

## OGDEN VALLEY PLANNING COMMISSION

### MEETING AGENDA

July 27, 2021

5:00 p.m.

- *Pledge of Allegiance*
- *Roll Call:*

1. **Minutes:** May 4, 2021; May 25, 2021

2. **Petitions, Applications, and Public Hearings:**  
**Administrative items**

**2.1 DR 2021-08:** Consideration and action on design review approval of the Snowbasin Canyon Rim and Maples parking lot expansions to add a total of 346 parking stalls (Canyons Rim = 91 stalls, Maples = 255 stalls).

**Staff Presenter: Scott Perkes; Representative: Davy Ratchford**

**2.2 UVA070821:** Consideration and action on preliminary approval of the Asgard Heights Subdivision consisting of 6 lots at approximately 3460 Nordic Valley Road in Liberty.

**Staff Presenter: Scott Perkes; Applicant: Dan Maybe**

**2.3 UVP070821:** Consideration and action on preliminary approval of The Point Subdivision, consisting of 48 lots, located at approximately 3850 North Wolf Creek Drive, Eden

**Staff Presenter: Steve Burton; Applicant: Eric Householder**

**2.4 CUP2021-10:** Consideration and/or action on a conditional use permit for short-term rental use at 4782 E 3925 N, Eden, UT 84310.

**Staff Presenter: Felix Lleverino; Applicant: Wendy Wythe**

**2.5 CUP 2021-11:** Consideration and/or action on a conditional use permit for short-term rental use at 3571 N Creekside Way, #72, Eden, UT, 84310

**Staff Presenter: Tammy Aydelotte; Applicant: Laura Benintend**

3. **Public Comment for Items not on the Agenda:**

4. **Remarks from Planning Commissioners:**

5. **Planning Director Report:**

6. **Remarks from Legal Counsel:**

**Adjourn**

***The regular meeting will be held in person at the Weber County Commission Chambers, in the Weber Center, 1<sup>st</sup> Floor, 2380 Washington Blvd., Ogden, Utah.***

***&***

***Via Zoom Video Conferencing at <https://us02web.zoom.us/j/85845371495>***

***Meeting ID: 858 4537 1495***

**A Pre-Meeting will be held at 4:30 p.m.** The agenda for the pre-meeting consists of discussion of the same items listed above, on the agenda for the meeting.

No decisions are made in the pre-meeting, but it is an open, public meeting.

***In compliance with the Americans with Disabilities Act, persons needing auxiliary services for these meetings should call the Weber County Planning Commission at 801-399-8761***

## Meeting Procedures

### Outline of Meeting Procedures:

- ❖ The Chair will call the meeting to order, read the opening meeting statement, and then introduce the item.
- ❖ The typical order is for consent items, old business, and then any new business.
- ❖ Please respect the right of other participants to see, hear, and fully participate in the proceedings. In this regard, anyone who becomes disruptive, or refuses to follow the outlined procedures, is subject to removal from the meeting.

### Role of Staff:

- ❖ Staff will review the staff report, address the approval criteria, and give a recommendation on the application.
- ❖ The Staff recommendation is based on conformance to the general plan and meeting the ordinance approval criteria.

### Role of the Applicant:

- ❖ The applicant will outline the nature of the request and present supporting evidence.
- ❖ The applicant will address any questions the Planning Commission may have.

### Role of the Planning Commission:

- ❖ To judge applications based upon the ordinance criteria, not emotions.
- ❖ The Planning Commission's decision is based upon making findings consistent with the ordinance criteria.

### Public Comment:

- ❖ The meeting will then be open for either public hearing or comment. Persons in support of and in opposition to the application or item for discussion will provide input and comments.
- ❖ The commission may impose time limits for comment to facilitate the business of the Planning Commission.

### Planning Commission Action:

- ❖ The Chair will then close the agenda item from any further public comments. Staff is asked if they have further comments or recommendations.
- ❖ A Planning Commissioner makes a motion and second, then the Planning Commission deliberates the issue. The Planning Commission may ask questions for further clarification.
- ❖ The Chair then calls for a vote and announces the decision.

## Commenting at Public Meetings and Public Hearings

### Address the Decision Makers:

- ❖ When commenting please step to the podium and state your name and address.
- ❖ Please speak into the microphone as the proceedings are being recorded and will be transcribed to written minutes.
- ❖ All comments must be directed toward the matter at hand.
- ❖ All questions must be directed to the Planning Commission.
- ❖ The Planning Commission is grateful and appreciative when comments are pertinent, well organized, and directed specifically to the matter at hand.

### Speak to the Point:

- ❖ Do your homework. Obtain the criteria upon which the Planning Commission will base their decision. Know the facts. Don't rely on hearsay and rumor.
- ❖ The application is available for review in the Planning Division office.
- ❖ Speak to the criteria outlined in the ordinances.
- ❖ Don't repeat information that has already been given. If you agree with previous comments, then state that you agree with that comment.
- ❖ Support your arguments with relevant facts and figures.
- ❖ Data should never be distorted to suit your argument; credibility and accuracy are important assets.
- ❖ State your position and your recommendations.

### Handouts:

- ❖ Written statements should be accurate and either typed or neatly handwritten with enough copies (10) for the Planning Commission, Staff, and the recorder of the minutes.
- ❖ Handouts and pictures presented as part of the record shall be left with the Planning Commission.

### Remember Your Objective:

- ❖ Keep your emotions under control, be polite, and be respectful.
- ❖ It does not do your cause any good to anger, alienate, or antagonize the group you are standing in front of.

Minutes of the Ogden Valley Planning Commission Meeting for May 4, 2021. To join the meeting, please navigate to the following <https://us02web.zoom.us/j/88472989286> weblink at the time of the meeting; commencing at 5:00 p.m.

**Present:** John Lewis, Chair; Jeff Burton, Chris Hogge; John (Jack) Howell, Steve Waldrip,

**Absent/Excused:** Steve Waldrip (joined at 6:27 p.m.)

**Staff Present:** Rick Grover, Planning Director; Courtlan Erickson, Legal Counsel; Steve Burton, Planner, Angela Martin, Office Specialist II

- **Pledge of Allegiance**
- **Roll Call:**

Training on conditional use permits from the Office of the State Property Rights Ombudsman, Marcie Jones

1. Petitions, Applications, and Public Hearings:

Administrative items

2. ZMA 2021-02 A public hearing for consideration of a requested rezone located at approximately 3718 N Wolf Creek Resort in Eden from the O-1, FR-3, and RE-15 zone to the FR-3, O-1, and CVR-1 zone

**Staff presenter: Steve Burton**

Motion: Commissioner Howell made a motion to recommend approval to the County Commission for ZMA 2021-02 A public hearing for consideration of a requested rezone located at approximately 3718 N Wolf Creek Resort in Eden from the O-1, FR-3, and RE-15 zone to the FR-3, O-1, and CVR-1 zone subject to staff recommendations and findings in the staff report. Commissioner Hogge seconded the motion. Commissioners Howell, Hogge, Burton and Waldrip voted aye. Chair Lewis abstained from this item. Motion carries.

3. Possible action on a county-initiated proposal to amend various sections of the County's subdivision ordinance to allow private lanes in certain subdivisions and provide for future public street conversion and connectivity, if needed. (Public Hearing was heard on April 27, 2021)

**Staff presenter: Charlie Ewert**

Motion: Commissioner made a motion to table this item until the next meeting. Commissioner Howell seconded the motion. Commissioners Waldrip, Lewis, Howell, Burton and Hogge voted aye. Motion carried.

4. Possible action on a county-initiated proposal to amend various sections of the County's subdivision ordinance to allow private streets in certain subdivisions and provide for future public lanes conversion and connectivity, if needed. (Public Hearing was heard on April 27, 2021)

**Staff presenter: Charlie Ewert**

Motion: Burton made the motion to recommend approval for Possible action on a county-initiated proposal to amend various sections of the County's subdivision ordinance to allow private streets in certain subdivisions and provide for future public lanes conversion and connectivity, if needed. (Public Hearing was heard on April 27, 2021) subject to all agency recommendations and finding in the Staff report. Commissioner Howell seconded the motion. Commissioners Howell, Hogge, Burton, Waldrip and Lewis all voted aye. Motion carries

5. Public Comment for Items not on the Agenda:

6. Remarks from Planning Commissioners:

7. Planning Director Report:

8. Remarks from Legal Counsel:

Adjourn: The meeting adjourned at 7:10 pm

Minutes of the Ogden Valley Planning Commission Meeting for May 25, 2021. To join the meeting, please navigate to the following weblink at <https://us02web.zoom.us/j/83049577848> the time of the meeting, commencing at 5:00 p.m.

**Ogden Valley Planning Commissioners Present:** John Lewis, Chair; Shanna Francis, Vice Chair; Commissioners Jeff Burton, Chris Hogge, John (Jack) Howell, Ron Lackey, Steve Waldrip.

**Absent/Excused:** Commissioner Jeff Burton.

**Staff Present:** Rick Grover, Planning Director; Charlie Ewert, Principal Planner; Scott Perkes, Planner; Courtlan Erickson, Legal Counsel; Marta Borchert, Office Specialist.

- **Pledge of Allegiance**
- **Roll Call:** Chair Lewis conducted roll call and indicated Commissioner Waldrip has been excused from the meeting.

Chair Lewis asked if anyone had any ex parte communication or conflict of interest to declare. No disclosures were made.

Chair Lewis then reported that item 5 has been tabled and will be heard during the June 8, 2021 meeting.

### 1. Petitions, Applications, and Public Hearings.

#### 2. UVR071520 - Consideration and action on a request for final approval of The Reserve at Crimson Ridge Phases 2A, 2B, and 2C, consisting of 33 lots. *Staff Presenter Felix Lleverino*

Planner Lleverino reported the Reserve at Crimson Ridge was presented before the Ogden Valley Planning Commission for sketch plan endorsement on June 2, 2020, in that meeting, the Planning Commission raised some questions regarding the stream corridor, snow storage, and emergency services access.

On September 22, 2020, the preliminary plan for phases 2 and 3 was heard and approved by the Ogden Valley Planning Commission based on the following conditions:

1. The developer shall create a Homeowner's Association according to section 106-2-6 of the land-use code.
  - a. These requirements will be satisfied before going to the County Commission.
2. Before re-locating the access gate on Morningside Lane, the portion of the public road beyond the gate must be vacated.
  - a. This may be done through a legislative process after subdivision approval when the roadway improvements are being constructed.
3. The developer obtains written approval from UDOT to create an access point from State Road 158.
  - a. UDOT has given an access permit for the Harbor View access point.
4. A note added to the plat stating that any development of the subdivision must comply with all recommendations outlined in the geologic hazards report. The note will specify the company that prepared the report and will specify the project numbers.
  - a. The Geologic note has been added to the plat.
5. That the proposal include an extension of a public road to provide access to adjacent property.
  - a. It was decided by Planning and Engineering that a stub to the north is not necessary because lands to the north already have frontage on Highway 162 where which, a new access point can be created with approval from UDOT.

It was recommended by the Planning Staff and County Attorney to table final approval for phase 2A, 2B, and 2C until a subdivision code amendment is adopted that would allow for private streets within subdivisions under special circumstances. Planning staff has placed The Reserve at Crimson Ridge phase 2A, 2B, and 2C on the May 25th, 2021 agenda for final approval conditional on the code amendments being adopted.

The applicant is requesting final approval of The Reserve at Crimson Ridge Phase 2A, 2B, 2C consisting of 33 lots. Phases 2A, 2B, 2C will gain access from an existing residential county road called Morningside Lane.

In compliance with the cluster code, the open space preservation plan was approved during preliminary approval (see Exhibit E). Since the approval date, additional documents, required by County reviewing agencies, have been submitted including:

1. A public trail segment that connects to the Pineview reservoir trail (see Exhibit E).

2. Additional geologic and geotechnical reports.
3. Final dedication plats for all phases.
4. Civil drawings for all subdivision improvements including a utility plan for the new water well, new water lines with water line easements, roadway improvements, and septic system improvements.
5. A cost estimate for improvements.
6. An annexation plat for the sewer improvements district.
7. A septic plan submitted to the County Engineering Department and the Division of Water Quality.

As part of the approval process, the proposal has been reviewed against the current Weber County Land Use Code (LUC), and the standards of the FV-3 zone found in LUC §104-14. The following section is a brief analysis of this project against current land use regulations.

Staff recommends final approval of The Reserve at Crimson Ridge Phases 2A, 2B, and 2C, consisting of 33 lots. This recommendation is based on all review agency comments and the following conditions:

1. That the ordinance amendment is adopted which would allow for private roads in year-round subdivisions.
2. The developer shall create a Homeowner's Association according to section 106-2-6 of the land-use code.
3. The Utah Division of Water Quality shall approve the septic plan.
4. Follow all Utah State requirements for a public water system.
5. All subdivision improvements must be completed or escrowed for at the time of recording.
6. An Open Space Covenant recorded with the final plat.

The following findings are the basis for the staff's recommendation:

1. The proposed subdivision conforms to the Ogden Valley General Plan.
2. The proposed subdivision complies with the applicable County codes.

Commissioner Burton asked if the culinary and secondary water supply for the project will be facilitated through the exchange and available to the entire community rather than individual lot owners. Mr. Lleverino answered yes. Commissioner Burton asked if the State of Utah will have the authority and responsibility to consider and approve the septic plan for the project. Mr. Lleverino answered yes. Commissioner Burton asked if that is due to the number of lots and size of the project. Mr. Lleverino stated he believes it is actually because the same system will serve the entire development rather than each lot having its own separate septic system.

Commissioner Burton moved to approve application UVR071520, final approval of The Reserve at Crimson Ridge Phases 2A, 2B, and 2C, consisting of 33 lots, based on the findings and subject to the conditions listed in the staff report. Commissioner Hogge seconded the motion. Commissioners Lewis, Francis, Burton, Hogge, Howell, and Lackey all voted aye. (Motion carried 6-0).

### **3. UVH021621 - Consideration and action on a request for final approval of Vista View Subdivision, consisting of four residential lots. Staff Presenter: Felix Lleverino**

Planner Lleverino reported on March 23, 2021, the Vista View subdivision was granted preliminary approval based on the following conditions:

1. The subdivision plan shall meet all Weber County reviewing agency requirements before recording the final Mylar.
2. The owner record a covenant to advise the new lot owner the well permits must be obtained.
3. The owner enters into a deferral agreement for curb, gutter, and sidewalk on 8600 East and 500 South, and a deferral agreement for curb, gutter, sidewalk, and asphalt for the area dedicated on the north side of the development.

The subdivision plat shows the area dedicated for the future right of way easement, see Exhibit A. Before recording the plat, the Planning Division will require that the well covenant, deferral agreement, and that all other county agency requirements are satisfied.

The applicant is requesting final approval of a Vista View Subdivision, consisting of four residential lots that front directly on 8600 East, and 500 South Streets, which are county public right-of-ways. This 21.01-acre lot contains one single-family dwelling within lot 3. The remaining lots are vacant farm ground.

The north edge of the property falls at a mid-point of a 2,539' block and is an ideal location for an intersection from 8600 East Street. County agencies in co-operation with the developer have agreed that placing an easement for a future right of way is the best option at this time. The dedication plat shall depict the 33' future right of way easement and the owner's dedication language will include verbiage preserving the easement area for the right of way.

The County Surveying and Engineering Departments have verified that 8600 E and 500 N streets will require right of way dedication. 8600 East Street will require asphalt widening. Mr. Dean Jensen has submitted a cost estimate for the widening of 8600 East. Once the cost estimate is approved, Mr. Jensen will provide escrow money for the widening of the portion fronting this development.

This proposal has been reviewed against the current Weber County Land Use Code (LUC), and the standards of the AV-3 zone found in LUC §104-6. The following section is a brief analysis of this project against current land use regulations.

Staff recommends final approval of Vista View Subdivision, consisting of four lots. The following conditions are included with the Planning Staff's recommendation:

1. The owner shall create an escrow account plus a 10% contingency fund for all remaining subdivision improvements before final approval from the County Commission.
2. The developer shall enter into an agreement to dedicate land for the future right of way.
3. All final plat requirements shall be satisfied before going before the County Commission for final approval.

The following findings are the basis for the planning staff's recommendation:

1. The proposed subdivision conforms to the Ogden Valley General Plan.
2. The proposed subdivision complies with the applicable County codes.

Commissioner Hogge asked if it is correct that there are a couple of development rights that are not being utilized by this project, to which Mr. Lleverino answered yes. Commissioner Hogge asked if that means the development rights will be lost or if it will be possible to utilize them in the future. Mr. Lleverino stated that the plat could be amended if there is sufficient acreage for more lots; however, once some improvements are completed, such as digging a well or installing other utility infrastructure, it will be more difficult to amend it.

Commissioner Burton asked if approval of the current application as written will result in 'foreclosure' on the development rights. Planning Director Grover stated that a mechanism is being developed that would allow for transfer of development rights at some point in the future; or, it may be possible to secure approval of a detached accessory dwelling unit (ADU) utilizing one of the development rights. Commissioner Burton asked if there is a right-of-way on the north end of the project for a future road. Mr. Lleverino answered yes; he presented an aerial image of the subject property to identify a 33-foot wide easement for a future right-of-way. It would be necessary for additional frontage to be dedicated to make it possible to build a road that complies with certain width standards; the 33-foot easement is still part of lot four of the project. Commissioner Burton stated that according to present conditions, it is not possible to build a road that extends to the north nor a road that extends to the east, but it is his understanding the 33-foot strip is being protected in case conditions change in the future. Mr. Lleverino stated that is correct. There was a brief high-level discussion of negotiations with the landowner regarding the amount of property that should be covered with the easement to provide for the development of a future roadway, with Legal Counsel Erickson advising that the plat language be amended to identify the right-of-way as a 'public' right-of-way to provide clarity for anyone reviewing the plat. Planner Burton added that staff has recommended the applicant enter into an agreement to dedicate the land for a future right-of-way; that agreement will state that the dedication will be finalized when the County makes a formal request for such. This will make it possible for the County to avoid eminent domain at some point in the future if the determination is made that the road is eventually needed. That agreement will be recorded with the title for the plat and subject property.

Commissioner Howell moved to approve application UVH021621, final approval of Vista View Subdivision, consisting of four residential lots, based on the findings and subject to the conditions listed in the staff report, and with the additional condition that the language on the dedication plat be changed to identify the future right-of-way to 'public' in nature. Commissioner Lackey seconded the motion. Commissioners Lewis, Francis, Burton, Hogge, Howell, and Lackey all voted aye. (Motion carried 6-0).

**4. UVE030217: Request for recommendation of final approval of Harmony Farms Cluster Subdivision consisting of 16 lots, 3 open space parcels, public streets throughout the proposed subdivision. Staff Presenter: Tammy Aydelotte**

Planner Aydelotte reported this staff report will appear similar to the report presented before the Planning Commission for preliminary approval. The purpose of this report is to explain how the proposal meets, or can meet, the applicable county standards. There are several ordinances that apply to both preliminary and final approval so the report and analysis will have some of the same information as the preliminary report. The developer is requesting final approval of the Harmony Ranch Cluster Subdivision, consisting of 16 lots, 3 open space parcels, and dedication of public streets, located at approximately 3000 East 3350 North, Eden. The proposal meets the requirements of the minimum width (80' in the AV-3 zone) and area (9,000 square feet, minimum, in all zones) requirements for lots in a cluster subdivision (LUC 108-3-7). Culinary water and secondary water will be provided by Nordic Mountain Water. Weber-Morgan Health Department has issued feasibility for on-site septic systems for each lot.

Staff recommends final approval of the Harmony Ranch Cluster Subdivision, consisting of 16 lots, 3 common areas, and an extension of a public street. This recommendation for approval is subject to all review agency requirements and based on the following conditions:

1. Final approval from culinary and, if applicable, secondary water suppliers is required prior to County Commission approval.
2. An open space agreement shall be recorded with the final plat to the title of all open space preservation parcels, that details the open space preservation plan and any related conditions of approval necessary to execute the open space preservation plan (LUC 108-3-5(f)(3)).

This recommendation is based on the following findings:

1. The proposed subdivision conforms to the Ogden Valley General Plan.
2. With the recommended conditions, the proposed subdivision complies with applicable County ordinances.
3. The proposed subdivision will not be detrimental to public health, safety, or welfare.
4. The proposed subdivision will not deteriorate the environment of the general area so as to negatively impact surrounding properties and uses.

Commissioner Howell stated that the staff report indicates that the previous conditions of approval, highlighted in red in the staff report, will need to be shown on a final plat, with dedication accepted by the County Commission in a public meeting for final approval. He asked if that has been done. Ms. Aydelotte stated that will be done at a future meeting; generally, all preliminary conditions must be met before final approval is recommended, but for this particular application, there were no preliminary conditions that needed to be met in order for the application to come before the body today. However, there are some that must be met before final approval is considered by the County Commission. The Planning Commission can recommend final approval, but the application will not be presented to the County Commission until the conditions have been satisfied.

Commissioner Lackey stated that the staff report includes a recommended condition of approval that final approval from culinary and, if applicable, secondary water supplies is required prior to County Commission approval; he asked Ms. Aydelotte to explain what the term 'if applicable' means in this case. Ms. Aydelotte stated that there are some culinary water companies that do not allow their water to be used for irrigation purposes and before they will grant final approval, they often have requirements that secondary water be secured. In this case, Nordic Mountain Water did not make such a statement in their feasibility letter for the project. However, staff included the language in the recommended conditions of approval in the case that Nordic Mountain, at a later date, requires secondary shares in order for them to grant approval of the project.

Commissioner Burton inquired as to how sewage will be handled in this project. Ms. Aydelotte stated the applicant has received a septic feasibility letter from the Weber/Morgan Health Department; the Health Department has their own application process for subdivisions, and she is unsure of the status of the application for this project with the Health Department. However, staff will require final approval from the Health Department before a recommendation of final approval is forwarded to the County Commission. Commissioner Burton stated that it appears there are many pits identified on the plat and he asked if that means there will be a septic sewer system for each lot. Ms. Aydelotte answered yes. Commissioner Burton asked how sewage will be handled on lots that do not have their own pit. Ms. Aydelotte stated those are test pits and the Health Department may allow more than one lot to use the same soil data depending on proximity. She reiterated the Health Department will perform a thorough review of the application and staff will require a statement of feasibility before the application is forwarded to the County Commission.

Commissioner Howell stated that it seems that most of these items are typically taken care of before an application is considered by the Planning Commission. Ms. Aydelotte state that is not necessarily the case; there are many instances where final approval from utility providers are not available until the application is forwarded to the County Commission.

Commissioner Burton stated that he does not see a condition of approval dealing with the septic system. Ms. Aydelotte stated that would be covered by the language indicating that approval is subject to the application complying with all review agency requirements; however, if the Commission specifically wants to identify a requirement that the Health Department provide final approval of the septic system, staff has no objections.

Commissioner Burton asked if it is correct that when this application was initially presented to the Planning Commission, the applicant had requested private roads. Planning Director Grover stated that is correct; staff communicated to the applicant that they could await final action on a road regulating private and public streets. The applicant indicated that he simply wanted this application to continue to move forward and perhaps the Planning Commission could ask him what his desires are in terms of the roadways. Planner Burton added that while there is the potential for the road to meet requirements to secure approval as a private road, staff and the County Engineer have indicated they would like the roads to be public roads in order to improve connectivity in the area. Commissioner Burton asked if that direction could be provided in the motion regarding the application, to which Mr. Burton answered yes.

Vice Chair Francis moved to forward a positive recommendation to the County Commission for application UVE030217, final approval of Harmony Farms Cluster Subdivision consisting of 16 lots, 3 open space parcels, public streets throughout the proposed subdivision, based on the findings and subject to the conditions listed in the staff report, and with the additional condition that the developer and staff make a determination regarding whether the roads should be public or private. Commissioner Lackey seconded the motion. Commissioners Lewis, Francis, Burton, Hogge, and Howell all voted aye. Commissioner Lackey voted nay. (Motion carried 6-0).

**5. UVB050721: Consideration and action on preliminary approval of The Basin Subdivision located at approximately 947 E Old Snow Basin Road, including a request for alternative access approval. Staff Presenter: Steve Burton**

This item was tabled and will be heard June 8, 2021.

**6. Public Comment for Items not on the Agenda**

There were no additional public comments.

**7. Remarks from Planning Commissioners**

Chair Lewis stated that he has heard reports of a plan to build a heliport in the valley at the intersection of Snow Basin Road and the highway; he believes that will create many negative unintended consequences and it is very concerning to him. He has heard that the reason the heliport is being moved to the mentioned location is that a lease for heliport at the Morgan Airport was terminated. He stated he has heard from others who are concerned, and he would like for interested residents and staffers to look into the matter further. He then stated that he learned Commissioners Hogge and Waldrip will no longer be members of the Planning Commission; he thanked them for their dedication and service to Weber County and the Ogden Valley specifically.

**8. Planning Director Report**

Planning Director Grover addressed Chair Lewis's comments regarding the heliport; the project is being pursued by a federal agency, the United States Forest Service, which is exempt from complying with County land use ordinances and regulations. He suggested that feedback be provided to the federal agency given that staff does not have the ability to regulate it. Vice Chair Francis added that the Forest Service is only accepting comments through May 29, 2021.

**9. Remarks from Legal Counsel**

There were no additional comments from Legal Counsel.

**Meeting Adjourned: The meeting adjourned at 5:37 p.m.  
Respectfully Submitted,**

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**Weber County Planning Commission**



## Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

### Synopsis

#### Application Information

<b>Application Request:</b>	Consideration and action on a request for design review approval to expand the Maples and Canyon Rim parking areas at Snowbasin Resort.
<b>Type of Decision:</b>	Administrative
<b>Agenda Date:</b>	July 27, 2021
<b>Applicant:</b>	Snowbasin Resort Company
<b>Authorized Agent:</b>	Davy Ratchford
<b>File Number:</b>	DR 2021-08

#### Property Information

<b>Approximate Address:</b>	3925 East Snowbasin Road, Huntsville, Utah
<b>Zoning:</b>	Destination & Recreation Resort-1 (DRR-1) Zone
<b>Existing Land Use:</b>	Destination Resort
<b>Proposed Land Use:</b>	Destination Resort
<b>Parcel ID:</b>	20-043-0005
<b>Township, Range, Section:</b>	Township 6 North, Range 1 East, Section 32 NE

#### Adjacent Land Use

<b>North:</b>	Recreation	<b>South:</b>	Recreation
<b>East:</b>	Recreation	<b>West:</b>	Recreation

#### Staff Information

<b>Report Presenter:</b>	Scott Perkes sperkes@co.weber.ut.us 801-399-8772
<b>Report Reviewer:</b>	SB

### Applicable Ordinances

- Weber County LUC Title 104, Chapter 29 - Destination & Recreation Resort-1 (DRR-1) Zone
- Weber County LUC Title 108, Chapter 1 - Design Review
- Weber County LUC Title 108, Chapter 2 - Ogden Valley Architectural, Landscape and Screening Design Standards
- Weber County LUC Title 108, Chapter 8 - Parking and Loading Space, Vehicle Traffic and Access Regulations

### Summary and Background

The applicant is requesting an administrative design review approval to expand the Maples and Canyon Rim parking areas at Snowbasin Resort (see **Exhibit A**). The proposed expansion will add a total of 346 parking stalls (91 stalls in Canyon Rim and 255 stalls in Maples). The project will expand each of the parking areas with asphalt pavement and landscaped areas (see **Exhibit B**).

These two parking lots will be primarily seasonal in their use and temporary in nature as they will be replaced as part of the overall Snowbasin Resort master plan development.

LUC Sec. 108-1 (Design Review) requires that all commercial projects that impact more than one acre in area be reviewed by the Planning Commission. The overall acreage of the proposed expansions totals 2.4 acres in area.

Snowbasin made application in 2010, and received an approval to become the Ogden Valley Destination and Recreation Resort Zone on January 11, 2011. The resort, as a result of the rezone, is subject to Weber County Zoning Development Agreement #C2011-05 (E#2511941), dated January 19, 2011.

### Analysis

**Design Review:** The DRR-1 Zone requires a design review (as outlined in LUC §108-1) to ensure that the general design, layout, and appearance of commercial sites and buildings is orderly and harmonious with the surrounding areas.

As part of a design review, the Planning Commission shall consider applicable codes and impose conditions that mitigate deficiencies if necessary. Consideration is given to the following:

- *Traffic safety and traffic congestion:*
  - No new streets are proposed. All parking lot loading during the winter season is directed by on-site customer assistance staff to alleviate traffic congestion.
  - No lighting is proposed as part of this project as parking past dark in these seasonal and temporary lots is not common.
  - Snow storage will be accommodated on the northwest edge of the Canyon Rim lot and on the south edge of the Maples lot. Snow removal will be handled by the Snowbasin grooming crews and is often used for supplementing snow availability on the snow sports recreation area.
- *Outdoor advertising:*
  - The project will not include any outdoor advertising.
- *Landscaping:*
  - LUC §108-2-3(b) allows the land use authority to modify the applicability of the Design Review chapter for DRR-1 projects by approving the landscaping, buffering, and screening plan created by the developer if the land use authority determines that the plan is consistent with the resort's approved master plan. Staff has found that the proposed parking lot expansions and associated landscaping plans are consistent with existing and adjacent temporary parking lots. Additionally, the proposed parking areas are consistent with the land use maps in the resort's master plan (see **Exhibit C**) and can thereby be approved by the land use authority as proposed.
  - The applicant has indicated that they *"will be making use of the surrounding natural vegetation for landscaping. All disturbed areas of cut and fill slopes will be re-seeded with drought resistant grasses and plantings. No irrigation system is planned."*
  - As a condition of approval, an estimate for the proposed landscaping plan/revegetation is required to be submitted for review. A cash escrow will be required for the approved estimated cost. This cash escrow is required to be deposited prior the issuance of a land use permit.
- *Building and site layout:*
  - There are no buildings being proposed as part of the project.
- *Utility easements, drainage, and other engineering questions:*
  - The proposal must meet all review agency requirements, including the requirements outlined in the Engineering Division's review. To-date, the applicant has complied with all engineering review comments.
- *Prior development concept plan approvals associated with any rezoning agreement, planned commercial or manufacturing rezoning, or planned residential unit development approval:*
  - The proposed project complies with the previously approved Snowbasin Master Plan and the applicable zoning development agreement.

## **Conformance to the General Plan**

The proposal conforms to the Ogden Valley General Plan by continuing development and improvements to Snowbasin Resort (pg. 44 Ogden Valley General Plan Parks and Recreation Implementation 1.2.2).

## **Staff Recommendation**

The Planning Division recommends approval of DR 2021-08, subject to all review agency requirements and based on the following condition of approval:

1. An estimate for the proposed landscaping plan is required to be submitted for review. A cash escrow will be required for the approved estimated cost. This cash escrow is required to be deposited prior the issuance of a land use permit.

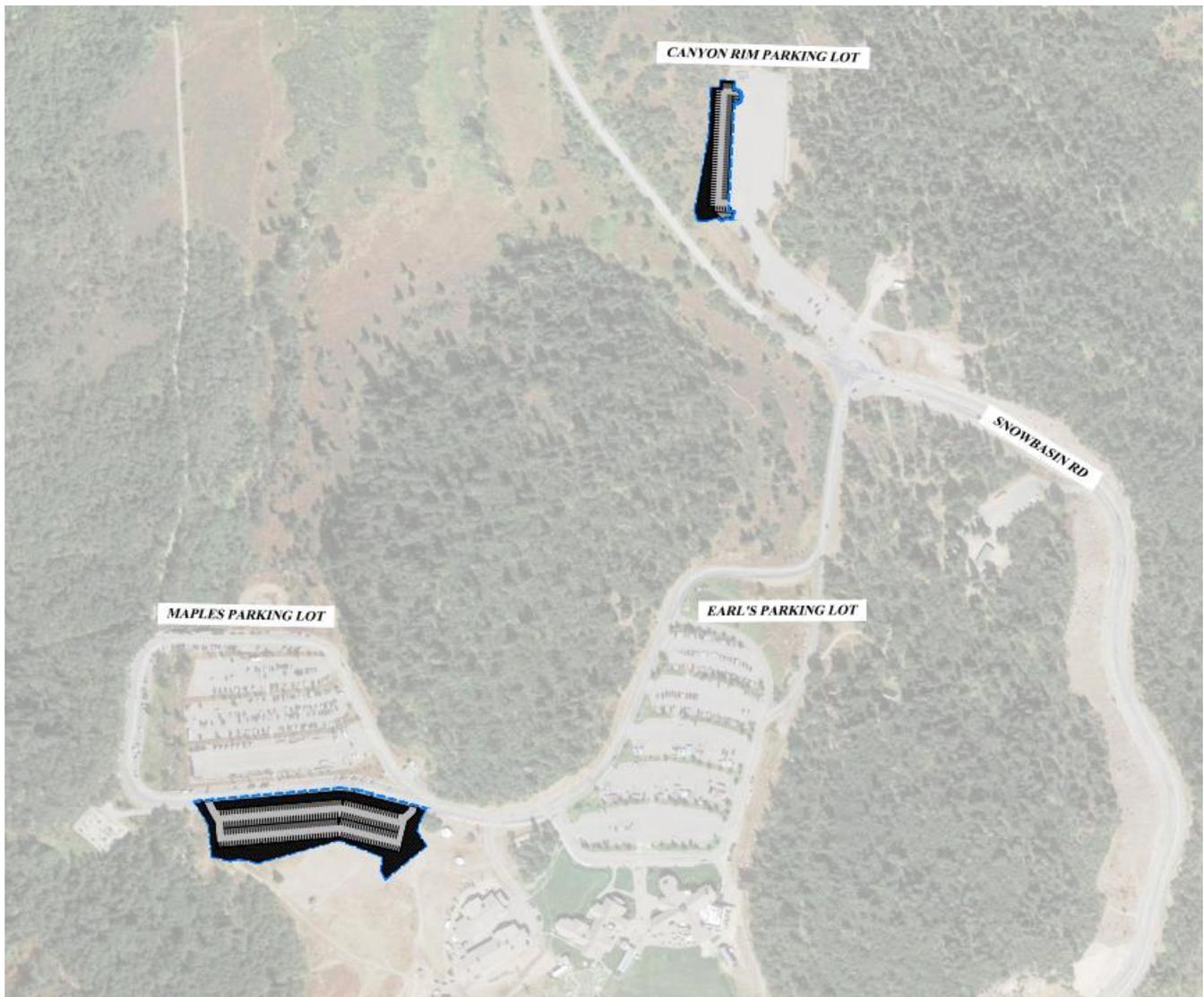
This recommendation for design review approval is based on the following findings:

1. The proposed project complies with applicable County codes.
2. The proposed project complies with the applicable Zoning Development Agreement and approved Snowbasin Master Plan.
3. The proposed project conforms to the Ogden Valley General Plan.
4. The proposed project will not negatively affect public health, safety, or welfare.
5. The proposed project will not deteriorate the environment of the general area so as to negatively impact surrounding properties and uses.

## Exhibits

- A. Design review application and narrative.
- B. Improvement Plans
- C. Snowbasin Master Plan Land Use Map

## Vicinity Map



**Exhibit A: Design Review Application and Narrative**

**Weber County Design Review Application**

Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted / Completed 6/07/21	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use)
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**Property Owner Contact Information**

Name of Property Owner(s) Snowbasin Resort Company		Mailing Address of Property Owner(s) 3925 Snowbasin Road Huntsville, Utah 84317	
Phone 801-620-1000	Fax N/A	Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Email Address dratchford@snowbasin.com			

**Authorized Representative Contact Information**

Name of Person Authorized to Represent the Property Owner(s) George Benford		Mailing Address of Authorized Person Talisman Civil Consultants 1588 South Main St., Ste 200 Salt Lake City, Utah 84115	
Phone 801-866-3191	Fax 801-743-0300	Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Email Address georgeb@talismancivil.com			

**Property Information**

Project Name Canyon Rim & Maples Parking Lot Extension	Current Zoning F-40/DRR-1	Total Acreage 2.4
Approximate Address 3925 Snowbasin Road Huntsville, Utah 84317	Land Serial Number(s) Book 20, Page 43 200430005	

Proposed Use  
Parking Lot

Project Narrative

This project will provide 346 additional parking stalls by extending the existing paved area of the Canyon Rim (91 stalls) and Maples (255 stalls) parking lots. These two parking lots will be primarily seasonal use and temporary in nature because they will be replaced as part of the overall Snowbasin Resort development project. This project includes erosion control for all disturbed surfaces and storm water management for the new paved surfaces.

**Property Owner Affidavit**

I (We), \_\_\_\_\_, depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge.

\_\_\_\_\_  
(Property Owner)

\_\_\_\_\_  
(Property Owner)

Subscribed and sworn to me this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_.

\_\_\_\_\_  
(Notary)

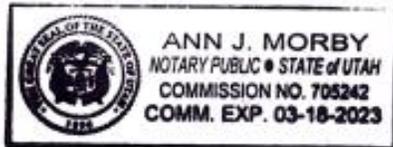
**Authorized Representative Affidavit**

I (We), TRAVIS BROWN, the owner(s) of the real property described in the attached application, do authorized as my (our) representative(s), GERALD TRENKARD, to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the County considering this application and to act in all respects as our agent in matters pertaining to the attached application.

Davy Patchford  
(Property Owner)

[Signature]  
(Property Owner)

Dated this 7 day of June, 2021, personally appeared before me Ann J. Morby, the signer(s) of the Representative Authorization Affidavit who duly acknowledged to me that they executed the same.



[Signature]  
(Notary)

# CANYON RIM & MAPLES PARKING LOTS - PHASE 1A

## SNOWBASIN RESORT COMPANY

Exhibit B

3925 SNOW BASIN RD, HUNTSVILLE, UT 84317



TALISMAN  
CIVIL CONSULTANTS  
1588 SOUTH MAIN STREET  
SUITE 200  
SALT LAKE CITY, UT 84115  
801.743.1300

NO.	DATE	BY	REVISIONS
1	06.28.2021	J.S.	WEBER COUNTY COMMENTS RECEIVED 06.17.2021



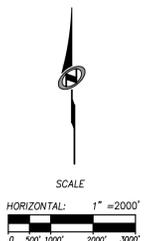
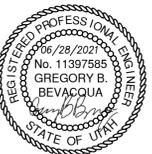
**SHEET INDEX**

CIVIL DRAWINGS	
COVER SHEET	C001
GENERAL NOTES	C002
SITE PLAN CANYON RIM PARKING LOT P9A	C200
SITE PLAN MAPLES PARKING LOT P6A	C201
GRADING PLAN CANYON RIM PARKING LOT P9A	C300
GRADING PLAN MAPLES PARKING LOT P6A	C301
UTILITY PLAN CANYON RIM PARKING LOT P9A	C400
UTILITY PLAN MAPLES PARKING LOT P6A	C401
EROSION CONTROL CANYON RIM PARKING LOT P9	C600
EROSION CONTROL MAPLES PARKING LOT P6A	C601
DETAILS	C700

SNOWBASIN RESORT  
CANYON RIM & MAPLES PARKING LOTS  
COVER SHEET

DATE: 06.28.2021

TCC JOB NUMBER: 19-300.04



SHEET NUMBER  
**C000**  
1 OF 12





**CANYON RIM PARKING LOT**

1. SITE PLAN C200
2. GRADING PLAN C300
3. UTILITY PLAN C400

**MAPLES PARKING LOT**

1. SITE PLAN C301
2. GRADING PLAN C301
3. UTILITY PLAN C401

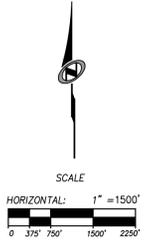
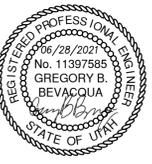


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 CIVIL CONSULTANTS  
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 SUITE 200  
 SALT LAKE CITY, UT 84115  
 801.743.1300

NO.	BY	DATE	REVISIONS
1	JLS	06.28.2021	WEBER COUNTY COMMENTS RECEIVED 06.17.2021

**SNOWBASIN RESORT**  
**CANYON RIM & MAPLES**  
**KEY MAP**

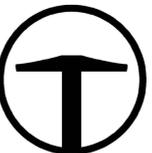
TCC JOB NUMBER: 19-300.04      DATE: 06.28.2021



SHEET NUMBER  
**C001**  
 2 OF 12



# Exhibit B

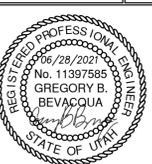


**TALISMAN**  
CIVIL CONSULTANTS  
1588 SOUTH MAIN STREET  
SUITE 200  
SALT LAKE CITY, UT 84115  
801.743.1300

NO.	1	DATE	06/28/2021	BY	JLS	REVISIONS	WEEK COUNTY COMMENTS RECEIVED 06/17/2021
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DATE: 06.28.2021

**SNOWBASIN RESORT**  
**CANYON RIM & MAPLES**  
**GENERAL NOTES**



TCC JOB NUMBER: 19-300.04  
SHEET NUMBER  
**C002**  
3 OF 12

## GENERAL NOTES

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: APWA WEBER COUNTY, GOVERNING UTILITY MUNICIPALITY, GOVERNING CITY, INDIVIDUAL PRODUCT MANUFACTURERS, THE DESIGN ENGINEER, AND UTAH DEPARTMENT OF TRANSPORTATION (UDOT). THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- TRAFFIC CONTROL, STRIPING & SIGNAGE TO CONFORM TO CURRENT UDOT TRANSPORTATION ENGINEER'S MANUAL AND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ADJUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE, CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD, INCLUDING OBTAINING REQUIRED INSPECTIONS.
- ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH BY THE GEOTECHNICAL ENGINEER.
- CATCH SLOPES SHALL BE GRADED AS SPECIFIED ON GRADING PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAGMEN, AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER OF THE LOCATION OF THE PROPOSED WORK AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK. IF DURING THE COURSE OF THE EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE RELIED AND IS RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER- OR ENGINEER-FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
- CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.

## GENERAL NOTES CONT.

- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGES, ACCORD TO PLANS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
- CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND PURPOSE OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS IN THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO TIE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.
- CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKERS FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68 - EXCAVATIONS, AND SECTION 69 - TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES.
- ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
- UNCLASSIFIED EXCAVATION SHALL BE PROPERLY DISPOSED OF PER GOVERNMENT REGULATIONS.
- THE IMPROVEMENTS SHOULD BE CONSTRUCTED BASED ON SURVEY OF EXISTING CONDITION USED AS BASIS OF DESIGN. CONTRACTOR TO ENSURE STANDARD RFI PROCESS IF THEY DISCOVER A DISCREPANCY IN THE ACTUAL CONDITION OR NOT AS SURVEYED.

## UTILITY NOTES

- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS USING A COMBINATION OF ON-SITE SURVEYS. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CONTRACTOR SHALL POT HOLE ALL UTILITIES TO DETERMINE IF CONFLICTS EXIST PRIOR TO BEGINNING ANY EXCAVATION. NOTIFY ENGINEER OF ANY CONFLICTS. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING UTILITIES TO WHICH NEW UTILITIES WILL BE CONNECTED. PRIOR TO COMMENCING ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE REQUIRED PROCEDURES.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT THEIR EXPENSE.
- ALL VALVES AND MANHOLE COVERS IN THE IMPROVEMENT AREA SHALL BE RAISED OR REPAIRED TO MEET FINISHED GRADE.
- CONTRACTOR SHALL CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE.
- CONTRACTOR SHALL GROUT AT CONNECTION OF PIPE TO BOX WITH NON-SHRINKING GROUT, INCLUDING PIPE VOIDS LEFT BY CUTTING PROCESS, TO A SMOOTH FINISH.
- CONTRACTOR SHALL GROUT WITH NON-SHRINK GROUT BETWEEN GRADE RINGS AND BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX.
- SILT AND DEBRIS IS TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKERS MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DEWATERED CONDITIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COST OF DEWATERING AND NO COST CHANGE WILL BE PROVIDED.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- MAINTAIN A MINIMUM 18" VERTICAL SEPARATION DISTANCE BETWEEN ALL UTILITY CROSSINGS.
- CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL BOLTED FITTINGS MUST BE GREASED AND WRAPPED.
- UNLESS SPECIFICALLY NOTED OTHERWISE, MAINTAIN AT LEAST 2 FEET OF COVER OVER ALL STORM DRAIN LINES AT ALL TIMES (INCLUDING DURING CONSTRUCTION).
- ALL WATER LINES SHALL BE INSTALLED A MINIMUM OF 7" OF COVER TO TOP OF PIPE BELOW FINISHED GRADE.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET, PIPE EDGE TO PIPE EDGE, FROM THE WATER LINES.
- CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.
- UNDER NO CIRCUMSTANCE SHALL THE PIPE OR ACCESSORIES BE DROPPED INTO THE TRENCH.
- ALL IRRIGATION SYSTEMS ARE TO REMAIN FUNCTIONAL DURING CONSTRUCTION. CAP BROKEN LINES UNTIL REPAIR, SO THAT SYSTEM IS FUNCTIONAL.

## LEGEND

SYMBOL/LINETYPE	DESCRIPTION	HATCH LEGEND
	LIMITS OF DISTURBANCE	EXISTING BUILDING
	EXISTING FENCE	EXISTING CONCRETE
	EXISTING WATER VALVE	EXISTING LANDSCAPING
	EXISTING FIRE HYDRANT	CLEAR AND GRUB
	EXISTING ELECTRICAL BOX	EXISTING ASPHALT
	EXISTING LIGHT POLE	PROPOSED ASPHALT
	EXISTING TELECOMMUNICATIONS VAULT	PROPOSED LANDSCAPING
	MISCELLANEOUS MANHOLE	PROPOSED CONCRETE
	EXISTING SANITARY SEWER MANHOLE	
	EXISTING GAS METER	
	EXISTING STORM DRAIN DROP INLET	
	EXISTING SEWER PIPE	
	EXISTING STORM DRAIN PIPE	
	PROPERTY LINE	
	EXISTING POWER POLE	
	EXISTING GUY WIRE	
	EXISTING SIGN	
	EXISTING MAIL BOX	
	EXISTING TREE	
	EXISTING TREE TO BE REMOVED	
	PROPOSED OBJECT MARKERS SIGN	
	PROPOSED CATCH BASIN	
	PROPOSED STORM DRAIN LINE	
	PROPOSED FENCE	
	ROAD CENTERLINE	
	UTILITY DEMO	

## ABBREVIATIONS:

APWA	AMERICAN PUBLIC WORKS ASSOCIATION	FL	FLOWLINE	PR	PROPOSED
AC	ASPHALTIC CONCRETE	FT	FEET	PRC	POINT OF REVERSE CURVE
&	AND	HP	HIGH POINT	PRV	PRESSURE REDUCING VALVE
APPR.	APPROXIMATELY	HORIZ	HORIZONTAL	PSI	POUNDS PER SQUARE INCH
ARV	AIR RELEASE VALVE	HT	HIGH TEMPERATURE	PT	POINT OF TANGENT
@	AT	HTW	HIGH TEMPERATURE WATER	PVC	POLYVINYL CHLORIDE
BDRY	BOUNDARY	HV	HIGH VOLTAGE	PUE	PUBLIC UTILITY EASEMENT
BC	FINISH GRADE AT BUILDING	HYD	HYDRANT	PVT	POINT OF VERTICAL TANGENT
BVC	BEGIN VERTICAL CURVE	ID	INSIDE DIAMETER	PM	POINT OF VERTICAL INTERSECTION
BRG	BEARING	IE	INVERT ELEVATION	R	RADIUS
BW	BOTTOM OF WALL	IRR	IRRIGATION	RCP	REINFORCED CONCRETE PIPE
CAV	COMBINATION AIR VALVE	L	LENGTH	REF	REFERENCE
CB	CATCH BASIN	LF	LINEAR FEET	ROW	RIGHT-OF-WAY
CL OR	CENTERLINE	LP	LOW POINT	SS	SANITARY SEWER
CMP	CORRUGATED METAL PIPE	MAX	MAXIMUM	SD	STORM DRAIN
COB	CLEANOUT BOX	MH	MANHOLE	SCH	SCHEDULE
CONC	CONCRETE	MIN	MINIMUM	SF	SQUARE FEET
DET	DETAIL	MJ	MECHANICAL JOINT	STA	STATION
DIA	DIAMETER	N	NORTH	STD	STANDARD
DIP	DUCTILE IRON PIPE	NIC	NOT IN CONTRACT	SW	SIDEWALK
DIST	DISTRICT	NTS	NOT TO SCALE	TA	TOP OF ASPHALT
DWG	DRAWING	OAE	OR APPROVED EQUAL	TBC	TOP BACK OF CURB
EA	EACH	OC	ON CENTER	TC	TOP OF CURB
EG	EXISTING GRADE	OH	OVERHEAD	TEMP	TEMPORARY
EP	EDGE OF PAVEMENT	P	POWER	TG	TOP OF GRATE
ELEV	ELEVATION	PC	POINT OF CURVATURE	TW	TOP OF WALL
ESMT	EASEMENT	PI	POINT OF INTERSECTION	TYP	TYPICAL
EXIST	EXISTING	PL	PROPERTY LINE	VAR	VARIES
FF	FINISH FLOOR	POC	POINT OF CURVE	W	WATER
FG	FINISH GRADE	PP	POWER POLE	W/	WITH
FH	FIRE HYDRANT				

# Exhibit B



**TALISMAN**  
CIVIL CONSULTANTS  
1588 SOUTH MAIN STREET  
SUITE 200  
SALT LAKE CITY, UT 84115  
801.743.1300

NO.	BY	DATE	REVISIONS
1	J.S.	06.28.2021	WEBER COUNTY COMMENTS RECEIVED 06.17.2021

**SITE GENERAL NOTES:**

1. SEE GRADING DRAWINGS FOR ADDITIONAL DESIGN INFORMATION.
2. ALL SIGNS AND MARKINGS SHALL CONFORM TO THE LATEST EDITION ON THE M.U.T.C.D.
3. ALL SITE IMPROVEMENTS SHALL CONFORM TO THE PUBLIC WORKS STANDARDS WEBER COUNTY.

**SITE SCOPE OF WORK:**

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 LIMIT OF DISTURBANCE.
- 2 INSTALL ASPHALT PAVEMENT, PER DETAIL A1 SEE SHEET C700.
- 3 4" WIDE WHITE PARKING STALL STRIPE PER LATEST VERSION OF M.U.T.C.D.
- 4 REMOVE EXISTING TREE(S), COORDINATE WITH OWNER.
- 5 REMOVE EXISTING PARKING STALL STRIPE.
- 6 SAWCUT TO PROVIDE SMOOTH CLEAN EDGE FOR PROPOSED IMPROVEMENTS.
- 7 INSTALL D<sub>50</sub>-8" RIPRAP.

**HORIZONTAL CONTROL**

Point Table			Point Table		
Point #	Northing	Easting	Point #	Northing	Easting
1	3605291.95	1542365.62	13	3604915.58	1542324.87
2	3605316.27	1542366.91	14	3605207.74	1542340.03
3	3605314.37	1542402.86	15	3605293.05	1542344.89
4	3605288.02	1542402.04	16	3605298.33	1542332.12
5	3605287.44	1542413.08	17	3605150.34	1542324.67
6	3605276.62	1542425.37	18	3604902.59	1542278.67
7	3605260.73	1542424.28	19	3604869.57	1542287.82
8	3605252.54	1542412.34	20	3604866.83	1542314.54
9	3605253.30	1542401.37	21	3604878.04	1542349.71
10	3604894.51	1542382.34	22	3604866.44	1542365.36
11	3604896.65	1542341.89	23	3604874.97	1542385.07
12	3604914.62	1542342.85	24	3604871.07	1542399.16

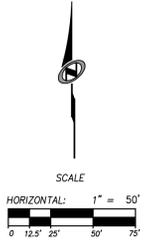
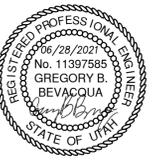
CANYON RIM PARKING LOT	
EXISTING PARKING SPOTS	410
PARKING SPOTS ADDED	91
PARKING SPOTS REMOVED	5
<b>NEW TOTAL FOR ALL PARKING SPOTS</b>	<b>496</b>

DATE: 7/8/2021 3:52 PM

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**SNOWBASIN RESORT**  
**CANYON RIM**  
**SITE PLAN**



SHEET NUMBER  
**C200**  
4 OF 12



TCC JOB NUMBER: 19-300.04 DATE: 06.28.2021

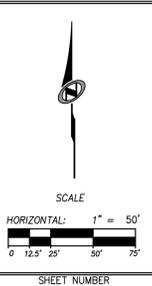
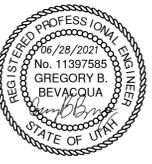
# Exhibit B



**TALISMAN**  
CIVIL CONSULTANTS  
1588 SOUTH MAIN STREET  
SUITE 200  
SALT LAKE CITY, UT 84115  
801.743.1300

NO.	DATE	BY	REVISIONS
1	06.28.2021	J.S.	WEBER COUNTY COMMENTS RECEIVED 06.17.2021

**SNOWBASIN RESORT**  
**MAPLES PARKING LOT**  
**SITE PLAN**  
 TCC JOB NUMBER: 19-300.04  
 DATE: 06.28.2021



SHEET NUMBER  
**C201**  
5 OF 12

**SITE GENERAL NOTES:**

1. SEE GRADING DRAWINGS FOR ADDITIONAL DESIGN INFORMATION.
2. ALL SIGNS AND MARKINGS SHALL CONFORM TO THE LATEST EDITION ON THE M.U.T.C.D.
3. ALL SITE IMPROVEMENTS SHALL CONFORM TO THE PUBLIC WORKS STANDARDS OF WEBER COUNTY.

**SITE SCOPE OF WORK:**

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

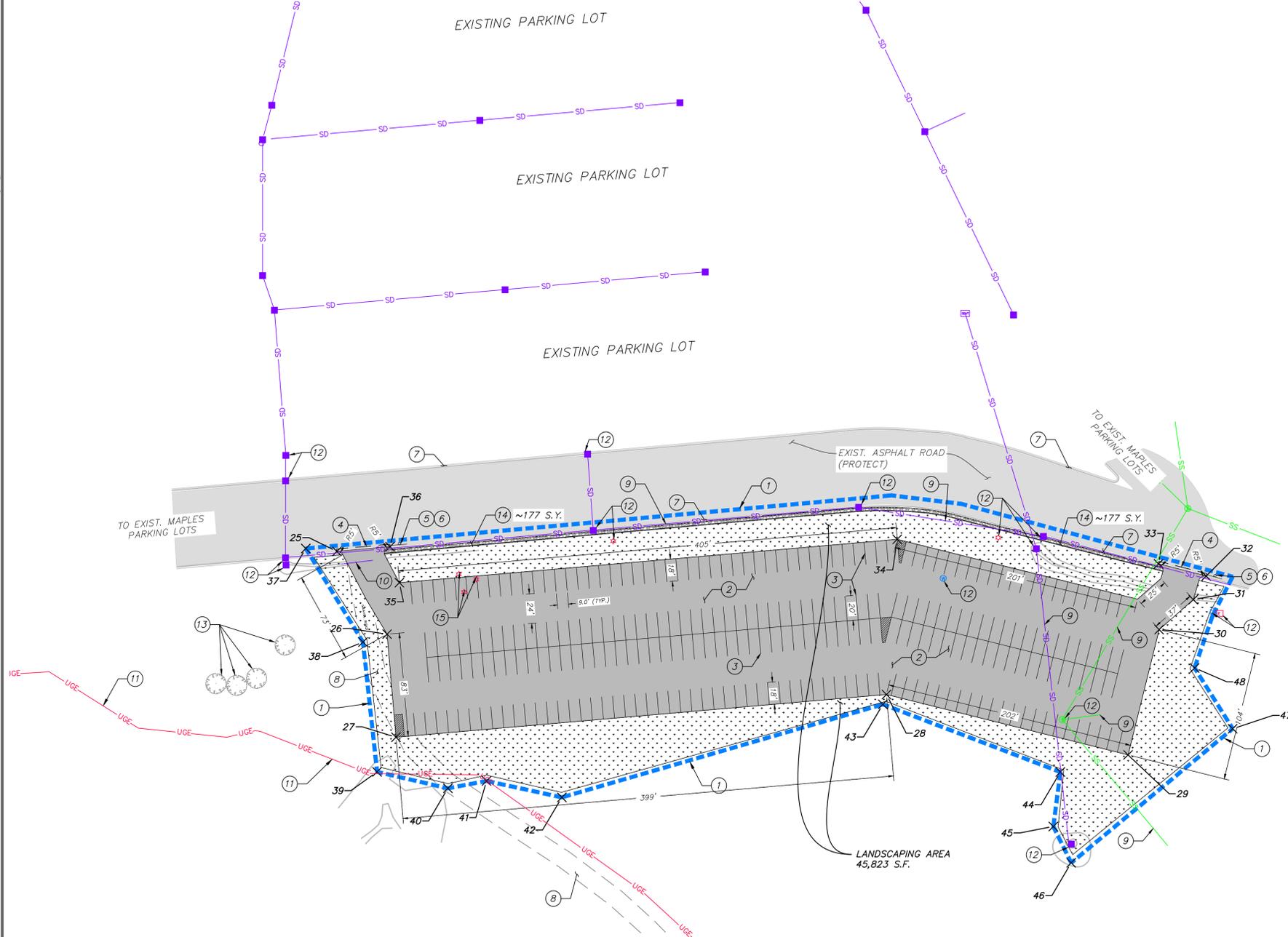
- 1 LIMIT OF DISTURBANCE.
- 2 INSTALL ASPHALT PAVEMENT, PER DETAIL A2 SEE SHEET C700.
- 3 4" WIDE WHITE PARKING STALL STRIPE PER LATEST VERSION OF M.U.T.C.D.
- 4 SAWCUT TO PROVIDE SMOOTH CLEAN EDGE FOR PROPOSED IMPROVEMENTS.
- 5 INSTALL M.U.T.C.D. R1-1 STOP SIGN, PER DETAIL B SHEET C700.
- 6 INSTALL M.U.T.C.D. R3-5R RIGHT TURN ONLY SIGN, PER DETAIL C SHEET C700.
- 7 PROTECT EXISTING 2.5' WATERWAY..
- 8 PROTECT EXISTING DIRT ROAD. CONTRACTOR TO COORDINATE WITH OWNER.
- 9 PROTECT EXISTING UTILITY.
- 10 REMOVE AND PROPERLY DISPOSE OF EXISTING UTILITY.
- 11 PROTECT EXISTING UNDERGROUND ELECTRICAL UTILITY. CONTRACTOR TO COORDINATE WITH OWNER TO LOCATE.
- 12 PROTECT EXISTING STRUCTURE.
- 13 PROTECT EXISTING TREE. CONTRACTOR TO COORDINATE WITH OWNER TO LOCATE.
- 14 INSTALL D<sub>50</sub>-8" RIPRAP.
- 15 EXISTING STRUCTURE TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION. CONTRACTOR TO COORDINATE LIGHT POLE RELOCATION WITH OWNER & ROCKY MOUNTAIN POWER.

**HORIZONTAL CONTROL**

Point Table		
Point #	Northing	Easting
25	3602984.47	1540681.77
26	3602917.73	1540722.42
27	3602834.54	1540729.64
28	3602869.02	1541127.14
29	3602820.30	1541322.93
30	3602921.41	1541348.09
31	3602945.58	1541375.75
32	3602964.63	1541386.27
33	3602974.46	1541347.60
34	3602994.24	1541135.86
35	3602959.24	1540732.37
36	3602988.27	1540724.83

Point Table		
Point #	Northing	Easting
37	3602986.86	1540656.55
38	3602911.33	1540702.90
39	3602806.62	1540714.32
40	3602793.33	1540771.72
41	3602799.26	1540803.04
42	3602786.04	1540864.08
43	3602861.10	1541124.22
44	3602806.49	1541268.09
45	3602762.54	1541262.35
46	3602733.15	1541276.83
47	3602841.44	1541407.74
48	3602890.47	1541376.82

MAPLES PARKING LOT	
EXISTING PARKING SPOTS	660
PARKING SPOTS ADDED	255
PARKING SPOTS REMOVED	0
NEW TOTAL FOR ALL PARKING SPOTS	915



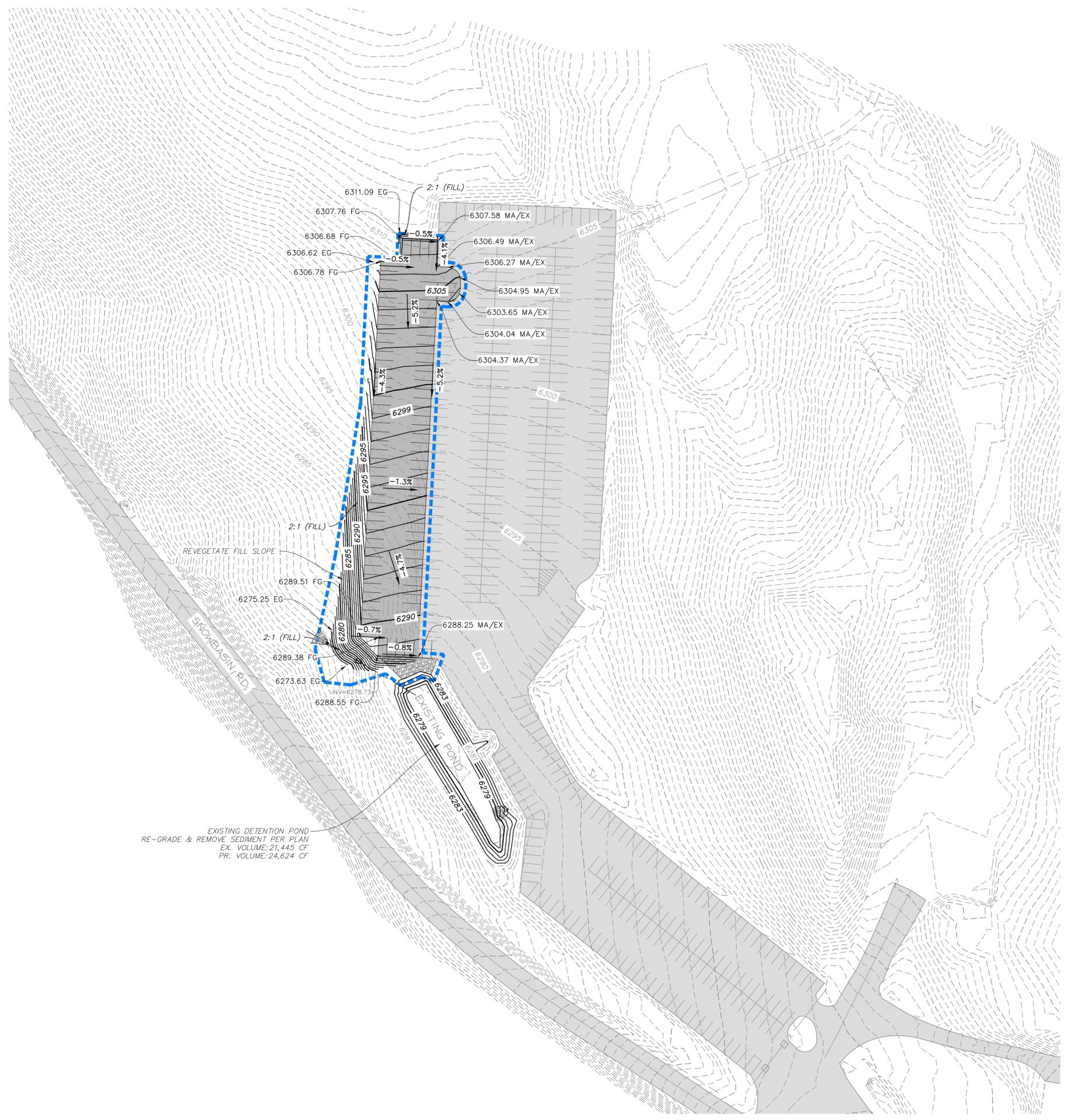
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DATE: 7/8/2021 3:52 PM

PATH: H:\19-300-Snowbasin\04 - Canyon Rim Design Phase 1a\Cadd\p\19-300R.dwg



**GRADING GENERAL NOTES:**

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING THEM WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED GEOTECHNICAL ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL BECOME FAMILIAR WITH EXISTING SOIL CONDITIONS.
- THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL AND DUST SUPPRESSION FOR CONSTRUCTION OF THIS PROJECT.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.
- LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN.
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES, DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- SEE DRAINAGE REPORT FOR STORM DRAIN CALCULATIONS.

**LEGEND:**

- XXXX- EXISTING ELEVATION CONTOURS
- XXXX- PROPOSED ELEVATION CONTOURS
- GRADE BREAK
- ←←←← DRAINAGE SWALE

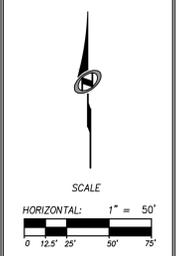
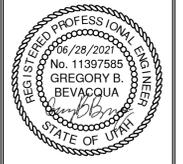
# Exhibit B



NO.	DATE	BY	REVISIONS
1	06/28/2021	JLS	WEBER COUNTY COMMENTS RECEIVED 06/17/2021

## SNOWBASIN RESORT CANYON RIM PARKING LOT GRADING PLAN

TCC JOB NUMBER: 19-300.04      DATE: 06.28.2021



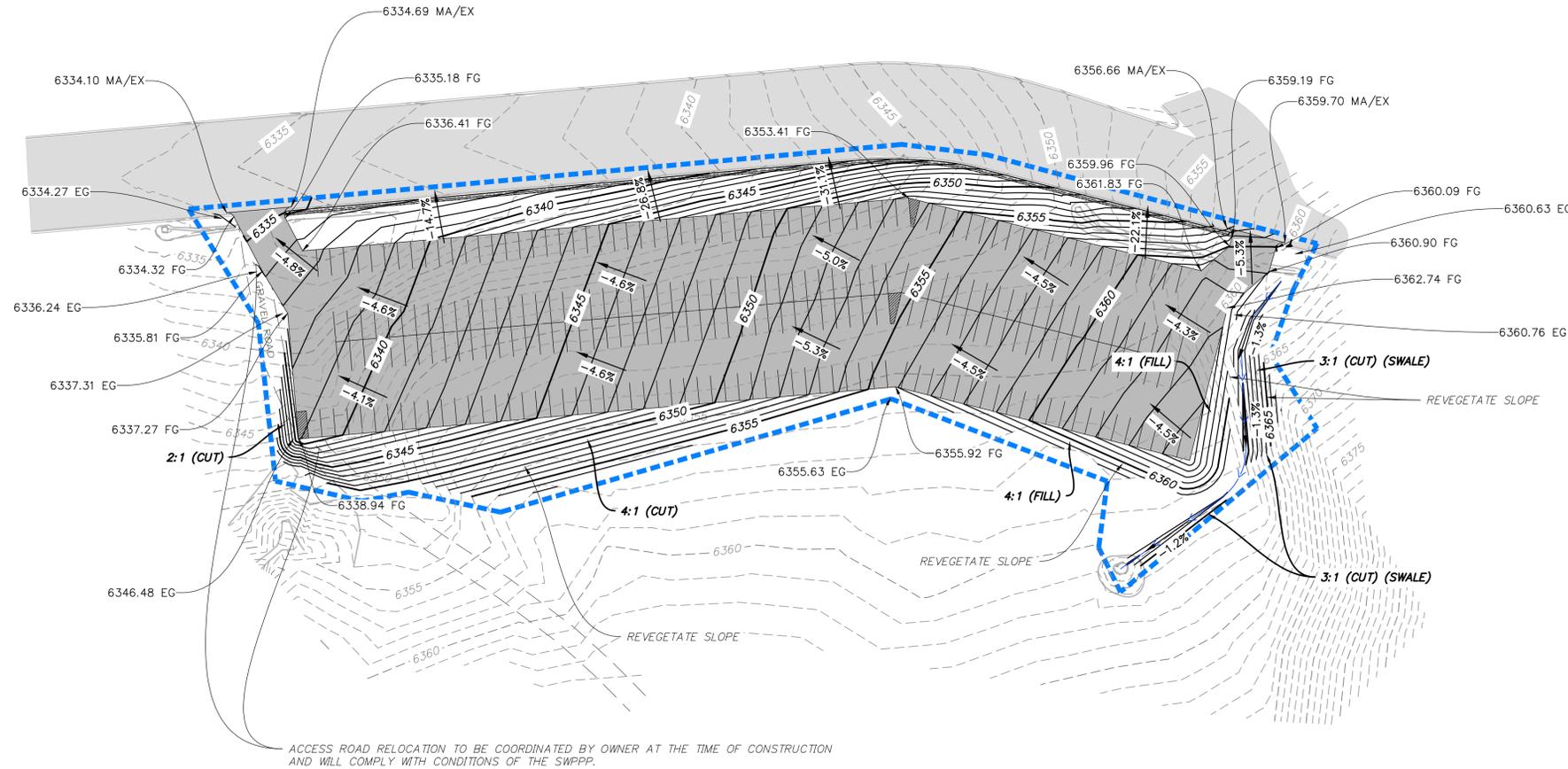
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# Exhibit B

### GRADING GENERAL NOTES:

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING THEM WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED GEOTECHNICAL ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
2. CONTRACTOR SHALL BECOME FAMILIAR WITH EXISTING SOIL CONDITIONS.
3. THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL AND DUST SUPPRESSION FOR CONSTRUCTION OF THIS PROJECT.
4. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.
5. LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN.
6. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES, DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
7. SEE DRAINAGE REPORT FOR STORM DRAIN CALCULATIONS.



### LEGEND:

- EXISTING ELEVATION CONTOURS
- PROPOSED ELEVATION CONTOURS
- GRADE BREAK
- ←←←← DRAINAGE SWALE



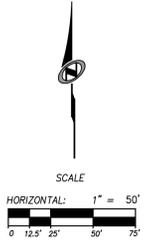
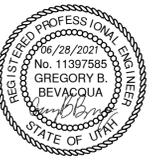
**TALISMAN**  
CIVIL CONSULTANTS  
1588 SOUTH MAIN STREET  
SUITE 200  
SALT LAKE CITY, UT 84115  
801.743.1300

NO.	DATE	BY	REVISIONS
1	06/28/2021	JLS	WEBER COUNTY COMMENTS RECEIVED 06/17/2021

DATE: 06.28.2021

## SNOWBASIN RESORT MAPLES PARKING LOT GRADING PLAN

TCC JOB NUMBER: 19-300.04

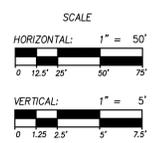
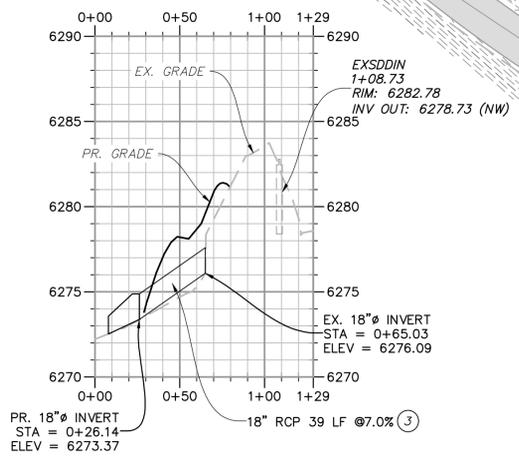
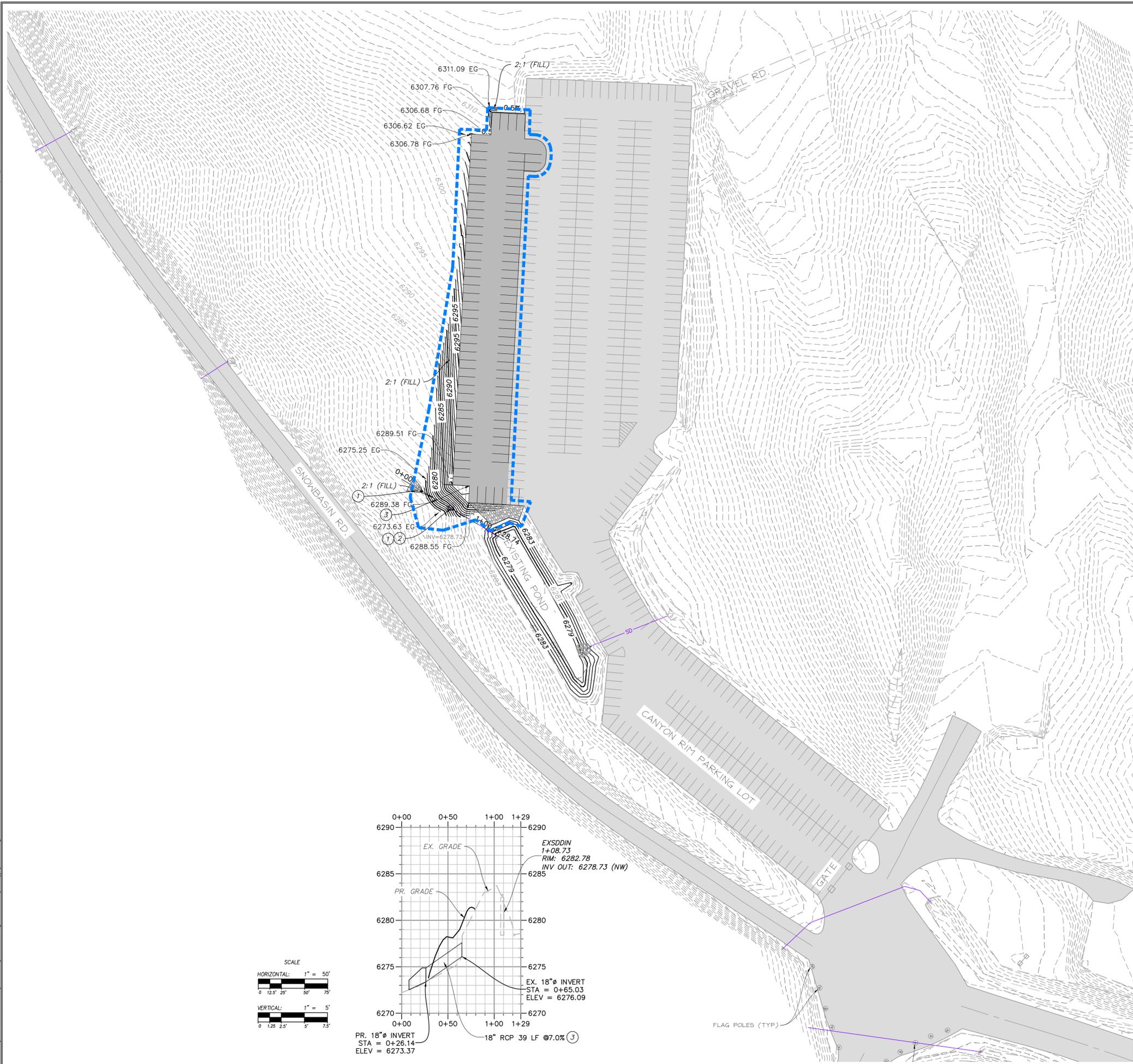


SHEET NUMBER  
**C301**  
7 OF 12



DATE: 7/28/2021 3:52 PM

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# Exhibit B

### UTILITY GENERAL NOTES:

1. SEE GRADING DRAWINGS FOR ADDITIONAL DESIGN INFORMATION.
2. ALL SITE IMPROVEMENTS SHALL CONFORM TO THE PUBLIC WORKS STANDARDS OF WEBER COUNTY.
3. CONTRACTOR SHALL SALVAGE EXISTING STORM DRAIN INFRASTRUCTURE FOR RE-USE WITH THIS PROJECT.

### SITE SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ① REMOVE EXISTING FLARED END SECTION (F.E.S.) FOR REUSE, IF EXISTING F.E.S. NOT SALVAGEABLE—INSTALL 18" FLARED END SECTION PER APWA PLAN #323.1.
- ② CONNECT PROPOSED 18" RCP STORM DRAIN TO EXISTING 18" STORM DRAIN.
- ③ INSTALL 18" RCP STORM DRAIN PER APWA NO. 381 & 382.



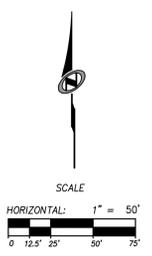
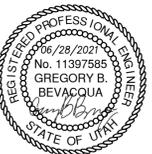
**TALISMAN**  
CIVIL CONSULTANTS  
1588 SOUTH MAIN STREET  
SUITE 200  
SALT LAKE CITY, UT 84115  
801.743.1300

NO.	DATE	BY	REVISIONS
1	06.28.2021	JLS	WEBER COUNTY COMMENT RECEIVED 06.17.2021

## SNOWBASIN RESORT CANYON RIM PARKING LOT UTILITY PLAN

DATE: 06.28.2021

TCC JOB NUMBER: 19-300.04



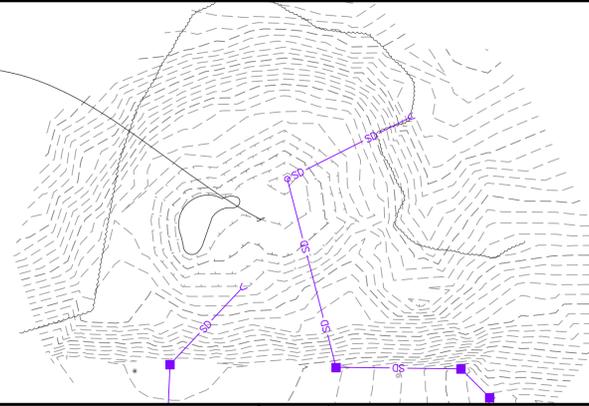
SHEET NUMBER  
**C400**  
8 OF 12



DATE: 7/8/2021 3:53 PM

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EXISTING DETENTION POND  
MAPLES STORMWATER OUTFALL  
VOLUME: 36,557 CF



**UTILITY GENERAL NOTES:**

1. SEE GRADING DRAWINGS FOR ADDITIONAL DESIGN INFORMATION.
2. ALL SITE IMPROVEMENTS SHALL CONFORM TO THE PUBLIC WORKS STANDARDS OF WEBER COUNTY.
3. CONTRACTOR SHALL SALVAGE EXISTING STORM DRAIN INFRASTRUCTURE FOR RE-USE WITH THIS PROJECT.

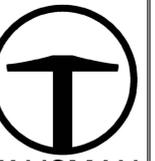
**SITE SCOPE OF WORK:**

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ① ADJUST GRATE TO FINISHED GRADE.
- ② ADJUST RIM TO FINISHED GRADE.

SEE DRAINAGE REPORT FOR DRAINAGE CALCULATIONS & DESIGN.

**Exhibit B**



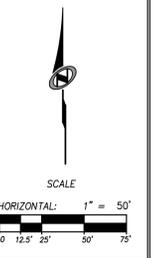
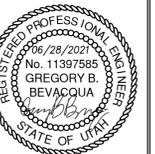
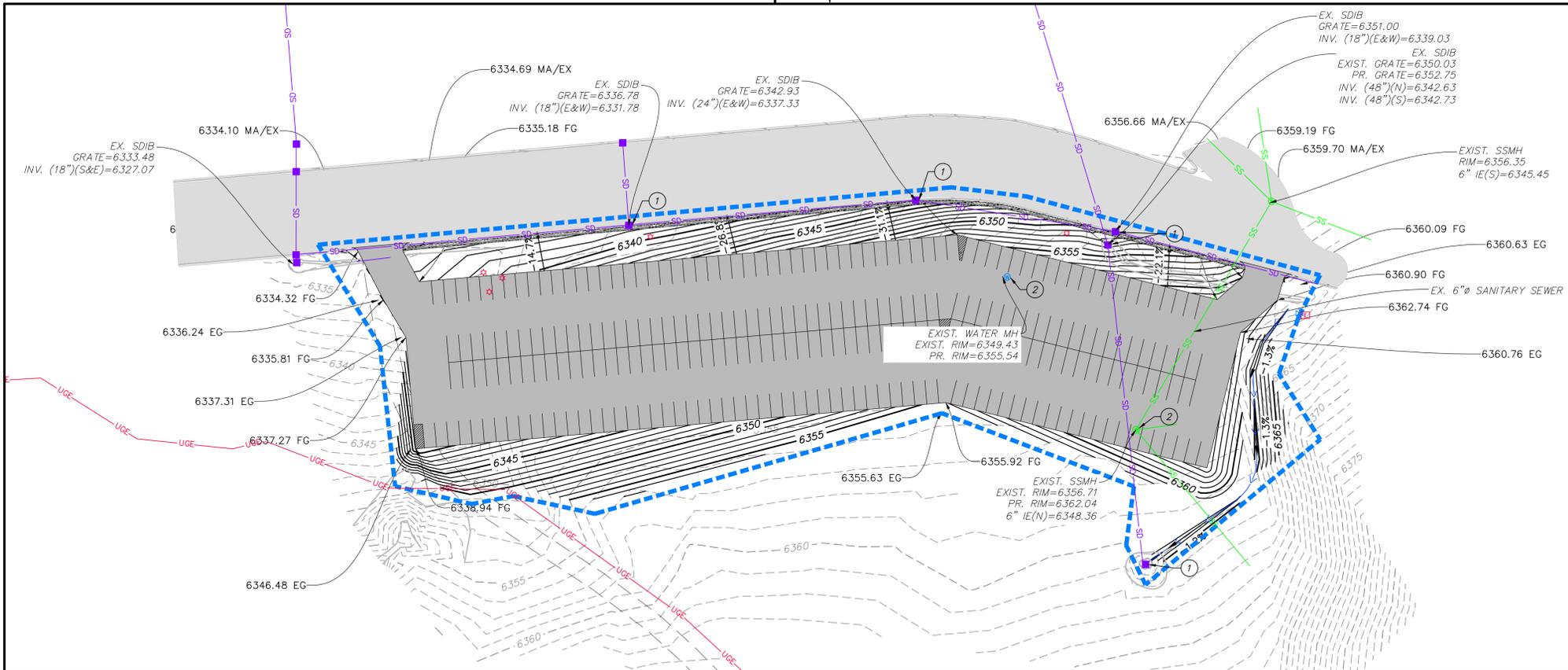
**TALISMAN**  
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1588 SOUTH MAIN STREET  
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SALT LAKE CITY, UT 84115  
801.743.1300

NO.	DATE	BY	REVISIONS
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DATE: 06.28.2021

**SNOWBASIN RESORT  
MAPLES PARKING LOT  
UTILITY PLAN**

TCC JOB NUMBER: 19-300.04



SHEET NUMBER  
**C401**  
9 OF 12



DATE: 7/19/2021 3:53 PM

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# Exhibit B

### GENERAL NOTES:

1. THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON 601 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.
2. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE UDOT EROSION CONTROL STANDARDS AND SPECIFICATIONS AND ALL WORK SHALL BE SUBJECT TO INSPECTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES. IF CONFLICTS OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
4. THE CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL.
5. WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT "OPEN" FOR 30 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.
6. THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.
7. ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL A CERTIFICATE OF OCCUPANCY IS ISSUED.
8. ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS.

### MAINTENANCE:

1. THE OWNER'S RESPONSIBILITY SHALL INCLUDE MAKING ROUTINE CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE MADE BASED ON CONDITIONS THAT MAY ARISE IN THE FIELD OR ADDITIONAL CONTROL AS DEEMED NECESSARY.
2. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.
3. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF DAMAGED FIBER ROLL, END RUNS, AND UNDERCUTTING BENEATH FIBER ROLL.
4. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED FIBER ROLL, END RUNS, AND UNDERCUTTING BENEATH FIBER ROLL.
5. FIBER ROLL BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

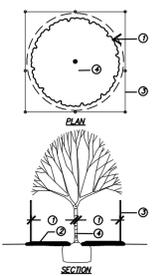
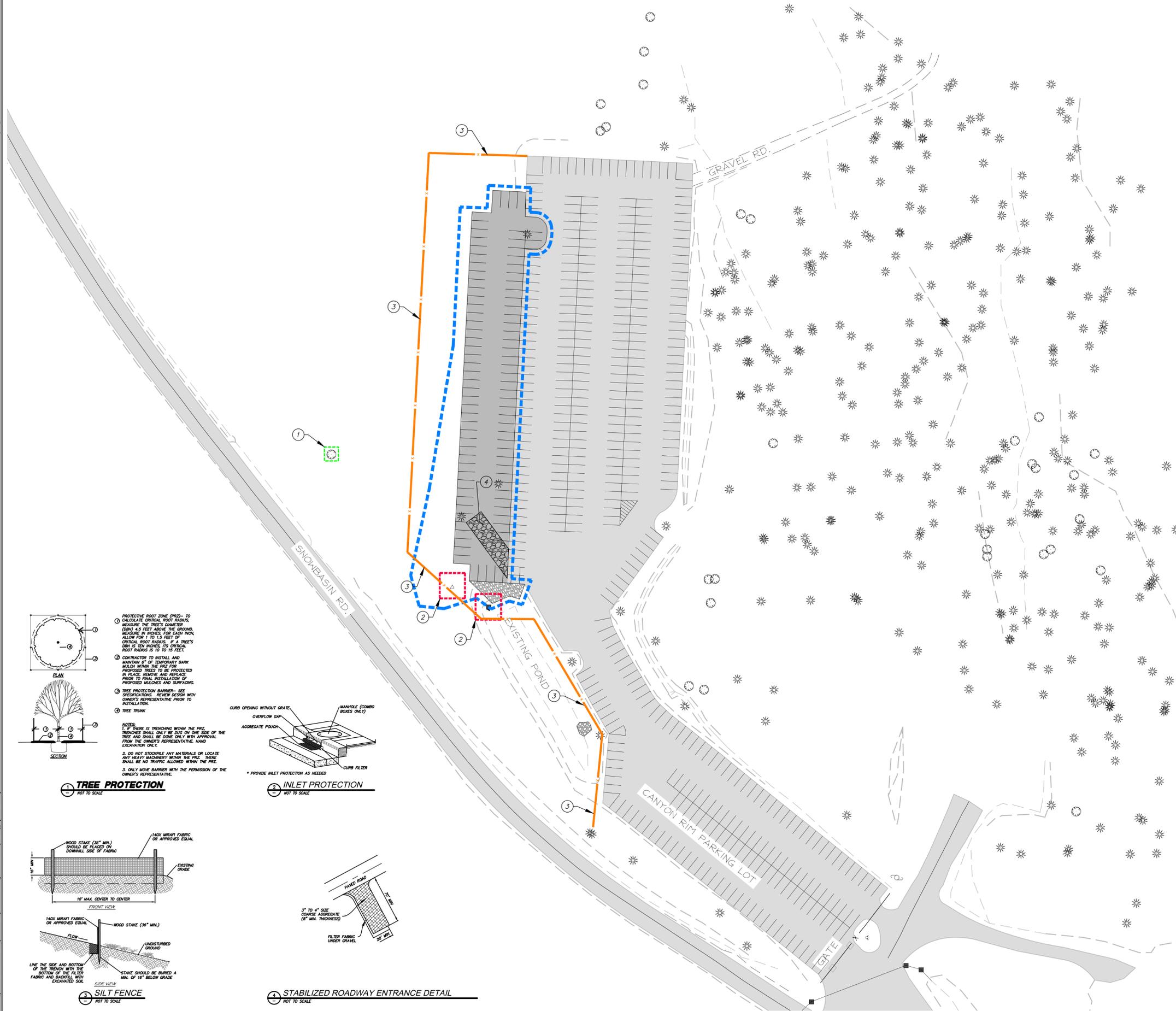
### SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

1. INSTALL TREE PROTECTION PER DETAIL 1, THIS SHEET.
2. INSTALL INLET PROTECTION AROUND EXISTING OR NEW STORM DRAIN CATCH BASINS OR INLETS, PER DETAIL 2, THIS SHEET.
3. INSTALL SILT FENCE PER DETAIL 3, THIS SHEET.
4. INSTALL STABILIZED CONSTRUCTION ENTRANCE/TRACK OUT AREA PER DETAIL 4, THIS SHEET.

### LEGEND:

- SILT FENCE
- INLET PROTECTION
- TREE PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE



**PROTECTIVE ROOT ZONE (PRZ)** - TO CALCULATE CRITICAL ROOT RADIUS, MEASURE THE TREE'S DIAMETER (DBH) 4.5 FEET ABOVE THE GROUND, MEASURE IN INCHES. FOR EACH POOL, ALLOW FOR 1 TO 1.5 FEET OF CRITICAL ROOT RADIUS. IF A TREE'S DBH IS TEN INCHES ITS CRITICAL ROOT RADIUS IS 10 TO 15 FEET.

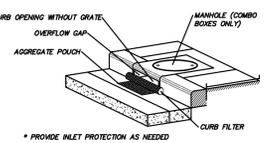
CONTRACTOR TO INSTALL AND MAINTAIN 4" OF TEMPORARY BARRIER WITHIN THE PRZ FOR PROPOSED TREES TO BE PROTECTED. REMOVE AND REPLACE PRIOR TO FINAL INSTALLATION OF PROPOSED MULCHES AND SURFACING.

TREE PROTECTION BARRIER - SEE SPECIFICATIONS. REVIEW DESIGN WITH OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

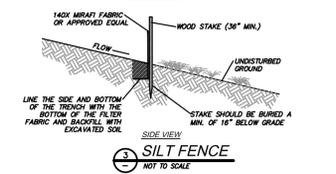
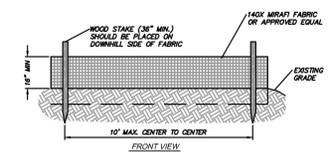
TREE TRUNK

**NOTES:**

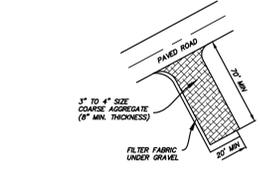
1. IF THERE IS TRENCHING WITHIN THE PRZ, TRENCHES SHALL ONLY BE DUG ON ONE SIDE OF THE TREE AND SHALL BE DONE ONLY WITH APPROVAL FROM THE OWNER'S REPRESENTATIVE. HAND EXCAVATION ONLY.
2. DO NOT STOCKPILE ANY MATERIALS OR LOCATE ANY HEAVY MACHINERY WITHIN THE PRZ. THERE SHALL BE NO TRAFFIC ALLOWED WITHIN THE PRZ.
3. ONLY MOVE BARRIER WITH THE PERMISSION OF THE OWNER'S REPRESENTATIVE.



**2. INLET PROTECTION**  
NOT TO SCALE



**3. SILT FENCE**  
NOT TO SCALE



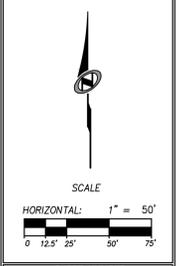
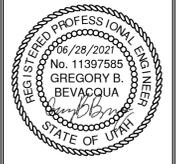
**4. STABILIZED ROADWAY ENTRANCE DETAIL**  
NOT TO SCALE



TALISMAN CIVIL CONSULTANTS  
1588 SOUTH MAIN STREET  
SUITE 200  
SALT LAKE CITY, UT 84115  
801.743.1300

NO.	DATE	BY	REVISIONS
1	06.28.2021	JLS	WEBER COUNTY COMMENTS RECEIVED 06.17.2021

## SNOWBASIN RESORT CANYON RIM PARKING LOT EROSION CONTROL

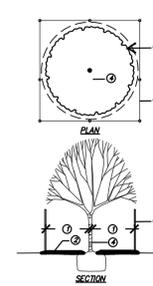
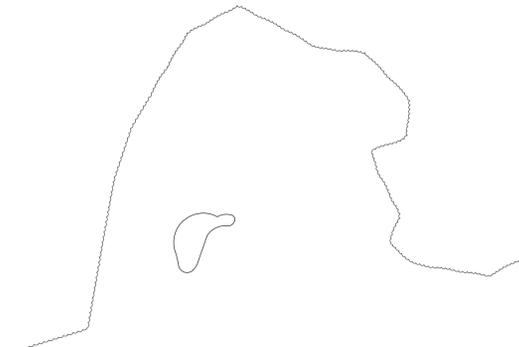


SHEET NUMBER  
**C600**  
10 OF 12



DATE: 06.28.2021

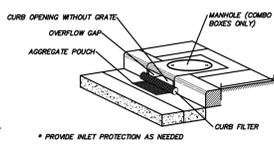
TCC JOB NUMBER: 19-300.04



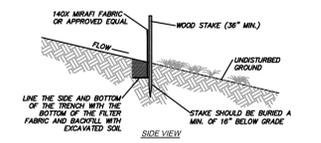
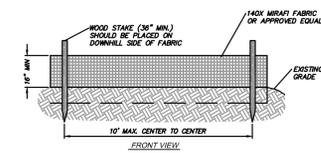
**PROTECTIVE ROOT ZONE (PRZ)- TO**  
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 2. CONTRACTOR TO INSTALL AND MAINTAIN 8" OF TEMPORARY BANK MASONRY WITHIN THE PRZ FOR PROTECTED TREES TO BE PROTECTED IN PLACE. REMOVE AND REPLACE PRIOR TO FINAL INSTALLATION OF PROPOSED MULLONES AND SURFACING.  
 3. TREE PROTECTION BARRIER- SEE SPECIFICATIONS. REVIEW DESIGN WITH OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.  
 4. TREE TRUNK

**NOTES:**  
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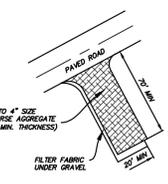
**1 TREE PROTECTION**  
NOT TO SCALE



**2 INLET PROTECTION**  
NOT TO SCALE



**3 SILT FENCE**  
NOT TO SCALE



**4 STABILIZED ROADWAY ENTRANCE DETAIL**  
NOT TO SCALE

**GENERAL NOTES:**

# Exhibit B

1. THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON 601 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.
2. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE UDOT EROSION CONTROL STANDARDS AND SPECIFICATIONS AND ALL WORK SHALL BE SUBJECT TO INSPECTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES. IF CONFLICTS OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
4. THE CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL.
5. WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT "OPEN" FOR 30 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.
6. THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.
7. ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL A CERTIFICATE OF OCCUPANCY IS ISSUED.
8. ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS.

**MAINTENANCE:**

1. THE OWNER'S RESPONSIBILITY SHALL INCLUDE MAKING ROUTINE CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE MADE BASED ON CONDITIONS THAT MAY ARISE IN THE FIELD OR ADDITIONAL CONTROL AS DEEMED NECESSARY.
2. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.
3. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF FIBER ROLL SHALL BE ACCOMPLISHED PROMPTLY.
4. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED FIBER ROLL, END RUNS, AND UNDERCUTTING BENEATH FIBER ROLL.
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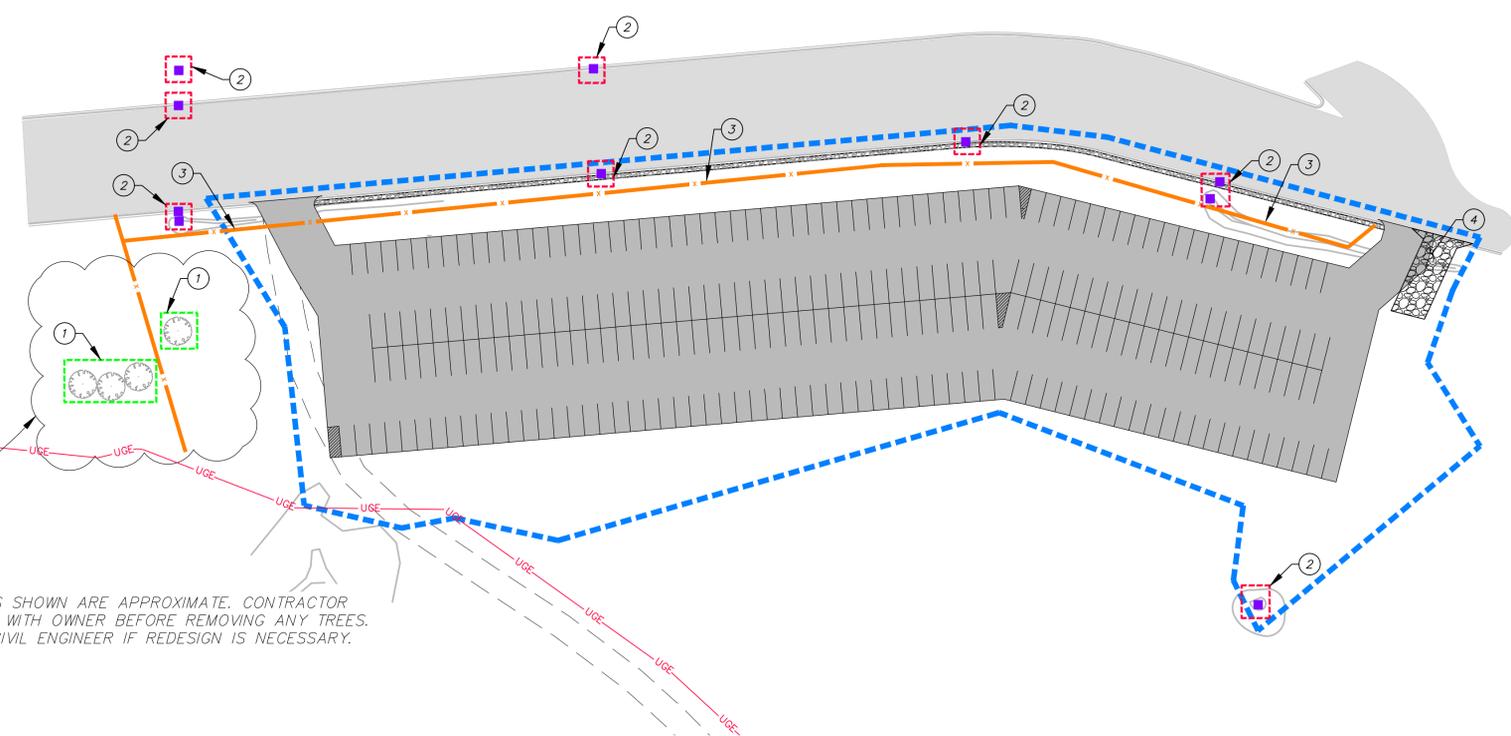
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**LEGEND:**

- SILT FENCE
- INLET PROTECTION
- TREE PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE



TREE LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR TO COORDINATE WITH OWNER BEFORE REMOVING ANY TREES. CONTACT THE CIVIL ENGINEER IF REDESIGN IS NECESSARY.



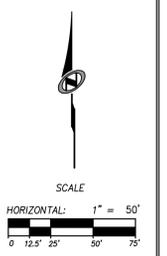
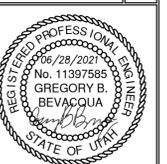
TALISMAN CIVIL CONSULTANTS  
 1588 SOUTH MAIN STREET  
 SUITE 200  
 SALT LAKE CITY, UT 84115  
 801.743.1300

NO.	DATE	BY	REVISIONS
1	06.28.2021	J.S.	WEBER COUNTY COMMENTS RECEIVED 06.17.2021

DATE: 06.28.2021

## SNOWBASIN RESORT MAPLES PARKING LOT EROSION CONTROL

TCC JOB NUMBER: 19-300.04

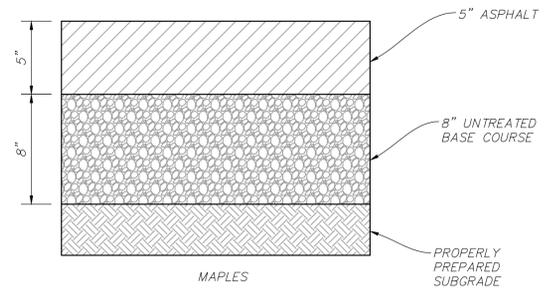
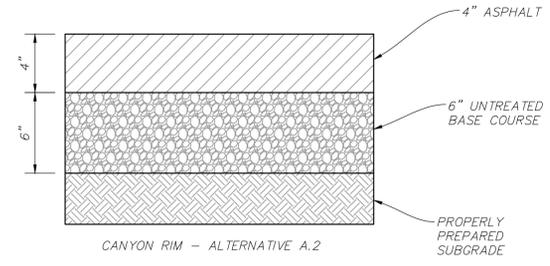
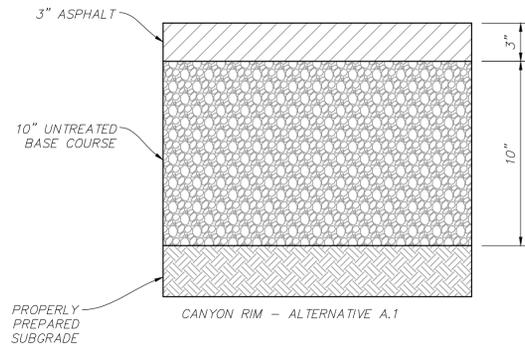


SHEET NUMBER  
**C601**  
 11 OF 12



DATE: 7/8/2021 3:53 PM

PATH: N:\19-300-Snowbasin\04 - Canyon Rim Design Phase 1a\Cad\p\197901.dwg



NOTE: CANYON RIM PAVEMENT SECTIONS PROVIDED BY GEOTECHNICAL REPORT BY INTERMOUNTAIN GEOENVIRONMENTAL SERVICES, INC. DATED 06/15/2017.

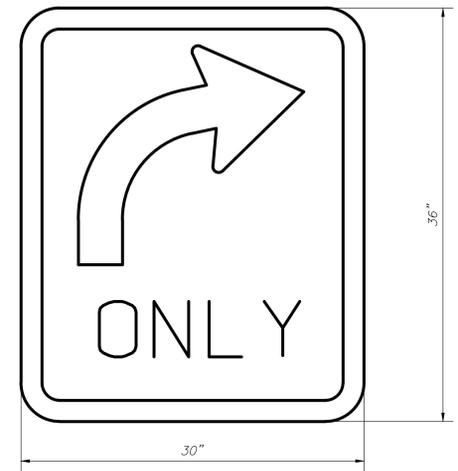
NOTE: MAPLES PAVEMENT SECTIONS PER GEOTECHNICAL REPORT BY INTERMOUNTAIN GEOENVIRONMENTAL SERVICES, INC. DATED 05/20/2021.

**A**  
**1** CANYON RIM ASPHALT PAVEMENT SECTION  
SCALE: N.T.S.

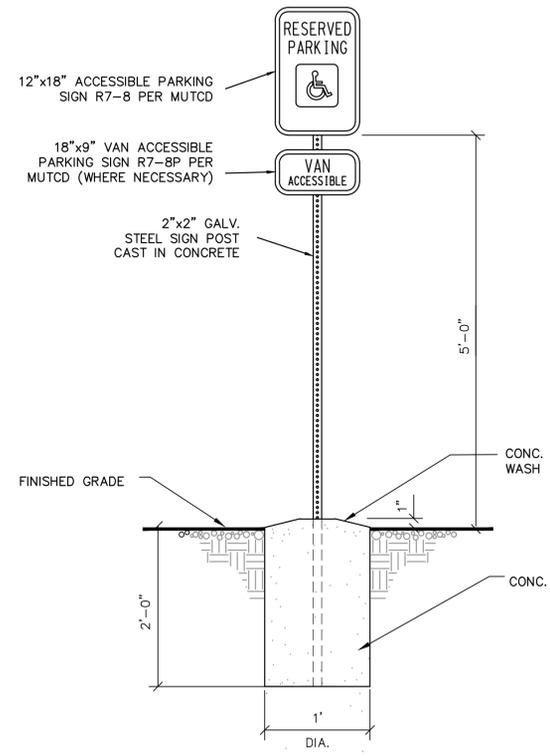
**A**  
**2** MAPLES ASPHALT PAVEMENT SECTION  
SCALE: N.T.S.



**B**  
**-** R1-1 STOP SIGN  
SCALE: N.T.S.



**C**  
**-** R3-5R RIGHT-OF-WAY SIGN  
SCALE: N.T.S.



**D**  
**1** SIGN POST DETAIL  
NTS



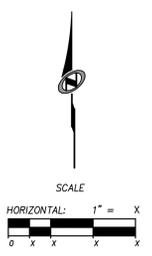
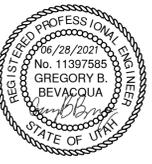
**TALISMAN**  
CIVIL CONSULTANTS  
1588 SOUTH MAIN STREET  
SUITE 200  
SALT LAKE CITY, UT 84115  
801.743.1300

NO.	BY	DATE	REVISIONS
1	J.S.	06.28.2021	WEBER COUNTY COMMENTS RECEIVED 06.17.2021

**SNOWBASIN RESORT**  
**CANYON RIM & MAPLES PARKING LOTS**  
**DETAIL SHEET**

DATE: 06.28.2021

TCC JOB NUMBER: 19-300.04



SHEET NUMBER  
**C700**  
12 OF 12



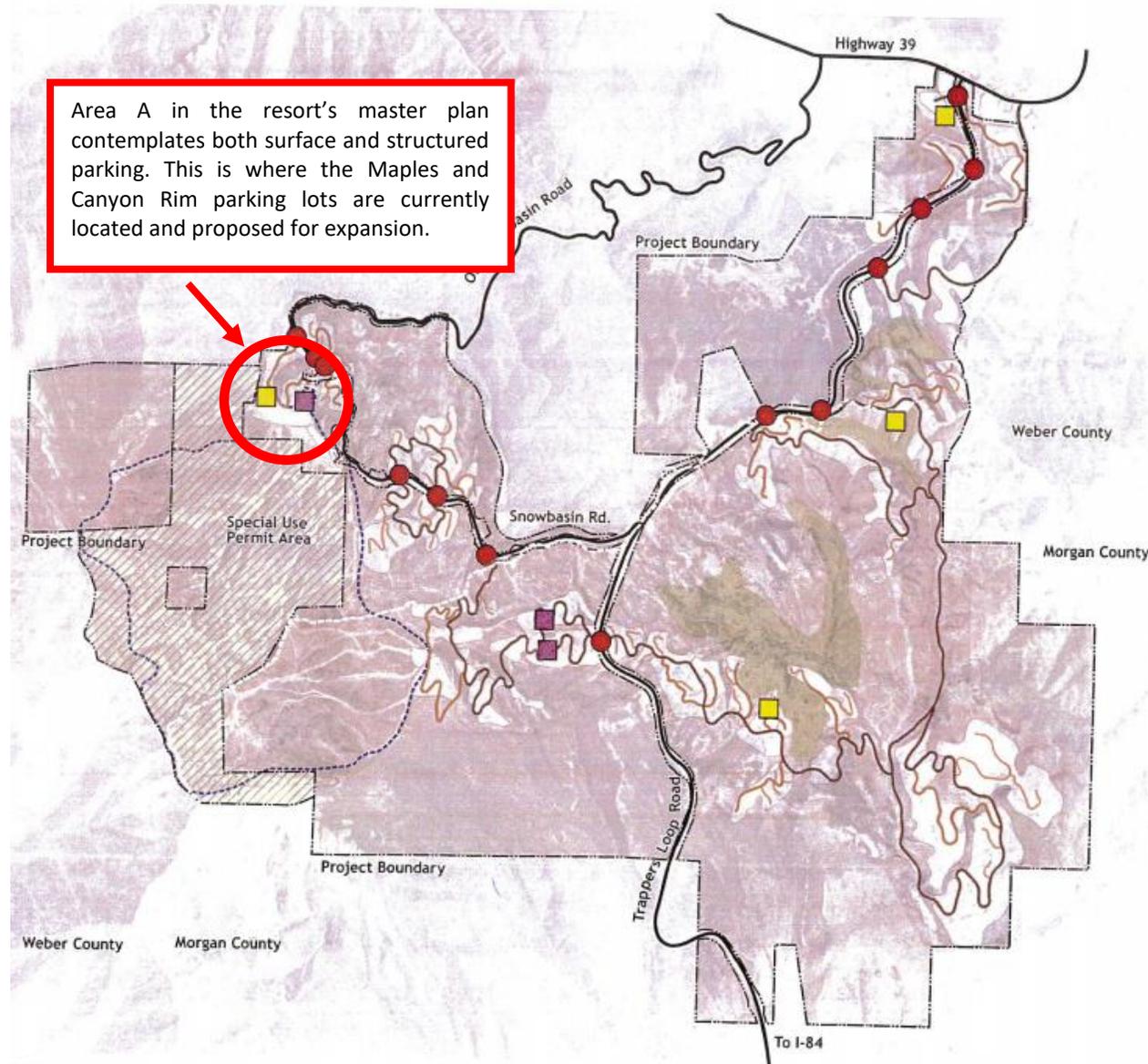
# Exhibit C: Snowbasin Master Plan Land Use Map

## ROAD SYSTEM AND APPROXIMATE PARKING LOCATIONS

The Road System diagram illustrates the hierarchy of proposed roads within Snowbasin.

The rural major collector roads provide the primary structure for the development areas. These are the main access points from Trappers Loop Road and Snowbasin Road. Standard residential / rural local roads are utilized in lower density areas that may also be a primary access point but are secondary to the major collector. The minor / rural minor roads are used primarily in cul-de-sac conditions or when accessing small development pods.

Structured parking is currently planned in Area A - Earl's Village to support base-mountain requirements. Additionally, surface parking lots are tentatively planned in Area A and in Area G - The Ranch.



- ■ ■ ■ Snowbasin Project Boundary
- · · · Snowbasin Ski Area Boundary
- USFS Special Use Permit Area
- Existing Roads
- Collector/Rural Major Collector Roads
- Standard Residential/Rural Local Roads
- Minor (Private)/Rural Minor Roads
- Access from existing road
- Surface Parking
- Structure Parking

Drawing not to scale



# Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

## Synopsis

### Application Information

**Application Request:** Consideration and action on preliminary approval of Asgard Heights Subdivision consisting of 6 lots.

**Type of Decision:** Administrative

**Agenda Date:** Tuesday, July 27, 2021

**Applicant:** Dan Mabey, Owner

**File Number:** UVA070821

### Property Information

**Approximate Address:** 3460 Nordic Valley Rd., Liberty, UT

**Project Area:** 18.96 acres

**Zoning:** Forest Valley 3 (FV-3) & Agricultural Valley 3 (AV-3)

**Existing Land Use:** Vacant

**Proposed Land Use:** Residential

**Parcel ID:** 22-023-0016

**Township, Range, Section:** T5N, R1E, Section 29 SE

### Adjacent Land Use

<b>North:</b> Residential	<b>South:</b> Residential
<b>East:</b> Residential	<b>West:</b> Residential

### Staff Information

**Report Presenter:** Scott Perkes  
sperkes@co.weber.ut.us  
801-399-8772

**Report Reviewer:** SB

## Applicable Land Use Codes

- Weber County Land Use Code Title 106 (Subdivisions)
- Weber County Land Use Code Title 104 (Zones) Chapter 2 (Agricultural Zones AV-3)
- Weber County Land Use Code Title 104 (Zones) Chapter 14 (Forest Valley Zone FV-3)

## Background and Summary

The applicant is requesting preliminary approval of Asgard Heights Subdivision consisting of six residential lots (See **Exhibit A**). This subdivision is proposed as a traditional subdivision with 3-acre minimum lot areas and dedicated roadway to extend Nordic Meadows Drive eastwards to connect with Carrol St. The proposed subdivision and lot configuration are in conformance with the applicable zoning and subdivision requirements as required by the Uniform Land Use Code of Weber County (LUC). The following is a brief synopsis of the review criteria and conformance with LUC.

## Analysis

**General Plan:** The proposal conforms to the Ogden Valley General Plan by maintaining the existing density provided by the current zoning and existing approvals (2016 Ogden Valley General Plan, Land Use Principle 1.1).

**Zoning:** The subject property is primarily located in the FV-3 Zone with a small portion of the northern tip in the AV-3 Zone. Single-family dwellings are a permitted use in both the FV-3 and AV-3 Zones.

**Lot area, frontage/width and yard regulations:** LUC § 104-2 (AV-3 Zone) & 104-14 (FV-3 Zone), require a minimum lot area of 3 acres for a single family dwelling and a minimum lot width of 150 feet (see **Exhibit B**).

As part of the subdivision process, the proposal has been reviewed for compliance with the current subdivision ordinance in the LUC § 106, and the AV-3 and FV-3 zone standards found in LUC § 104-2 and 104-14. With exception to Lot 1, the proposed subdivision utilizes traditional subdivision requirements to create 3-acre lots as required in both the FV-3 and AV-3 zones. The applicant has agreed to allow Lot 1, consisting of 2.84 acres, to be substandard to the 3-acre lot minimum in order to allow the dedication and connection of Nordic Meadows Drive to Carrol Street. Newly adopted language in the subdivision ordinance (Sec. 106-2-4.30) allows for lots in the FV-3 and AV-3 zones to be reduced up to 50% of the

zone's minimum lot size in order to allow desired connectivity to occur. At the request of County Planning staff, the applicant has agreed to dedicate and improve the Nordic Meadows Dr. extension at the time of subdivision, thereby allowing the applicant to utilize the Flexible Lot Standards of Sec. 106-2-4.30.

Culinary water and Secondary Water: The applicant has entered into a Water Service Agreement with Nordic Mountain Water Inc. for culinary water services for 6 lots (See **Exhibit C**). This letter indicates that each lot may utilize their culinary water for up to 5,000 sq. ft. of landscape watering until such time as secondary water may become available.

Per LUC. Sec. 106-4-2.1(b)(2)c. (Secondary Water Exemption), *"A subdivision lot that is completely covered by pre-existing native wildland vegetation, and will remain so, is exempt from the secondary water requirements of this section as long as the pre-existing native wildland vegetation remains undisturbed in perpetuity, and is well-established in a manner that makes it relatively unlikely for noxious weed propagation."* Per this section, the applicant may utilize this secondary water exemption so long as the lot areas outside of the home sites and 5,000 sq. ft. landscaped areas served by Nordic Mountain Water's culinary service remain as native wildland vegetation.

Sanitary Sewage Disposal: Each of the 6 lots in the proposed subdivision will be served by on-site waste water systems (septic). The Weber-Morgan Health Department have issued a Septic Feasibility Letter for parent Parcel #: 22-023-0016 (see **Exhibit D**).

Prior to final subdivision approval, an updated septic feasibility letter will need to be submitted verifying each of the proposed 6 lots have undergone soils and percolation testing and are able to accommodate on-site waste water systems.

Floodplain: The subject property contains a seasonal stream corridor that traverses from the Northeast towards the Southwest. This corridor requires that base flood elevations (BFEs) be calculated and depicted on a final plat in order to determine safe finished floor elevations for future homes. These BFEs will need to be submitted, reviewed, and approved by the County Engineering Department prior to final approval.

This stream corridor is depicted as a seasonal stream on the Ogden Valley Sensitive Lands Map. Per LUC Sec. 104-28-2(b)(1)c. (Ogden Valley Sensitive Lands Overlay Zone) the corridor requires a minimum 50-foot setback from high water mark for any future buildings. This setback will need to be depicted on the final plat.

Additionally, the applicant is currently working through FEMA's Letter of Map Amendment (LOMA) to more accurately delineate the floodplain areas that encumber the property. This process is anticipated to be completed following the subdivision's recording and will help future lot owners to reduce their flood insurance requirements.

Review Agencies: Due to the preliminary approval status of this project, no agency reviews have been conducted to-date aside from the Planning Division. Following preliminary approval, all review agency requirements must be addressed and completed prior to a final subdivision plat being forwarded for final approval.

Tax Clearance: There are no outstanding tax payments related to the parent parcel. The 2021 property taxes are not considered due at this time.

Public Notice: Public notice has been mailed not less than seven calendar days before preliminary approval to all property owners of record within 500 feet of the subject property regarding the proposed subdivision per noticing requirements outlined in LUC § 106-1-6.

## Staff Recommendation

Staff recommends preliminary approval of Asgard Heights Subdivision consisting of 6 lots, located at approximately 3460 Nordic Valley Rd., Liberty. This recommendation is subject to all review agency requirements, and the following conditions:

1. A final plat meeting the requirements of LUC Sec. 106-1-8 must be submitted for agency review.
2. Prior to final subdivision approval, an updated septic feasibility letter will need to be submitted verifying each of the proposed 6 lots have undergone soils and percolation testing and are able to accommodate on-site waste water systems.
3. Base Flood Elevations within the floodplain areas will need to be calculated and submitted for County Engineering review and approval. Once approved, these BFEs will need to be depicted on the final plat prior to final subdivision approval.
4. A 50-foot setback from high water mark of the stream corridor will need to be depicted on the final plat.
5. Civil plans and cost estimates for the Nordic Meadows Dr. extension will need to be submitted and approved by the Engineering Division.

This recommendation is based on the following findings:

1. The proposed subdivision conforms to the 2016 Ogden Valley General Plan
2. The proposed subdivision complies with applicable county ordinances

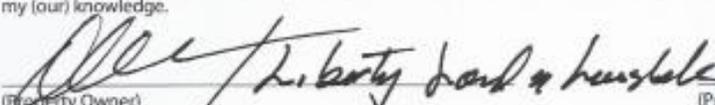
## Exhibits

- A. Subdivision Application
- B. Subdivision Preliminary Plan
- C. Culinary Water Service Agreement
- D. Septic Feasibility letter

## Area Map



# Exhibit A – Subdivision Application

<b>Weber County Subdivision Application</b>			
All subdivisions submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401			
Date Submitted / Completed <b>7-1-2021</b>	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use)
<b>Subdivision and Property Information</b>			
Subdivision Name <b>Asgard</b>			Number of Lots <b>6</b>
Approximate Address 3460 Nordic Valley Road, Liberty UT 84310		Land Serial Number(s) 22-023-0016	
Current Zoning MV#	Total Acreage 19.56		
Culinary Water Provider Nordic Valley Water	Secondary Water Provider Weber Water	Wastewater Treatment Septic	
<b>Property Owner Contact Information</b>			
Name of Property Owner(s) Liberty Land and Livestock		Mailing Address of Property Owner(s) 1715 Canyon Circle Farmington, UT 84025	
Phone 801-414-6163	Fax		
Email Address Goldrim@gmail.com,		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
<b>Authorized Representative Contact Information</b>			
Name of Person Authorized to Represent the Property Owner(s) Dan Mabey		Mailing Address of Authorized Person 1715 Canyon Circle Farmington, UT 84025	
Phone 801-414-6163	Fax		
Email Address Goldrim@gmail.com		Preferred Method of Written Correspondence x <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
<b>Surveyor/Engineer Contact Information</b>			
Name or Company of Surveyor/Engineer Gardner Engineering		Mailing Address of Surveyor/Engineer 968 Chambers Street Ogden, UT 84403	
Phone 801-476-0202	Fax		
Email Address logan@gecivil.com		Preferred Method of Written Correspondence x <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
<b>Property Owner Affidavit</b>			
I (We), <u>Liberty Land and Livestock LLC</u> , depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge.			
 (Property Owner)		 (Property Owner)	
Subscribed and sworn to me this <u>20<sup>th</sup></u> day of <u>July</u> , 20 <u>21</u>			
 MICHAEL H. BROWN NOTARY PUBLIC - STATE OF UTAH COMMISSION# 713242 COMM. EXP. 08-05-2024		 (Notary)	

**Authorized Representative Affidavit**

I (We), Liberty Land and Livestock, the owner(s) of the real property described in the attached application, do authorized as my (our) representative(s), Dan Mabey, to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the County considering this application and to act in all respects as our agent in matters pertaining to the attached application.

*Dan Mabey*  
(Property Owner)

*Dan Mabey*  
(Property Owner)

Dated this 2nd day of July, 2021, personally appeared before me Michael H Brown, the signer(s) of the Representative Authorization Affidavit who duly acknowledged to me that they executed the same.

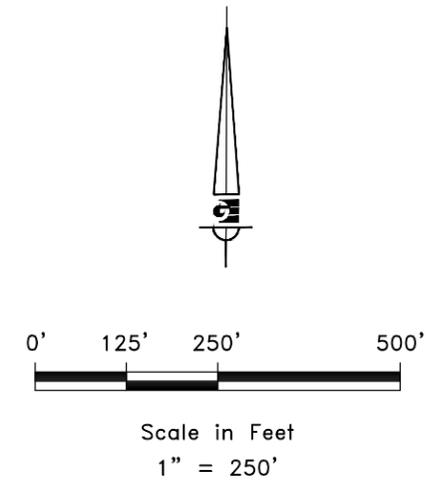


*Michael H Brown*  
(Notary)

# Exhibit B

## NOTES:

ALL UTILITIES TO BE VERIFIED BEFORE CONSTRUCTION.



## LEGEND

- SOIL # SOIL TESTING AREA
- FEMA FLOOD PLAIN
- CRS ENGINEERED 100-YR FLOOD PLANE
- CRS ENGINEERED 500-YR FLOOD PLANE
- SUBDIVISION BOUNDARY
- LOT LINE
- ADJACENT PARCEL
- SECTION LINE
- EASEMENT
- SETBACK LINE
- PROPOSED POWER
- PROPOSED WATER
- PROPOSED GAS

Date:	7-15-2021
Scale:	1" = 250'
Designed:	LZ
Drafted:	LZ
Checked:	RC
Path: R:\1343 - DAN MAYBE\SURVEY\DWG\DM - 6-7-2021.DWG	

**PRELIMINARY SUBDIVISION**  
**6 LOT SUBDIVISION**  
**3685 E 3300 N**  
**LIBERTY, WEBER COUNTY, UTAH**

**GARDNER ENGINEERING**

CIVIL - LAND PLANNING  
MUNICIPAL - LAND SURVEYING

## Exhibit C – Culinary Water Service Agreement

Nordic Mountain Water Inc.

Mr. Dan Maybe  
1715 Canyon Circle,  
Farmington, Utah 84025  
Asgard Subdivision-6 Single Family Home Sites, Liberty, Utah

Ref: Reservation of Service Agreement

July 2, 2021

Nordic Mountain Water Inc. (NMWI) agrees to provide culinary water service to the Asgard Subdivision, a subdivision containing 6 Single Family Home Sites hereafter referred to as lots, under the following Terms and Conditions:

1. A 10% non-refundable deposit is required on the total number of metered connections rounded to the next whole lot multiplied by the Infrastructure Fee currently in effect.
  - a. Reservation of Service remains valid for one year from date this service agreement is signed by legal representatives of both parties and the full deposit has been made as outlined in this document.
  - b. Outstanding balance is due within one year from date this document is signed or when project is completed – whichever date is earliest.
    - i. Each lot will be assessed our normal monthly fee at time subdivision is completed.
    - ii. Each lot will be assessed a one-time membership fee as required at time subdivision is completed.
2. Options after one year if subdivision is not completed:
  - a. Pay Outstanding balance – each lot will be assessed our normal monthly fee and one-time membership fee.
  - b. Service Agreement is nullified, deposit is forfeited.
  - c. Renew this Reservation of Service Agreement for an additional year at the discretion of NMWI as outlined in paragraph 1 above and at fee rates in effect at time of renewal.
3. Details
  - a. Our current fee rates are:
    - i. Current Infrastructure fee: \$8,600/lot.
    - ii. Current One-time membership fee: \$300/lot.
    - iii. Current Monthly fee for water: \$75/lot for up to 20,000 gal. Cost increases per 1000 gals above the monthly allotment of 20,000 gal.
  - b. 6 lots at one (1) residential ¾" Connection per lot.
  - c. Total Infrastructure fee is 6 lots X \$8,600/lot = \$51,600.
  - d. Non-refundable deposit due at signing of this document is \$8,600 based on 6 lots X 10% rounded to whole lot multiplied by infrastructure fee/lot.
  - e. Deposit(s) are credited towards the original balance identified in 3c.
  - f. Final payment of original balance (3c) less deposit(s) is due not later than one year from date this agreement is signed or upon completion of subdivision – whichever date is earliest.
  - g. Monthly water fee charge per lot at completion:
    - i. Each lot will be assessed a monthly fee and water allocation in effect at date of completion (3a.iii).
    - ii. Each lot will be assessed a one-time membership fee, at the current rate in effect at date of completion as required by NMWI for water service (3a.ii)

4. General Restrictions:

- a. No Home Owner's Association (HOA) organized by Asgard Subdivision or its residents can include any culinary water provided by NMWI.
- b. No extensions to the water system developed for the Asgard Subdivision that includes water provided by NMWI will be allowed beyond the initial 6 lots.
- c. Asgard Subdivision cannot resale, manage, restrict, or charge any additional fees for water provided by NMWI under any circumstance.
- d. All water provided by NMWI shall be used for culinary purposes only. Minimal residential landscape watering will be allowed up to 5000 sq. feet until such time as secondary water may become available. Allocations are subject to change.

5. Costs to the Developer

- a. Developer pays all costs including required modifications to existing NMWI infrastructure necessary to provide NMWI water to the Asgard Subdivision as identified by NMWI or its approved agent.
- b. Necessary modifications to existing NMWI infrastructure as well as all water line extension design and associated construction is subject to the following:
  - i. Must meet all State, County, and County Fire District Specifications and Requirements
  - ii. Must meet Water System Specifications as provided by NMWI and agreed upon, by signed agreement, at a pre-construction meeting.
  - iii. All Waterline construction must be inspected and approved by NMWI or its identified Agent during all water system construction and/or modifications at the expense of the developer. Frequency of inspection will be determined during the pre-construction meeting and/or as specified in NMWI Standards and Specifications document.
  - iv. NMWI will take possession of new and modified portion of the water system at time of completion and Developer will warranty the full installation and modifications for a period of at least 1 year from completion date at discretion of NMWI.

6. NMWI uses a gravity-flow distributions system. Since an engineering study has not been completed for the proposed subdivision, NMWI will not guarantee adequate water pressure.

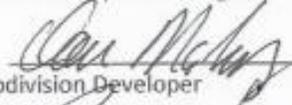
7. This agreement is subject to change contingent upon legal review by an NMWI legal representative.

If these conditions are acceptable, please submit the appropriate deposit and sign this agreement.

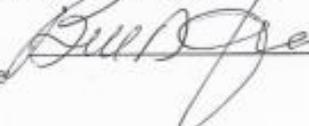
If you have any questions, please feel free to contact Bill Green at (801)791-3976 anytime or through our NMWI office. This unsigned document remains valid for 7 days from original document date.

Sincerely,

Bill D. Green  
President  
Board of Directors  
Nordic Mountain Water, Inc.

Agreement of Terms:   
Dan Mabey, Asgard Subdivision Developer

Date: 7-6-2021

Signature Date:  
NMWI Representative 

Date: 7/10/2021

BRIAN W. BENNION, M.P.A., L.E.H.S.  
Health Officer/Executive Director

June 10, 2019



Weber County Planning Commission  
2380 Washington Blvd.  
Ogden, UT 84401

RE: Wynn Storey Property  
Site Address Approximately 3460 E Nordic Valley Drive  
Parcel #22-023-0016  
Soil log #14600

The soil and percolation information for the above-referenced lot have been reviewed. Culinary water will be provided by Nordic Valley Water Company, an extension of an existing approved non-community water system. **A letter from the water supplier is required prior to issuance of a permit**

DESIGN REQUIREMENTS

Documented ground water tables not to exceed 12 inches, fall within the range of acceptability for the utilization of a Mound Treatment System as a means of wastewater disposal. Maximum trench depth is limited to 0 inches. The absorption field is to be designed using a maximum loading rate of 0.22 gal/sq. ft./day as required for the sandy loam, massive structure soil horizon.

Plans for the construction of any wastewater disposal system are to be prepared by a Utah State certified individual and submitted to this office for review prior to the issuance of a Wastewater Disposal permit.

All subdivisions plats submitted for review are to show the location of exploration pits and percolation tests as well as the documented soil horizons and percolation rates. Mylars submitted for signature without this information will be returned.

Each on-site individual wastewater disposal system must be installed in accordance with R317-4, Utah Administrative Code, Individual Wastewater Disposal Systems and Weber-Morgan District Health Department Rules. Final approval will be given only after an on-site inspection of the completed project and prior to the accomplishment of any backfilling.

Please be advised that the conditions of this letter are valid for a period of 18 months. At that time the site will be re-evaluated in relation to rules in effect at that time.

Sincerely,

Craig Jorgensen, LEHS  
Environmental Health Division  
801-399-7160

EDUCATE | ENGAGE | EMPOWER

phone: 801-399-7100 | fax: 801-399-7110 | 477 23rd Street, Ogden, UT 84401 | [www.webermorganhealth.org](http://www.webermorganhealth.org)



# Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

## Synopsis

### Application Information

<b>Application Request:</b>	Consideration and action on preliminary approval of The Point Subdivision located at approximately 3850 North Wolf Creek Drive.
<b>Agenda Date:</b>	July 27, 2021
<b>Applicant:</b>	The Point at Wolf Creek LLC John Lewis
<b>Representative:</b>	Eric Householder
<b>File Number:</b>	UVP070821

### Property Information

<b>Approximate Address:</b>	3850 North Wolf Creek Drive, Eden
<b>Project Area:</b>	Approximately 3 acres
<b>Zoning:</b>	FR-3
<b>Existing Land Use:</b>	Vacant
<b>Proposed Land Use:</b>	Residential
<b>Parcel ID:</b>	220160034
<b>Township, Range, Section:</b>	T7N, R1E, Section 22

### Adjacent Land Use

<b>North:</b>	Golf Course	<b>South:</b>	Residential
<b>East:</b>	Residential	<b>West:</b>	Golf Course

### Staff Information

<b>Report Presenter:</b>	Steve Burton <a href="mailto:sburton@co.weber.ut.us">sburton@co.weber.ut.us</a> 801-399-8766
<b>Report Reviewer:</b>	RG

## Applicable Ordinances

- Title 101, Chapter 1, General Provisions, Section 7, Definitions
- Title 104, Chapter 17, Forest Residential (FR-3) Zone
- Title 104, Zones, Chapter 28, Ogden Valley Sensitive Lands Overlay Districts
- Title 106, Subdivisions, Chapter 1-8 as applicable

## Background and Summary

On June 29, 2021 the Ogden Valley Planning Commission approved a de minimis revision to the Worldmark PRUD (CUP #32-98) site plan, which expanded the site by approximately 0.57 acres. The owner is now proposing to plat the 48 condominium units that were assigned to this site as part of the original PRUD site plan approval. The following is an analysis of the project as it relates to the Weber County Land Use Ordinances.

## Analysis

**General Plan:** This development has no additional density than what was originally granted in 1998. By platting the number of units that was originally approved, in the same general location, this proposal is not contrary to the goals and policies of the Ogden Valley General Plan.

**Zoning:** The subject property is located in the Forest Residential (FR-3) Zone. The purpose and intent of the FR-3 zone is identified in the LUC §104-17-1 as:

*The purpose in establishing the Forest Residential, FR-3 zone is to provide for medium density residential uses of apartment clusters or condo-tels adjacent to and in conjunction with major recreational resorts, recreation areas and facilities in the mountain areas of Weber County on the basis that such medium density multiple-family housing is an integral and normal part of a recreational resort complex catering to the needs of both tourists and permanent home ownership. This zone is intended to be used in mountain locations in areas associated with major recreational resorts.*

Multi-family dwellings in the FR-3 zone require 7,500 square feet of net developable area plus 2,000 square feet of net developable area for each dwelling unit in excess of 2. This PRUD site plan was approved with three buildings, each with 7,875 square feet of area and 16 units.

Culinary Water, Sanitary Sewer, and Secondary Water: The applicant has provided a will-serve letter from Wolf Creek Water and Sewer Improvement District for culinary water, secondary water, and sanitary sewer services. The applicant will be required to provide a capacity assessment letter before final subdivision approval can be given by the Planning Commission.

Parking: 82 on-site parking spaces were approved as part of the amended PRUD.

Sensitive Lands: The property is located within a geologic hazards area. The applicant has submitted a geotechnical engineering and geologic study that was prepared by Western Geologic and Environmental LLC. The development of the site must follow the recommendations that are listed in the report.

Review Agencies: The Weber County Engineering Division, the Weber County Surveyor's Office and Weber Fire District have not yet reviewed the subdivision plat. Engineering and Fire approved of the site plan as part of the conditional use review in June of 2021. Prior to the subdivision being considered for final approval, all review agencies comments will need to be addressed.

Public Notice: The required noticing for the preliminary subdivision plat approval has been mailed to all property owners of record within 500 feet of the subject property regarding the proposed subdivision per noticing requirements outlined in LUC §106-1.

## Staff Recommendation

Staff recommends preliminary approval of The Point Subdivision consisting of 48 condominium units. This recommendation for approval is subject to all applicable review agency requirements.

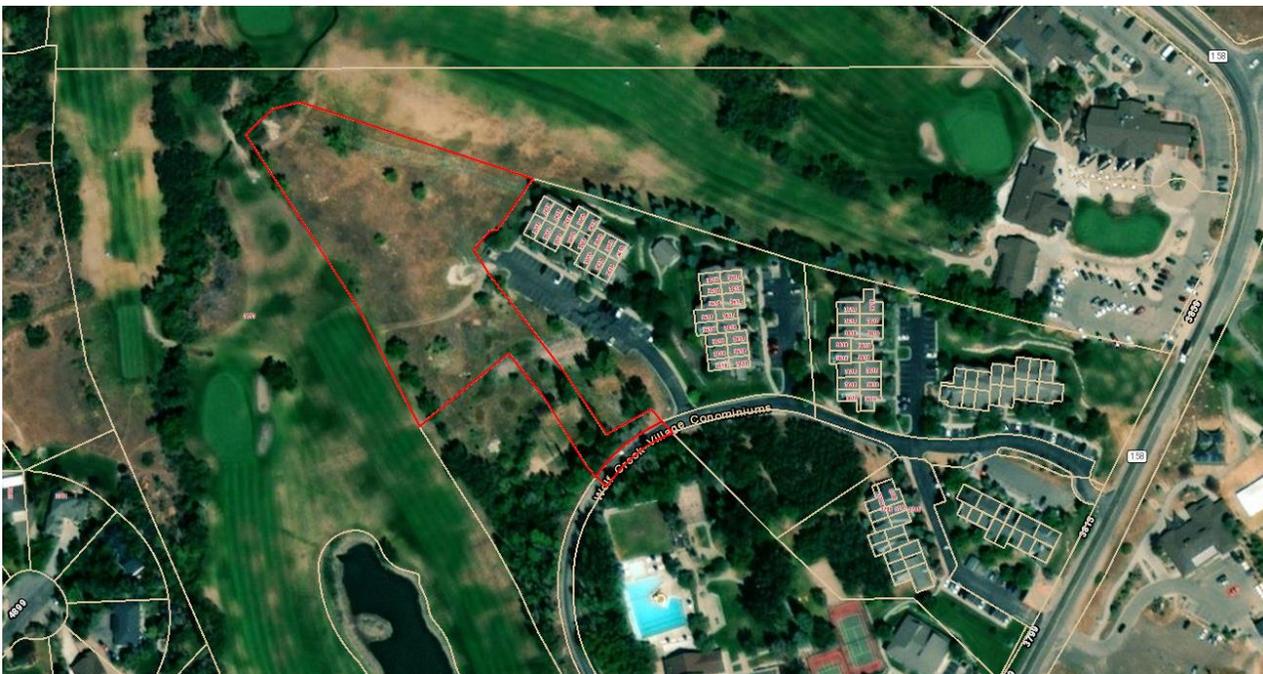
This recommendation is based on the following findings:

1. The proposed subdivision amendment conforms to the Ogden Valley General Plan.
2. The proposed subdivision amendment complies with all previous approvals and the applicable County ordinances.

## Exhibits

- A. Preliminary Plat

## Location Map 1



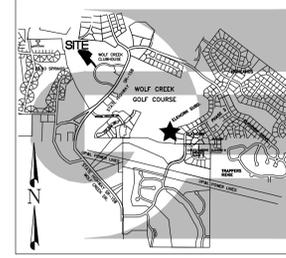
# THE POINTE AT WOLF CREEK

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 22,  
TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,  
WEBER COUNTY, UTAH  
JUNE 2021

Exhibit A

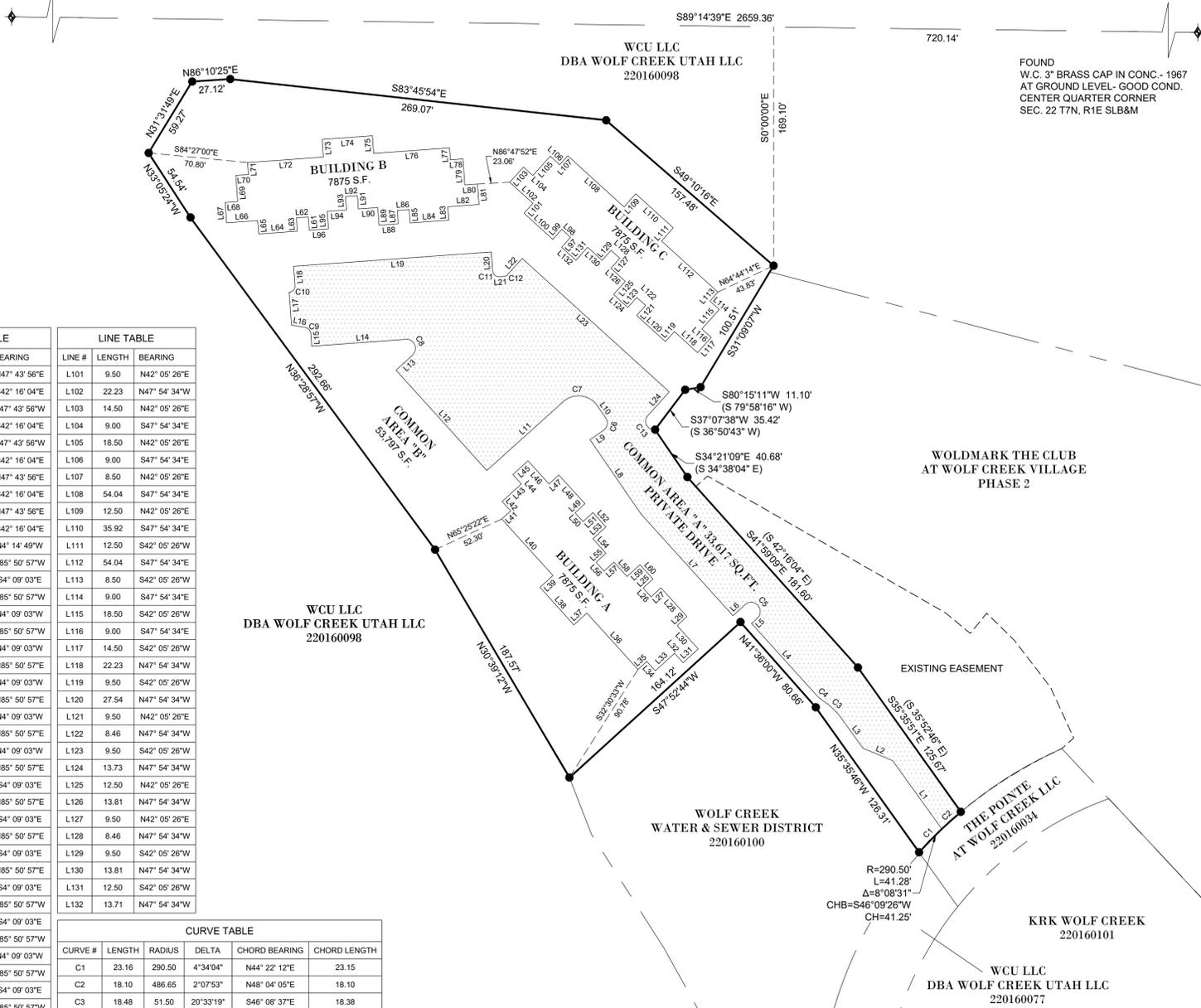
FOUND  
W.C. 3" BRASS CAP IN PVC - 1981  
AT GROUND LEVEL - GOOD COND.  
WEST QUARTER CORNER  
SEC. 22 T7N, R1E SLB&M

VICINITY MAP  
NOT TO SCALE

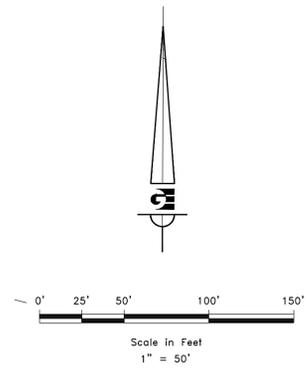


BOUNDARY DESCRIPTION

A PART OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 7 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT A POINT BEING LOCATED NORTH 89°14'39" WEST 720.14 FEET ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION AND SOUTH 00°00'00" EAST 169.10 FEET FROM THE EAST QUARTER CORNER OF SAID SECTION; RUNNING THENCE ALONG THE BOUNDARY OF WORLDMARK, THE CLUB AT WOLF CREEK VILLAGE PHASE 2 AND ITS EXTENSION THE FOLLOWING SIX (6) COURSES: (1) SOUTH 31°09'07" WEST 100.51 FEET; (2) SOUTH 80°15'11" WEST 11.10 FEET; (3) SOUTH 37°07'38" WEST 35.42 FEET; (4) SOUTH 34°21'09" EAST 40.68 FEET; (5) SOUTH 41°59'09" EAST 181.60 FEET; (6) SOUTH 35°35'51" EAST 125.67 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 41.28 FEET, HAVING A RADIUS OF 290.50 FEET, A CENTRAL ANGLE OF 08°08'31", AND WHICH CHORD BEARS SOUTH 46°09'28" WEST 41.25 FEET; THENCE NORTH 35°35'46" WEST 126.31 FEET; THENCE NORTH 41°36'00" WEST 80.66 FEET; THENCE SOUTH 47°52'44" WEST 164.12 FEET; THENCE NORTH 30°39'12" WEST 187.57 FEET; THENCE NORTH 36°28'57" WEST 292.66 FEET; THENCE NORTH 33°05'24" WEST 54.54 FEET; THENCE NORTH 31°31'49" EAST 59.27 FEET; THENCE NORTH 86°10'25" EAST 27.12 FEET; THENCE SOUTH 83°45'54" EAST 269.07 FEET; THENCE SOUTH 49°10'16" EAST 157.48 FEET TO THE POINT OF BEGINNING. CONTAINING 126,790 SQ.FT. OR 2.91 AC, MORE OR LESS.



FOUND  
W.C. 3" BRASS CAP IN CONC. - 1967  
AT GROUND LEVEL - GOOD COND.  
CENTER QUARTER CORNER  
SEC. 22 T7N, R1E SLB&M



LINE #	LENGTH	BEARING	LINE #	LENGTH	BEARING	LINE #	LENGTH	BEARING
L1	59.80	S35° 51' 57"E	L51	9.50	N47° 43' 56"E	L101	9.50	N42° 05' 26"E
L2	22.82	S67° 35' 40"E	L52	13.73	S42° 16' 04"E	L102	22.23	N47° 54' 34"W
L3	25.52	S35° 51' 57"E	L53	12.50	S47° 43' 56"W	L103	14.50	N42° 05' 26"E
L4	68.25	S42° 16' 04"E	L54	13.81	S42° 16' 04"E	L104	9.00	S47° 54' 34"E
L5	5.43	S47° 43' 56"W	L55	9.50	S47° 43' 56"W	L105	18.50	N42° 05' 26"E
L6	11.50	N47° 43' 56"E	L56	8.46	S42° 16' 04"E	L106	9.00	S47° 54' 34"E
L7	97.24	S42° 16' 04"E	L57	9.50	N47° 43' 56"E	L107	8.50	N42° 05' 26"E
L8	63.97	S34° 38' 04"E	L58	13.81	S42° 16' 04"E	L108	54.04	S47° 54' 34"E
L9	11.50	S55° 21' 56"W	L59	12.50	N47° 43' 56"E	L109	12.50	N42° 05' 26"E
L10	10.12	S34° 38' 04"E	L60	13.71	S42° 16' 04"E	L110	35.92	S47° 54' 34"E
L11	72.78	N48° 06' 28"E	L61	9.50	N4° 14' 49"W	L111	12.50	S42° 05' 26"W
L12	96.00	S42° 16' 04"E	L62	8.46	S85° 50' 57"W	L112	54.04	S47° 54' 34"E
L13	15.75	S47° 43' 56"W	L63	9.50	S4° 09' 03"E	L113	8.50	S42° 05' 26"W
L14	67.01	N85° 50' 57"E	L64	27.54	S85° 50' 57"W	L114	9.00	S47° 54' 34"E
L15	8.68	S4° 09' 03"E	L65	9.50	N4° 09' 03"W	L115	18.50	S42° 05' 26"W
L16	9.80	S79° 37' 42"E	L66	22.23	S85° 50' 57"W	L116	9.00	S47° 54' 34"E
L17	23.34	S4° 09' 03"E	L67	14.50	N4° 09' 03"W	L117	14.50	S42° 05' 26"W
L18	13.50	S4° 09' 03"E	L68	9.00	N85° 50' 57"E	L118	22.23	N47° 54' 34"W
L19	141.00	S85° 50' 57"W	L69	18.50	N4° 09' 03"W	L119	9.50	S42° 05' 26"W
L20	13.50	N4° 09' 03"W	L70	9.00	N85° 50' 57"E	L120	27.54	N47° 54' 34"W
L21	2.93	S85° 50' 57"W	L71	8.50	N4° 09' 03"W	L121	9.50	N42° 05' 26"E
L22	15.30	S42° 05' 26"W	L72	54.04	N85° 50' 57"E	L122	8.46	N47° 54' 34"W
L23	141.00	N47° 54' 34"W	L73	12.50	N4° 09' 03"W	L123	9.50	S42° 05' 26"W
L24	22.65	N42° 05' 26"E	L74	35.92	N85° 50' 57"E	L124	13.73	N47° 54' 34"W
L25	9.50	S47° 38' 10"W	L75	12.50	S4° 09' 03"E	L125	12.50	N42° 05' 26"E
L26	8.46	S42° 16' 04"E	L76	54.04	N85° 50' 57"E	L126	13.81	N47° 54' 34"W
L27	9.50	N47° 43' 56"E	L77	8.50	S4° 09' 03"E	L127	9.50	N42° 05' 26"E
L28	27.54	S42° 16' 04"E	L78	9.00	N85° 50' 57"E	L128	8.46	N47° 54' 34"W
L29	9.50	S47° 43' 56"W	L79	18.50	S4° 09' 03"E	L129	9.50	S42° 05' 26"W
L30	22.23	S42° 16' 04"E	L80	9.00	N85° 50' 57"E	L130	13.81	N47° 54' 34"W
L31	14.50	S47° 43' 56"W	L81	14.50	S4° 09' 03"E	L131	12.50	S42° 05' 26"W
L32	9.00	N42° 16' 04"W	L82	22.23	S85° 50' 57"W	L132	13.71	N47° 54' 34"W
L33	18.50	S47° 43' 56"W	L83	9.50	S4° 09' 03"E			
L34	9.00	N42° 16' 04"W	L84	27.54	S85° 50' 57"W			
L35	8.50	S47° 43' 56"W	L85	9.50	N4° 09' 03"W			
L36	54.04	N42° 16' 04"W	L86	8.46	S85° 50' 57"W			
L37	12.50	S47° 43' 56"W	L87	9.50	S4° 09' 03"E			
L38	35.92	N42° 16' 04"W	L88	13.73	S85° 50' 57"W			
L39	12.50	N47° 43' 56"E	L89	12.50	N4° 09' 03"W			
L40	54.04	N42° 16' 04"W	L90	13.81	S85° 50' 57"W			
L41	8.50	N47° 43' 56"E	L91	9.50	N4° 09' 03"W			
L42	9.00	N42° 16' 04"W	L92	8.46	S85° 50' 57"W			
L43	18.50	N47° 43' 56"E	L93	9.50	S4° 09' 03"E			
L44	9.00	N42° 16' 04"W	L94	13.81	S85° 50' 57"W			
L45	14.50	N47° 43' 56"E	L95	12.50	S4° 09' 03"E			
L46	22.23	S42° 16' 04"E	L96	13.71	S85° 50' 57"W			
L47	9.50	N47° 43' 56"E	L97	9.50	N41° 59' 40"E			
L48	27.54	S42° 16' 04"E	L98	8.46	N47° 54' 34"W			
L49	9.50	S47° 43' 56"W	L99	9.50	S42° 05' 26"W			
L50	8.46	S42° 16' 04"E	L100	27.54	N47° 54' 34"W			

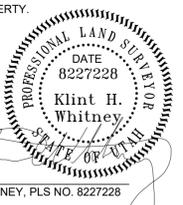
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	23.16	290.50	4°34'04"	N44° 22' 12"E	23.15
C2	18.10	486.65	2°07'53"	N48° 04' 05"E	18.10
C3	18.48	51.50	20°33'19"	S46° 08' 37"E	18.38
C4	6.79	27.50	14°09'12"	S49° 20' 41"E	6.78
C5	20.42	6.50	180°00'00"	S42° 16' 04"E	13.00
C6	10.21	6.50	90°00'00"	S10° 21' 56"W	9.19
C7	28.01	16.50	97°15'28"	S83° 15' 48"E	24.76
C8	16.10	6.50	141°52'59"	S23° 12' 33"E	12.29
C9	6.59	5.00	75°28'39"	S41° 53' 22"E	6.12
C10	7.07	4.50	90°00'00"	S40° 50' 57"W	6.36
C11	7.07	4.50	90°00'00"	N49° 09' 03"W	6.36
C12	3.44	4.50	43°45'31"	S63° 58' 12"W	3.35
C13	14.50	6.00	138°29'23"	N27° 09' 16"W	11.22

- LEGEND**
- ◆ WEBER COUNTY MONUMENT AS NOTED
  - SET 24" REBAR AND CAP MARKED GARDNER ENGINEERING
  - FOUND REBAR AND CAP MARKED GARDNER ENGINEERING
  - SUBDIVISION BOUNDARY
  - - - ADJACENT PARCEL
  - - - SECTION LINE
  - - - STREET CENTERLINE
  - ▭ PRIVATE OWNERSHIP
  - ▨ LIMITED COMMON AREA
  - ▩ COMMON AREA
  - ▧ PRIVATE DRIVE

**SURVEYOR'S CERTIFICATE**

I, KLINT H. WHITNEY, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD CERTIFICATE NO. 8227228 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY AS SHOWN AND DESCRIBED ON THIS PLAT, AND HAVE SUBDIVIDED SAID PROPERTY INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS THE POINTE AT WOLF CREEK IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS; THAT THE REFERENCE MONUMENTS SHOWN HEREON ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS SURVEY; THAT ALL LOTS MEET THE REQUIREMENTS OF THE LAND USE CODE; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.



KLINT H. WHITNEY, PLS NO. 8227228

**OWNER'S DEDICATION**

THE POINT AT WOLF CREEK, LLC, (THE POINTE) AS OWNER OF THE TRACT OF LAND DESCRIBED HEREON, AND AS DECLARANT OF THAT CERTAIN PROJECT KNOWN AS THE POINTE AT WOLF CREEK, HEREBY DEDICATES AND RESERVES UNTO ITSELF, INCLUDING ITS GRANTEEES, SUCCESSORS AND ASSIGNS, A RIGHT-OF-WAY TO BE USED IN COMMON WITH ALL OTHERS WITHIN SAID PROJECT (AND THOSE ADJOINING PROJECTS OR SUBDIVISIONS THAT MAY BE SUBDIVIDED BY SAID OWNER/DECLARANT, ITS SUCCESSORS OR ASSIGNS) ON, OVER AND ACROSS ALL THOSE PORTIONS OR PARTS OF SAID TRACT OF LAND DESIGNATED ON SAID PLAT AS PRIVATE STREETS AS ACCESS TO THE INDIVIDUAL LOTS/UNIT, TO BE MAINTAINED BY THE POINT AT WOLF CREEK OWNERS ASSOCIATION, WHICH SHALL BE GOVERNED IN ACCORDANCE WITH THE UTAH COMMUNITY ASSOCIATION ACT AND WHOSE MEMBERSHIP SHALL CONSIST OF THE OWNERS OF SAID LOTS/UNITS, THEIR GRANTEEES, SUCCESSORS, OR ASSIGNS. THE POINTE ALSO GRANTS AND CONVEYS TO THE POINTE AT WOLF CREEK OWNERS ASSOCIATION ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS COMMON AREAS TO BE USED FOR RECREATIONAL AND OPEN SPACE PURPOSES FOR THE BENEFIT OF EACH THE POINTE OWNERS ASSOCIATION MEMBER IN COMMON WITH ALL OTHERS IN THE PROJECT.

THE POINTE AT WOLF CREEK, LLC, GRANTS AND DEDICATES TO WEBER COUNTY A PERPETUAL EASEMENT ON AND OVER THE COMMON AREAS TO GUARANTEE TO WEBER COUNTY THAT THE COMMON AREAS REMAIN OPEN AND UNDEVELOPED EXCEPT FOR APPROVED RECREATIONAL, PARKING AND OPEN SPACE PURPOSES. THE POINTE ALSO GRANTS AND DEDICATES TO WEBER COUNTY A PERPETUAL EASEMENT FOR PROVIDING AND MAINTAINING CONSTRUCTION CUT AND/OR FILL SLOPES, LATERAL SUPPORT AND/OR PROPER DRAINAGE ADJACENT TO THE PUBLIC RIGHT-OF-WAY LOCATED WITHIN THE PROJECT.

- A. PRIVATE OWNERSHIP WILL BE DEFINED AS ANYTHING WITHIN THE FOOTPRINT OF THE INDIVIDUAL LOTS/UNITS AS SHOWN ON SHEET 3.
- B. LIMITED COMMON AREA TO BE EXCLUDED FROM PUBLIC UTILITY EASEMENT DEDICATION.

THE POINTE AT WOLF CREEK, LLC

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021

JOHN L. LEWIS, MANAGING MEMBER

**ACKNOWLEDGEMENT**

STATE OF UTAH )  
COUNTY OF WEBER )

On this \_\_\_\_\_ day of \_\_\_\_\_, 2021, personally appeared before me JOHN L. LEWIS, whose identity is personally known to me (or proven on the basis of satisfactory evidence) and who by me duly sworn/affirmed, did say that he/she is the MANAGING MEMBER OF THE POINTE AT WOLF CREEK, LLC, and that said document was signed by him/her in behalf of said Corporation by Authority of its Bylaws, or (Resolution of its Board of Directors), and said JOHN L. LEWIS acknowledged to me that said Corporation executed the same.

PRINTED NAME \_\_\_\_\_ SIGNATURE \_\_\_\_\_ COUNTY AND STATE \_\_\_\_\_  
COMMISSION NUMBER \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

**NOTES**

- 1. ZONE: FOREST RESIDENTIAL

**NARRATIVE**

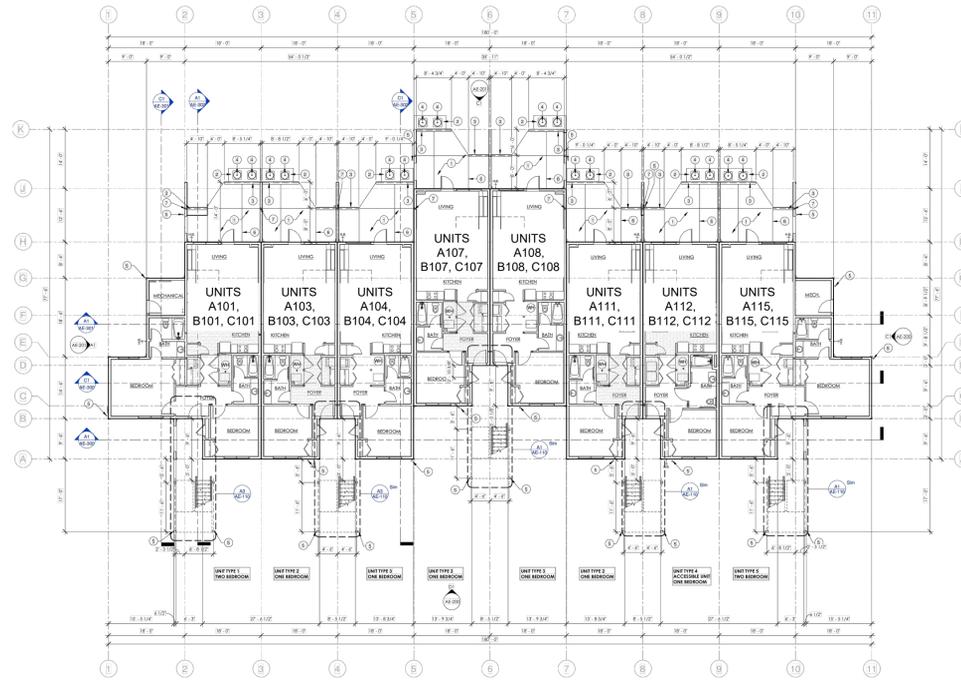
THE PURPOSE OF THIS SURVEY WAS TO CREATE UNITS ON THE PROPERTY AS SHOWN AND DESCRIBED HEREON. THE SURVEY WAS ORDERED BY JOHN LEWIS. THE CONTROL USED TO ESTABLISH THE BOUNDARY WAS THE EXISTING WEBER COUNTY SURVEY MONUMENTATION AS SHOWN AND NOTED HEREON THE BASIS OF BEARING IS THE NORTH LINE OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 7 NORTH, RANGE 1 EAST, OF THE SALT LAKE BASE AND MERIDIAN WHICH BEARS NORTH 89°14'39" WEST WEBER COUNTY, UTAH NORTH, NAD 83 STATE PLANE GRID BEARING.

<p><b>WEBER COUNTY SURVEYOR</b></p> <p>I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT AND ALL CONDITIONS FOR APPROVAL BY THIS OFFICE HAVE BEEN SATISFIED. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.</p> <p>SIGNED THIS _____ DAY OF _____, 2021.</p> <p>_____ COUNTY SURVEYOR</p>	<p><b>WEBER COUNTY ATTORNEY</b></p> <p>I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND EFFECT.</p> <p>SIGNED THIS _____ DAY OF _____, 2021.</p> <p>_____ COUNTY ATTORNEY</p>	<p><b>WEBER COUNTY ENGINEER</b></p> <p>I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.</p> <p>SIGNED THIS _____ DAY OF _____, 2021.</p> <p>_____ COUNTY ENGINEER</p>	<p><b>WEBER COUNTY COMMISSION ACCEPTANCE</b></p> <p>THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH.</p> <p>SIGNED THIS _____ DAY OF _____, 2021.</p> <p>_____ CHAIRMAN, WEBER COUNTY COMMISSION</p>	<p><b>WEBER COUNTY PLANNING COMMISSION APPROVAL</b></p> <p>THIS IS TO CERTIFY THAT THIS SUBDIVISION WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION.</p> <p>SIGNED THIS _____ DAY OF _____, 2021.</p> <p>_____ CHAIRMAN, WEBER COUNTY PLANNING COMMISSION</p>	<p><b>WEBER - MORGAN HEALTH DEPARTMENT</b></p> <p>I DO HEREBY CERTIFY THAT THE SOILS, PERCOLATION RATES, AND SITE CONDITION FOR THIS SUBDIVISION HAVE BEEN INVESTIGATED BY THIS OFFICE AND ARE APPROVED FOR ON-SITE WASTEWATER DISPOSAL SYSTEMS.</p> <p>SIGNED THIS _____ DAY OF _____, 2021.</p> <p>_____ DIRECTOR WEBER-MORGAN HEALTH DEPT.</p>
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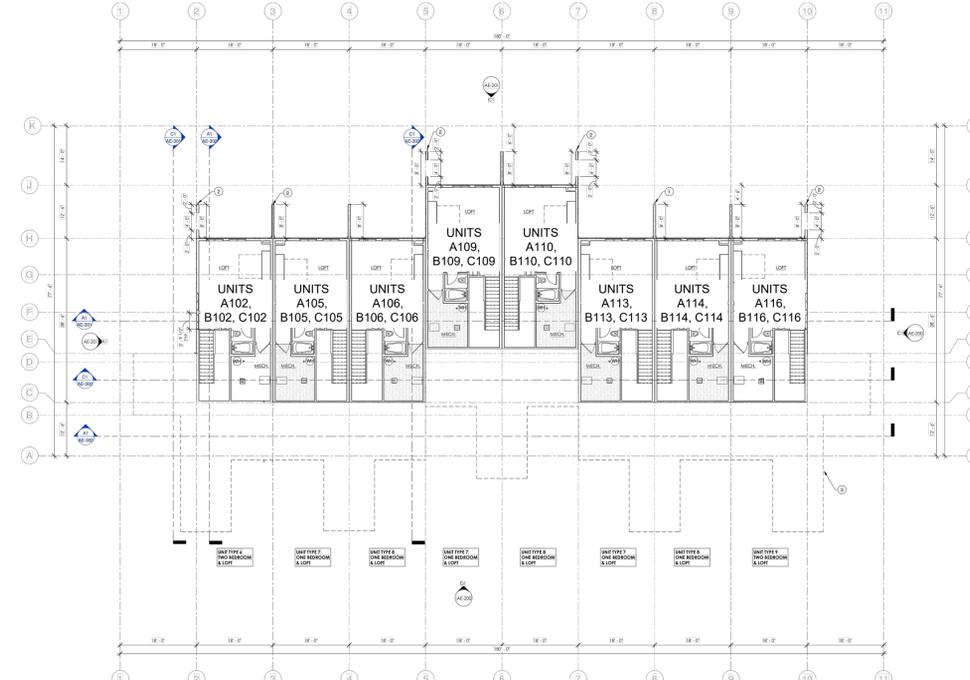
<p>DEVELOPER: THE POINT AT WOLF CREEK, LLC JOHN L. LEWIS 3718 NORTH WOLF CREEK DRIVE EDEN, UTAH 84310 801-430-1507</p>	<p>S1 3</p>	<p><b>COUNTY RECORDER</b></p> <p>ENTRY NO. _____ FEE PAID _____</p> <p>FILED FOR AND RECORDED _____</p> <p>AT _____ IN BOOK _____ OF OFFICIAL _____</p> <p>RECORDS, PAGE _____ RECORDED _____</p> <p>FOR _____</p> <p>COUNTY RECORDER _____</p> <p>BY: _____</p>
<p><b>GARDNER ENGINEERING</b></p> <p>CIVIL • LAND PLANNING MUNICIPAL • LAND SURVEYING</p> <p>5150 SOUTH 875 EAST EDEN, UT OFFICE: 801.476.0202 FAX: 801.476.0066</p>		

R:\1201 - LEWIS HOMES\1201 - THE POINTE\SURVEY\DWG\THE POINT - SUB PLAT.DWG

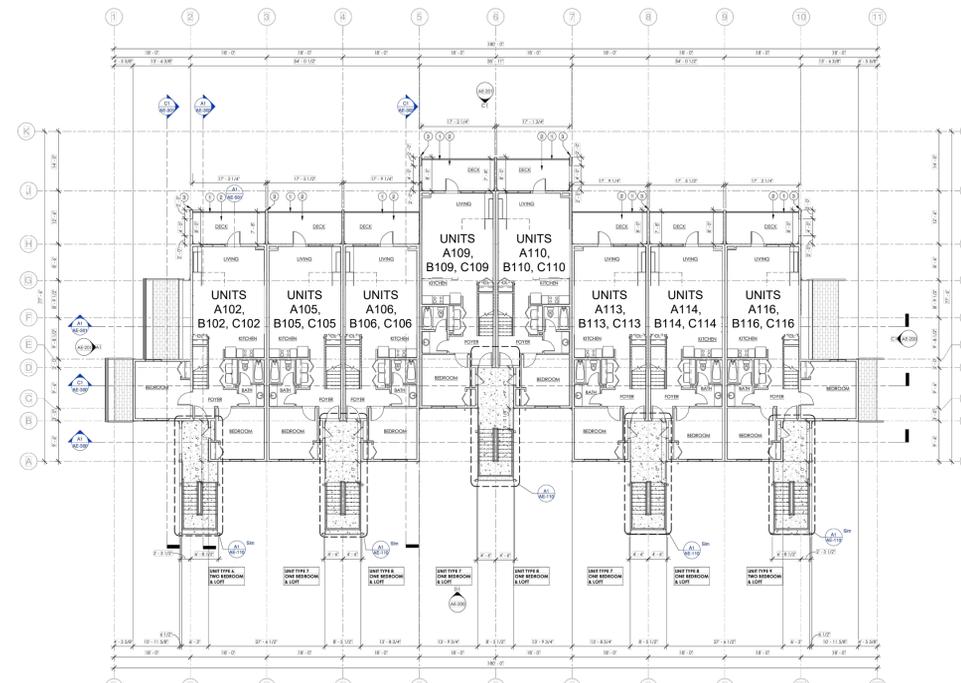
THE POINTE AT WOLF CREEK  
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 22,  
TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,  
WEBER COUNTY, UTAH  
JUNE 2021



MAIN LEVEL FLOOR PLAN



LOFT FLOOR PLAN



UPPER LEVEL FLOOR PLAN

R:\1201 - LEWIS HOMES\1802-THE POINTS\SURVEY\DWG\THE POINT - SUB PLAT.DWG

DEVELOPER:  
THE POINT AT WOLF CREEK, LLC  
JOHN L. LEWIS  
3718 NORTH WOLF CREEK DRIVE  
EDEN, UTAH 84310  
801-430-1507

S2  
3

COUNTY RECORDER

ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_

FILED FOR AND RECORDED \_\_\_\_\_

AT \_\_\_\_\_ IN BOOK \_\_\_\_\_ OF OFFICIAL

RECORDS, PAGE \_\_\_\_\_ RECORDED

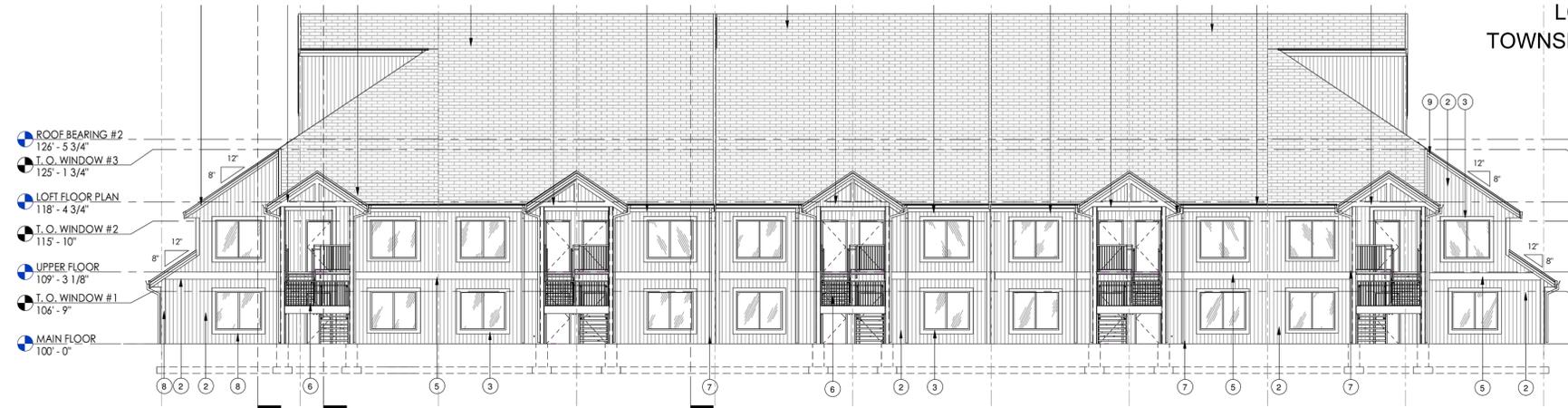
FOR \_\_\_\_\_

COUNTY RECORDER

BY: \_\_\_\_\_



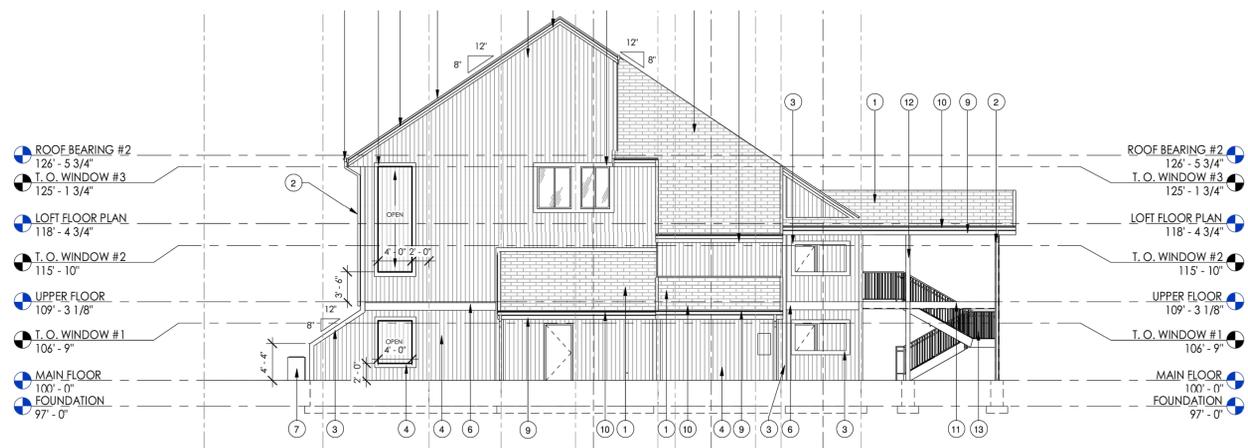
**THE POINTE AT WOLF CREEK**  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 22,  
 TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,  
 WEBER COUNTY, UTAH  
 JUNE 2021



D1 FRONT ELEVATION  
 1/8" = 1'-0"



C1 BACK ELEVATION  
 1/8" = 1'-0"



A1 LEFT ELEVATION  
 1/8" = 1'-0"



C1 RIGHT ELEVATION  
 1/8" = 1'-0"

ELEVATIONS  
 MAIN FLOOR BUILDING A = 5236.0'  
 MAIN FLOOR BUILDING B = 5237.6'  
 MAIN FLOOR BUILDING C = 5241.0'

DEVELOPER:  
 THE POINTE AT WOLF CREEK, LLC  
 JOHN L. LEWIS  
 3718 NORTH WOLF CREEK DRIVE  
 EDEN, UTAH 84310  
 801-430-1507

S3  
 3

COUNTY RECORDER  
 ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_  
 FILED FOR AND RECORDED \_\_\_\_\_  
 AT \_\_\_\_\_ IN BOOK \_\_\_\_\_ OF OFFICIAL \_\_\_\_\_  
 RECORDS, PAGE \_\_\_\_\_ RECORDED \_\_\_\_\_  
 FOR \_\_\_\_\_  
 COUNTY RECORDER \_\_\_\_\_  
 BY: \_\_\_\_\_

**GARDNER ENGINEERING**  
 CIVIL • LAND PLANNING  
 MUNICIPAL • LAND SURVEYING  
 5150 SOUTH 375 EAST OGDEN, UT  
 OFFICE: 801-476-0202 FAX: 801-476-0066



# Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

## Synopsis

### Application Information

<b>Application Request:</b>	Consideration and/or action on a conditional use permit for short-term rental use at 4782 E 3925 N, Eden, UT 84310.
<b>Agenda Date:</b>	Tuesday, July 27, 2021
<b>Applicant:</b>	Wendy Wythe, Owner
<b>File Number:</b>	CUP2021-10

### Property Information

<b>Approximate Address:</b>	4782 E 3925 N, Eden, UT 84310
<b>Project Area:</b>	0.08 acres
<b>Zoning:</b>	Forest Residential-3 Zone (FR-3)
<b>Existing Land Use:</b>	Residential
<b>Proposed Land Use:</b>	Residential/Short Term Rental
<b>Parcel ID:</b>	22-254-0001
<b>Township, Range, Section:</b>	T7N, R1E, Section 22 SW

### Adjacent Land Use

<b>North:</b>	Residential	<b>South:</b>	Residential
<b>East:</b>	Residential	<b>West:</b>	Residential

### Staff Information

<b>Report Presenter:</b>	<b>Felix Lleverino</b> flleverino@co.weber.ut.us 801-399-8767
<b>Report Reviewer:</b>	SB

## Applicable Ordinances

- Weber County Land Use Code Title 101 Chapter 1 General Provisions, Section 7 Definitions
- Weber County Land Use Code Title 104 Chapter 17 (FR-3 Zone)
- Weber County Land Use Code Title 108 Chapter 4 (Conditional Uses)
- Weber County Land Use Code Title 108 Chapter 7, section 25 (Nightly Rentals)

## Summary and Background

The applicant is requesting approval of a conditional use permit for short-term use in a residential dwelling located in the FR-3 zone at 4782 E 3925 N, Eden. The proposed use will occur within an existing dwelling. As such, there is no design review required.

The applicant has submitted a project narrative (See **Exhibit A**) detailing their intended use of the property as their primary residence and short-term rent the property while they are away. This narrative also addresses how they intend to accommodate noise, security, parking, and garage use. The applicant has also submitted a parking exhibit (See **Exhibit C**) to help visualize the overall parking plan for The Fairway Oaks at Wolf Creek community.

This application is being processed for an administrative review through the Ogden Valley Planning Commission as directed by the approval procedures outlined in LUC §108-4-3. This section of code indicates that a review of a conditional use permit application is intended to verify compliance with applicable ordinances and provide appropriate and reasonable mitigation of anticipated detrimental effects.

## Analysis

**General Plan:** As a conditional use, this use is allowed in the FR-3 Zone. With the establishment of appropriate conditions as determined by the Planning Commission, this operation will not negatively impact any of the goals and policies of the General Plan.

Zoning: The subject property is located within the Forest Residential (FR-3) Zone. The purpose of the FR-3 Zone can be further described in LUC §104-17-1 as follows:

*“The purpose in establishing the Forest Residential, FR-3 zone is to provide for medium density residential uses of apartment clusters or condo-tels adjacent to and in conjunction with major recreational resorts, recreation areas and facilities in the mountain areas of Weber County on the basis that such medium density multiple-family housing is an integral and normal part of a recreational resort complex **catering to the needs of both tourists and permanent homeownership**. This zone is intended to be used in mountain locations in areas associated with major recreational resorts.”*

The FR-3 Zone allows for a “nightly rental” as a conditional use. For comparison purposes, the FR-3 Zone also allows similar conditional uses such as condo-tels, group dwellings, lockout sleeping rooms, multi-family dwellings, timeshare buildings, and recreational lodges.

Conditional Use Review: A review process and use standards have been outlined in LUC §108-4 to ensure compliance with the applicable ordinances and to mitigate anticipated detrimental effects. The conditional use standards are as follows:

- 1) Standards relating to safety for persons and property
- 2) Standards relating to infrastructure, amenities, and services
- 3) Standards relating to the environment
- 4) Standards relating to the current qualities and characteristics of the surrounding area and compliance with the intent of the general plan
- 5) Standards relating to performance (bonds, agreements)
- 6) Standards generally (economy, other applicable LUC standards)
- 7) Voluntary contributions providing satisfactory compliance with applicable standards

Nightly Rental Ordinance: Under the current land-use code, §108-7-25 titled ‘Nightly Rentals’, states the following:

*The rental of a sleeping room, apartment, dwelling unit, or dwelling for a time period of less than 30 days is considered a nightly rental. Nightly rentals are allowed only when listed as either a permitted or conditional use in a specific zone or when approved as part of a planned residential unit development (PRUD).*

## Agency Reviews

To date, the Weber Fire District has offered the following review of the request:

David Reed, Fire Marshal (5/31/2021): *There is a ten-person limit in non-sprinklered dwelling units. Please provide a fire extinguisher left in plain sight, CO and smoke detectors are required.*

## Staff Analysis

The staff offers the following analysis following review of the application against the conditional use standards:

- 1) Standards relating to safety for persons and property
  - Apart from the Fire Marshal’s review and conditions, the operation of a short-term rental is not anticipated to cause safety hazards to persons or property.
- 2) Standards relating to infrastructure, amenities, and services
  - The parking infrastructure for visitors includes two parking spaces in the garage and one parking space in the guest parking areas throughout the development. The guest parking areas highlighted with red clouds in Exhibit C serve as guest parking spots. The parking requirements are enforced by the members of a fully operational HOA. It is Staff’s opinion that parking should be limited to two spaces within the garage. A condition related to staff’s opinion is within the staff recommendation.
- 3) Standards relating to the environment
  - Staff does not anticipate any detrimental effects on the natural features of the site or surrounding areas.
- 4) Standards relating to the current qualities and characteristics of the surrounding area and compliance with the intent of the general plan
  - The current FR-3 zoning anticipates short-term rental use and the area has been developed for resort and lodging purposes. As such, staff does not anticipate the proposed use to be detrimental to the characteristics of the area. The zoning is consistent with the General Plan.
- 5) Standards relating to performance (bonds, agreements)

- There is an existing dwelling, with a sufficient parking area. No performance bonds or agreements are necessary for the proposed use.
- 6) Standards generally (economy, other applicable LUC standards)
- The proposed use is not anticipated to have detrimental effects on the local economy.
  - Before issuance of a conditional use permit, the applicant will need to apply for, and be issued with, a business license.
- 7) Voluntary contributions providing satisfactory compliance with applicable standards.
- There are no voluntary contributions that are offered with this request.

## Staff Recommendation

Based on the staff analysis above and the findings listed below, staff recommends approval of this conditional use application. This recommendation is subject to the applicant meeting the conditions of approval listed below and any other conditions required by reviewing agencies and the Planning Commission:

1. There is a ten-person limit in non-sprinklered dwelling units. Please provide a fire extinguisher left in plain sight, CO and smoke detectors are required.
2. A business license shall be obtained before the issuance of this conditional use permit.
3. The dwelling's attached garage shall be made available to the guests. Visitor parking is limited to two spaces within the garage.

The following findings are the basis for the staff's recommendation:

1. The proposed use is allowed in the FR-3 Zone and meets the appropriate site development standards.
2. The criteria for issuance of a conditional use permit have been met because mitigation of reasonably anticipated detrimental effects can be accomplished.

## Exhibits

- A. Application & Narrative
- B. Recorder's plat
- C. Parking Plan

Area Map



Unit 18, Fairway Oaks at Wolf Creek PRUD Phase 2

## Exhibit A – Application Narrative

Weber County Planning

January 8, 2021

To Whom it may concern,

My name is Wendy Wythe. I purchased my new home at 4782 E 3925 N in Eden Utah on October 26, 2020. This home is my primary residence and I am the only resident. My daughter and son in law Annalisa and Robert Reis are on title as Joint Tenants.

The purpose for this document is to clarify that I am applying for my Business License for my Design Consultation Home Business and Nightly Rental business.

I have filled out and submitted the Business License Application and the Conditional Use Permit.

My goal is to occasionally rent my whole home a family while I am out of town working or visiting my family while complying with the desires of our HOA community. There are several homes in our HOA who also provide occasional Nightly Rentals.

Thank you for your consideration in this matter,

Wendy Wythe

530-306-7000

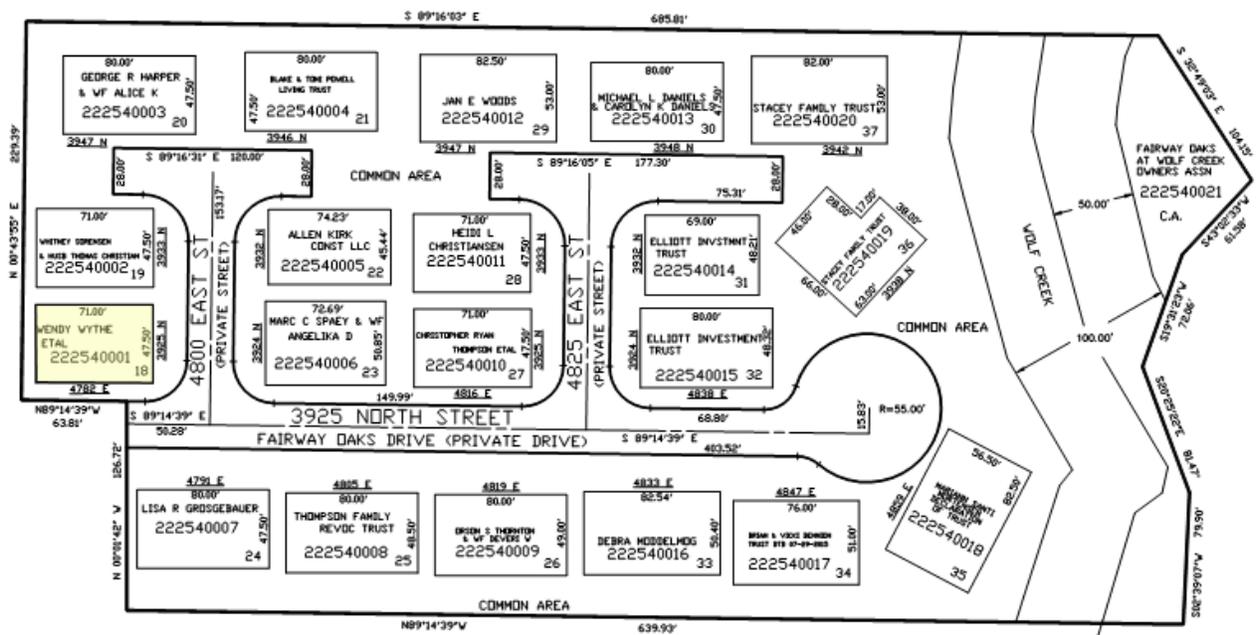
wythedesigns@gmail.com

PART OF THE NW.1/4, OF SECTION 22, T.7N., R.1E., S.L.B. & M.  
**FAIRWAY OAKS AT WOLF CREEK PRUD PH 2 AMD**

TAXING UNIT: 203

IN WEBER COUNTY  
 SCALE 1" = 50'

SEE P. 17



10' UTILITY & DRAINAGE EASEMENTS EACH SIDE OF PROPERTY LINES AS INDICATED BY DASHED LINES EXCEPT AS OTHERWISE SHOWN.

SEE P. 17

FOR COMPLETE ENG DATA SEE ORIGINAL DEDICATION PLAT IN BOOK 63, PAGE 50 OF RECORDS.

## Exhibit C – Parking Plan

1/9/2021

Gmail - Street Parking



Wendy Wythe <wythedesigns@gmail.com>

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### Street Parking

2 messages

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**Parker McQuown** <pmcquown763@gmail.com>  
Bcc: wythedesigns@gmail.com

Mon, Dec 28, 2020 at 1:25 PM

Happy Holidays,

I know many of you have had family and friends visiting as well as our rental homes are bringing extra cars to the community, if i can remind everyone from my previous email regarding parking we need to keep the roads clear from parking during winter months, please encourage parking to the overflow parking spots (see below).

If you have any specific concerns, questions or requests please let me know and thank you.

Parker



---

**Wendy Wythe** <wythedesigns@gmail.com>  
To: Parker McQuown <pmcquown763@gmail.com>

Tue, Dec 29, 2020 at 9:46 AM

Thank you, Happy Holidays!

Sent from my iPhone

> On Dec 28, 2020, at 1:25 PM, Parker McQuown <pmcquown763@gmail.com> wrote:

>

>

>

> Happy Holidays,

>

> I know many of you have had family and friends visiting as well as our rental homes are bringing extra cars to the community, if i can remind everyone from my previous email regarding parking we need to keep the roads clear from parking during winter months, please encourage parking to the overflow parking spots (see



Wolf Creek



# Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

## Synopsis

### Application Information

<b>Application Request:</b>	Consideration and/or action on a conditional use permit for short term rental use at 3571 N Creekside Way. #72, Eden, UT, 84310
<b>Agenda Date:</b>	Tuesday, July 27, 2021
<b>Applicant:</b>	Laura Benintend, Owner
<b>File Number:</b>	CUP2021-11

### Property Information

<b>Approximate Address:</b>	3571 N Creekside Way. #72, Eden, UT, 84310
<b>Project Area:</b>	0.03 acres
<b>Zoning:</b>	Forest Residential-3 Zone (FR-3)
<b>Existing Land Use:</b>	Residential
<b>Proposed Land Use:</b>	Short Term Rental
<b>Parcel ID:</b>	22-370-0010
<b>Township, Range, Section:</b>	T7N, R1E, Section 22 SW

### Adjacent Land Use

<b>North:</b>	Wolf Lodge Drive	<b>South:</b>	Residential
<b>East:</b>	Creekside Way	<b>West:</b>	Village Way

### Staff Information

<b>Report Presenter:</b>	<b>Tammy Aydelotte</b> taydelotte@co.weber.ut.us 801-399-8794
<b>Report Reviewer:</b>	SB

## Applicable Ordinances

- Weber County Land Use Code Title 101 Chapter 1 General Provisions, Section 7 Definitions
- Weber County Land Use Code Title 104 Chapter 17 (FR-3 Zone)
- Weber County Land Use Code Title 108 Chapter 4 (Conditional Uses)
- Weber County Land Use Code Title 108 Chapter 7, section 25 (Nightly Rentals)

## Summary and Background

The applicant is requesting a conditional use permit for short term rentals in a residential dwelling located in the FR-3 zone at 3571 N Creekside Way, #72, in Eden. The FR-3 Zone allows a “nightly rental” as a conditional use. The proposed use will occur within an existing dwelling. As such, there is no design review required. Parking will be made available in the existing attached garage. Additional vehicles may park in designated guest parking along Wolf Lodge Drive.

The application is being processed for an administrative review due to the approval procedures in Uniform Land Use Code of Weber County, Utah (LUC) §108-1-2 which requires the planning commission to review and approve applications for conditional use permits.

## Analysis

**General Plan:** As a conditional use, this use is allowed in the FR-3 Zone. With the establishment of appropriate conditions as determined by the Planning Commission, this operation will not negatively impact any of the goals and policies of the General Plan.

**Zoning:** The subject property is located within the Forest Valley (FR-3) Zone. The purpose of the FR-3 Zone can be further described in LUC §104-17-1 as follows:

*“The purpose in establishing the Forest Residential, FR-3 zone is to provide for medium density residential uses of apartment clusters or condo-tels adjacent to and in conjunction with major recreational resorts, recreation areas and facilities in the mountain areas of Weber County on the basis that such medium density multiple-family housing is an integral and normal part of a recreational resort complex catering to the needs of both tourists and permanent home ownership. This zone is intended to be used in mountain locations in areas associated with major recreational resorts.”*

The FR-3 Zone has specific standards identified in the LUC §104-17-5, as well as additional standards that are outlined throughout the LUC that shall be met as part of the development process. The applicable standards, for single-family dwellings, are as follows:

*Parking shall occur only in designated areas*

The current property has one parking space in the garage, with additional guest parking in designated areas along Wolf Lodge Drive, that were approved as part of the Villages at Wolf Creek Development.

Conditional Use Review: A review process has been outlined in LUC §108-4-3 to ensure compliance with the applicable ordinances and to mitigate anticipated detrimental effects. Prior to issuance of a conditional use permit, the applicant will need to apply for a business license, and approval from the applicable agencies for the proposal, will need to be obtained. A condition has been made part of the Planning Division’s recommendations to ensure that this standard is met.

Nightly Rental Ordinance: Under the current land use code, the section titled ‘Nightly Rentals’ states the following:

*The rental of a sleeping room, apartment, dwelling unit, or dwelling for a time period of less than 30 days is considered a nightly rental. Nightly rentals are allowed only when listed as either a permitted or conditional use in a specific zone or when approved as part of a planned residential unit development (PRUD).*

## **Staff Recommendation**

Staff recommends approval of this conditional use application subject to the applicant meeting the conditions of approval in this staff report and any other conditions required by the Planning Commission. This recommendation is subject to all review agencies and is based on the following conditions:

- A business license shall be obtained prior to issuance of this conditional use permit.
- Parking shall occur only in designated areas within the development; there shall be no parking along any interior streets within this development.

This recommendation is based on the following findings:

- The proposed use is allowed in the FR-3 Zone and meets the appropriate site development standards.
- The criteria for issuance of a conditional use permit have been met because mitigation of reasonably anticipated detrimental effects can be accomplished.

## **Exhibits**

- A. Application & Narrative
- B. Site Plans

# Area Map



## Benintend-Laura-Conditional Use Permits

<b>Address:</b>	3571 N Creekside Way, Eden, UT, 84310
<b>Maps:</b>	<a href="#">Google Maps</a>
<b>Project Type:</b>	Conditional Use Permits
<b>Sub Type:</b>	Conditional Use Permits
<b>Created By:</b>	<a href="#">Laura Benintend</a>
<b>Created On:</b>	6/24/2021
<b>Project Status:</b>	Accepted
<b>Status Date:</b>	7/6/2021
<b>File Number:</b>	CUP 2021-11
<b>Project Manager:</b>	<a href="#">Tammy Aydelotte</a>

[Application](#) [Documents 5](#) [Comments 1](#) [Reviews 0](#) [Followers 4](#)

### Application

[+ Add Building](#)

**Project Description** Requesting permission to use a SFR as a short term rental

**Property Address** 3571 N Creekside Way  
Eden, UT, 84310

**Property Owner** Laura Benintend  
760-585-8416  
[lfbenintend@yahoo.com](mailto:lfbenintend@yahoo.com)

**Representative** --

**Accessory Dwelling Unit** False  
**Current Zoning** RE-15  
**Subdivision Name** Villages at Wolf Creek  
**Number of Lots**  
**Lot Number** 72  
**Lot Size** .01  
**Frontage**  
**Culinary Water Authority** Wolfcreek Water Company  
**Secondary Water Provider** Not Applicable  
**Sanitary Sewer Authority** Wolfcreek Sewer Improvement District  
**Nearest Hydrant Address**  
**Signed By** Owner, Laura Benintend

#### Parcel Number

[✕ Remove](#) 223700010 - County Map

### **Short term Rental Narrative for 3571 N Creekside Way**

We are applying to use our second home for short term rentals usually between 1 and 3 weeks. The use by renters should provide no noticeable difference from our personal use. Most renters will be a single family with one vehicle. Renters will park in our garage and if there is a second vehicle, general spaces are available at the corner of our street and Creekview Dr. Renters generally check in at 12 and check out at 3 but can access the property any time as would an owner. Renters will be provided the applicable HOA rules and regulations and must follow them. The HOA and zoning both allow short term rentals with a conditional use permit. The use by renters should provide no difference to the neighbors and surrounding area versus when we, the owners are using the property for our own personal use.

The subdivision was recently built and these are townhomes so the lighting has been reviewed and approved by the county as part of the subdivision as has the parking. The subdivision has control of any space outside the footprint of the building so there are no fences, etc. to note.