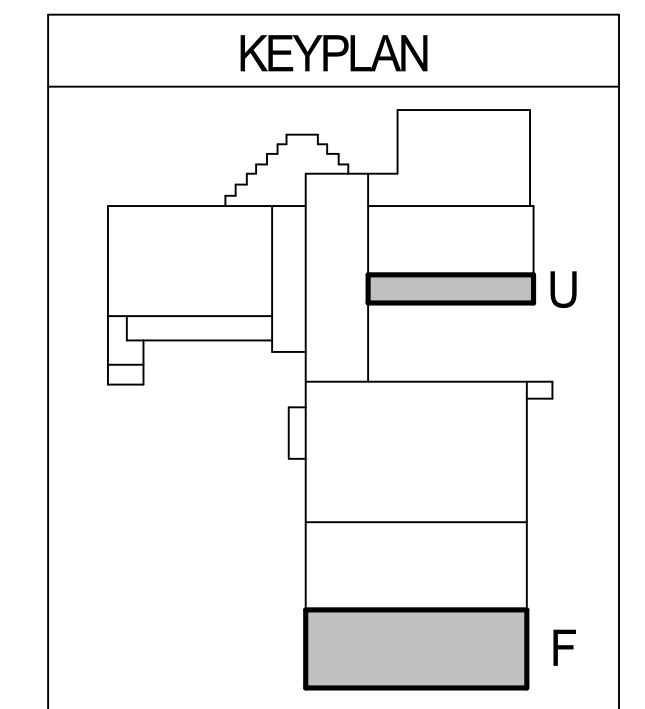
NEXUS PROJ. #: 22003  
 CHECKED BY: BJS  
 DRAWN BY: JFW  
 DATE: 02.25.2022

DEMOLITION PLANS



**GENERAL NOTE - SLAB CONTROL**  
 A. COORDINATE ALL PENETRATIONS IN SLAB SYSTEM WITH STRUCTURAL AND PLUMBING DRAWINGS.

KEYNOTE LEGEND	
Key Value	Keynote Text
03.CJ1	CONTROL JOINT
05.MB1	6" DIAMETER BOLLARD, 48" TALL. SEE DETAIL C4/A501.



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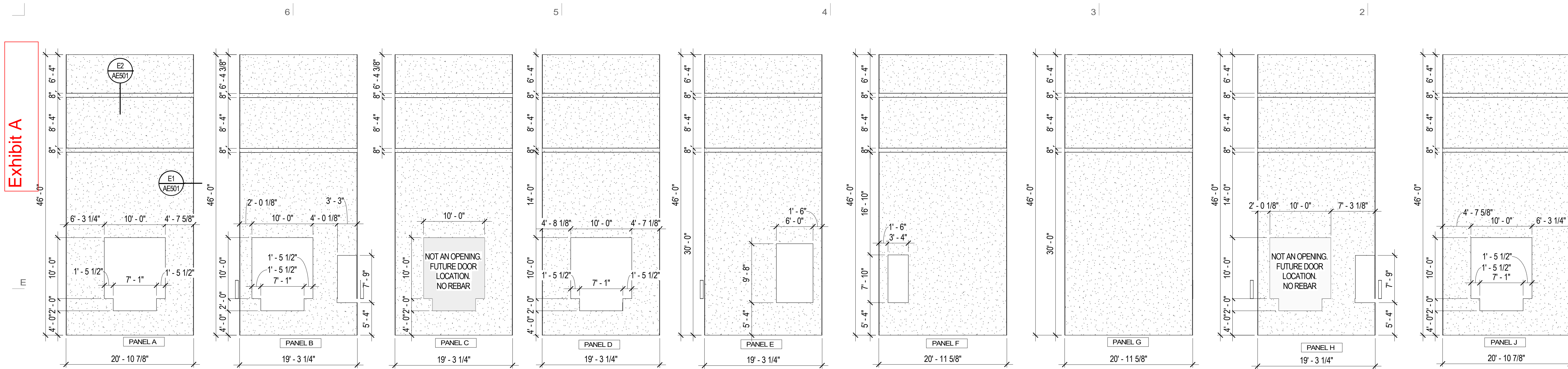
**KIMBERLY-CLARK  
 U-13 MACHINE BAY & FINISHED  
 PRODUCT WAREHOUSE 3**  
 2010 RULON WHITE BOULEVARD, OGDEN UT 84404

#	Date	Revision
1	04.04.22	ADD-001

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**CONCRETE CONTROL PLANS**



**GENERAL NOTE - FLOOR PLAN**

- A. ALL NEW WALL ASSEMBLIES ARE CONTINUOUS TO BOTTOM OF DECK UNLESS NOTED OTHERWISE.
- B. PLAN WALL DIMENSIONS ARE TO GRID LINE OR FACE OF WALL STRUCTURE, UNLESS NOTED OTHERWISE. "CLEAR" DIMENSIONS ARE TO FACE OF WALL FINISH.
- C. FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO THE COMMENCEMENT OF WORK. COORDINATE DISCREPANCIES WITH ARCHITECT.
- D. DO NOT SCALE DRAWINGS.
- E. SEE CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- F. SEE G SERIES SHEETS FOR WALL TYPES AND TYPICAL ACCESSIBILITY CLEARANCE AND COMPLIANCE REQUIREMENTS.
- G. PROVIDE BACKING BEHIND ALL SURFACE MOUNTED EQUIPMENT AND/OR FIXTURES.

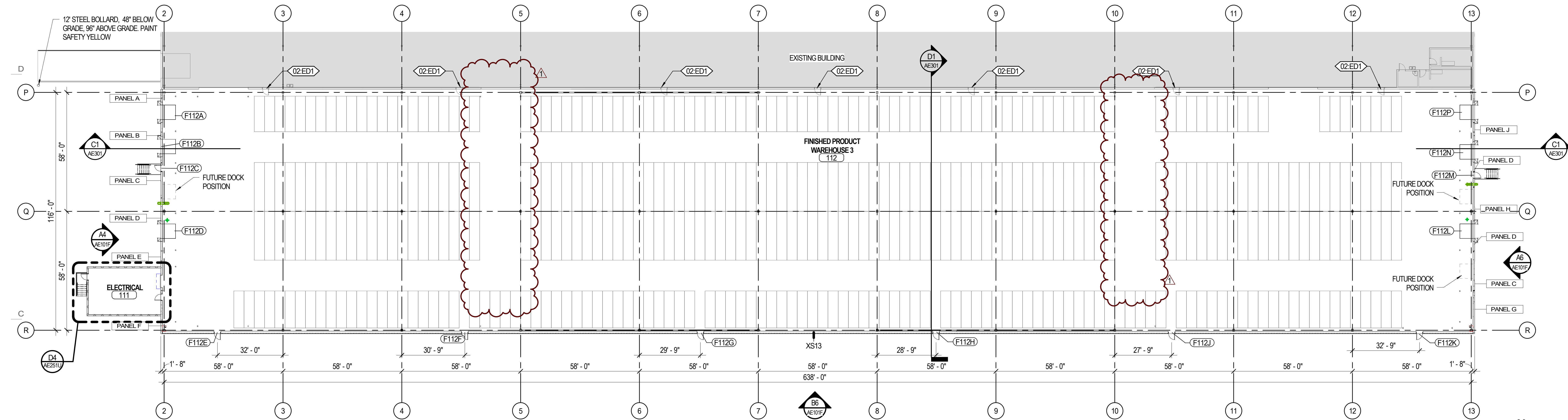
**GENERAL NOTE - BUILDING ELEVATION**

- A. COORDINATE GRADING SHOWN ON ELEVATIONS W/ CIVIL.
- B. PROVIDE GUTTERS AND DOWN SPOUTS W/ HEAT CABLE, SNOW FENCES, AND SNOW CLIPS - SEE ROOF PLAN.
- C. FOR TYPICAL WALL ASSEMBLY INCLUDING MATERIAL DESIGNATIONS AND DETAILING APPROACH, SEE A350 SERIES.

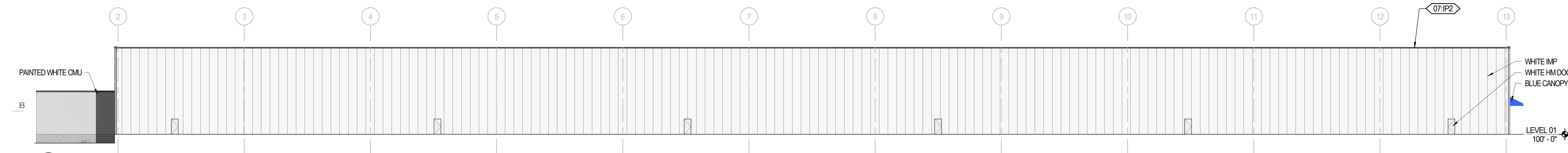
KEYNOTE LEGEND	
Key Value	Keynote Text
02:ED1	SCREW EXISTING DOOR SHUT. REMOVE EXISTING STAIR LEADING TO DOOR. REMOVE EGRESS SIGNAGE AND ADD A SIGN INDICATING THE DOOR IS NO LONGER FUNCTIONAL.
07:IP2	WHITE EMBOSSED INSULATED METAL PANEL

**E6 FPW3 - TILT UP PANELS**  
AE101F 1/8" = 1'-0"

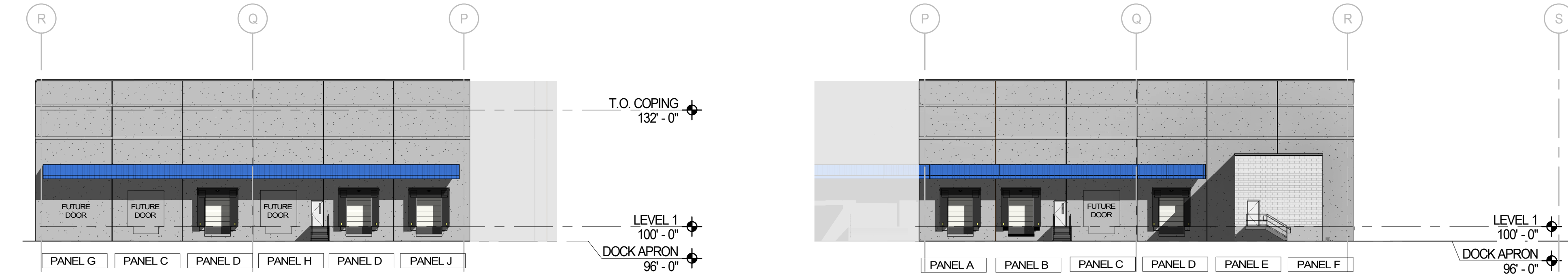
NOTE: THESE ELEVATIONS ARE AS VIEWED FROM THE EXTERIOR



**C6 FPW3 OVERALL FLOOR PLAN**  
AE101F 3/64" = 1'-0"



**B6 FPW3 SOUTH ELEVATION**  
AE101F 3/64" = 1'-0"



**A6 FPW3 EAST ELEVATION**  
AE101F 3/64" = 1'-0"

**A4 FPW WEST ELEVATION**  
AE101F 3/64" = 1'-0"



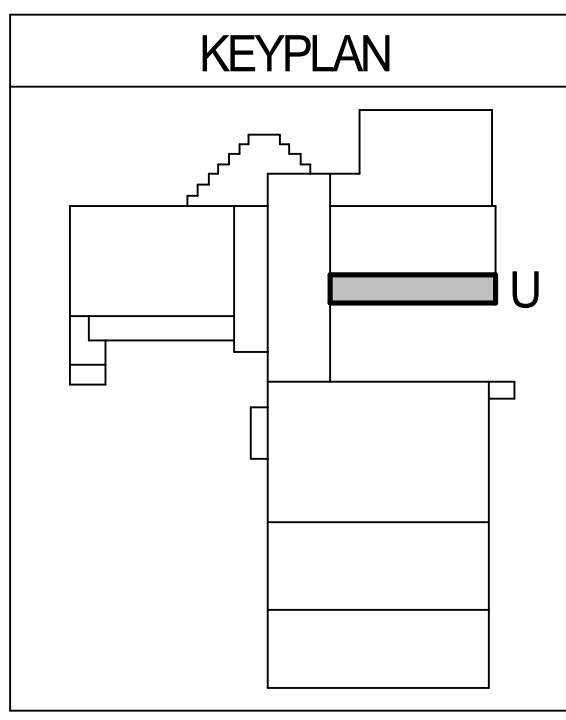
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**FLOOR PLAN & ELEVATIONS - FPW3**

**AE101F**

KEYNOTE LEGEND	
Key Value	Keynote Text

**GENERAL NOTE - BUILDING ELEVATION**

- A. COORDINATE GRADING SHOWN ON ELEVATIONS w/ CIVIL.
- B. PROVIDE GUTTERS AND DOWN SPOUTS w/ HEAT CABLE, SNOW FENCES, AND SNOW CLIPS - SEE ROOF PLAN.
- C. FOR TYPICAL WALL ASSEMBLY INCLUDING MATERIAL DESIGNATIONS AND DETAILING APPROACH, SEE A350 SERIES.

**GENERAL NOTE - FLOOR PLAN**

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- B. PLAN WALL DIMENSIONS ARE TO GRID LINE OR FACE OF WALL STRUCTURE, UNLESS NOTED OTHERWISE. "CLEAR" DIMENSIONS ARE TO FACE OF WALL FINISH.
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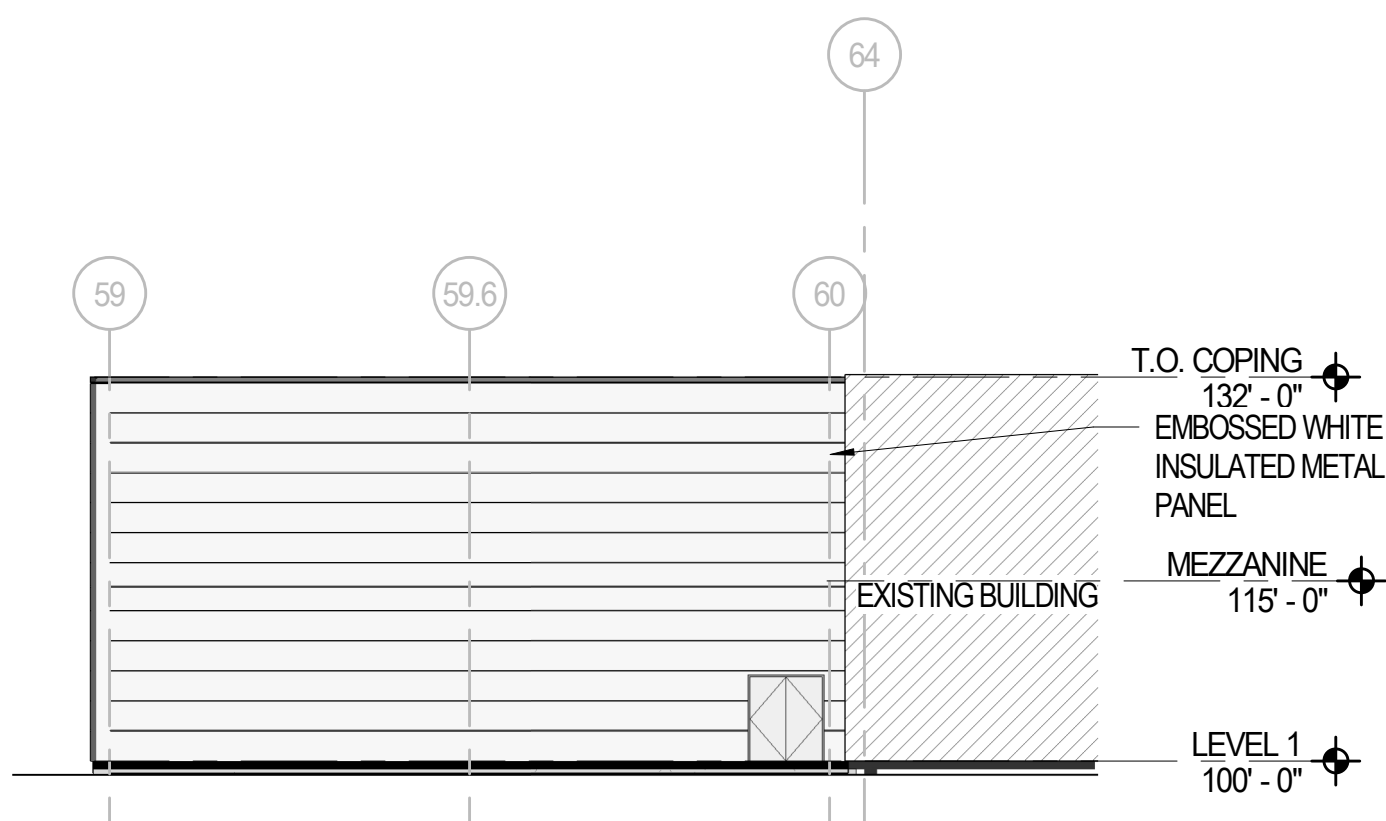
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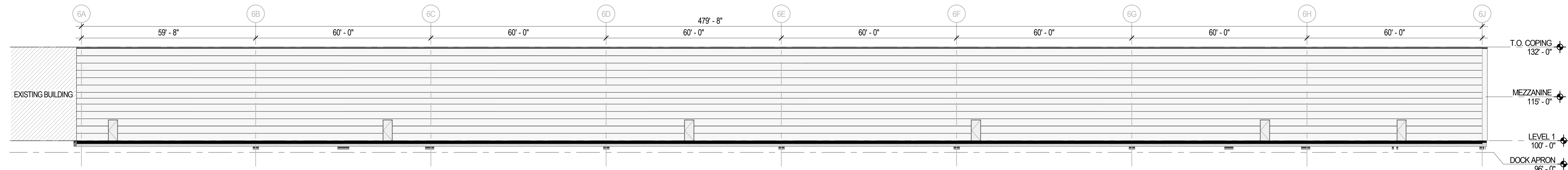


Feb 24, 2022

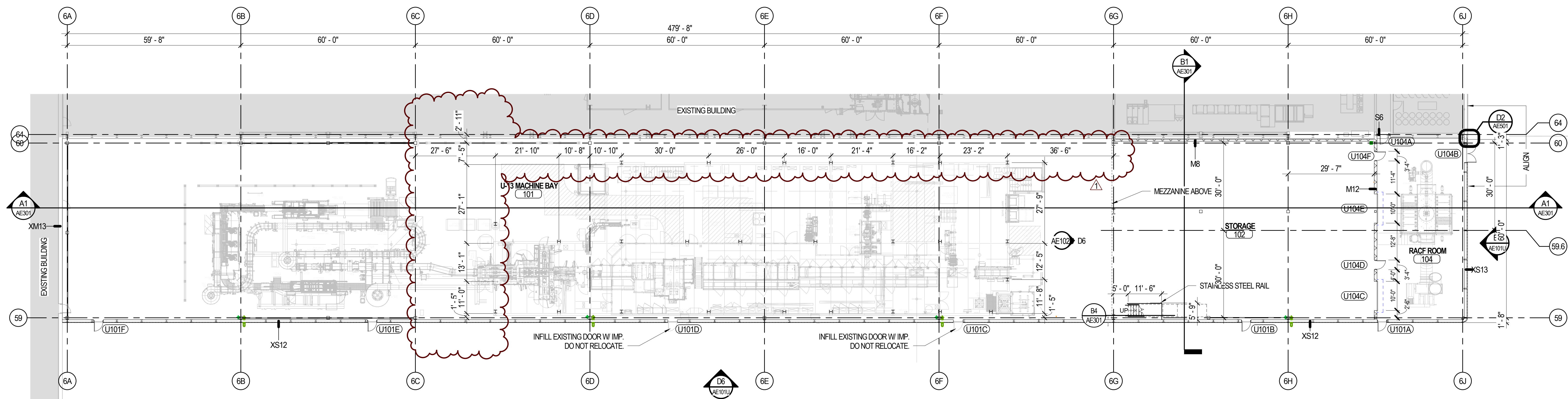
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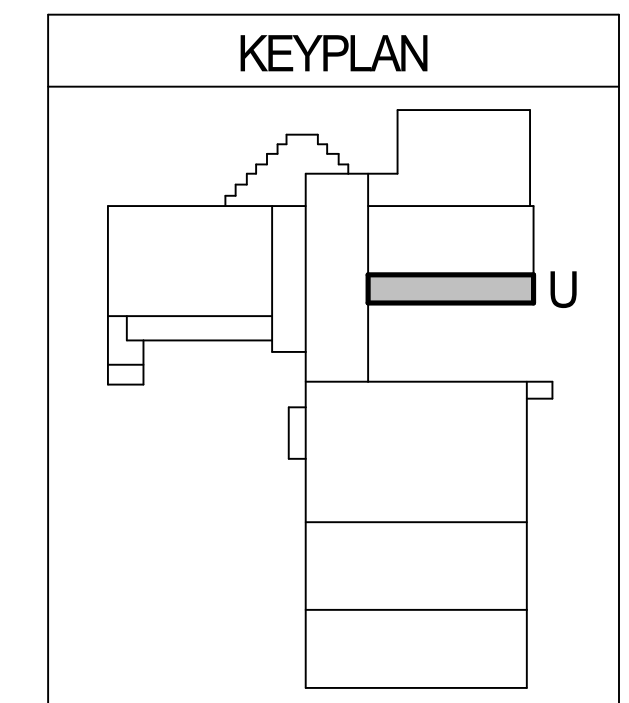
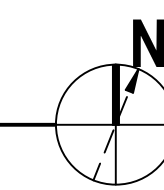
**E6 EAST ELEVATION - U-13**  
AE101U 1/16" = 1'-0"



**D6 SOUTH ELEVATION - U-13**  
AE101U 1/16" = 1'-0"



**B6 U-13 OVERALL FLOOR PLAN**  
AE101U 1/16" = 1'-0"



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1	04.04.22	ADD-001

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**FLOOR PLAN & ELEVATIONS - U-13**

**AE101U**

GENERAL NOTE - FLOOR PLAN

- A. ALL NEW WALL ASSEMBLIES ARE CONTINUOUS TO BOTTOM OF DECK UNLESS NOTED OTHERWISE.
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- E. SEE G SERIES SHEETS FOR WALL TYPES AND TYPICAL ACCESSIBILITY CLEARANCE AND COMPLIANCE REQUIREMENTS.
- G. PROVIDE BACKING BEHIND ALL SURFACE MOUNTED EQUIPMENT AND/OR FIXTURES.



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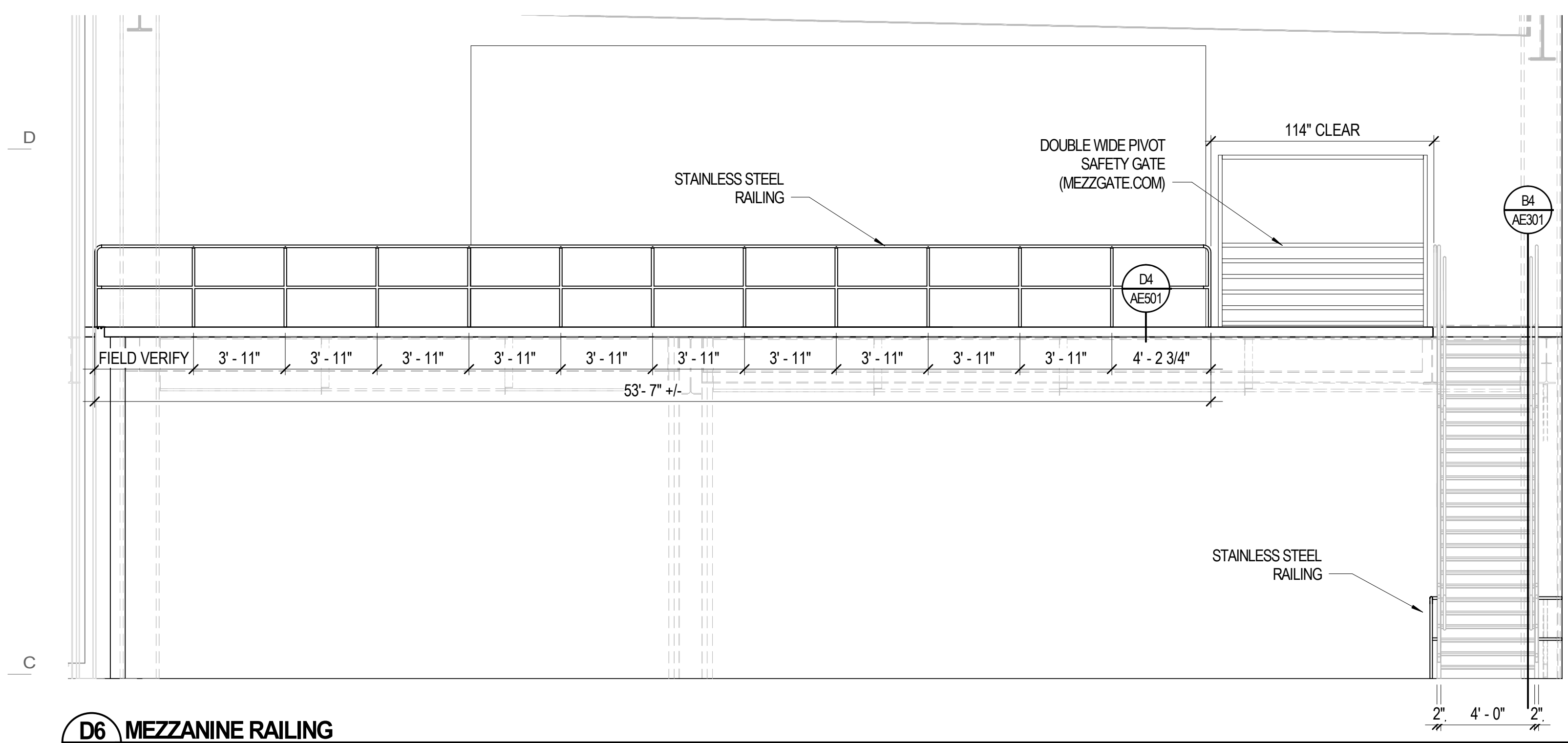
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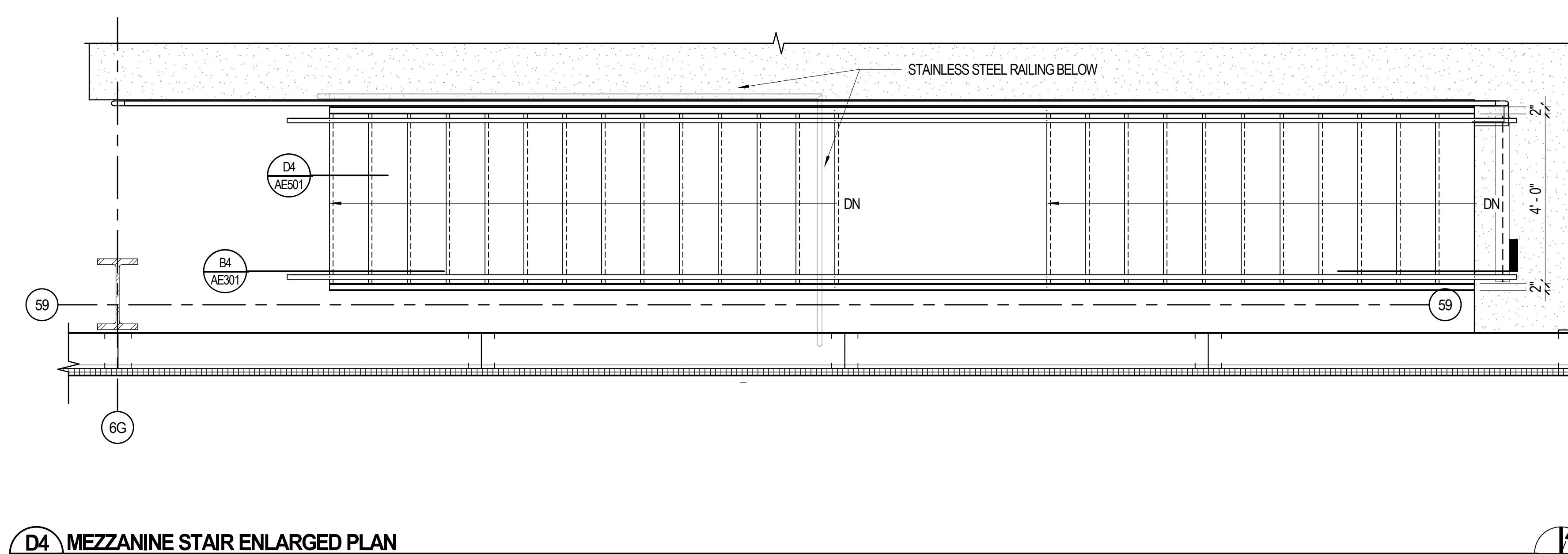


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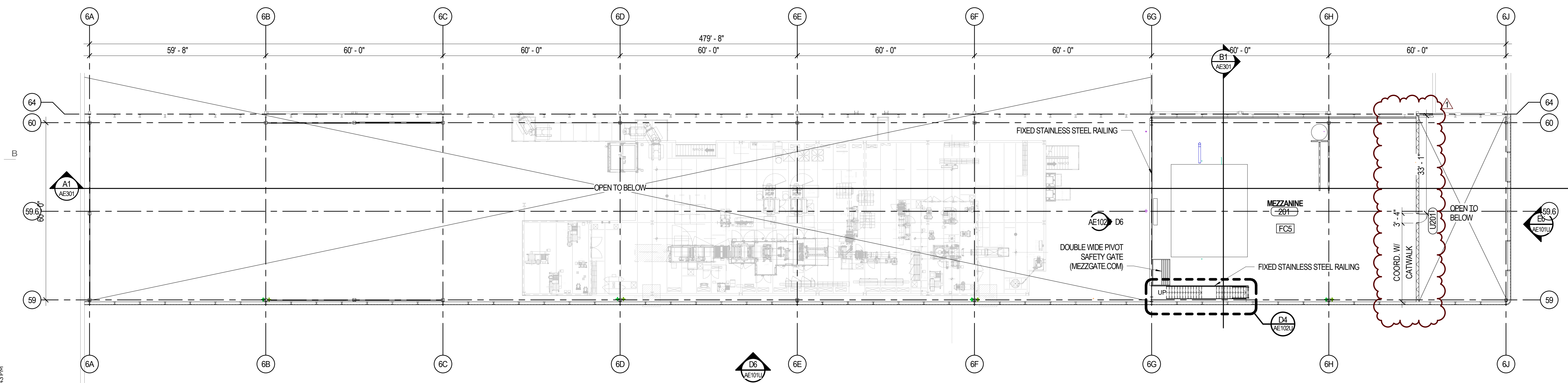
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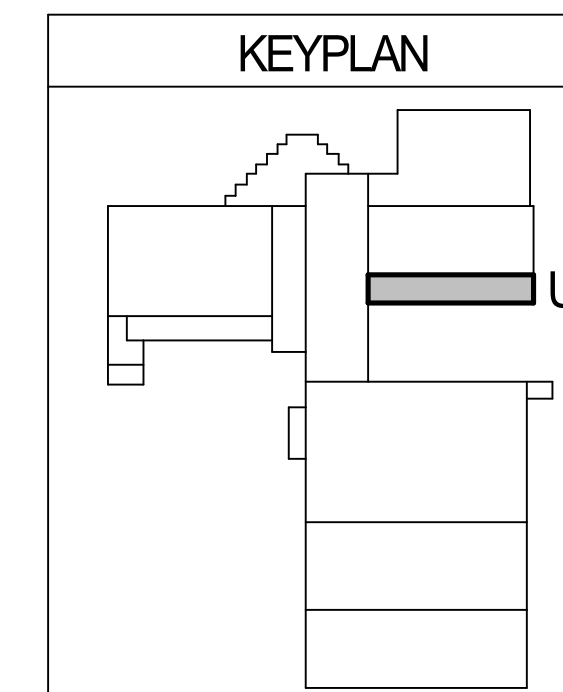
D6 MEZZANINE RAILING  
AE102U 1/4" = 1'-0"



D4 MEZZANINE STAIR ENLARGED PLAN  
AE102U 1/2" = 1'-0"



B6 MEZZANINE FLOOR PLAN - U-13  
AE102U 1/16" = 1'-0"



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1	04.04.22	ADD-001

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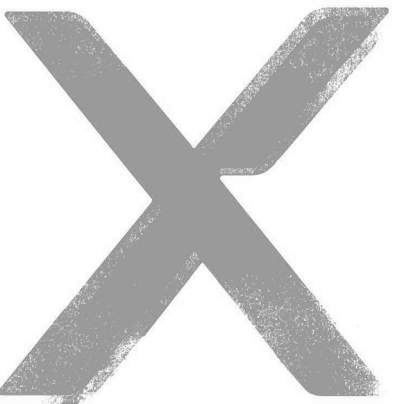
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DATE: 02.25.2022

MEZZANINE FLOOR PLANS - MALCOM

AE102U



- GENERAL NOTES**
- A. FIELD VERIFY ALL MECHANICAL AND PLUMBING ITEMS PRIOR TO COMMENCING NEW WORK. NO ADDITIONAL PAYMENT WILL BE ALLOWED FOR CONTRACTOR'S FAILURE TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
  - B. COORDINATE DUCT ROUTING WITH PLUMBING AND MECHANICAL PIPING. PROVIDE OFFSETS AS REQUIRED.
  - C. ALL MECHANICAL WORK SHALL BE COORDINATED WITH THE WORK PERFORMED UNDER OTHER DIVISIONS TO AVOID INTERFERENCE.
  - D. NO DUCT OR PIPE TO ROUTE OVER ELECTRICAL EQUIPMENT.
  - E. CONTRACTOR TO COORDINATE ALL ROOFTOP EQUIPMENT REQUIRING MAINTENANCE TO BE LOCATED 10'-0" MINIMUM FROM EDGE OF ROOF.
  - F. DO NOT SHUT-OFF / PUT OUT OF SERVICE ANY SYSTEMS / SERVICES WITHOUT FIRST COORDINATING ALL DOWN TIME WITH THE OWNERS PERSONNEL.
  - G. SEISMIC BRACING AND FLEXIBLE COUPLINGS SHALL BE PROVIDED AS REQUIRED FOR SEISMIC PROTECTION.



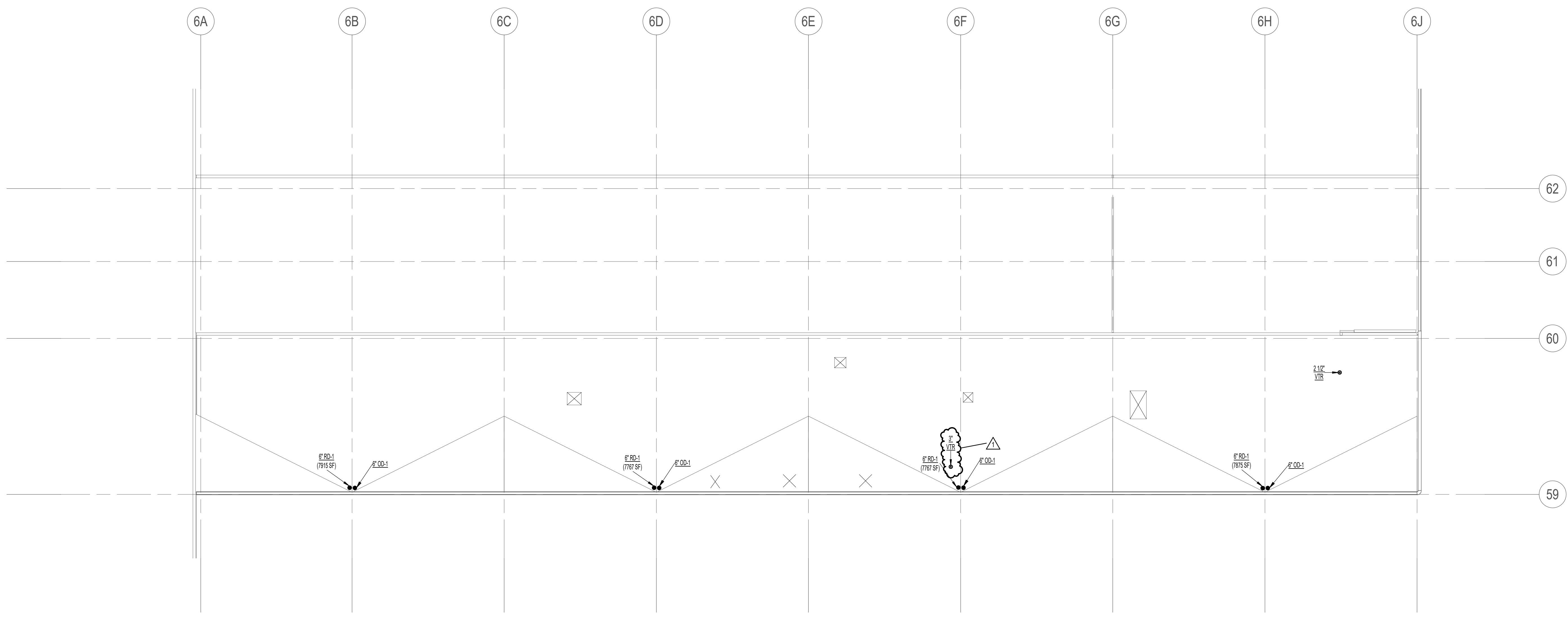
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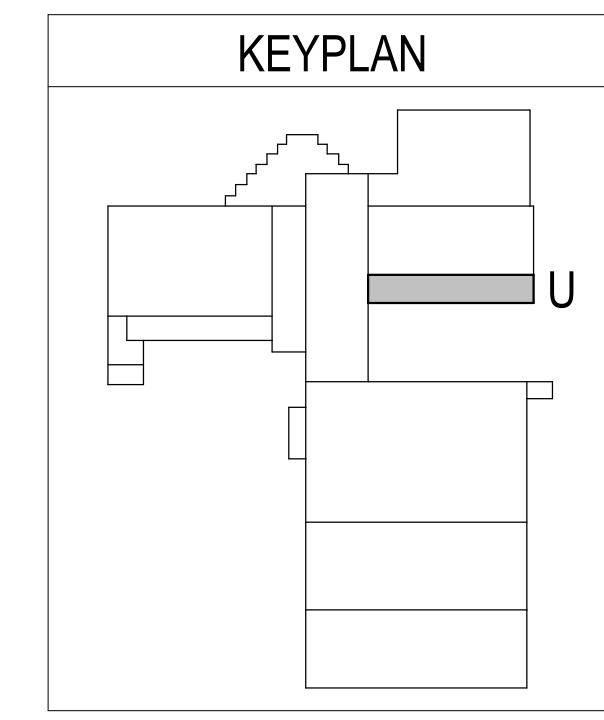
**KIMBERLY-CLARK**  
**U-13 MACHINE BAY & FINISHED PRODUCT WAREHOUSE 3**  
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**1 ROOF MECHANICAL / PLUMBING MACHINE BAY PLAN**  
SCALE: 3/8" = 1'-0"  
0 4 8 12

#	Date	Revision
1	04/04/2022	ADD-01



**CONSTRUCTION SET**

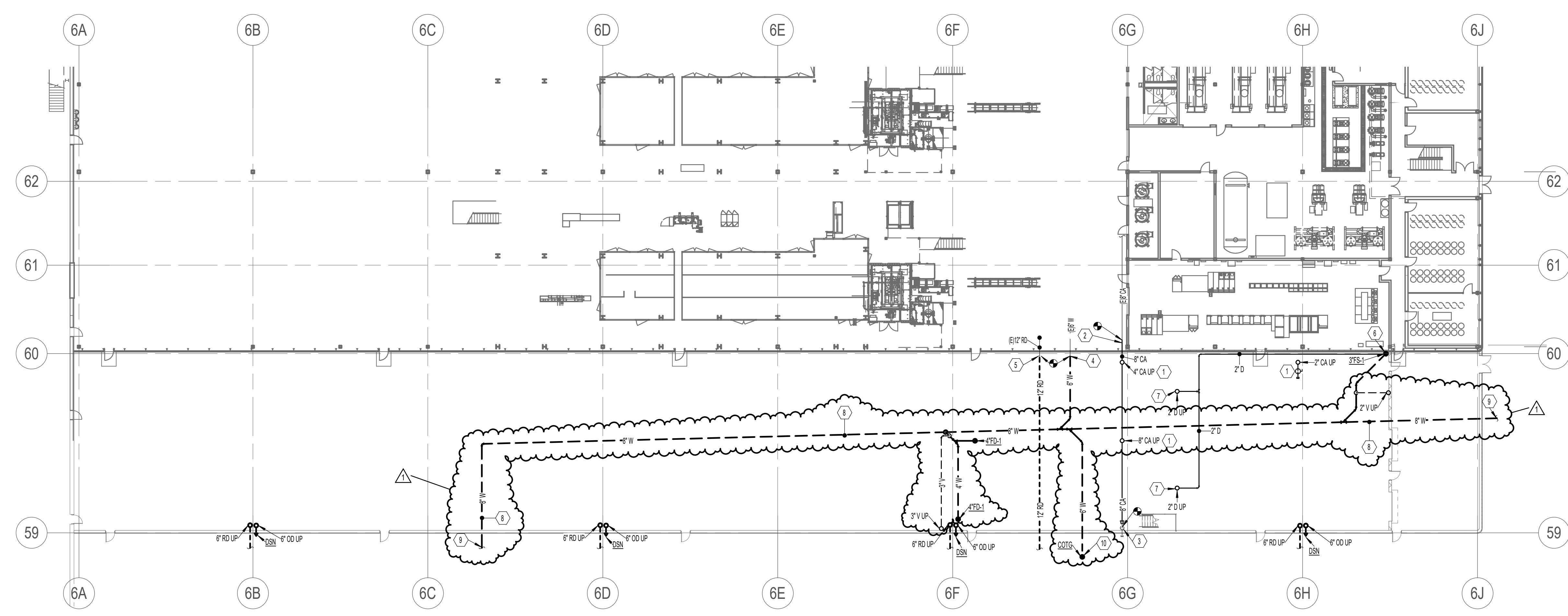
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DATE: 02.23.2022

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**ROOF MECHANICAL / PLUMBING PLAN U13**

**MH103U**

6 | 5 | 4 | 3 | 2 | 1 |



1 LEVEL 1 PLUMBING MACHINE BAY PLAN  
 SCALE: 3/8" = 1'-0"

- KEYED NOTES**
- 1 PROVIDE SHUTOFF AND CAP FOR FUTURE CONNECTION.
  - 2 SALVAGE EXISTING COMPRESSED AIR AUXILIARY CONNECTION FOR REUSE IN NEW PHASE.
  - 3 RELOCATED AUXILIARY COMPRESSED AIR CONNECTION.
  - 4 CONNECT TO EXISTING WASTE LINE. MATCH INVERT ELEVATION OF EXISTING PIPING.
  - 5 CONNECT TO EXISTING ROOF DRAIN LINE. MATCH INVERT ELEVATION OF EXISTING PIPING.
  - 6 ROUTE 2" CONDENSATE FROM AHU AND DISCHARGE THROUGH AIR GAP TO 3" FLOOR SINK.
  - 7 2" CONDENSATE DRAIN UP THROUGH MEZZANINE FLOOR. COORDINATE EXACT LOCATION WITH AHU MACHINE TEAM EQUIPMENT PROVIDER.
  - 8 LOCATE AND DEMO EXISTING SEWER PIPING AND PROVIDE NEW AS SHOWN. SEE CIVIL FOR EXTENT OF DEMO.
  - 9 SEE CIVIL FOR CONNECTION TO WASTE.
  - 10 EXTEND 8" W TO COTG FOR FUTURE EXPANSION. INSTALL COTG 8'-0" FROM BUILDING.

- GENERAL NOTES**
- A. ALL WASTE, ROOF AND OVER FLOW DRAINS SMALLER THAN 2" ARE TO BE RUN AT 1/4" FOOT PER SLOPE, 3" AND LARGER TO BE RUN AT 1/8" FOOT PER SLOPE.
  - B. COORDINATE PLUMBING PIPING ROUTINGS AND LOCATION WITH ALL TRADES.
  - C. COORDINATE THE EXACT LOCATION OF ALL PLUMBING FIXTURES WITH ARCHITECTURAL PLANS.
  - D. FIELD VERIFY ALL MECHANICAL AND PLUMBING ITEMS PRIOR TO COMMENCING NEW WORK. NO ADDITIONAL PAYMENT WILL BE ALLOWED FOR CONTRACTOR'S FAILURE TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
  - E. ALL DEMOLISHED COPPER PIPING TO BE CUT IN 10'-0" LENGTHS AND RETURNED TO OWNER FOR STOCK.
  - F. ALL ITEMS SHOWN LIGHT AND SOLID TO REMAIN. ALL ITEMS SHOWN DARK AND DASHED TO BE REMOVED.
  - G. PLUMBING CONTRACTOR SHALL REMOVE FROM THE JOBSITE ANY MATERIALS NOT ECONOMICALLY RECOVERABLE. ANY MATERIALS REMOVED FROM JOBSITE AND SOLD FOR SALVAGE SHALL BE CREDITED TO THE OWNER'S ACCOUNT.
  - H. VERIFY DISCONNECTION POINTS OF DEMO PIPING TO EXISTING TO REMAIN PIPING THAT CONTINUE TO SERVE OTHER AREAS OF THE BUILDING.
  - I. DO NOT SHUT-OFF / PUT OUT OF SERVICE ANY SYSTEMS / SERVICES WITHOUT FIRST COORDINATING ALL DOWNTIME WITH THE OWNER'S PERSONNEL.



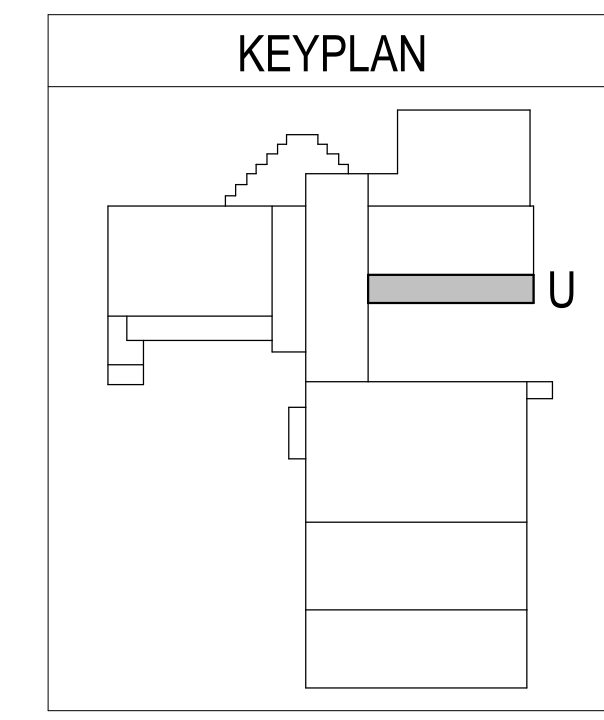
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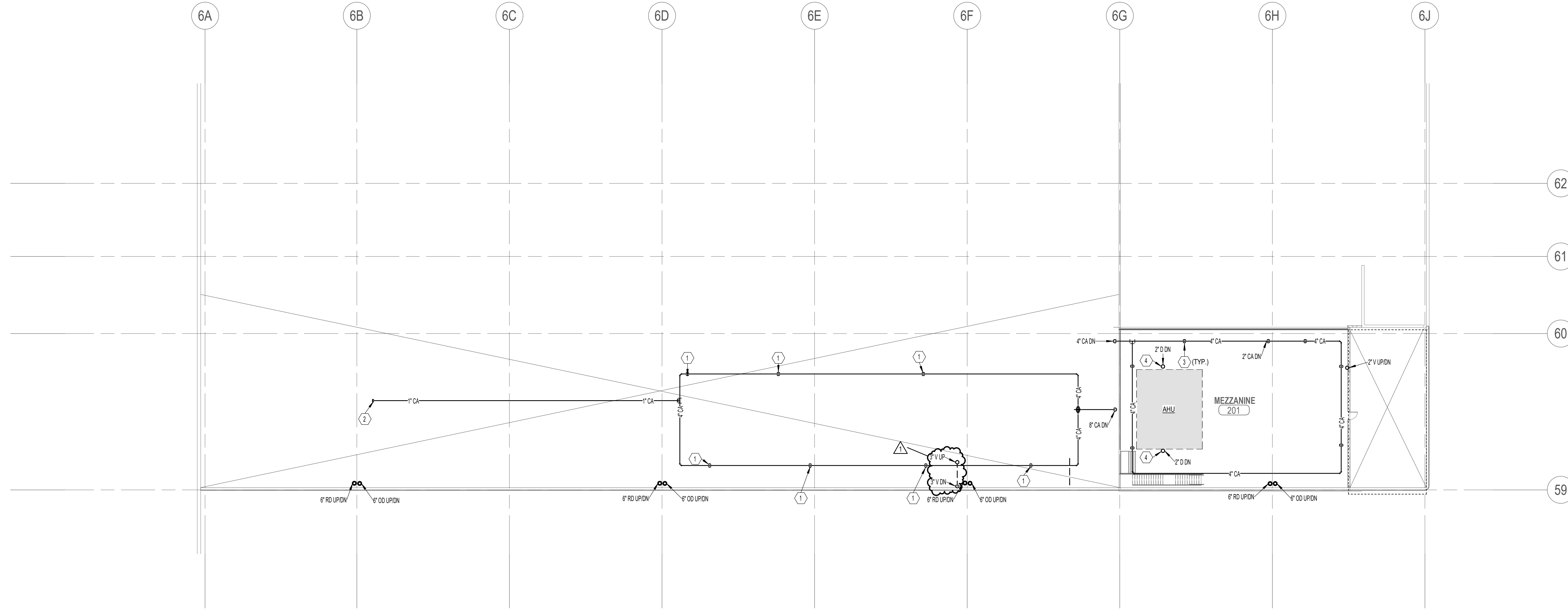
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**LEVEL 1 PLUMBING PLAN U13**

**PL101U**



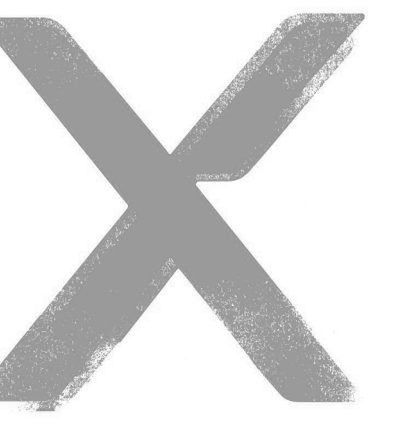
1 MEZZANINE PLUMBING OVERALL PLAN  
SCALE: 3/8" = 1'-0"

KEYED NOTES

- 2 1/2" COMPRESSED AIR DOWN WITH SHUTOFF VALVE AND CAP. MC TO COORDINATE EXACT LOCATION OF DROPS WITH OWNER.
- VALVE AND CAP FOR EQUIPMENT CONNECTION.
- 2" COMPRESSED AIR DOWN WITH SHUTOFF VALVE AND CAP. MC TO COORDINATE EXACT LOCATION OF DROPS WITH OWNER.
- 2" CHILLED WATER CONDENSATE DRAIN DOWN THROUGH MEZZANINE FLOOR. COORDINATE EXACT LOCATION WITH AHU MACHINE TEAM EQUIPMENT PROVIDER.

GENERAL NOTES

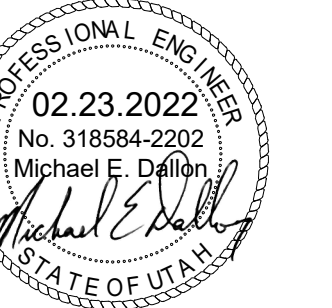
- ALL WASTE, ROOF AND OVER FLOW DRAINS SMALLER THAN 2" ARE TO BE RUN AT 1/4" FOOT PER SLOPE. 2" AND LARGER TO BE RUN AT 1/8" FOOT PER SLOPE.
- COORDINATE PLUMBING PIPING ROUTING AND LOCATION WITH ALL TRADES.
- COORDINATE THE EXACT LOCATION OF ALL PLUMBING FIXTURES WITH ARCHITECTURAL PLANS.
- FIELD VERIFY ALL MECHANICAL AND PLUMBING ITEMS PRIOR TO COMMENCING NEW WORK. NO ADDITIONAL PAYMENT WILL BE ALLOWED FOR CONTRACTOR'S FAILURE TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
- ALL DEMOLISHED COPPER PIPING TO BE CUT IN 10'-0" LENGTHS AND RETURNED TO OWNER FOR STOCK.
- ALL ITEMS SHOWN LIGHT AND SOLID TO REMAIN. ALL ITEMS SHOWN DARK AND DASHED TO BE REMOVED.
- PLUMBING CONTRACTOR SHALL REMOVE FROM THE JOBSITE ANY MATERIALS NOT ECONOMICALLY RECOVERABLE. ANY MATERIALS REMOVED FROM JOBSITE AND SOLD FOR SALVAGE SHALL BE CREDITED TO THE OWNER'S ACCOUNT.
- VERIFY DISCONNECTION POINTS OF DEMO PIPING TO EXISTING TO REMAIN PIPING THAT CONTINUE TO SERVE OTHER AREAS OF THE BUILDING.
- DO NOT SHUT-OFF / PUT OUT OF SERVICE ANY SYSTEMS / SERVICES WITHOUT FIRST COORDINATING ALL DOWNTIME WITH THE OWNER'S PERSONNEL.



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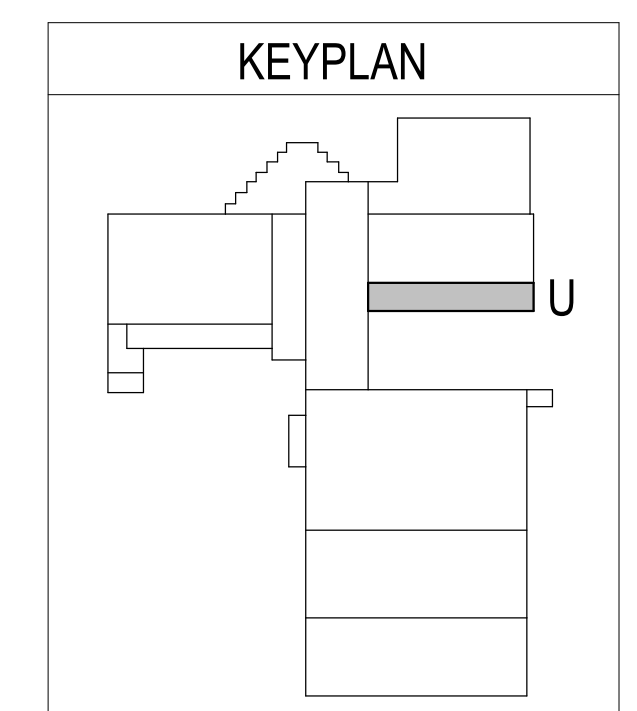
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1	04/04/2022	ADD-01



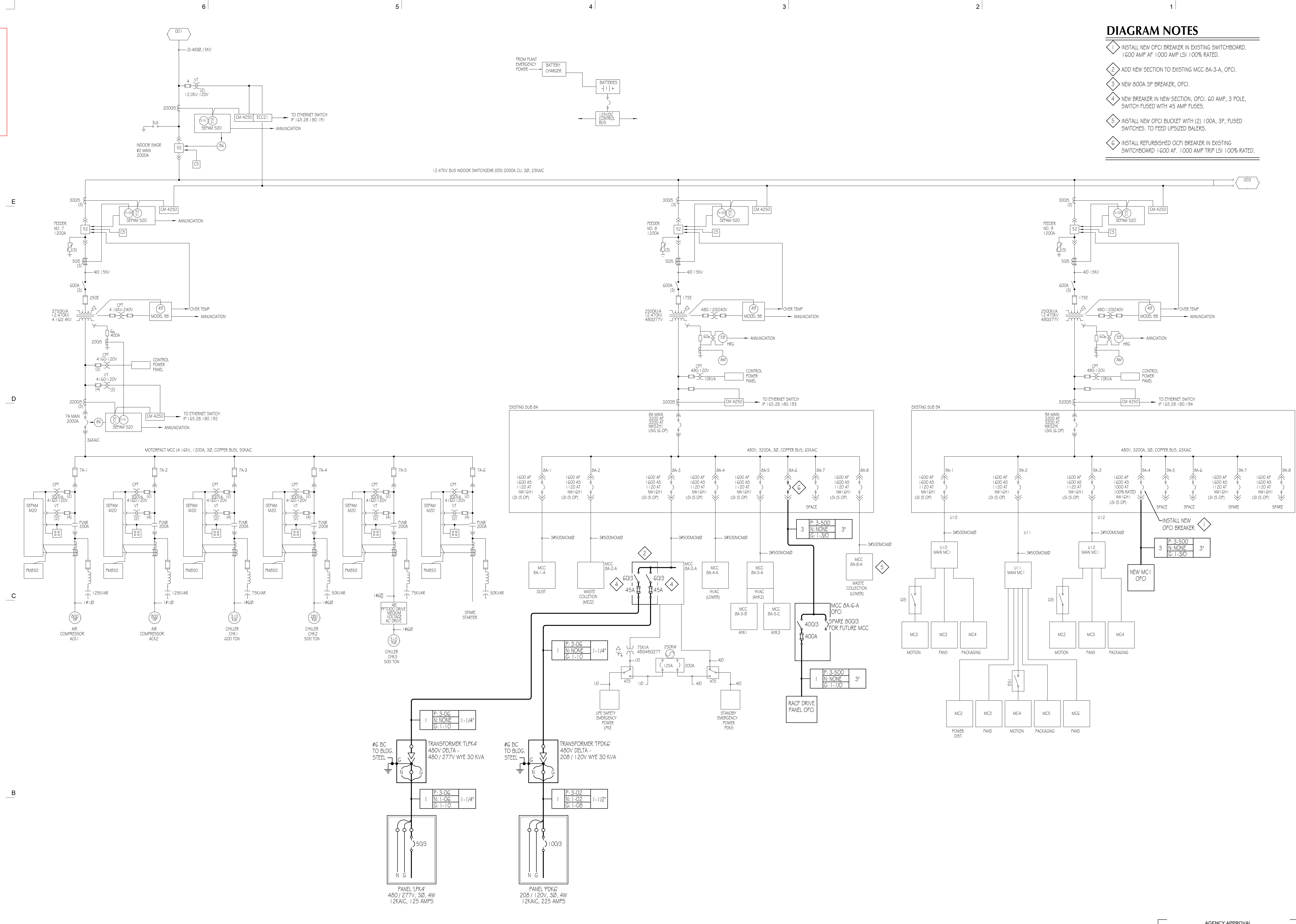
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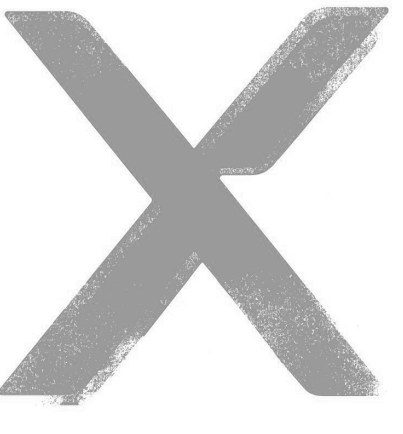
AGENCY APPROVAL

MEZZANINE PLUMBING PLAN U13

PL102U

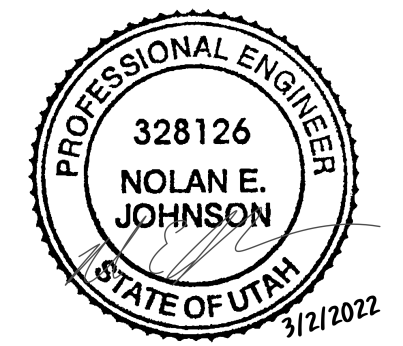


- DIAGRAM NOTES**
- INSTALL NEW OFCI BREAKER IN EXISTING SWITCHBOARD. 1600 AMP AF, 1000 AMP LSI, 100% RATED.
  - ADD NEW SECTION TO EXISTING MCC 8A-3-A, OFCI.
  - NEW 800A 3P BREAKER, OFCI.
  - NEW BREAKER IN NEW SECTION, OFCI. 60 AMP, 3 POLE, SWITCH FUSED WITH 45 AMP FUSES.
  - INSTALL NEW OFCI BUCKET WITH (2) 100A, 3P, FUSED SWITCHES, TO FEED UPSIZED BALERS.
  - INSTALL REFURBISHED OFCI BREAKER IN EXISTING SWITCHBOARD. 1600 AMP, 1000 AMP TRIP LSI, 100% RATED.



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22		

**PERMIT SET**

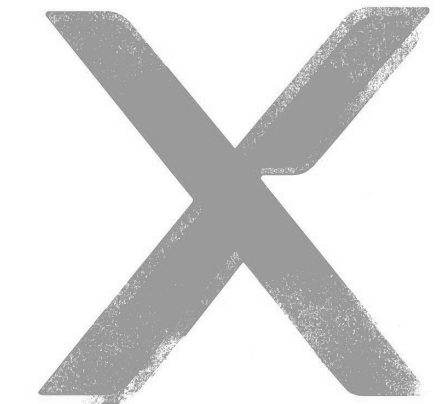
NEXUS PROJ. #: 22003  
CHECKED BY: Checker  
DRAWN BY: Author  
DATE: 11.30.21

**ELECTRICAL  
ONE-LINE  
DIAGRAM**

**ELECTRICAL ONE-LINE DIAGRAM**  
SCALE: NONE

### DRAWING NOTES

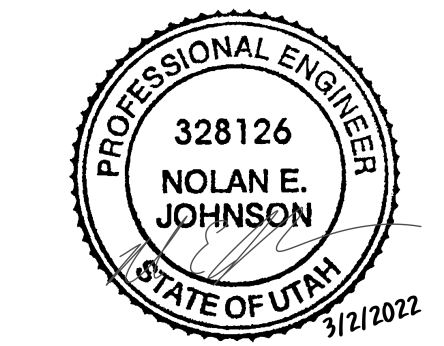
- 1 UTILIZE EXISTING SPARE BREAKER. ADJUST TRIP SETTING AS INDICATED.
- 2 DISCONNECT 60 / 2 / FUSE PER NAMEPLATE / 3R / HD / 600 WITH VIEWING SCANNING WINDOW.
- 3 DISCONNECT 30 / 3 / FUSE PER NAMEPLATE / 3R / HD / 600 WITH VIEWING SCANNING WINDOW.
- 4 PROVIDE DOUBLE LUGS FOR THROUGH CIRCUIT.
- 5 NEW 125/3 BREAKER IN EXISTING SPACE.
- 6 REPLACE EXISTING BREAKER BUCKET WITH NEW 150/3 BREAKER.
- 7 NEW 100/3 BREAKER IN EXISTING SPACE.



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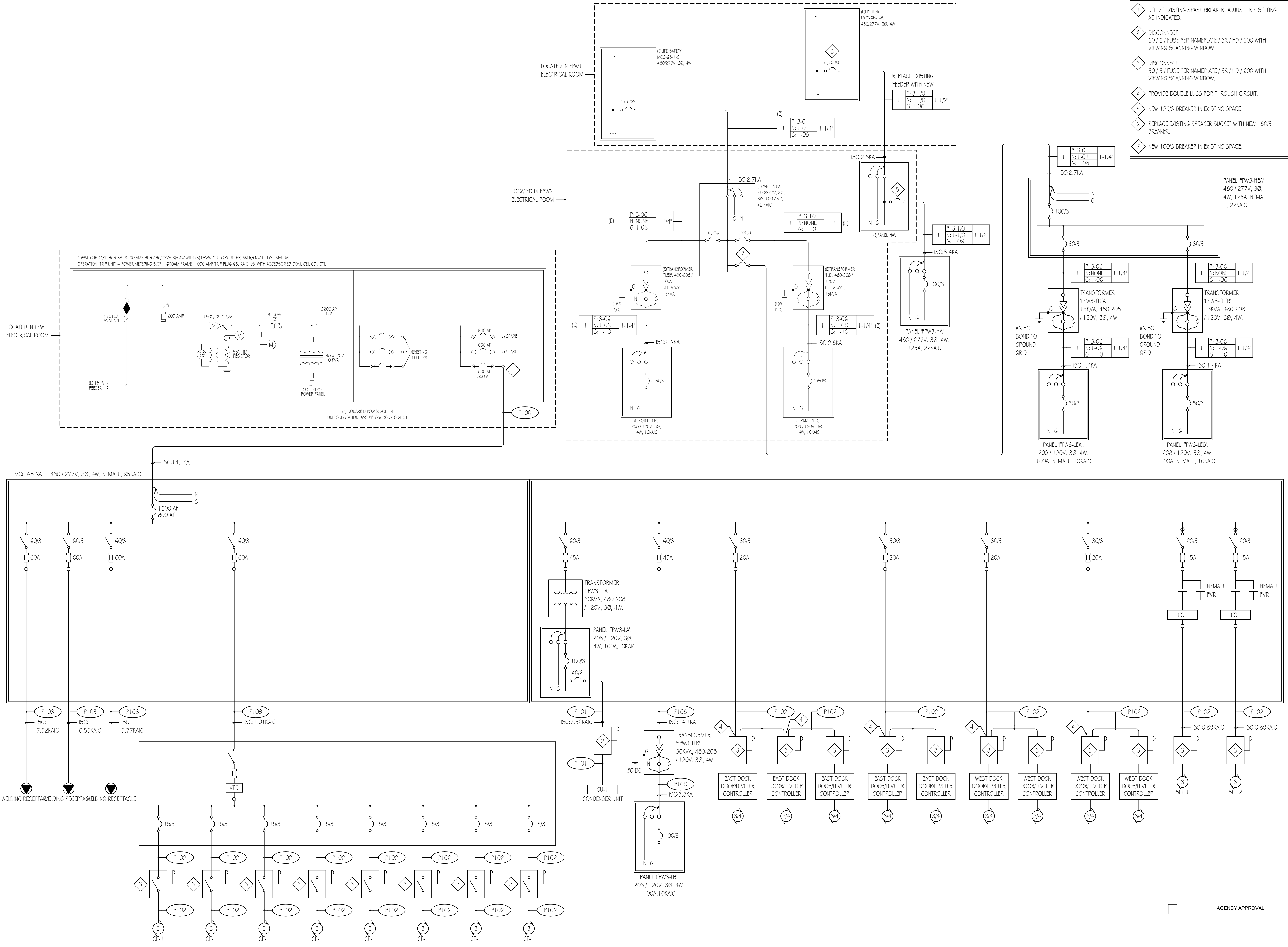
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# KIMBERLY-CLARK U-13 MACHINE BAY & FINISHED PRODUCT WAREHOUSE 3

2010 RULON WHITE BOULEVARD, OGDEN UT 84404



**ELECTRICAL ONE-LINE DIAGRAM**  
SCALE: NONE

#	Date	Revision
1	04/04/20	ADD-001
22		

### PERMIT SET

NEXUS PROJ. #: 22003  
CHECKED BY: Checker  
DRAWN BY: Author  
DATE: 11.30.21

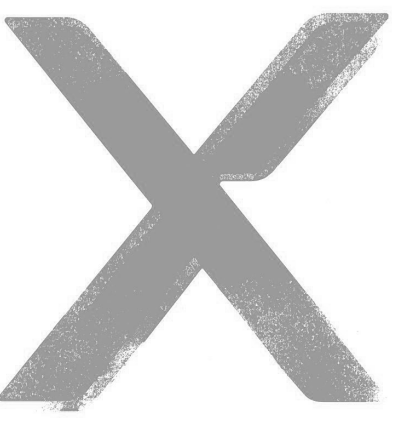
### ELECTRICAL ONE-LINE DIAGRAM

DRAWING NOTES

- 1 TRANSFORMER 'TLD'. SEE ONE-LINE DIAGRAM.
- 2 PANEL 'LD'. SEE ONE-LINE DIAGRAM.
- 3 WELDING RECEPTACLE WITH INTEGRAL DISCONNECT.
- 4 PANEL 'LED'
- 5 TRANSFORMER 'TLED'
- 6 PROVIDE AN ORANGE RECEPTACLE.
- 7 SECURITY ACCESS CONTROL PANEL SUPPLY.
- 8 DISCONNECT FOR DOOR OPENER AND DOCK LEVELER. SEE DETAIL.
- 9 FUTURE DISCONNECT FOR DOOR OPENER AND DOCK LEVELER. SEE DETAIL.
- 10 FUTURE DOOR, STUB AND CAP CONDUIT.
- 11 30 AMP 120V TWIST LOCK RECEPTACLE WITHIN CABINET.
- 12 20 AMP 120V TWIST LOCK RECEPTACLE WITHIN CABINET FOR COOLING.
- 13 RED COORED OUTLET FOR GENERATOR POWER.

GENERAL NOTES

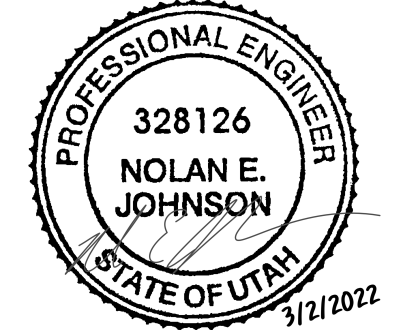
- A. ALL SURFACE MOUNTED CONDUIT BELOW 12'-0" AFF SHALL BE RIGID GALVANIZED STEEL. SURFACE MOUNTED CONDUITS ABOVE 12'-0" AFF MAY BE EMT.
- B. CIRCUITS GREATER THAN OR EQUAL TO 300 VOLTS: RIGID METAL CONDUIT IS REQUIRED. DIAMETERS GREATER THAN OR EQUAL TO 1-1/2" MAY BE ALUMINUM.
- C. CIRCUITS LESS THAN 300 VOLTS: RIGID METAL CONDUIT IS REQUIRED WHERE BELOW +12'-0" AFF. ELECTRIC METALLIC TUBING IS ALLOWED WHERE OVER +12'-0" AFF.
- D. ALL WALL AND TRUSS CLAMPS SHALL BE RIGID STYLE (BEAM CLAMPS AND U-BOLT STYLE). SPRING CLAMPS ARE NOT ALLOWED.



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**KIMBERLY-CLARK**  
**U-13 MACHINE BAY & FINISHED**  
**PRODUCT WAREHOUSE 3**  
2010 RULON WHITE BOULEVARD, OGDEN UT 84404

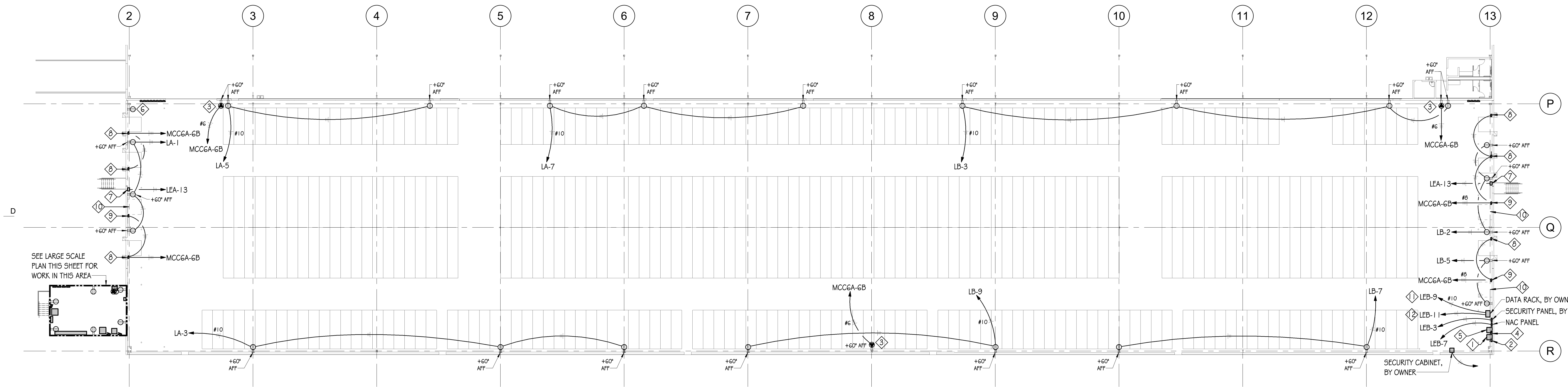
#	Date	Revision
1	04/04/20	ADD-001
22		

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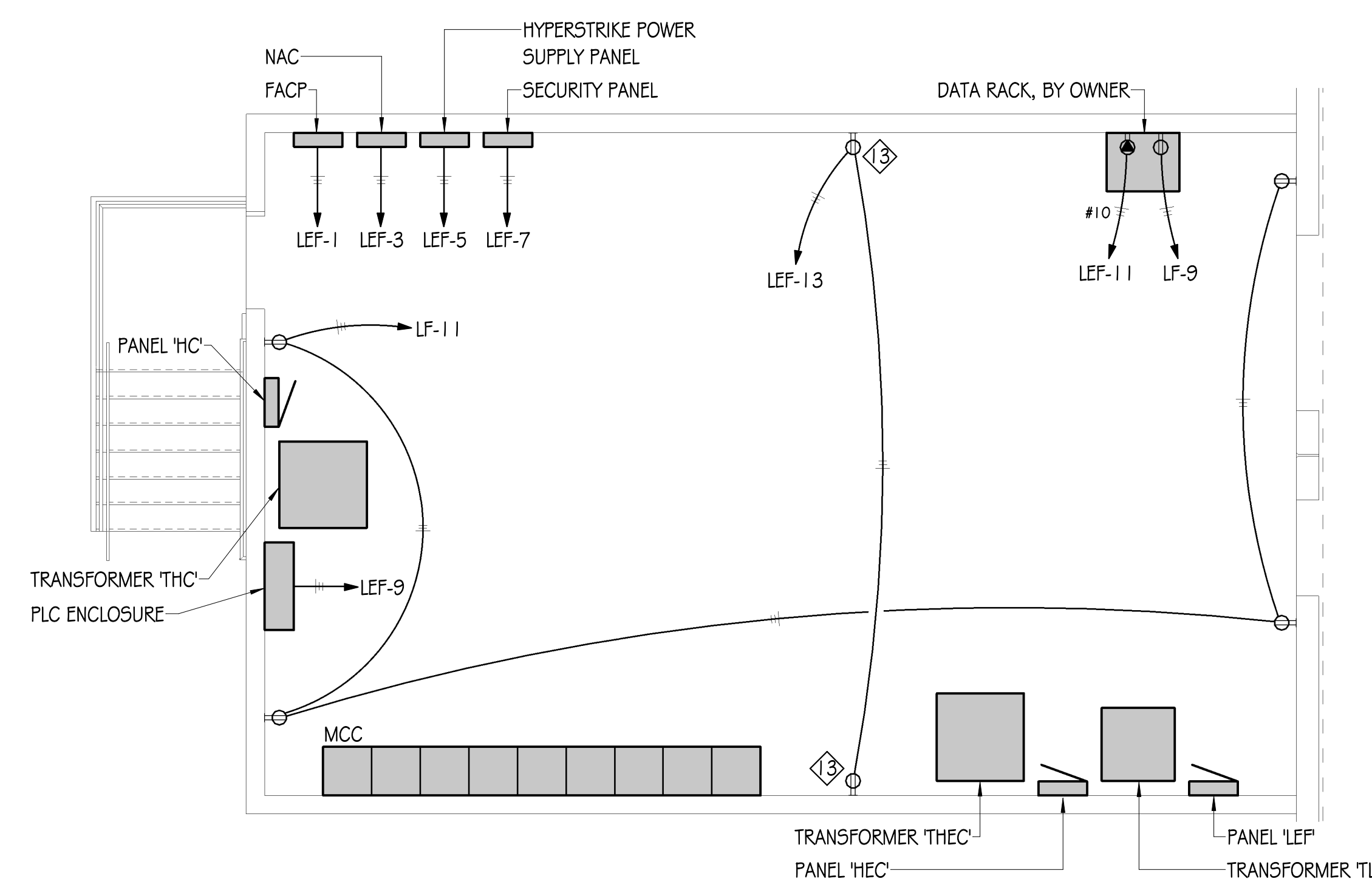
NEXUS PROJ. #: 22003  
CHECKED BY: NEJ  
DRAWN BY: KJB  
DATE: 11.30.21

LEVEL 1  
POWER PLAN -  
FPW3

EP101F



**LEVEL 1 POWER PLAN - FPW3**  
SCALE: 1" = 20'-0"



**LARGE SCALE LEVEL 1 POWER PLAN - FPW3**  
SCALE: 1/4" = 1'-0"

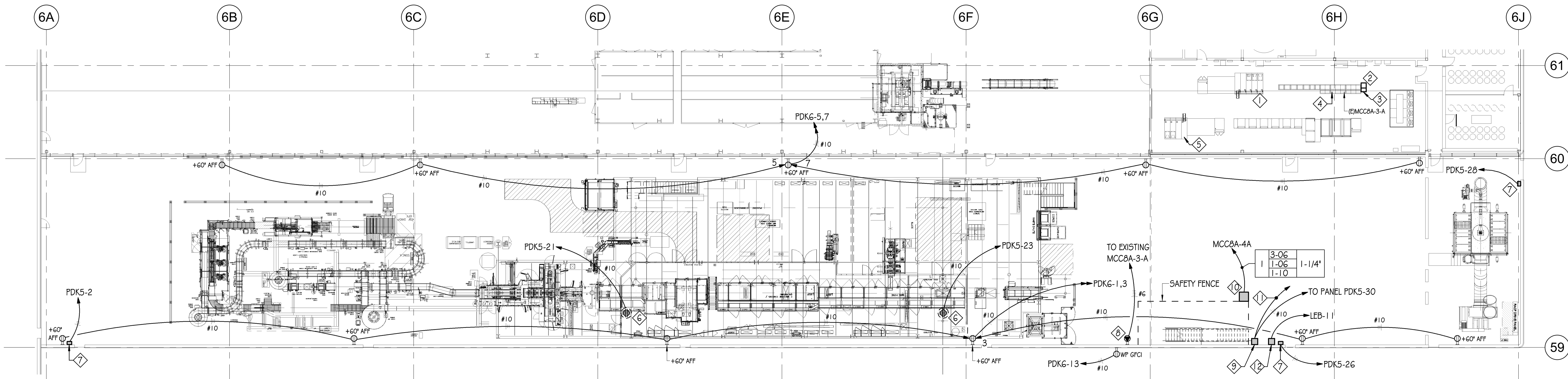
AGENCY APPROVAL

DRAWING NOTES

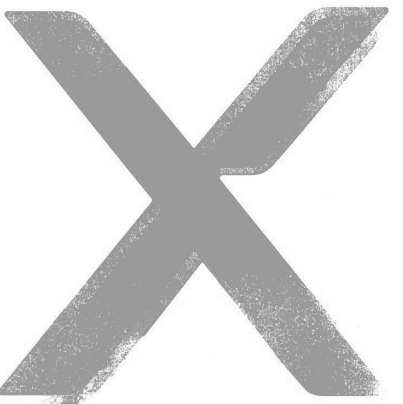
- 1 EXISTING SUB 8A. CONNECT TO EXISTING BREAKER TO FEED NEW MCC 8A-6-A.
- 2 PROVIDE AND INSTALL CONCRETE PAD EXTENSION FOR BOTH MCCS.
- 3 INSTALL NEW MCC SECTION IN MCC 8A-3-A. SECTION PROVIDED BY KIMBERLY CLARK.
- 4 IN MCC8A-3-A, INSTALL NEW OFCI 60 AMP 3 POLE TURN BREAKER BUCKET IN SECTION 3A FOR NEW WELDER RECEPTACLES.
- 5 EXISTING SUB 9A. CONNECT NEW MC 1 TO SPARE BREAKER 4.
- 6 RECEPTACLE MOUNTED TO UNDERSIDE OF MEZZANINE FOR EMERGENCY USE.
- 7 DOOR ACCESS POWER SUPPLY. SEE DETAIL 7 / E-502.
- 8 WELDING RECEPTACLE WITH INTEGRAL DISCONNECT. +60' AFF.
- 9 NEW WALL MOUNTED DATA CABINET OFCI. PROVIDE AN ORANGE SPECIAL PURPOSE RECEPTACLE.
- 10 RELOCATE EXISTING FORK LIFT CHARGER TO HERE.
- 11 1" PVC WITH #6 B.C. GROUND TO GROUND GRID.
- 12 NEW SECURITY CABINET, BY OWNER.

GENERAL NOTES

- A. ALL SURFACE MOUNTED CONDUIT BELOW 12'-0" AFF SHALL BE RIGID GALVANIZED STEEL. SURFACE MOUNTED CONDUITS ABOVE 12'-0" AFF MAY BE EMT.
- B. CIRCUITS GREATER THAN OR EQUAL TO 300 VOLTS: RIGID METAL CONDUIT IS REQUIRED. DIAMETERS GREATER THAN OR EQUAL TO 1-1/2" MAY BE ALUMINUM.
- C. CIRCUITS LESS THAN 300 VOLTS: RIGID METAL CONDUIT IS REQUIRED WHERE BELOW +12'-0" AFF. ELECTRIC METALLIC TUBING IS ALLOWED WHERE OVER +12'-0" AFF.
- D. ALL WALL AND TRUSS CLAMPS SHALL BE RIGID STYLE (BEAM CLAMPS AND U-BOLT STYLE). SPRING CLAMPS ARE NOT ALLOWED.



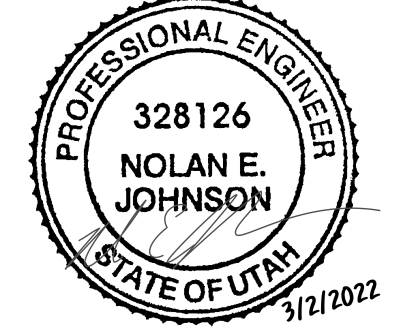
**LEVEL 1 POWER PLAN - U-13**  
 SCALE: 1/16" = 1'-0"  
 EP101U



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**KIMBERLY-CLARK**  
**U-13 MACHINE BAY & FINISHED PRODUCT WAREHOUSE 3**  
 2010 RULON WHITE BOULEVARD, OGDEN UT 84404

#	Date	Revision
1	04/04/20	ADD-001
		22

PERMIT SET

NEXUS PROJ. #: 22003  
 CHECKED BY: NEJ  
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 DATE: 11.30.21

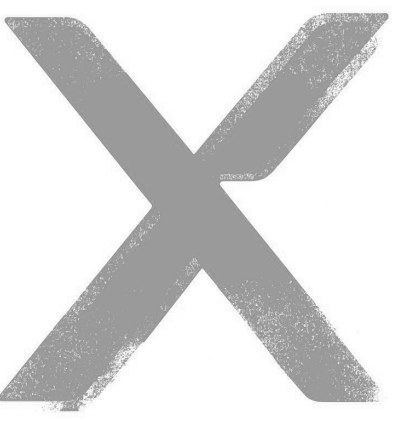
AGENCY APPROVAL

LEVEL 1 POWER PLAN - U-13

EP101U

DRAWING NOTES

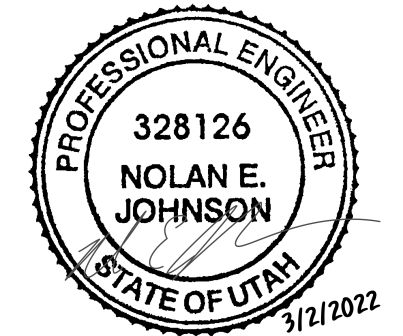
- 1 RECEPTACLE FOR RADIANT HEAT BURNER CONTROL. CORD AND PLUG CONNECT TO PANEL WITH 20 AMP TWIST LOCK CORD AND PLUG. MOUNT NEXT TO RADIANT HEATER.
- 2 DISCONNECTS FOR CFS. SEE ONE-LINE DIAGRAM.



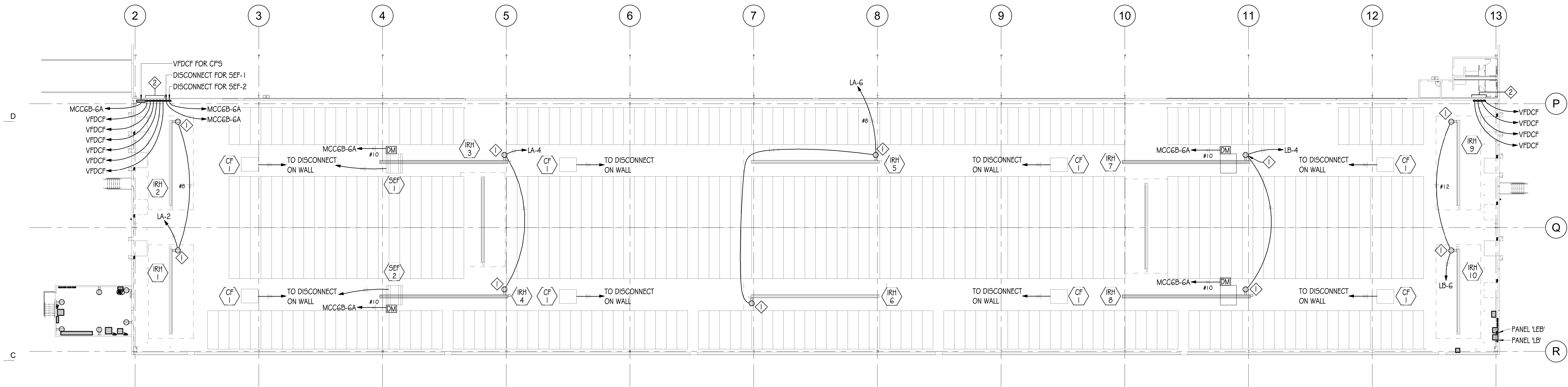
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**U-13 MACHINE BAY & FINISHED**  
**PRODUCT WAREHOUSE 3**  
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**LEVEL 1 MECHANICAL EQUIPMENT POWER PLAN - FPW3**  
 SCALE: 1" = 20'-0"  
 20 10 0 20 40  
 1  
 EP102F

#	Date	Revision
1	04/04/20	ADD-001
		22

PERMIT SET

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 DATE: 11.30.21

AGENCY APPROVAL

**LEVEL 1**  
**MECHANICAL**  
**EQUIPMENT**  
**POWER PLAN -**  
**FPW3**

**EP102F**

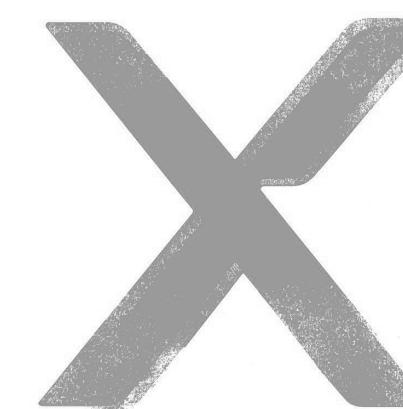


DRAWING NOTES

- 1 INSTALL NEW MCC 8A-G-A OFCI. SEE ONE-LINE DIAGRAM. CONNECT TO EXISTING MCC 8A-2-A SECTION 4A.
- 2 NEW MC1 OFCI. CONNECT TO EXISTING SUB 9A A5 PER ONE-LINE DIAGRAM.
- 3 NEW WELDING RECEPTACLE WITH INTEGRAL DISCONNECT. +60" AFF.
- 4 (2) 45KVA TRANSFORMERS 'LTPKG' AND 'TPDKG' STACKED IN STRUT STAND. SEE STRUCTURAL.
- 5 POWER PANEL 'PDKG'
- 6 LIGHTING PANEL 'LPKG'

GENERAL NOTES

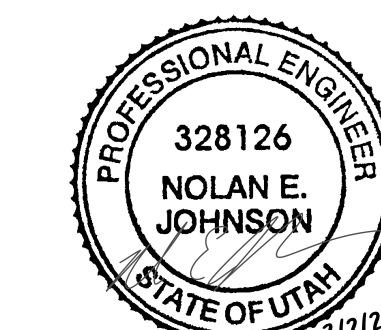
- A. ALL SURFACE MOUNTED CONDUIT BELOW 12'-0" AFF SHALL BE RIGID GALVANIZED STEEL. SURFACE MOUNTED CONDUITS ABOVE 12'-0" AFF MAY BE EMT.
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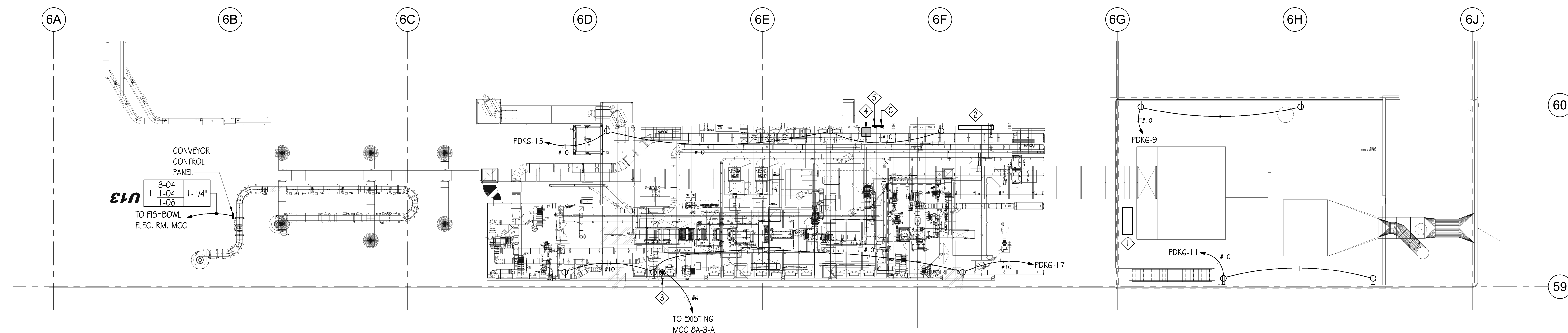
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KIMBERLY-CLARK  
**U-13 MACHINE BAY & FINISHED PRODUCT WAREHOUSE 3**  
2010 RULON WHITE BOULEVARD, OGDEN UT 84404



MEZZANINE POWER PLAN - U-13  
SCALE: 1/16" = 1'-0"  
EP102U

#	Date	Revision
1	04/04/20	ADD-001
		22

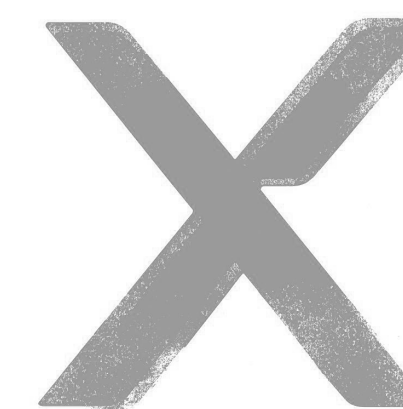
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AGENCY APPROVAL

MEZZANINE POWER PLAN - U-13

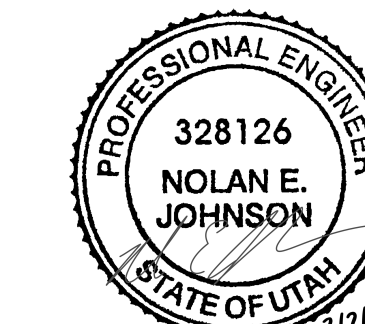
EP102U



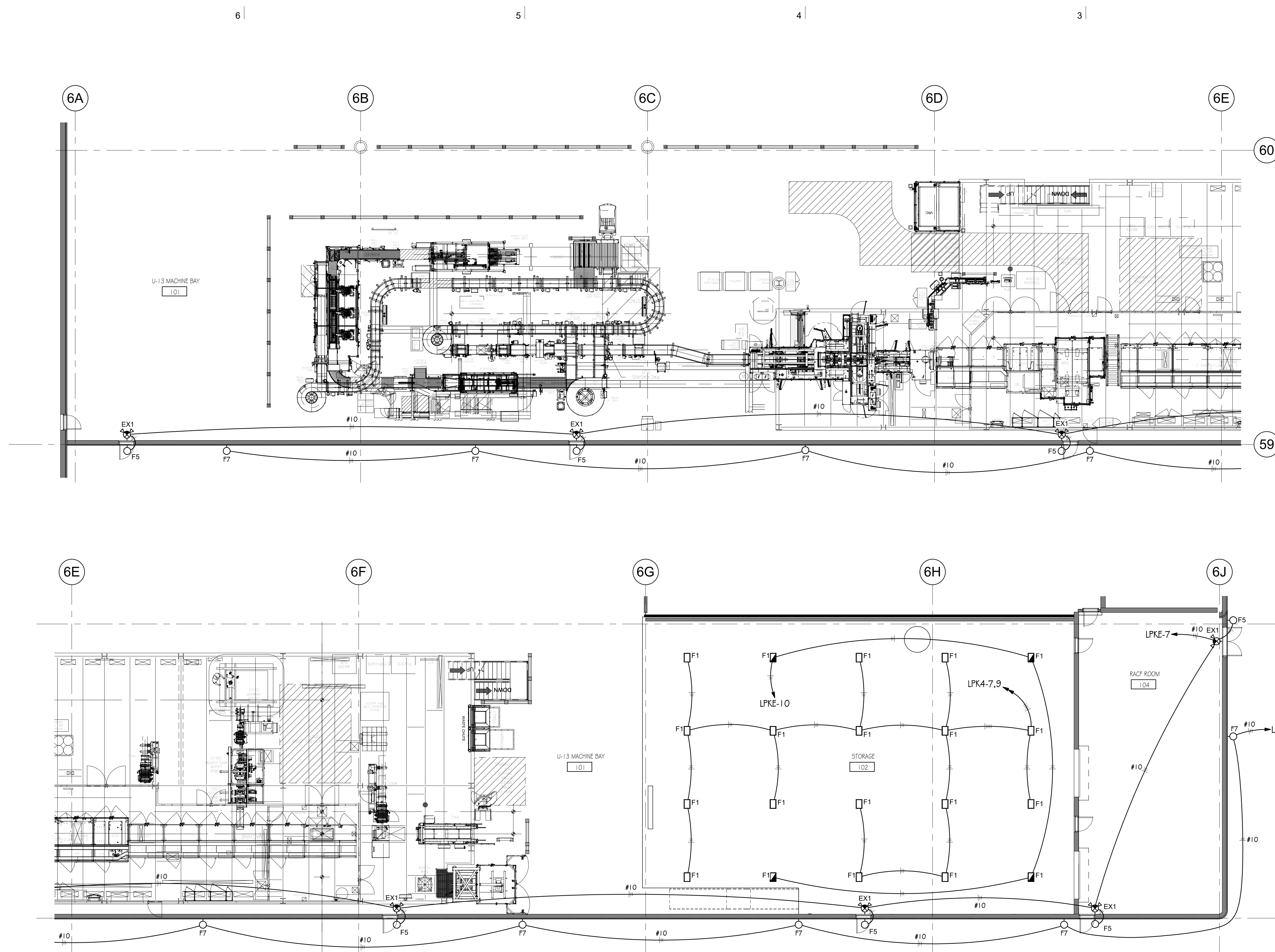
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**KIMBERLY-CLARK  
U-13 MACHINE BAY & FINISHED  
PRODUCT WAREHOUSE 3**  
2010 RULON WHITE BOULEVARD, OGDEN UT 84404



**U-13 - LEVEL 1 LIGHTING PLAN**

SCALE: 3/32" = 1'-0"



2  
EL101U

#	Date	Revision
1	04/04/20	ADD-001
		22

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DRAWN BY: KJB  
DATE: 11.30.21

AGENCY APPROVAL

**LEVEL 1  
LIGHTING PLAN  
- U-13**

**EL101U**



# Staff Report to the Western Weber Planning Commission

Weber County Planning Division

## Synopsis

### Application Information

**Application Request:** Consideration and action on a request for final plat approval of Jacquelyn Estates Phase 1 Amended Subdivision.

**Type of Decision:** Administrative

**Agenda Date:** May 10, 2022

**Applicant:** Craig Standing

**File Number:** LVJ022222

### Property Information

**Approximate Address:** 4900 W 2200 S, Ogden

**Project Area:** 6.778 acres

**Zoning:** Agricultural (A-1)

**Existing Land Use:** Residential

**Proposed Land Use:** Residential

**Township, Range, Section:** T6N, R2W, Section 29

### Adjacent Land Use

<b>North:</b> Residential	<b>South:</b> Residential
<b>East:</b> Residential	<b>West:</b> Residential

### Staff Information

**Report Presenter:** Steve Burton  
[sburton@co.weber.ut.us](mailto:sburton@co.weber.ut.us)  
 801-399-8766

**Report Reviewer:** RG

## Applicable Ordinances

- Title 101, Chapter 1, General Provisions, Section 7, Definitions
- Title 104, Chapter 5 Agricultural (A-1)
- Title 106, Subdivisions, Chapter 1-8 as applicable
- 

## Background and Summary

The applicant is requesting final approval of Jacquelyn Estates Phase 1 Amended Subdivision. The purpose of this plat is to allow the lot owners to take over the previously platted open space. The lot owners do not like the existing open space plan that includes a park and trails. The original developer has not installed those improvements, and the land is currently being farmed.

The lot owners in the subdivision approached the county in 2021, requesting to amend the plat so that each owner could own a portion of the open space. If the county allows the proposal, the subdivision will no longer be considered a cluster subdivision. In order for each lot owner to add the previously dedicated common area to their individual lots, the County Commission will need to relinquish the open space easement that was granted as part of the original subdivision approval. All lot owners will need to sign the subdivision plat as well. The following language on the original plat granted the county the open space easement:

*We hereby grant and convey to Jacquelyn Estates HOA Inc Owners Association, all those parts or portions of said tract of land designated as Common Areas to be used for recreational and open space purposes for the benefit of each member of Jacquelyn Estates HOA Inc. in common with all others in the subdivision and grant **and dedicate to the governing entity a perpetual Open Space Right and Easement on and over the Common Areas to guarantee to the governing entity that the Common Areas remain open and undeveloped except for recreational, parking and open space purposes as may be approved by the governing entity.***

If the Planning Commission makes a positive recommendation for final approval, the open space easement will need to be vacated by ordinance by the County Commission at the same time the subdivision plat is approved by the County Commission.

Where the owners are requesting to become a “standard subdivision” instead of a cluster subdivision, the county will need to ensure that the subdivision lots meet the A-1 zoning requirements, as well as the other subdivision requirements. The proposal is a lot averaged-subdivision. The following analysis explains how the proposal meets the applicable ordinances.

## Analysis

General Plan: The proposal conforms to the Western Weber General Plan by creating lots for the continuation of one acre single family residential development in the area (2003 West Central Weber County General Plan, Residential Uses, Page 1-4).

Zoning: The subject property is located in the Agricultural (A-1) Zone. Single-family dwellings are a permitted use in the A-1 Zone.

Lot area, frontage/width and yard regulations: In the LUC §104-5-7 the A-1 zone requires a minimum lot area of 40,000 square feet for a single family dwelling and a minimum lot width of 150'. All lots within the proposed subdivision meet the zoning requirements for area and width.

Section 106-2-4.20 allows lot average subdivisions in the A-1 zone, as long as the averaged lot width and area of all lots within the subdivision is no less than 150 feet wide and 40,000 square feet of area. There are 6 lots in the proposed subdivision. The average lot area in this subdivision is 40,000. The average lot width is 153 feet wide.

Culinary water and sanitary sewage disposal: All six lots have homes on them that are served by Taylor West Weber Water, Central Weber Sewer, and Hooper Irrigation. No new lots are being proposed and no new improvements are being proposed.

Review Agencies: The Weber County Engineering Division, the Weber County Surveyor’s Office and Weber Fire District have reviewed the proposal. Prior to the subdivision being released for Mylar, all review agencies comments will need to be addressed.

## Staff Recommendation

Staff recommends that the Planning Commission recommend final approval of Jacquelyn Estates Phase 1 Amended Subdivision. This recommendation for approval is subject to all applicable review agency requirements and is based on the following conditions:

1. The open space easement will need to be vacated by the County Commission by ordinance. The ordinance will be recorded with the amended plat.

The recommendation for approval is based on the following findings:

1. The proposed subdivision amendment conforms to the West Central Weber General Plan.
2. With the recommended conditions, the proposed subdivision amendment complies with the Weber County Land Use Code.

## Exhibits

- A. Original Recorded Cluster Subdivision Plat
- B. Proposed Amended Subdivision Plat

## Location Map 1









# Staff Report to the Western Weber Planning Commission

Weber County Planning Division

## Synopsis

### Application Information

<b>Application Request:</b>	Consideration and action on an administrative application, preliminary approval of Cameron Pointe Subdivision (6 lots).
<b>Agenda Date:</b>	Tuesday, May 10, 2022
<b>Applicant:</b>	Jason Hamblin
<b>File Number:</b>	LVC042022

### Property Information

<b>Approximate Address:</b>	2375 S 3925 W
<b>Project Area:</b>	6.94 acres
<b>Zoning:</b>	A-1
<b>Existing Land Use:</b>	Agricultural
<b>Proposed Land Use:</b>	Residential
<b>Parcel ID:</b>	15-078-0155, 15-078-0160
<b>Township, Range, Section:</b>	6N 2W Sec 28

### Adjacent Land Use

<b>North:</b> Residential	<b>South:</b> Residential
<b>East:</b> Residential	<b>West:</b> Residential

### Staff Information

<b>Report Presenter:</b>	Felix Lleverino flleverino@webercountyutah.gov 801-399-8767
<b>Report Reviewer:</b>	SB

## Applicable Ordinances

- Weber County Land Use Code Title 106 (Subdivisions)
- Weber County Land Use Code Title 104 (Zones) Chapter 2 (Agricultural Zones)

## Background and Summary

The applicant is requesting preliminary approval for Cameron Pointe Subdivision (6 lots). This proposal would divide a vacant 6.94-acre parcel and create six new building lots. The 6.94-acre parcel will be subdivided into 6 building lots that will conform to the minimum A-1 zoning standard. The Planning Division has reviewed Cameron Pointe for right-of-way connections and has found that a connection south is the only viable option for the continuation of future neighborhoods. At the time when a connection south is made the road will need to be built over an existing Wilson Irrigation Canal. Curb, gutter, and sidewalk is required within the Cameron Pointe Development and on 4000 West Street and 2375 South Street.

## Analysis

**General Plan:** The proposal conforms to the West Central Weber County General Plan by implementing zoning standards that preserve the rights of landowners to develop large lots in which agricultural and residential uses are pursued.

**Zoning:** The subject property is located in the Agricultural A-1 Zone.

The purpose and intent of the A-1 zone are identified in the LUC §104-2 as:

The AV-3 Zone and A-1 Zone are both agricultural zone and low-density rural residential zone. The purpose of the AV-3 Zone and A-1 Zone is to:

1. Designate low-intensity farm areas, which are anticipated to develop in a rural residential development pattern;
2. Set up guidelines to continue agricultural pursuits, including the keeping of farm animals; and



3. *Direct orderly low-density residential development in a continuing rural environment.*

**Lot area, frontage/width and yard regulations:** The Site Development Standards from Section 104-2-5 require a minimum of 40,000 sq. ft. and 150' wide.

**Culinary water:** Taylor West Weber Water provided a preliminary letter of feasibility with a list of conditions. One of the conditions is that the developer connects to Hooper Irrigation or Weber Basin Water for pressurized irrigation water. The planning staff has added a condition of approval that the developer obtains a capacity assessment letter before the Planning Commission's recommendation on final approval. If the Water District includes all of the following in their "Final Will-Serve" letter, then a final approval letter can be provided in lieu of a Capacity Assessment:

***Water service provider capacity assessment.*** *For the creation or expansion of a water service provider's water supply and delivery system, the capacity assessment shall include:*

1. *Written verification from the water service provider. The assessment shall verify:*
  1. *That the system is, or will be at the time the subdivision improvements are complete, capable of serving the culinary or secondary water needs of each applicable subdivision lot;*
  2. *For a culinary water provider, that adequate culinary water flow and storage is available, or will be available at the time the subdivision improvements are complete, for all intended or proposed uses of culinary water including, but not limited to, applicable secondary water uses and fire suppression appurtenances;*
  3. *For a secondary water provider, that adequate secondary water flow and storage is available, or will be available at the time the subdivision improvements are complete, for all intended or proposed uses of secondary water; and*
  4. *The specific details regarding the requirements or conditions for the water service of which the county should be aware during the approval or construction process.*

**Pressurized Irrigation water:** A memorandum from JUB Engineers indicates that the opportunity for a connection to an existing line located on 2375 South Street is available for this development. The letter in Exhibit C lists the development requirements. Hooper Irrigation requires that the requirements listed in the memo shall be addressed before a final will-serve letter is issued. The following Capacity Assessment information will need to be provided before the Planning Commission's recommendation on final approval:

*For a secondary water provider, that adequate secondary water flow and storage is available, or will be available at the time the subdivision improvements are complete, for all intended or proposed uses of secondary water; and*

**Sanitary Sewage Services:** Central Weber Sewer District will serve the sanitary sewer needs of this development (see Exhibit C).

**Review Agencies:** The subdivision application will be required to comply with all review agency requirements. Planning and Engineering have listed preliminary comments that will be addressed by a revised plat. The County Surveyor's office will post review comments to the final plat. The Weber Fire District review states standards for the temporary turn around cul-de-sac design.

## Staff Recommendation

Staff recommends preliminary approval of Cameron Pointe Subdivision consisting of 6 lots. This recommendation is based on the review agency requirements and the following conditions:

1. Taylor West Weber Water District shall provide a capacity assessment letter before final recommendation from the Planning Commission.
2. Hooper Irrigation shall provide a capacity assessment letter before final recommendation from the Planning Commission.

The following findings are the basis for the staff recommendation:

1. Cameron Pointe conforms to the West Central Weber County General Plan.
2. The lot area, width, yard, height, and coverage regulations proposed are acceptable as shown on the submitted plat.
3. The proposal will not be detrimental to public health, safety, or welfare.
4. The proposal will not deteriorate the environment of the general area to negatively impact surrounding properties and uses.

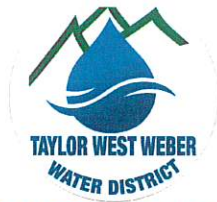
## Exhibits

- A. Cameron Pointe Subdivision plat (preliminary)
- B. Taylor West Weber Water will-serve letter
- C. Hooper Irrigation letter
- D. Central Weber Sewer Improvement District letter

# Area Map







**2815 WEST 3300 SOUTH  
WEST HAVEN, UTAH 84401  
801-731-1668  
4/28/2022**

Weber County Planning Commission  
2380 Washington Boulevard  
Ogden, Utah 84401

To Whom It May Concern:

This is to inform you that **Preliminary Will Serve** approval has been given and the Taylor West Weber Water District ("the District") has the capacity to provide **only** culinary water to the Cameron Pointe Subdivision, a 6 lot subdivision, (approx. 2375 S. 3925 W. Taylor) through a 10" water main on 2375 S. Taylor West Weber Water specifications and standards must be followed in all installation procedures. A **signature block** must be on the recorded mylar and must be signed by a certified representative of the District.

Requirements:

- Plan review fee= \$100 per lot (\$600 Total)
- Plan approval.
- Hooper Irrigation will serve letter
- Water rights impact fee= \$1,078.00 per lot. (\$6,468.00) Must be paid for subdivision approval.
- Secondary Water= Must connect to Hooper Irrigation for pressurized secondary water. Hooper Irrigation must provide pressurized secondary water and infrastructure must be completed and operational before building permits are issued.
- Impact fee=\$6,250.00 per lot this fee will be collected at the time building permits are requested. This fee includes the cost of the meter.
- Taylor West Weber Water District reserves the right to make or revise changes as needed or as advised by the district engineer or the district attorney.

**FINAL APPROVAL AND SUBDIVISION APPROVAL MUST NOT BE ISSUED UNTIL APPROVAL IS GIVEN BY TAYLOR WEST WEBER WATER.** Either an escrow or all culinary and secondary infrastructure must be complete before final approval is given. Escrow shall not be released without approval from the District. Water right fees must be paid for final subdivision approval.  
Expires 10/28/2022

Sincerely, 

Ryan Rogers – Manager

Taylor West Weber Water District

## MEMORANDUM

---

**DATE:** August 25, 2021

**TO:** Hooper Irrigation Company, Hamblin Investments & M&D Developers

**CC:** Theo Cox, President

**FROM:** Greg Seegmiller, P.E., J-U-B Engineers

**SUBJECT:** Cameron Pointe, JUB #55-21-009-019

---

We received information about a development proposed within Weber County. The development is located at approximately 2375 S 3925 W in the Taylor area. The project entails the development of 6 residential lots. The subdivision was originally Cameron Village Phase 2, but they renamed it to Cameron Pointe.

The following items are required for Development:

1. The irrigation system for the development will need to connect to the existing 8 in pipeline in 2375 South.
2. Hooper Irrigation water shares will need to be deeded to Hooper Irrigation for your lots by the developer. The plat map we received it was hard to see lot sizes. Based upon our best guess of lot sizes the subdivision will require 6.5 shares.
3. Plans will need to be prepared by your Engineer for the waterlines in your development and across your frontage and of your development. Plan and profile of all irrigation lines is needed to determine the locations of air/vacs and drains. (Hooper Irrigation has a Pioneering Agreement and an Oversize Agreement to help with the 16" pipe installation in 4300 West).
4. Secondary water meters will be required on every lot in accordance with State Laws.
5. Connection fees (currently \$5500 per connection) will be required of the developer.
6. Any existing ditches on the property will need to be piped with a minimum 18" RCP pipe.
7. An assigned board member must visit the site to confirm service, tail water, and drainage ditches. Once plans are generated, final recommendations on ditch piping can be made.

All these items will need to be addressed prior to a final will serve letter for the development. Any review and recommendations are given for one year from the time of application and are subject to modification from the Board. Plans must be completed and approved prior to construction. We request that Hooper Irrigation Company staff be invited to the preconstruction meeting. Any fees must be paid prior to authorization. Please let us know if you have any questions.



## Exhibit D

# Central Weber Sewer Improvement District

April 6, 2021

Chad Meyerhoffer  
Weber County Planning Commission  
2380 Washington Blvd #240, Ogden, UT 84401

SUBJECT: Cameron Pointe  
Sanitary Sewer Service  
Will Serve Letter

Steve:

At the request of Jason Hamblin, we have reviewed a subdivision plan for Cameron Pointe with 6 residential lots located at approximate address 2375 S 3925 W Taylor, Utah. We offer the following comments regarding Central Weber providing sanitary sewer service.

1. Central Weber has the capacity to treat the sanitary sewer flow from this subdivision. The development must be annexed into the district prior to connection to sewer.
2. If any connection is made directly into Central Weber's line the connection must be inspected by Central Weber while the work is being done. A minimum of 48-hour notice for inspection shall be given to Central Weber prior to any work associated with the connection.
3. Central Weber will not take ownership or responsibility for the condition, ownership or maintenance of the proposed sanitary sewer lines (gravity or pressure) or system that will be installed to serve this subdivision.
4. The connection of any sump pumps (or similar type pumps) to the sanitary sewer system is prohibited during or after construction. Central Weber's Wastewater Control Rules and Regulations state:

*Prohibited Discharge into Sanitary Sewer. No person shall discharge or cause or make a connection which would allow to be discharged any storm water, surface water, groundwater, roof water runoff or subsurface drainage to any sanitary sewer.*

5. The entire parcel of property to be served will need to be annexed into the District prior to any connection to the District's line. This annexation must be complete before the sale of any lots in



## Central Weber Sewer Improvement District

the subdivision.

6. Impact fees will need to be paid to Central Weber Sewer Improvement District no later than the issuance of any building permits. Annexation Book 86 page 6.

If you have any further questions or need additional information, please let us know.

Sincerely,

Clay Marriott

Digitally signed by Clay Marriott  
DN: C=US,  
E=Claym@centralweber.com,  
O="Central Weber Sewer",  
CN="Clay Marriott"  
Reason: I am the author of this  
document  
Date: 2021.08.19  
15:04:28-06'00'

Clay Marriott

Construction Manager

CC:

Kevin Hall, Central Weber Sewer  
Jason Hamblin  
Chad Meyerhoffer

Attachments

NONE





# Staff Report to the Western Weber Planning Commission

Weber County Planning Division

## Synopsis

### Application Information

<b>Application Request:</b>	Public hearing to discuss and/or take action on a county-initiated ordinance to amend various sections of the County's manufacturing zoning ordinance regarding the prohibition of intensive land uses including, but not limited to, garbage dumps, landfills, incinerators, transfer stations, and automobile wrecking or junk yards.
<b>Agenda Date:</b>	Tuesday, May 10, 2022
<b>Applicant:</b>	Weber County Planning Division
<b>File Number:</b>	ZTA 2022-01

### Staff Information

<b>Report Presenter:</b>	Scott Perkes sperkes@webercountyutah.gov (801) 399-8772
<b>Report Reviewer:</b>	CE

## Applicable Ordinances

- Weber County Land Use Code Title 104 (Zones); Chapter 21 (Manufacturing Zones MV-1, M-1, M-2, & M-3)

## Summary and Background

This County-driven text amendment (see **Exhibit A**) has been undertaken primarily due to concern regarding the solid waste dump, automobile wrecking or junkyard, incinerator, or waste transfer station land uses currently listed in the land use tables of the manufacturing zoning ordinance. The majority of the previously listed uses are listed as conditionally permitted uses in the M-3 zone. These uses do not fit in with the long-range goals of the "Mega Site" (manufacturing zoned area of far west Weber County) as the County continues to work on long-range planning and marketing efforts of the area.

In brief summary, the proposed text amendments changes these uses from 'conditionally permitted' in the M-3 zone, to 'not permitted' in any zone. As detailed below in the General Plan analysis sections, these uses do not fit in well with the community vision as detailed in the current 2003 general plan or the upcoming 2022 general plan regarding land uses in the manufacturing areas of far western Weber County.

## Analysis of the 2003 West Central Weber County General Plan

The 2003 West Central Weber County General Plan address a preferred approach regarding manufacturing uses. As a policy, the general plan indicates that "industrial uses that are non-polluting and which do not harm the environment, the health and safety of residents, or create nuisances for nearby property owners are favored."

The 2003 general plan also speaks to the need for clean, light industry within existing areas as a means to increase and stabilize the tax base, which in-turn would provide funding for parks and open spaces. The proposed amendments make special provisions to ensure varying manufacturing uses are clean, self-contained, and non-intrusive to adjacent uses and land owners.

## Analysis of the draft Western Weber Futures 2022 General Plan Update

Draft language in Chapter 3, Land Use, addresses the "far western part of the Western Weber County Planning Area (west of 8300 West) indicating that the area has long been planned as a large industrial site. At this time, the Weber County Commissioners are pursuing certification of the area as an industrial mega site by the Economic Development Corporation of Utah... Weber County desires this area to build-out as an industrial, manufacturing, innovation, and tech mega site that provides jobs for current and future residents of Weber County, especially the growing population of the Western Weber Planning Area. In order to attract diverse employers that offer a wide range of jobs and salaries, the area should be designed in a manner that is attractive and well kempt... The area should have a layout... that provides opportunities for employees to

*walk to local feed establishments or enjoy the outdoors during breaks.”*

### **Noticing Compliance**

A hearing for this item was published in compliance with UCA §17-27a-205 and UCA §17-27a-502 in the following manners:

- Posted on the County’s Official Website
- Posted on the Utah Public Notice Website
- Published in a local newspaper (Standard Examiner)
- Published on the Weber County Frontier Website

### **Staff Recommendation**

Staff recommends that the Western Weber Planning Commission pass a positive recommendation regarding the propose text amendments to the County Commission. Should the County Commission be comfortable with the proposal, it could be approved based on the following findings:

1. The changes are supported by the 2003 West Central Weber General Plan.
2. The changes are supported by the current draft of the soon-to-be adopted 2022 Western Weber Futures General Plan.
3. The changes are necessary to address the growing needs of manufacturing and adjacent residential uses looking to locate in the western portions of Weber County.
4. The changes will enhance the general health and welfare of County residents.

### **Exhibits**

- A. Proposed Ordinance Redline

# Exhibit A

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**Chapter 104-21 Manufacturing Zones MV-1, M-1, M-2, And M-3**

[Sec 104-21-1](#)

[Purpose And Intent Sec 104-21-2 \(Reserved\)](#)

[Sec 104-21-3 Land Use](#)

[Tables Sec 104-21-4 Special](#)

[Regulations](#)

[Sec 104-21-5 Site](#)

[Development Standards](#)

[Sec 104-21-6 Sign Regulations](#)

...

**Sec 104-21-1 Purpose And Intent**

...

**Sec 104-21-2 (Reserved)**

...

**Sec 104-21-3 Land Use Tables**

[Sec 104-21-3.010 Aeronautical, Space-Based, Or Defense-Based Manufacturing Table](#) [Sec 104-21-3.020 Animal Byproduct Harvesting, Processing, Or Refining Table](#)

[Sec 104-21-3.030 Animal-Related Uses Table](#) [Sec](#)

[104-21-3.040 Commercial Services Table](#) [Sec 104-21-](#)

[3.050 Commercial Sales Table](#)

[Sec 104-21-3.060 Temporary Construction Material Manufacturing Table](#) [Sec 104-21-3.070 Food](#)

[Manufacturing And Packaging Table](#)

[Sec 104-21-3.080 Gaseous Or Liquid Nonfood Manufacturing Table](#) [Sec 104-21-3.090 Mining,](#)

[Rock, Or Gravel Production Table](#)

[Sec 104-21-3.100 Pharmaceutical Table](#)

[Sec 104-21-3.110 Basic Materials](#)

[Manufacturing Table](#) [Sec 104-21-](#)

[3.120 Final Product Manufacturing Table](#)

# Exhibit A

- 49 [Sec 104 21-3.130 Public, Quasi-Public, And](#)
- 50 [Institutional Table Sec 104-21-3.140](#)
- 51 [Recreational Table](#)
- 52 [Sec 104-21-](#)
- 53 [3.150 Storage](#)
- 54 [Table Sec 104-](#)
- 55 [21-3.160](#)
- 56 [Textiles Table](#)
- 57 [Sec 104-21-3.170 Transportation Table](#)
- 58 [Sec 104-21-3.180 Waste Disposal And Recycling](#)

59

60 In the following tables of possible uses, a use designated in any zone as "P" is a

61 permitted use. A use designated in any zone as "C" will be allowed only when

62 authorized by a conditional use permit obtained as provided in Title 108, Chapter 4 of

63 this Land Use Code. Uses designated as "N" will not be allowed in that respective zone.

64 Unless more specifically regulated in the following table, any use listed as "P" in the C-

65 3 zone is a permitted use in the M-1, M-2, and M-3 zones, and any use listed as "C" in

66 the C-3 zone is a conditional use. Likewise, any use listed as "P" in the CV-2 zone is a

67 permitted use in the MV- 1 zone, and any use listed as "C" in the CV-2 zone is a

68 conditional use. All uses listed are indoor uses, unless explicitly stated otherwise with

69 the terms "outdoor" or "yard." When a use fits more than one use listed in these tables,

70 the more specific or more restrictive provision applies. In all manufacturing zones, any

71 manufacturing process that will result in odors, dust, fumes, or other airborne

72 contaminants that have the potential of negatively affecting the manufacturing of

73 products, or the work environment in which this manufacturing occurs, shall provide

74 mechanisms, by installation or otherwise, that keep the airborne contaminants from

75 leaving the site.

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78 **Sec 104-21-3.010 Aeronautical, Space-Based, Or Defense-Based Manufacturing**

79 **Table**

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83 **Sec 104-21-3.020 Animal Byproduct Harvesting, Processing, Or Refining Table**

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87 **Sec 104-21-3.030 Animal-Related Uses Table**

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91 **Sec 104-21-3.040 Commercial Services Table**

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95 **Sec 104-21-3.050 Commercial Sales Table**

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# Exhibit A

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**Sec 104-21-3.060 Temporary Construction Material Manufacturing Table**

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**Sec 104-21-3.070 Food Manufacturing And Packaging Table**

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**Sec 104-21-3.080 Gaseous Or Liquid Nonfood Manufacturing Table**

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**Sec 104-21-3.090 Mining, Rock, Or Gravel Production Table**

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**Sec 104-21-3.100 Pharmaceutical Table**

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**Sec 104-21-3.110 Basic Materials Manufacturing Table**

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**Sec 104-21-3.120 Final Product Manufacturing Table**

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**Sec 104 21-3.130 Public, Quasi-Public, And Institutional Table**

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**Sec 104-21-3.140 Recreational Table**

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**Sec 104-21-3.150 Storage Table**

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**Sec 104-21-3.160 Textiles Table**

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## Exhibit A

154 **Sec 104-21-3.170 Transportation Table**

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USE	MV-1	M-1	M-2	M-3	SPECIAL REGULATIONS
<b>Airport.</b> An airport	N	P	P	P	
<b>Freight transfer, indoor.</b> The indoor transfer of freight.	N	P	P	P	
<b>Freight transfer, outdoor.</b> The outdoor transfer of freight.	N	P	P	P	
<u>Waste transfer, indoor.</u> The indoor transfer of solid waste, animal byproduct, plant, garbage, offal, or dead animals.	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	
<u>Waste transfer, outdoor.</u> The outdoor transfer of solid waste, animal byproduct, plant, garbage, offal, or dead animals.	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	
<b>Parking lot.</b> An outdoor parking lot.	P	P	P	P	
<b>Parking structure.</b> A parking structure.	P	P	P	P	
<b>Railroad yard.</b> A railroad yard, which may include a shop and/or a roundhouse. (Indoor or outdoor)	N	N	C	C	
<b>Truck service station.</b> A truck service station.	N	P	P	P	

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# Exhibit A

## 181 Sec 104-21-3.180 Waste Disposal And Recycling

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USE	MV-1	M-1	M-2	M-3	SPECIAL REGULATIONS
<b>Automobile wrecking yard or junkyard.</b> A junkyard or automobile wrecking yard. (Indoor or outdoor)	N	N	N	<u>NG</u>	<del>See Section 104-21-4.</del>
<b>Automobile recycling and parts dismantling.</b> The dismantling and recycling of automobile or automobile parts.	N	N	C	C	See Section 104-21-4.
<del><b>Dump.</b> The disposal, reduction, or dumping of animal byproduct, plant, garbage, offal, or dead animals.</del>	<del>N</del>	<del>N</del>	<del>N</del>	<del>G</del>	
<b>Incinerator.</b> An incinerator.	N	N	N	<u>NG</u>	
<b>Solid waste dump.</b> A dump for solid <del>waste.</del> <u>waste or the disposal, reduction, or dumping of animal byproduct, plants, garbage, offal, or dead animals.</u> (Indoor or outdoor)	N	N	N	<u>NG</u>	
<b>Radioactive waste disposal.</b> The disposal of radioactive waste.	N	N	N	N	
<b>Recycling facility.</b> The recycling of metals, plastics, paper, or glass.	N	C	C	P	

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184 HISTORY

185 Amended by Ord. [2022-09](#) on 3/29/2022

186

## 187 Sec 104-21-4 Special Regulations

188 The uses listed below correspond with certain uses listed in the Land Use Table in  
 189 Section 104-21-3. Due to the nature of the use, each shall be further regulated as  
 190 follows:

191

192 (a) **Animal grazing.** This use shall not include the supplementary or full feeding of  
 193 the animals, except when in compliance with the following:

194 (1) It may only be carried on during times that are reasonable and  
 195 necessary due to lack of natural growing feed as a result of seasonal  
 196 changes or extreme and temporary meteorological events.

197 (2) It shall not exceed a density of 25 head per acre of used land in the AV-  
 198 3 and A-1 zones, and 40 head per acre of used land in the A-2 and A-3  
 199 zones; and

200 (3) It shall not be closer than 75 feet to any dwelling, public or semi-public  
 201 building on an adjoining parcel of land.

202

# Exhibit A

- 203 (b) **Animal feeding operation.** This use may include supplemental or full feeding.  
204 However, it is prohibited to feed animals any market refuse, house refuse,  
205 garbage, or offal that was not produced on the premises. The following  
206 additional standards apply for hog feeding:
- 207 (1) All pens and housing for hogs shall be concrete and maintained in a  
208 sanitary manner.
- 209 (2) Drainage structures and disposal of animal waste shall be provided  
210 and properly  
211 maintained as required by the local health department.  
212
- 213 (c) **Animal feeding operation, large concentrated.** A large concentrated animal  
214 feeding operation shall not be located within a half-mile of a zone boundary,  
215 unless the boundary is shared with another zone in which this use is allowed.  
216 Additionally, the area of confinement devoted to the feeding of the animals in  
217 any new large concentrated animal feeding operation shall be set back at least  
218 one quarter-mile from every property boundary.
- 219 (d) **Automobile recycling (parts dismantling).** This use shall be conducted within  
220 a completely enclosed building. In the M-2 zone, the recycling facility shall have  
221 no more than 40 automobiles at the site at any one time. Any automobile  
222 recycling vehicle storage area must be enclosed by a solid wall or fence of not  
223 less than seven feet in height
- 224 ~~(e) **Automobile wrecking yard or junkyard.** This use shall be conducted within a~~  
225 ~~completely enclosed building. In the M-2 zone, this use shall be located at least~~  
226 ~~600 feet from any zone boundary.~~
- 227 (f)(e) **Building material sales yard.** In the M-1 zone, a building material sales  
228 yard may include the sale of rock, sand, gravel and the like, as an incidental  
229 part of the main business, but shall exclude concrete mixing except as such  
230 concrete mixing is necessary in the preparation and manufacture of any of the  
231 products specified in this section.
- 232 (g)(f) **Mixing plant for certain construction materials.** The following  
233 standards apply to a mixing plant:
- 234 (1) The cement silo mixer shall not be larger than 300 barrels.
- 235 (2) There shall be a 15-foot landscape buffer with a six-foot-high earth berm  
236 planted with six feet or larger evergreen trees. The trees shall be  
237 Canada Hemlock, Scotch Pines, Douglas Fir, or Blue Spruce. The trees  
238 shall be planted every 15 feet on center. The evergreen shrubs shall be  
239 Junipers, Mugo Pines, or Spreading Yew. The shrubs shall be 36 inches  
240 high and there shall be 15 shrubs per 100 feet. There shall be five  
241 canopy trees per 100 feet. These trees shall be Maples, Linden, Quaking  
242 Aspens, Cottonless Cottonwood, Honey Locust, or Birch trees. These  
243 trees shall be a minimum of two-inch caliper. This landscaping shall be  
244 planted on the crest of the six-foot berm when the property abuts  
245 agricultural or residential zones.



# Exhibit A

246 (3) There shall be no more than three cement trucks, and no more than two  
247 other semi-trucks and trailers used with this operation stored on site.

248 (4) There shall be no more than 40 yards of sand and gravel mix stored on  
249 this site. The sand and gravel mix shall be stored in a three-wall bin and  
250 covered when not in use.

251 (5) All cement product on site shall be stored within the silo. At least 15,000  
252 square feet of the lot shall be dedicated for this use.

253 (6) The property shall be at least one acre in size.

254 (7) A vehicle/trailer washout area is required. A detailed plan for the  
255 washout area shall be submitted with the permit application.

256

257 ~~(h)~~(g) **Mixing facility for asphalt or concrete, temporary.** The following  
258 standards apply to a temporary mixing facility:

259 (1) The cement silo mixer shall not be greater than 200 barrels.

260 (2) There shall be no more than two cement trucks, and not more than two  
261 other semi-trucks and trailers used with this operation stored onsite.

262 (3) Evaluation of the storing of 40 yards or more of sand and gravel mix  
263 onsite shall be

264 subject to additional review for detrimental effects through a conditional  
265 use permitting process. The sand and gravel mix shall be stored in a  
266 three-wall bin and covered when not in use.

267 (4) All cement products onsite shall be stored within the silo. At least 15,000  
268 square feet of the lot or parcel shall be dedicated for this use.

269 (5) The project site shall be at least ten acres in size

270 (6) A vehicle/trailer washout area is required. A detailed plan for the  
271 washout area shall be submitted with the permit application.

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273 ~~(h)~~(h) **Dwelling unit for night watchman or guard and family.** The dwelling  
274 unit shall be for the exclusive use of a night watchman or guard and his or her  
275 immediate family. The site shall provide an additional 3,000 square feet of  
276 landscaped area for the residential use.

277 ~~(i)~~(i) **Retail sales, limited.** This use is limited to the sales of products produced  
278 by, developed in conjunction with, or normally required and used in the  
279 performance of a commercial or manufacturing operation permitted in this zone,  
280 and provided the retail sales is clearly an accessory use to the main permitted  
281 use and is conducted within the same building or, if the main use is not a  
282 building, then on the same property. No retail sale of products may be made in  
283 conjunction with a warehousing or wholesale business.

284 ~~(k)~~(i) **Shooting range or training course, indoor or outdoor.** The facility shall  
285 provide designated shooting positions for which ballistic backstops are

# Exhibit A

286 designed. No shooting is allowed except in these designated shooting positions.  
 287 All sides down range of a shooting position shall have a non-ricochet ballistic  
 288 backstop, including overhead and on the ground or floor, capable of containing  
 289 all errant bullets. For an outdoor range, the overhead backstop may be a series  
 290 of baffles. Approval shall be subject to the requirements and conditions of the  
 291 local fire authority. The range operator shall be onsite at all times shooting is  
 292 occurring.

293  
 294 (Ord. of 1956, § 18B-4; Ord. No. 2011-5, § 18B-4, 3-15-2011; Ord. No. 2012-17, §  
 295 18B-4, 10-23-2012; Ord. No. 2016-10, Exh. A, 8-23-2016)

296  
 297 HISTORY  
 298 *Amended by Ord.*  
 299 [2020-11](#) on  
 300 *8/4/2020 Amended*  
 301 *by Ord. [2020-24](#) on*  
 302 *12/15/2020*  
 303 *Amended by Ord.*  
 304 [2021-16](#) on  
 305 *5/25/2021*  
 306 *Amended by Ord.*  
 307 [2022-06](#) on  
 308 *2/1/2022 Amended*  
 309 *by Ord. [2022-09](#) on*  
 310 *3/29/2022*

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 312 **Sec 104-21-5 Site Development Standards**

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 316 **Sec 104-21-6 Sign Regulations**

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 318 ...