

Friday, July 16, 2021



BOARD OF ADJUSTMENT

MEETING AGENDA Thursday, July 22, 2021 4:30 p.m.

Join Zoom Meeting
<https://us02web.zoom.us/j/83843113550>

Meeting ID: 838 4311 3550
One tap mobile
+13462487799,,83843113550# US (Houston)
+16699006833,,83843113550# US (San Jose)

- *Pledge of Allegiance*
- *Roll Call*

Regular Agenda Items

1. **BOA 2021-08** Consideration and action on a request for a 25-foot variance to the 75' stream corridor setback for Lot 7 of Hidden Oaks at Wolf Creek.
Staff Presenter: Felix Lleverino, Applicant: Scott Bracken

Adjournment

The Board of Adjustments meeting will be held in person in the Commission Chamber, in the Weber Center, 1st Floor, 2380 Washington Blvd., Ogden, Utah.

&

Via Zoom Video Conferencing at the link listed above.

In compliance with the Americans with Disabilities Act, persons needing auxiliary services for these meetings should call the Weber County Planning Commission at 801-399-8791



Staff Report to the Weber County Board of Adjustment

Weber County Planning Division

Synopsis

Application Information

Application Request:	Consideration and action on a request for a 25-foot variance to the 75' stream corridor setback for Lot 7 of Hidden Oaks at Wolf Creek.
Agenda Date:	Thursday, July 22, 2021
Applicant:	Scott Bracken
File Number:	BOA 2020-08

Property Information

Approximate Address:	4271 N Powder Mountain Road
Project Area:	.60 acres
Zoning:	Residential Estates (RE-15)
Existing Land Use:	Residential
Proposed Land Use:	Residential
Parcel ID:	22-209-0007
Township, Range, Section:	T7N, R1E, Section 22

Adjacent Land Use

North:	Residential	South:	Residential
East:	Residential/ Open Space	West:	Residential

Staff Information

Report Presenter:	Felix Lleverino flleverino@webercountyutah.gov 801-399-8767
Report Reviewer:	SB

Applicable Codes

- Title 102 (Administration) Chapter 3 (Board of Adjustment)
- Title 104 (Zones) Chapter 3 Residential Estates (RE-15 Zone)
- Title 104 (Zones) Chapter 28 (Ogden Valley Sensitive Lands) Section 2 (Stream Corridors, Wetlands, and Shorelines)

History

This variance request was presented to the Board on July 8, 2021. It was unanimous that the decision would be tabled until the applicant can:

- Re-evaluate the self-imposed hardship aspects and come back to the board with a site plan that would more closely conform with the Sensitive Lands Ordinance LUC 104-28-2 (Stream Corridors, Wetlands, and Shorelines).
- The revised site plan should also show the driveway location and how it is connected to the home.

The applicant's revised site plan shows the proposed dwelling abutting the front setback line, as far away from the stream as possible. Even with the new proposed location, the applicant would still need to receive a variance of 25 feet.

Background

The applicant is requesting a 25-foot variance to the required 75-foot stream corridor setback for the placement of a 2,246 sq. ft. home on Lot 7 of Hidden Oaks at Wolf Creek. The unique circumstance on this property is a year-round stream running through the parcel, shown as a drainage easement on the Hidden Oaks at Wolf Creek plat included as Exhibit D to this staff report. The Land Use Code Section 104-28-2, states the following regarding stream corridor setbacks:

No structure, accessory structure, road, or parking area shall be built within the required setback from a river or stream as measured from the high water mark of the river or stream. The high water mark shall be determined by the Weber County engineer. The areas within the setback shall be maintained in a manner that protects the quality of water in the river or stream and the habitat of native vegetation and wildlife along the river or stream...

C. Structures, accessory structures, roads, or parking areas shall not be developed or located within 75 feet on both sides of year-round streams, as determined from the high water mark of the stream.

Summary of Board of Adjustment Considerations

LUC §102-3 states that one of the duties and powers of the Board of Adjustment is to hear and decide variances from the requirements of the Weber County Land Use Code. For a variance to be granted it must be shown that all of the following criteria have been met:

- a. *Literal enforcement of the ordinance would cause an unreasonable hardship for the applicant that is not necessary to carry out the general purpose of the Land Use Code.*
 1. *In determining whether or not literal enforcement of the land use code would cause unreasonable hardship, the appeal authority may not find an unreasonable hardship unless the alleged hardship is located on or associated with the property for which the variance is sought, and comes from circumstances peculiar to the property, not from conditions that are general to the neighborhood.*
 2. *In determining whether or not literal enforcement of the land use code would cause unreasonable hardship, the appeal authority may not find an unreasonable hardship if the hardship is self-imposed or economic.*
- b. *There are special circumstances attached to the property that do not generally apply to other properties in the same zone.*
 1. *In determining whether or not there are special circumstances attached to the property, the appeal authority may find that special circumstances exist only if the special circumstances relate to the hardship complained of, and deprive the property of privileges granted to other properties in the same zone.*
- c. *Granting the variance is essential to the enjoyment of a substantial property right possessed by other property in the same zone.*
- d. *The variance will not substantially affect the general plan and will not be contrary to the public interest.*
- e. *The spirit of the land use ordinance is observed and substantial justice done.*

Listed below is the applicant's argument for the approval of a variance:

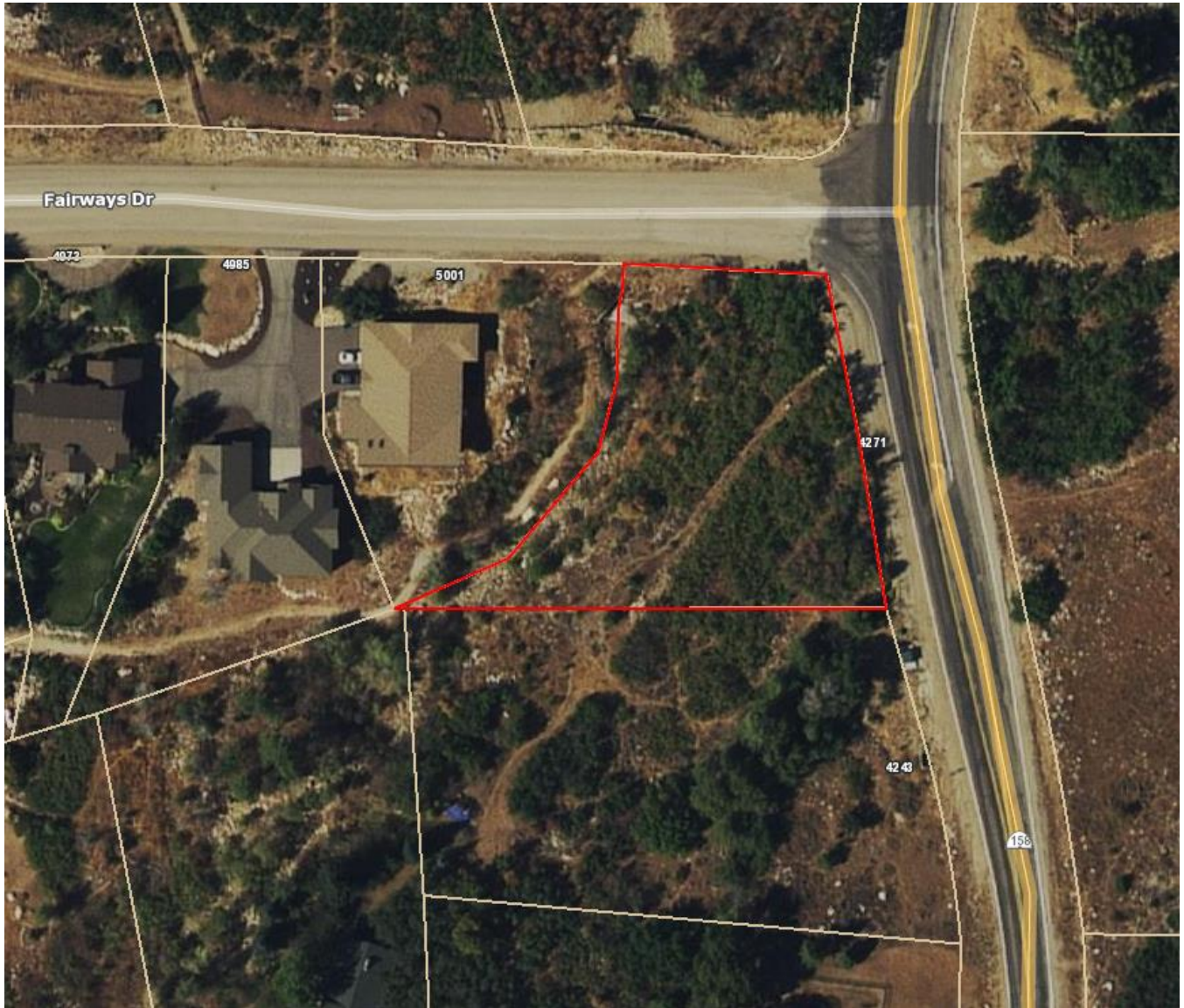
- a. Literal enforcement would cause an unreasonable hardship due to the resulting minimal buildable area, since the last meeting the applicant has shifted the building to be as close to the front lot line as possible.
- b. The special circumstances that exist on the property are the unusual lot configuration, the 75' Stream Corridor setback that is 25' greater than what is depicted on the dedication plat, and the shared driveway to the south, which requires the southeast side of the building to be pushed more toward the stream.
- c. Granting the variance would allow the owner to increase the distance of the home and driveway from Powder Mountain Road and increase the amount of natural foliage preserved.
- d. The 50' setback depicted on the plat for lot 7 of Hidden Oaks at Wolf Creek met the standards at the time of its creation for the preservation of riparian and other natural areas (See page 7 on the 2016 Ogden Valley General Plan).
- e. This variance request is not an attempt to avoid or circumvent the requirements of the County Land Use Code. The applicant has gone through the proper channels in applying for a variance. The proposal still observes a 50' ft setback from the stream.

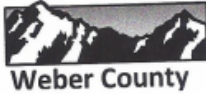
If the Board determines that all five criteria are met, the Board may choose to grant the requested variance. It is the staff recommendation that before any decision, the Board discusses and considers each of the criteria as they relate to the site and the specific proposal.

Exhibits

- A. Response to the Board of Adjustment
- B. Building Plans
- C. Hidden Oaks at Wolf Creek dedication plat
- D. Sensitive Lands Map (Stream Corridor)
- E. Site Photos

Area Map





Weber County Planning Division
www.co.weber.ut.us/planning_commission
2380 Washington Blvd., Suite 240
Ogden, Utah 84401-1473
Voice: (801) 399-8791
Fax: (801) 399-8862

Weber County Board of Adjustment
NOTICE OF DECISION

July 9, 2021

Scott Bracken
4271 N Powder Mountain Road
Eden, UT 84310

Case No.: BOA 2021-08

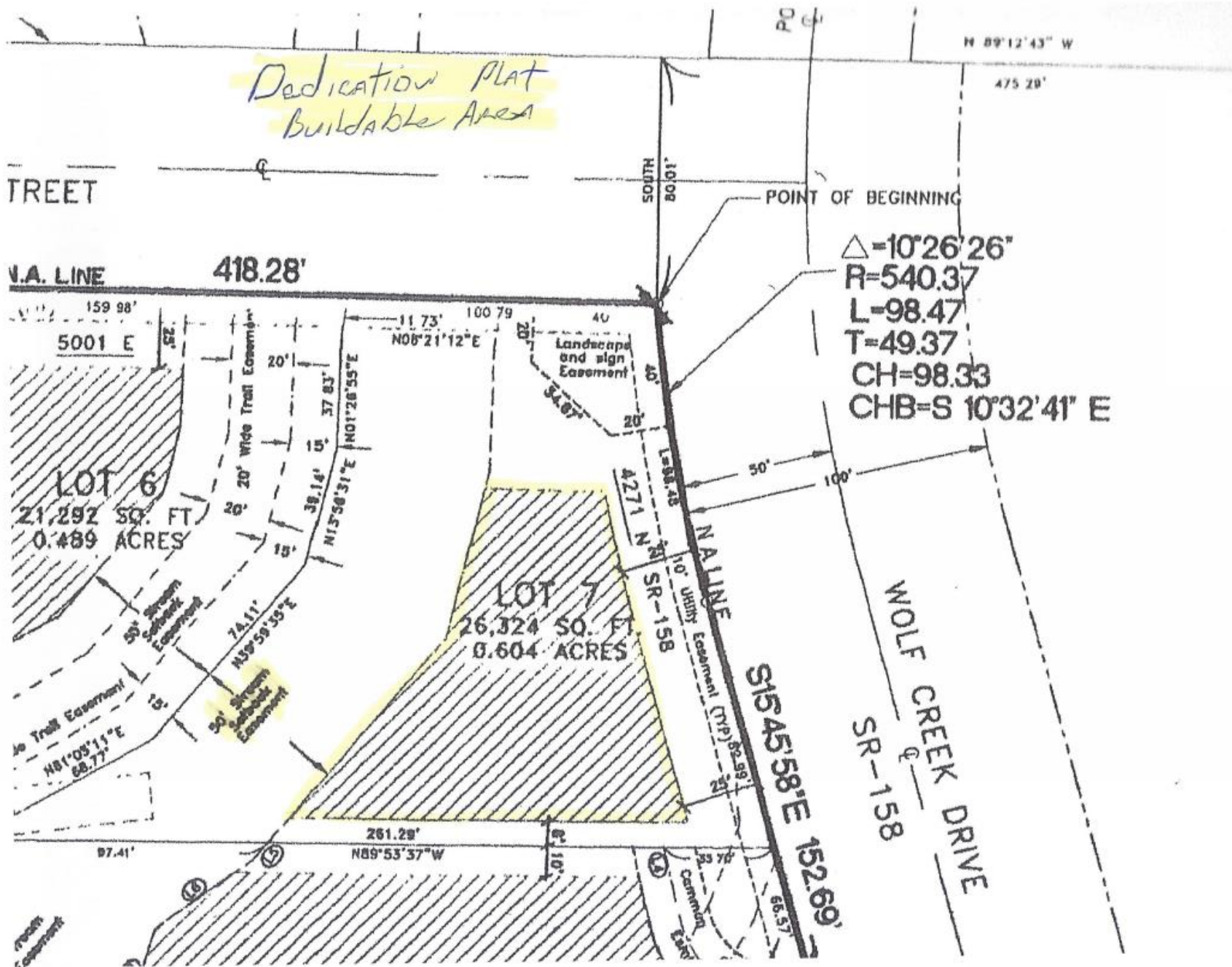
The Board of Adjustment held a public meeting on July 8, 2021, to consider a variance request. The applicant is hereby notified that the request for a 25' variance to the 75' stream corridor set-back on lot 7 of Hidden Oaks at Wolf Creek was tabled. The Board of Adjustment has asked that the applicant returns with a revised site plan that can accomplish the following:

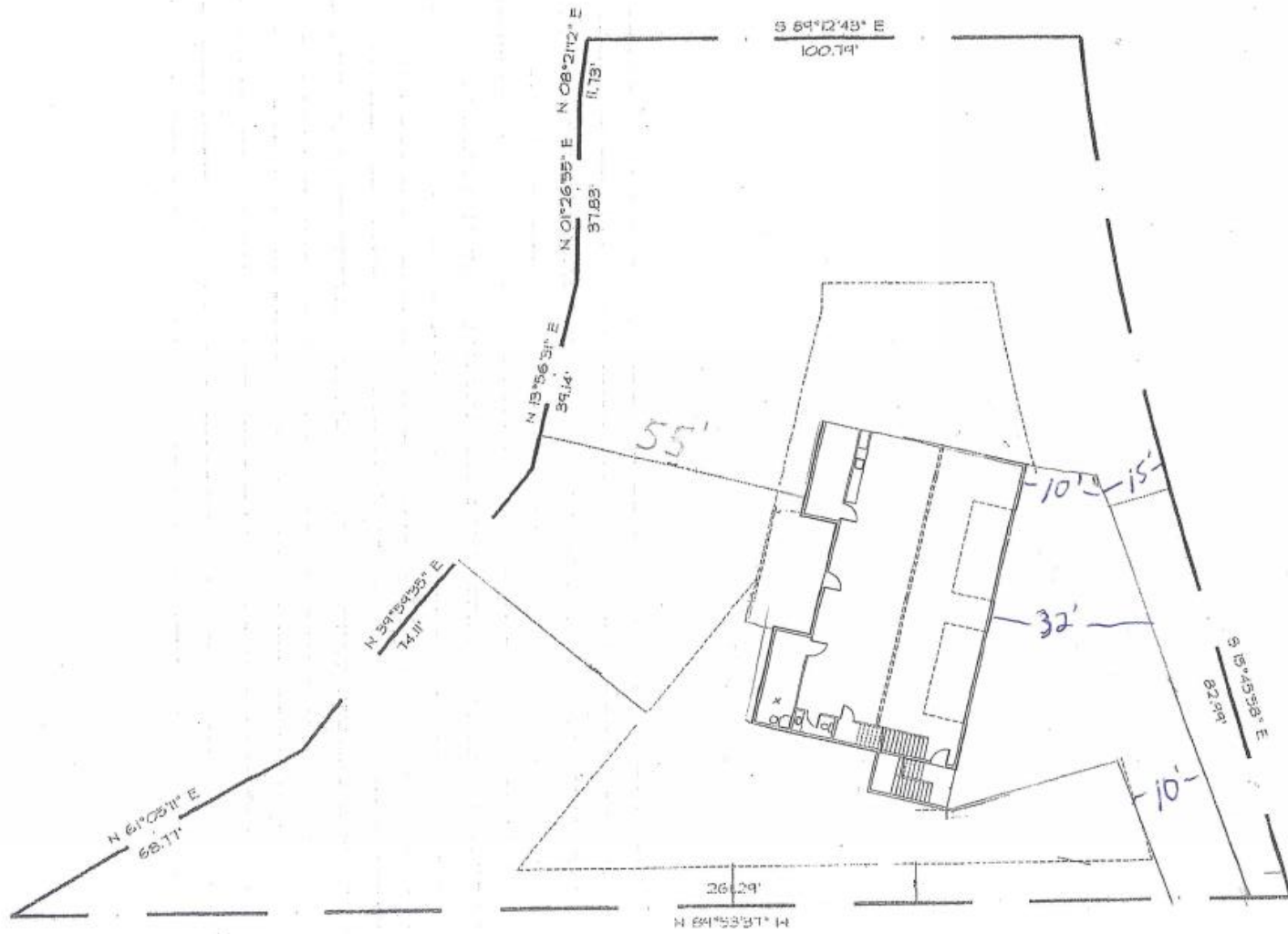
“Re-evaluate the self-imposed hardship aspects and come back to the board with a site plan that would more closely conform with the Sensitive Lands Ordinance LUC 104-28-2 (Stream Corridors, Wetlands, and Shorelines). The revised site plan should also show the driveway location and how it is connected to the home.”

Sincerely,

Felix Lleverino,
Weber County Planning Division
2380 Washington Blvd, Suite 240

The approval of a Board of Adjustment Case is valid for a period of time not longer than 18 months from the date of the Board decision or until an ordinance amendment changes the conditions upon which the decision was made. The issuance of a building permit for development stated in the Board of Adjustment case application constitutes full use of the variance or other benefit applied for.





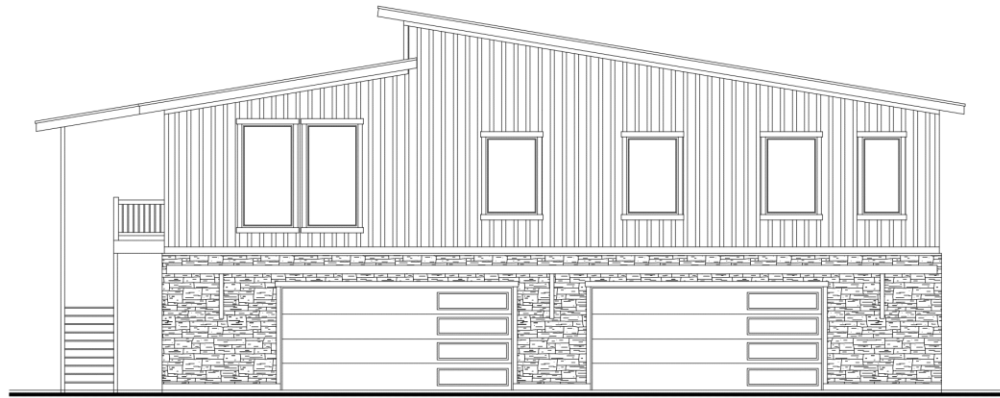
our map.

3 neighboring properties were given a variance of less than 75' or less than 50'





15' vertical distance from highwater mark to top of my property where my home is to be built. Not taking into consideration of a horizontal distance of 55' from high water mark. two neighboring properties to the west have 2' to possible 4' vertical rise from high water mark. Point is, a less invasive harm to "SENSITIVE LAND ORDINANCE LUC 104-28-2



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 and shall not be duplicated in any form or used as
 the basis for any new plans.
 The General Contractor or Builder is to assume full
 responsibility to verify the conditions, dimensions and
 structural details of the building.

GENERAL NOTES:

WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED AND THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES TO EXPEDITE THE JOB IN A SMOOTH AND CONTINUOUS PROCESS.

UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE CONTRACT DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR CONDITIONS ELSEWHERE.

ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONTRACT DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED.

ALL CONSTRUCTIONS SHALL BE IN ACCORDANCE TO THE 2018 INTERNATIONAL RESIDENTIAL CODE.

COMPLIANCE WITH CODES AND ORDINANCES GOVERNING THE WORK SHALL BE MADE AND ENFORCED BY THE GENERAL CONTRACTOR.

NOTE THAT ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.

MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF MATERIALS SHALL BE FOLLOWED.

BUILDING INFORMATION

BUILDER --
 OWNER BRACKEN RESIDENCE
 ADDRESS LOT # --, --
 --
 EDEN, UTAH

ENGINEER YORK ENGINEERING
 MORGAN, UTAH
 (801) 816-3501

SQUARE FOOTAGE:

MAIN LEVEL: 2,246 SQ. FT.
 LOWER LEVEL: 2,246 SQ. FT.
 TOTAL: 4,492 SQ. FT.

DRAWING INDEX:

- A1.0 COVER SHEET
- A11 GENERAL NOTES
- SP1 SITE PLAN
- B1.0 FND./FTG. PAGE
- B11 LOWER FLOOR PLAN
- B12 MAIN FLOOR PLAN
- C1.0 FRONT/REAR ELEVATION
- C11 LEFT/RIGHT ELEVATIONS
- E1.0 LOWER FLOOR ELEC./H.V.A.C. PLAN
- E11 MAIN FLOOR ELEC./H.V.A.C. PLAN
- F1.0 MAIN FLOOR FRAMING PLAN
- F11 ROOF FRAMING PLAN
- S1.0 SECTION PLANS

NO.	DESCRIPTION	DATE
A	ISSUED FOR PERMIT	2-9-21
B	ISSUED FOR PERISH	3-12

PLANNED FOR
 BRACKEN RESIDENCE
 LOT # --, --
 --- N WOODBERRY DRIVE
 EDEN, UTAH

2285 N. 2500 W.
 HARRISVILLE, UTAH
 J.BDESIGNSONLINE.COM
 AFFLUENT ARCHITECTURE

DATE: FEB. 9, 21

SHEET: A1.0

PLAN NUMBER: R-2246-21UE

SHEAR WALL NOTES

ALL EXTERIOR WALLS AND VERTICAL SURFACES SHALL BE SHEATHED PER TYPICAL SHEAR WALL REQUIREMENTS MIN UNO, WITH SHEATHING MANUFACTURED WITH EXTERIOR GRADE SHEATHING. ALL APA RATED 24/16 HALLS SHALL BE SPACED 17" FROM PANEL EDGE AND DRIVEN FLUSH BUT SHALL NOT FRACTURE THE SURFACE OF THE SHEATHING BLOCK AND EDGE NAIL ALL HORIZONTAL SHEATHING JOINTS.

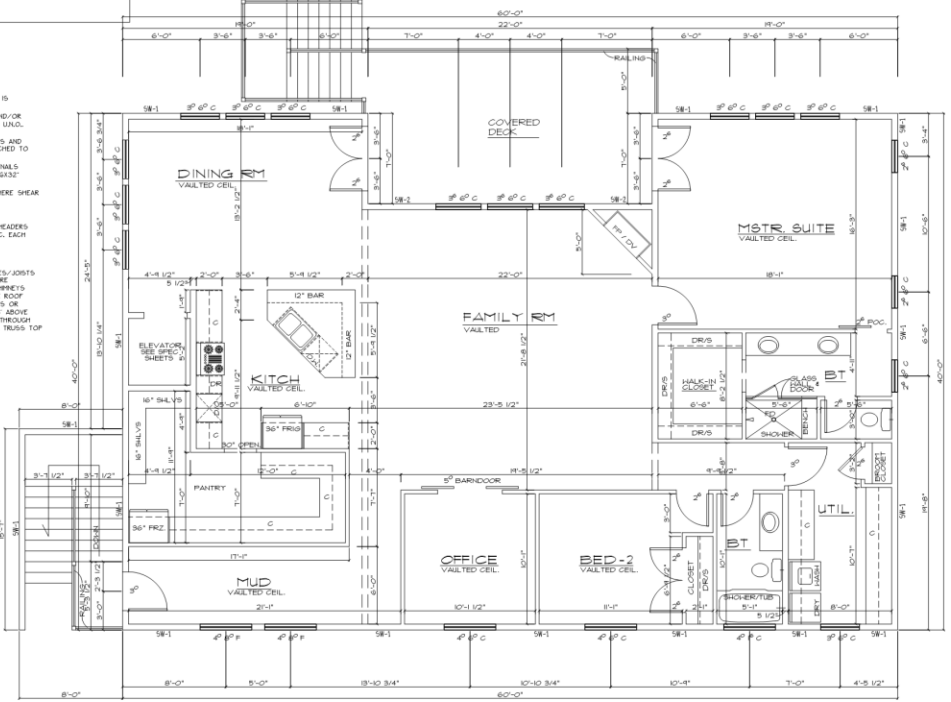
SHEAR WALL SCHEDULE

TYP	SHEATHING	NAIL SIZE	EDGE	FIELD	STAPLE CD.	BOTT. PL. TO RM ATTACHMENT	MIN. BLOCK TO PL. ATTACHMENT	BELOW DR. SIDED SHEAR WALLS
TYPICAL*	7/16" ONE SIDED	8d	6" D.C.	12" D.C.	16G @ 3" D.C.	16d @ 6" D.C.	LTP4 DR A35 @ 16" D.C.	
1V-1*	7/16" ONE SIDED	8d	4" D.C.	12" D.C.	16G @ 2" D.C.	16d @ 6" D.C.	LTP4 DR A35 @ 16" D.C.	
1V-2*	7/16" ONE SIDED	8d	3" D.C.	12" D.C.	NOT ALLOWED	4" S95 SCREWS @ 8" D.C.1*	LTP4 DR A35 @ 16" D.C.	
1V-3*	7/16" ONE SIDED	8d	3" D.C.	12" D.C.	NOT ALLOWED	4" S95 SCREWS @ 8" D.C.1*	LTP4 DR A35 @ 3" D.C.	

- NOTES**
- 1/8 GAGE X 1/2" STAPLES MAY BE SUBSTITUTED FOR 8d NAILS AT 12" SPACING ON TYPICAL AND 8d-1 WALLS.
 - 1 WHERE SHEAR WALLS ARE INDICATED ON PLANS AT BOTH SIDES OF WALL PROVIDE SHEATHING BOTH SIDES OF WALL (DR. SIDED SHEAR WALL) AND STAGGER EDGE NAILS.
 - PROVIDE 5/8" OR GEL. 1/2" HEBBERS AT ADJOINING PANEL EDGES AT 8d-2 AND 8d-3 AND LAP SHEATHING 1/4" MIN ONTO PRATTING HEBBERS AT PANEL EDGES.
 - AT TYPICAL AND 8d-1 WALLS LAP SHEATHING 3/4" ONTO BRACING HEBBERS AT PANEL EDGES.
 - LAP SHEATHING 1/4" MIN ONTO SILL PLATES ON FOUNDATION.
 - NAILS TO BE COMMON OR GALVANIZED BOLT.
 - AT WALL EDGES SHEAR WALLS SHEAR BEARING IS LIMITED TO CENTER OF RM WALL TOP FL OR TO SILL PLATE BELOW 1/4" @ 6" D.C. MAY BE USED FOR WALL BOTTOM PLATE TO RM ATTACHMENT.
 - USE 3" SCREWS FOR WALL PLATE TO RM ATTACHMENT IF FLOOR SHEATHING IS GREATER THAN 3/4" THICK.
 - EDGE NAIL SHEATHING TO POSTS AT HOLDINGS WITH 12" ROUGH EDGE NAILING.

- SHEATHING NOTES**
1. STAGGER ROOF AND FLOOR SHEATHING JOINTS. SEE ROOF SHEATHING LAYOUT DETAIL.
 2. EXTERIOR ROOF AND FLOOR SHEATHING WITH LONG DIMENSION PERPENDICULAR TO TRUSSES/JOISTS UNO. SEE PLAN. SHEATHING INSTALLED WITH LONG DIMENSION PARALLEL TO JOISTS/TRUSSES SHALL BE 3 PLY FLYWOOD CONFORMING TO APA STANDARD PS-1.
 3. NAILS SHALL BE 1" MIN FROM SHEATHING EDGE.
 4. ALL FLOOR AND ROOF SHEATHING PICES SHALL BE 48 X 48" MIN.
 5. PROVIDE EDGE NAILING AT ALL SUPPORTS AND BLOCKED PANEL EDGES AND PER DETAILS.
- WALL SHEATHING:** 7/16" APA RATED 24/16 HALL UNO. SEE PLAN. ALL EXTERIOR WALLS AND VERTICAL SURFACES SHALL BE SHEATHED WITH SHEATHING MANUFACTURED WITH EXTERIOR GRADE. SEE PLANS AND SHEAR WALL SCHEDULE FOR NAILING REQUIREMENTS.
- ROOF SHEATHING:** 7/16" APA RATED 24/16 HALL WITH 8d NAILS AT 6" O.C. EDGE NAILING AND 12" O.C. FIELD NAILING FOR ROOF SHOW LOAD LESS THAN OR EQUAL TO 40 PSF. FOR ROOF SHOW LOAD GREATER THAN 40 PSF USE 3/8" APA RATED 40/20 HALL WITH 10d NAILS AT 6" O.C. EDGE NAILING AND 12" O.C. FIELD NAILING UNO. SEE PLAN.
- FLOOR SHEATHING:** 3/4" 1/4" APA RATED 40/20 HALL. (48/24 WHEN FLOOR TRUSSES/JOISTS ARE AT 24" O.C.) WITH 8d NAILS AT 6" O.C. EDGE NAILING AND 12" O.C. FIELD NAILING UNO. SEE PLAN. GUE SHEATHING TO JOISTS/TRUSSES WITH ADHESIVE CONFORMING TO APA SPECIFICATIONS.

- FRAMING NOTES**
1. SILL PLATE BOLTS SHALL HAVE A 3/8" X 1/4" WASHER AT EACH BOLT. IF SLOTTED WASHER IS USED, ADD CUT WASHER.
 2. ALL FOUNDATION HOLDOWN STRAPS/ANCHORS SHALL BE ALIGNED WITH END OF SHEAR WALL AND/OR INTER LEVEL STRAP ABOVE WHERE OCCURS AND SHALL ATTACH TO FULL HEIGHT RING STUDS UNO. SEE PLAN. PROVIDE WOOD POST AT EACH HOLDOWN FOR THE HOLDOWN SCHEDULE.
 3. STRAPS CALLED OUT ON FLOOR AND FLOOR FRAMING PLANS ARE VERTICAL INTER LEVEL STRAPS AND SHALL BE CENTERED ON RM BOARD AND ALIGNED WITH END OF SHEAR WALL ABOVE AND ATTACHED TO FULL HEIGHT RING STUDS UNLESS NOTED OR SHOWN OTHERWISE. SEE PLANS.
 4. MIN. DR. TOP PLATES SHALL BE 2X MIN. AND SMALL LAP 2X AT ALL SPLICES WITH (1) 1/2" 10d NAILS. STAGGERED EACH SIDE OF SPLICE UNO. NOT PLAN WHERE PLATES DO NOT LAP. PROVIDE CROSS-SECTION STRAP TO SPLICE PLATES. ALSO WALL 5/16" WITH PLATE JOINTS.
 5. PROVIDE DR. CENTERLINE FLOOR JOISTS BELOW (2) FLY OR HOKED TRIMMERS/POSTS AND WHERE SHEAR WALL HOLDOWN STRAPS ARE LOCATED.
 6. ATTACH (2) FLY HEADERS TOGETHER WITH (3) 1/2" 10d OR (2) 1/2" 10d OR (3) 1/2" 10d OR (4) 1/2" 10d FOR 2X6 HEADERS. USE (3) 1/2" 10d AT 12" O.C. EACH SIDE FOR (3) FLY HEADERS. USE (4) 1/2" 10d AT (2) AND (3) FLY HEADERS WHEN HEADER HEIGHT IS GREATER THAN 11". ATTACH (4) FLY HEADERS TOGETHER WITH (2) 1" TRIMMER BOLTS AT 36" O.C. OR (2) 3/8" X 1/4" 9" SCREWS AT 16" O.C. EACH SIDE OF HEADER UNO. SEE PLAN.
 7. SEE BEARING WALL CONSTRUCTION TABLE FOR WALL FRAMING REQUIREMENTS.
 8. EDGE NAIL SHEATHING TO ALL DRAG MEMBERS.
 9. WHEN CHIMNEY IS SUPPORTED BY ROOF/FLOOR FRAMING, TRUSS/JOIST NPS TO DESIGN TRUSSES/JOISTS TO SUPPORT CHIMNEY WEIGHT INCLUDING VENEER WHERE OCCURS. CHIMNEYS CANTILEVERING MORE THAN 8' ABOVE ROOF SHALL BE FRAMED WITH 2X6 1/2" UNO. USE (1X) 2X6 X 12" O.C. FOR CHIMNEYS EXTENDING MORE THAN 8' ABOVE THE ROOF. CHIMNEYS EXTENDING MORE THAN 20' ABOVE THE ROOF SHALL BE LATERALLY BRACED WITHIN 4' OF CHIMNEY TOPS TO THE ROOF FRAMING WITH CABLES OR RODS ANCHORED TO RESIST DRIFT AND WIND LOADS. CHIMNEYS THAT EXTEND MORE THAN 8' ABOVE THE ROOF AND ARE SUPPORTED BY ROOF FRAMING FRAMING DOES NOT EXTEND CONTINUOUS THROUGH ROOF SHALL HAVE A HSTC4883 ANCHOR AT EACH CORNER CHOKED UNDER ROOF JOIST OR TRUSS TOP CHOKED.
 10. ATTACH STEEL BEAMS TO WOOD POSTS PER BEAM POCKET IN WOOD WALL DETAIL.



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

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NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	2-18-21
2	ISSUED FOR PERMITS	2-18-21
3	ISSUED FOR PERMITS	2-18-21
4	ISSUED FOR PERMITS	2-18-21
5	ISSUED FOR PERMITS	2-18-21

PLANNED FOR: **BRACKEN RESIDENCE**
701 N. WOLF CREEK DRIVE
ECCLETT, UTAH

2265 N. 2500 W.
HARRISVILLE, UTAH
JBD@JBDDESIGNSMALL.COM
JBDDESIGNSMALL.COM
AFFLUENT ARCHITECTURE



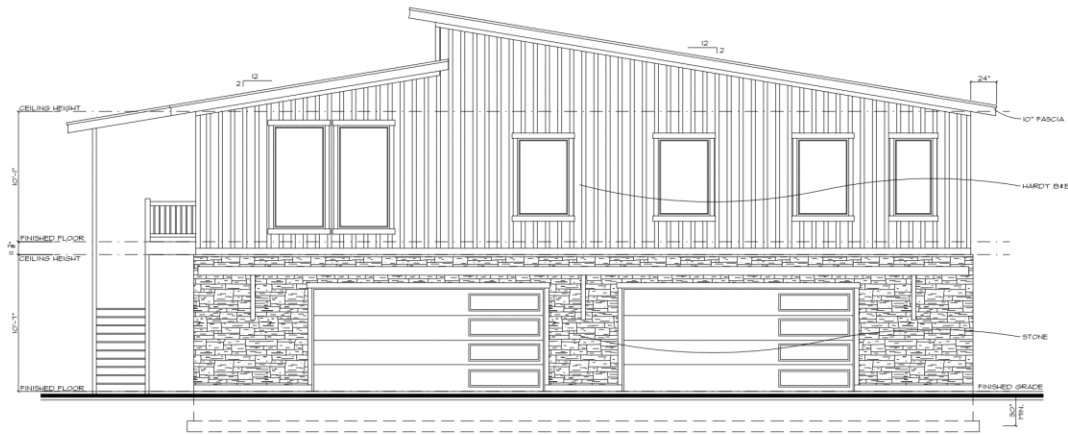
NOTE:
2X6 EXTERIOR HALLS (5 1/2")
10'-0" HALLS HEIGHT (TYP)
WINDOWS SET @ 8'-0" (TYP)
UNLESS NOTED OTHERWISE.

SQUARE FOOTAGE	
NAME	AREA
MAIN LEVEL	2,246
LOWER LEVEL	2,246
TOTAL	4,492
CVRD DECK	268
CVRD PATIO	268

DATE: FEB 9, 21
SHEET: **B1.2**

PLAN NUMBER: **R-2246-21UE**

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FRONT ELEVATION
 SCALE 1/4"



REAR ELEVATION
 SCALE 1/4"

NO.	DESCRIPTION	DATE
A	ISSUED FOR PERM	2-9-21
B	ISSUED FOR PERM	2-9-21

BRACKEN RESIDENCE
 LOT # 100
 N. WOODBARK DRIVE
 EDEN, UTAH

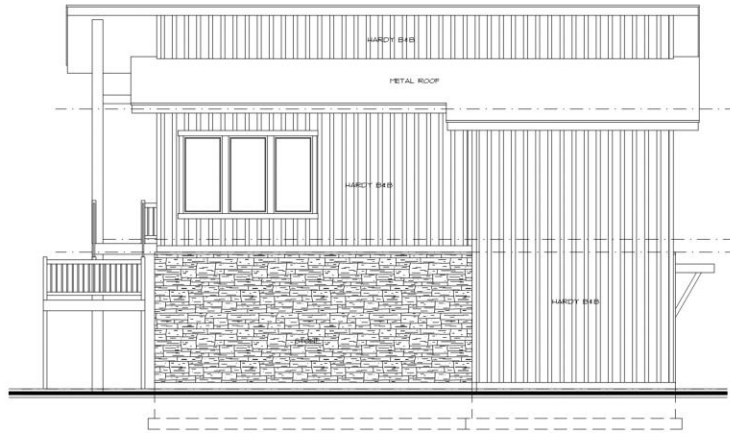
2253 N. 250 W.
 HARRISVILLE, UTAH
 JBDDESIGN@GMAIL.COM
 AFFLUENT ARCHITECTURE

DATE: FEB. 9, 21
 SHEET: C1.0

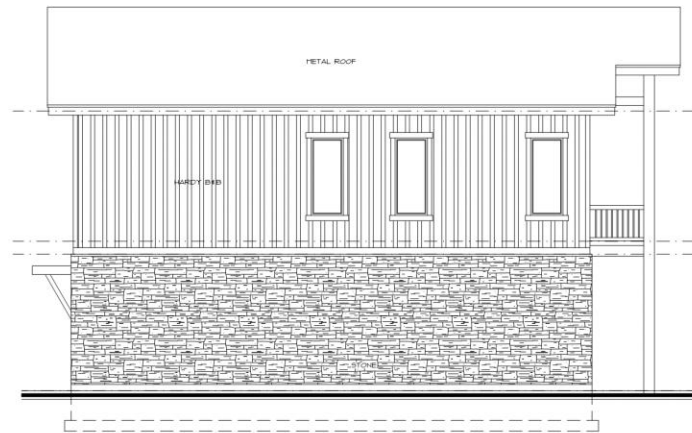
PLAN NUMBER
R-2246-21UE

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 structural details of the building.



LEFT ELEVATION
 SCALE 1/4"



RIGHT ELEVATION
 SCALE 1/4"

NO.	DESCRIPTION	DATE
A	ISSUED FOR PERM	2-9-21
B	ISSUED FOR PERM	2-9-21

PROJECT FOR: **BRACKEN RESIDENCE**
 LOT # 10
 EDEN, UTAH

2253 N. 250 W.
 HARRISVILLE, UTAH
 JBDESIGNS@GMAIL.COM
J. B. DESIGN'S
 AFFLUENT ARCHITECTURE

DATE: FEB. 9, 21
 SHEET: **C1.0**

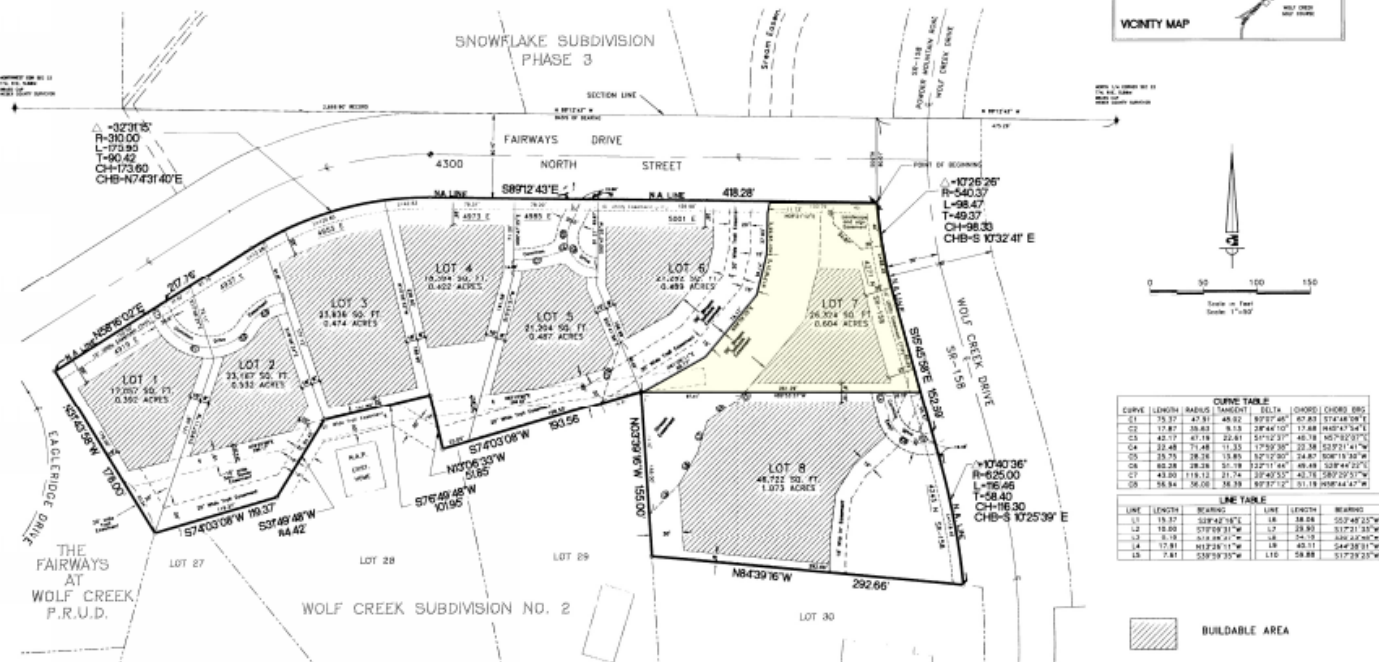
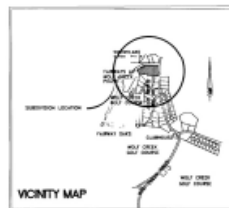
PLAN NUMBER: **R-2246-21UE**

75-89

HIDDEN OAKS AT WOLF CREEK

PART OF THE NORTHWEST 1/4 OF SECTION 22
T7N, R1E, SLB&M, U.S. SURVEY

WEBER COUNTY, UTAH
SEPTEMBER 2003



SURVEYOR'S CERTIFICATE

I, KEVIN GARDNER, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR WHO HAS FULLY VERIFIED AND GUARANTEED AS PROVIDED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT IF ANY PART OF THE PROPERTY IS FOUND TO HAVE BEEN SURVEYED BY ANOTHER SURVEYOR OR IF THE PROPERTY IS FOUND TO BE SUBJECT TO AN INTEREST OR ENCUMBRANCE NOT SHOWN ON THIS PLAT AND INSTRUMENT, I WILL BE RESPONSIBLE TO CORRECT THE RECORDS AND TO RESTATE THIS SURVEY. THE INFORMATION SHOWN HEREON IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE SEVERAL DESCRIBED TRACTS OF REAL PROPERTY AND OF EACH OF THE LOTS LOCATED ON SAID TRACT AND THIS SUBDIVISION PLAT COMPLETES WITH THE PROVISIONS OF THE CURRENT SUBDIVISION AND ZONING ORDINANCE REGULATIONS OF WEBER COUNTY.

BOUNDARY DESCRIPTION

A PART OF THE NORTHWEST 1/4 OF SECTION 22, T7N, R1E, SLB&M, BEING AS AT A POINT N 89°12'41" W ALONG THE SECTION LINE 430.26 FEET AND SOUTH 89°31'17" WEST FROM THE NORTH QUARTER CORNER OF SAID SECTION 22 WHICH IS ALSO ON THE WEST BOUNDARY OF SAID 1/4 SECTION 22, THENCE S 15°18'00" W ALONG WOLF CREEK DRIVE 30.80 FEET DISTANT FROM THE CENTERLINE, THENCE

CORNERS

SOUTHERLY 98.47 FT. ALONG A CURVE TO THE LEFT ON SAID WEST NEW LINE (CURVE DATA: Bx 107°00'30", T=17.00, R=257.00, CH=117.00, CH-S 107°00'30" E)

S 15°18'00" W 168.84 FT. ALONG SAID NEW LINE TO A TANGENT LINE, THENCE

SOUTHERLY 118.84 FT. ALONG SAID WEST NEW LINE ON A TANGENT CURVE TO THE RIGHT (CURVE DATA: Bx 107°00'30", T=17.00, R=257.00, CH=117.00, CH-S 107°00'30" E)

WOLF CREEK SUBDIVISION NO. 2, THENCE

N 84°28'17" W 282.88 FT. ALONG SAID NORTH LINE OF WOLF CREEK SUBDIVISION NO. 2, THENCE

S 74°28'17" W 182.00 FT. ALONG THE NORTHWEST LINE OF SAID WOLF CREEK SUBDIVISION NO. 2, THENCE

S 74°28'17" W 182.88 FT. ALONG THE NORTH LINE OF SAID WOLF CREEK SUBDIVISION NO. 2, THENCE

N 87°04'31" W 51.88 FT. THENCE

S 74°28'17" W 51.88 FT. THENCE

S 27°48'47" W 88.42 FT. TO THE NORTH LINE OF SAID WOLF CREEK SUBDIVISION NO. 2, THENCE

N 74°28'17" W 114.11 FT. UPON SAID NORTH LINE OF SAID WOLF CREEK SUBDIVISION NO. 2 TO THE NORTHWEST LINE OF THE FAIRWAYS AT WOLF CREEK, THENCE

N 37°42'38" W 178.20 FT. ALONG SAID NORTHWEST LINE OF THE FAIRWAYS AT WOLF CREEK, THENCE TO THE SOUTHWEST NEW LINE OF FAIRWAYS DRIVE (ASIN NORTH 1/4), THENCE

N 50°15'00" E 217.73 FT. ALONG SAID SOUTHWEST NEW LINE TO A TANGENT CURVE, THENCE

EASTERLY 175.80 FT. ALONG SAID SOUTHWEST NEW LINE ON A TANGENT CURVE TO THE RIGHT (CURVE DATA: Bx 52°01'15", T=10.42, R=117.00, CH=117.00, CH-S 52°01'15" E)

S 89°12'41" E 418.26 FT. ALONG SAID SOUTHWEST NEW LINE TO THE POINT OF BEGINNING.

CORNERS: 4.472 ACRES / 194.783 FT.

BASE OF BEARING: N 89°12'41" W FROM THE NORTH 1/4 TO THE HORIZONT

CORNER OF SECTION 22, T7N, R1E, SLB&M

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	15.37	47.81	49.51	187.24	42.80 S74°28'17" E
C2	17.87	26.92	9.13	129.44	17.48 N84°28'17" E
C3	43.17	47.81	22.81	154.12	45.18 N50°15'00" E
C4	32.48	71.48	11.33	129.20	22.38 S37°42'38" E
C5	35.75	38.26	1.89	122.20	24.81 S09°15'00" W
C6	80.28	28.38	31.18	122.11	44.48 S27°48'47" E
C7	42.00	119.12	31.74	129.45	43.78 S87°04'31" W
C8	28.84	56.00	18.38	187.12	31.18 N09°15'00" W

LINE TABLE

LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	19.97	S27°42'31" E	L8	58.88	S57°42'31" W
L2	10.00	S77°09'31" W	L9	29.80	S17°21'33" W
L3	5.16	N19°48'47" E	L10	26.12	S88°24'31" W
L4	17.81	N19°28'11" W	L11	43.11	S44°28'11" W
L5	7.81	S57°39'33" W	L12	58.88	S17°28'23" W

DEVELOPER
WOLF CREEK PROPERTIES, L.L.C.
STEVE ROBERTS, MANAGER
1000 WOLF CREEK DRIVE
CORN, UTAH 84010

OWNERS DEDICATION
WE, THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, HEREBY SET APART AND DEDICATE THE SAME AND LETS AS SHOWN ON THIS PLAT AND INSTRUMENT AS FOLLOWS:
WOLF CREEK SUBDIVISION NO. 2
AND HEREBY GRANT AND RESERVE A PERPETUAL RIGHT AND EASE, TO BE USED AND UNDER THE LAWS GOVERNING THE PLAT AS PUBLIC UTILITY, storm water retention ponds, drainage and canal maintenance easements, the same to be used for the installation, maintenance, and operation of PUBLIC UTILITY SERVICE LINES, STORM DRAINAGE FACILITIES, IRRIGATION CANALS OR FOR THE PERPETUAL PERFORMANCE OF WATER DRAINAGE CHANNELS OR OTHER NATURAL STATE UTILITIES OR ANY AND ALL OTHERS AUTHORIZED BY WEBER COUNTY, UTAH. WE HEREBY DEDICATE TO BE THAT SAID L.C. DESCRIBED THE SAME AS SHOWN ON THIS PLAT AND INSTRUMENT.

SIGNED THIS 10 DAY OF September, 2003

STEVE ROBERTS, L.C. MANAGER MEMBER
MARGO RAYBURN MEMBER

NARRATIVE
THIS SURVEY AND SUBSEQUENT SUBDIVISION PLAT WERE COMPLETED BY THE REQUEST OF HIDDEN OAKS PROPERTIES, L.L.C. FOR THE PURPOSE OF SUBDIVIDING THEIR PROPERTY TO CREATE RESIDENTIAL LOTS.

NOTES
1. ALL BEARS AND YELLOW PLASTIC SURVEY CAPS (RANGERS) ARE TO BE SET AT ALL PROPERTY CORNERS.
2. COMMON DRIVE EASEMENTS TO SERVE AS PUBLIC UTILITY EASEMENTS TO BE SET AT ALL PROPERTY CORNERS.
3. A LOCATION OF STREET CURBS ADJACENT TO BE SET (IF CHANGED) IN A NON-BARIAL LOT LINE.

WEBER COUNTY PLANNING COMMISSION APPROVAL
THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS SUBMITTED BY THE DEVELOPER TO THE PLANNING COMMISSION ON THE 11th DAY OF September, 2003.

Bruce J. Howe
CHAIRMAN, WEBER COUNTY PLANNING COMMISSION

WEBER COUNTY SURVEYOR
I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT FOR MATHEMATICAL CORRECTNESS, SECTION CORNER DATA, AND CONFORMANCE WITH LINES AND MONUMENTS AS REQUIRED BY COUNTY ORDINANCES. THE APPROVED BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE USER OF ANY LIABILITY OR LIABILITY INCURRED BY THE PLAT FROM THE RESPONSIBILITIES AND OBLIGATIONS OF THE SURVEYOR AND HIS OR HER SUCCESSORS.
SIGNED THIS 12th DAY OF September, 2003

Kevin Gardner
SURVEYOR

WEBER COUNTY COMMISSION ACCEPTANCE
THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, HEREIN ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH.
THIS 9th DAY OF September, 2003

Carroll J. Chin
CHAIRMAN, WEBER COUNTY COMMISSION

ACKNOWLEDGMENT
STATE OF UTAH: 35
COUNTY OF WEBER: 03
ON THIS 12th DAY OF September, 2003

PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID COUNTY OF WEBER, IN SAID STATE OF UTAH, THE SIGNER OF THE ABOVE DEDICATION, ONE (1) IN NUMBER, WHO SELF-ACKNOWLEDGED TO ME HE BONDED HIS INTEREST AND PERFORMANCE FOR THE PURPOSES HEREIN DESCRIBED.

Steve Roberts
NOTARY PUBLIC

ACKNOWLEDGMENT (L.C.)
STATE OF UTAH: 35
COUNTY OF WEBER: 03
ON THIS 10th DAY OF September, 2003, I, PERSONALLY APPEARED BEFORE ME, STEVE ROBERTS, MANAGER, WHO BONDED AS SET FORTH ABOVE AND SAID THAT HE IS A MEMBER OF WOLF CREEK PROPERTIES, L.L.C. AND THAT SAID INSTRUMENT WAS SIGNED IN BEHALF OF SAID L.L.C. BY A RESOLUTION OF ITS MEMBERS, AND STEVE ROBERTS ACKNOWLEDGED TO ME THAT SAID L.C. DESCRIBED THE SAME AS SHOWN ON THIS PLAT AND INSTRUMENT.

Steve Roberts
MANAGER, WOLF CREEK PROPERTIES, L.L.C.

WEBER COUNTY ATTORNEY
I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT AND AM NOT AWARE OF ANY DEFICIENCIES WITH THE INSTRUMENTS APPLICABLE THEREON AND NOW IN FORCE AND EFFECT.
SIGNED THIS 12th DAY OF September, 2003

Marilee Newlands
SOLICITOR

WEBER COUNTY ENGINEER
I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH CITY ENGINEERING AND THE MINIMUM OF FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.
SIGNED THIS 11th DAY OF September, 2003

Carla Christensen
SOLICITOR

WEBER COUNTY ENGINEER
I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH CITY ENGINEERING AND THE MINIMUM OF FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.
SIGNED THIS 11th DAY OF September, 2003

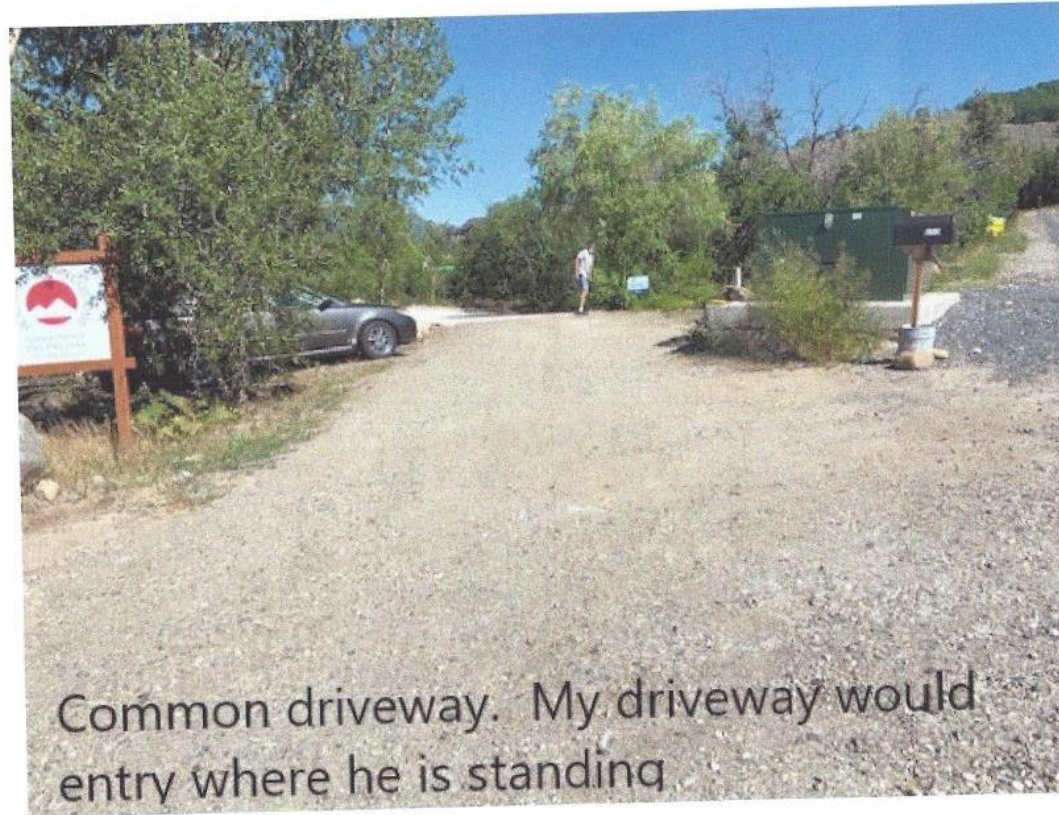
Carla Christensen
SOLICITOR

ACKNOWLEDGMENT
STATE OF UTAH: 35
COUNTY OF WEBER: 03
ON THIS 12th DAY OF September, 2003, I, PERSONALLY APPEARED BEFORE ME, STEVE ROBERTS, MANAGER, WHO BONDED AS SET FORTH ABOVE AND SAID THAT HE IS A MEMBER OF WOLF CREEK PROPERTIES, L.L.C. AND THAT SAID INSTRUMENT WAS SIGNED IN BEHALF OF SAID L.L.C. BY A RESOLUTION OF ITS MEMBERS, AND STEVE ROBERTS ACKNOWLEDGED TO ME THAT SAID L.C. DESCRIBED THE SAME AS SHOWN ON THIS PLAT AND INSTRUMENT.

Steve Roberts
MANAGER, WOLF CREEK PROPERTIES, L.L.C.

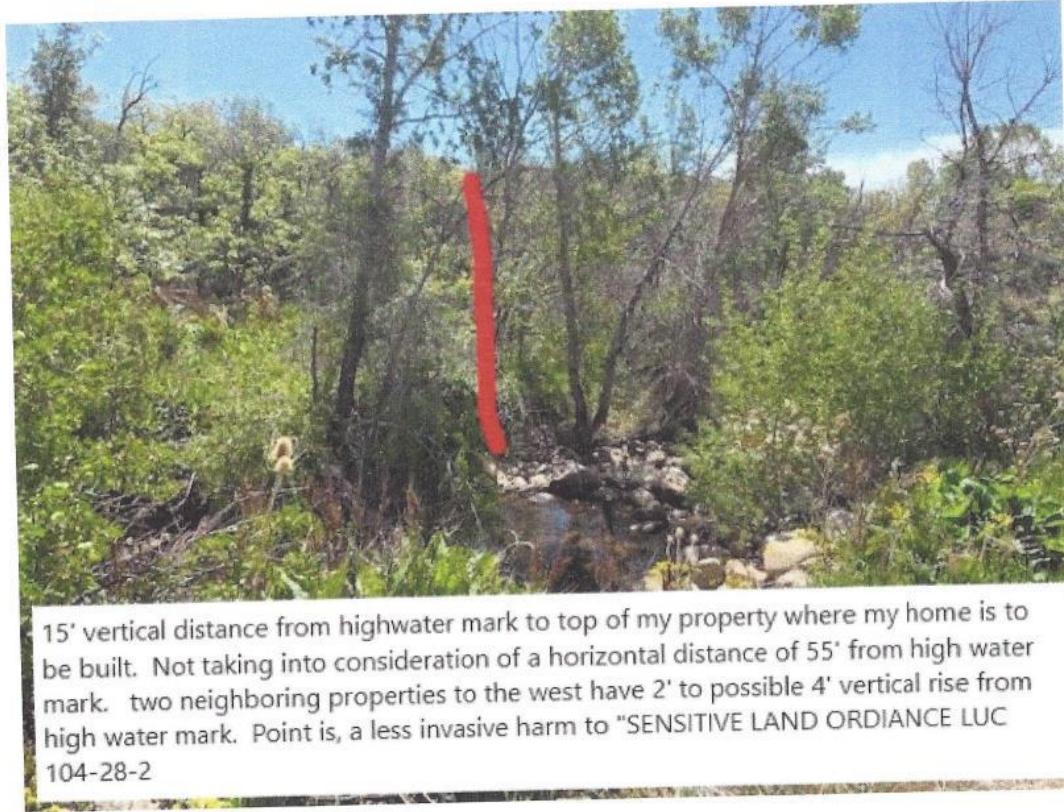
COUNTY RECORDER
INDEXED AND FILED IN PLAT BOOK 134, PAGE 200
RECORDED 10-20-03 AT 9:22 AM WITH 5848800000000
RECORDS AND PERMITS DIVISION
FOR WOLF CREEK PROP.
Douglas Crofts
COUNTY RECORDER
BY Camille A. Kline
SEAL



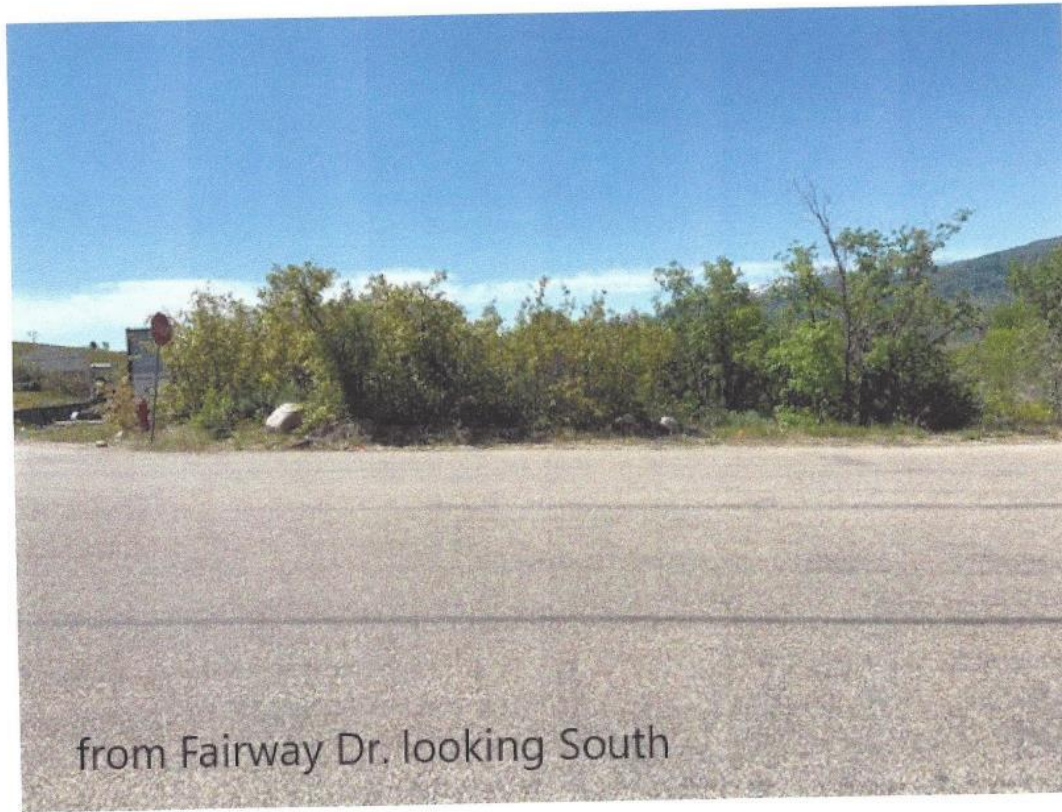


Common driveway. My driveway would
entry where he is standing





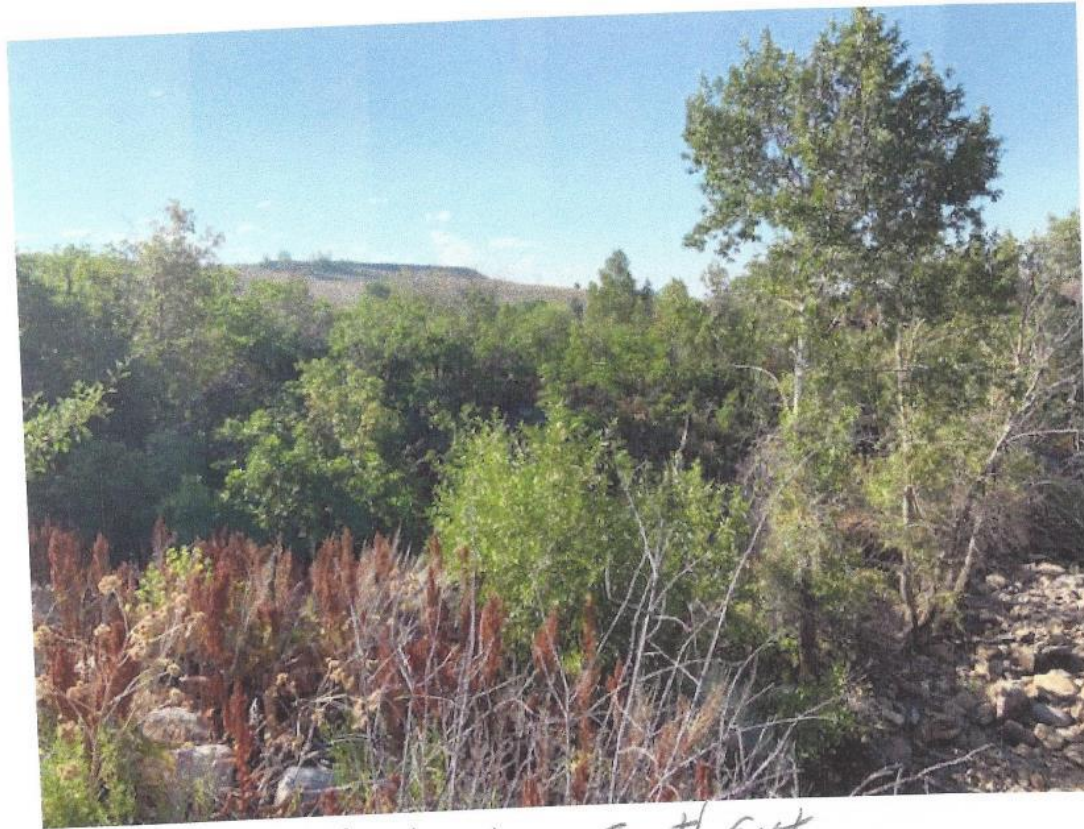
15' vertical distance from highwater mark to top of my property where my home is to be built. Not taking into consideration of a horizontal distance of 55' from high water mark. two neighboring properties to the west have 2' to possible 4' vertical rise from high water mark. Point is, a less invasive harm to "SENSITIVE LAND ORDINANCE LUC 104-28-2



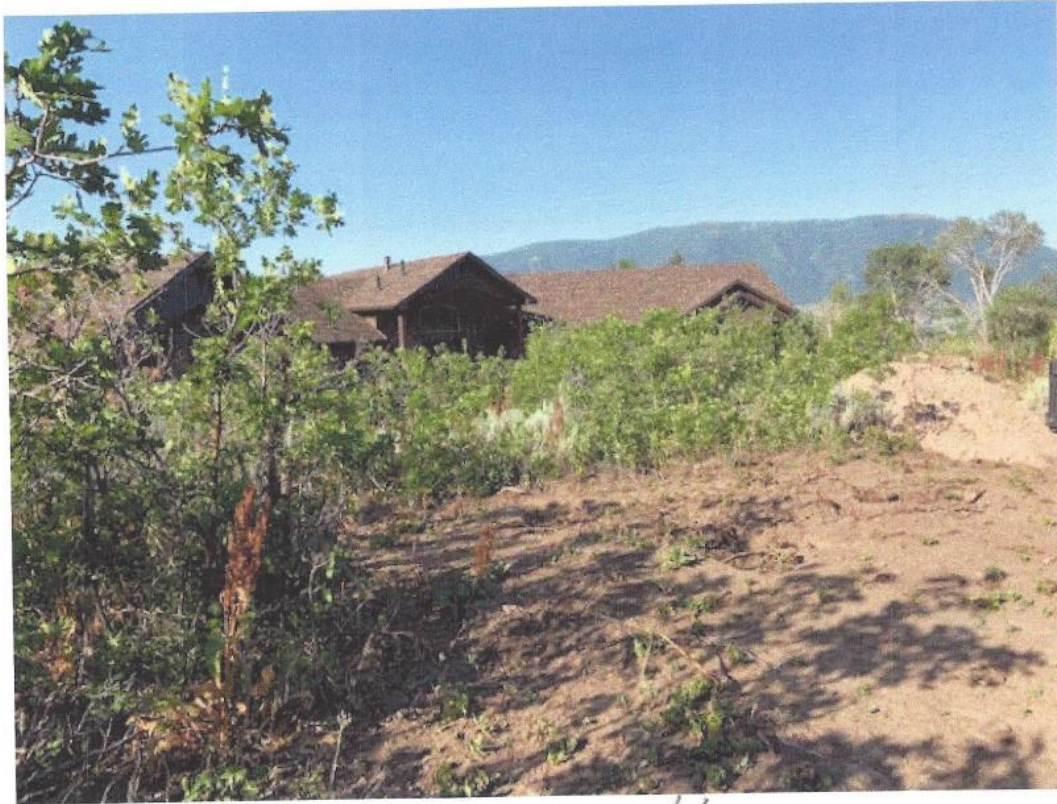
from Fairway Dr. looking South



Looking down into Wolf Creek from FAIRWAYS



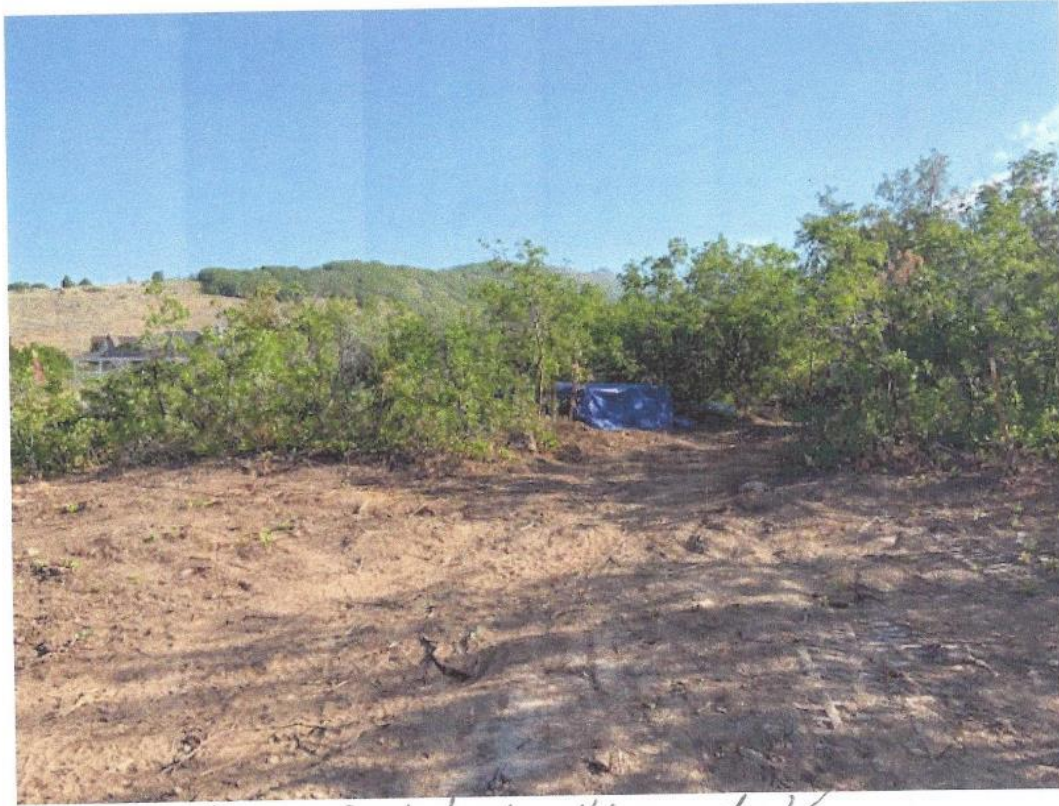
Looking Northwest - South East



Lot Looking South



Lot Looking West



Middle of Lot Looking North



Middle of Lot Looking East