









<u>SILT FENCE</u>

INSTALLATION:	Inspection	Description/Requirement	s la ciriciope:	Contact	
6' MAXIMUM 1. Where possible, layout the silt fence 5 to 10 feet beyond the toe of slope.		Required prior to issuance of a Building Permit. Locate/ stake the dr			
2. Align the fence along the contour as close as possible.	Driveway/ Site Staking	the street and at the road right of way/property line and locate/stake	1999 S. S.	Engineering	L L
3. When excavating the trench, use machinery that will		property corners.	2004	0 0	₩>
2' 8" produce no more than the desired dimension. 4. Place posts 6 foot on center along contour (or use		Required prior to scheduling a Footing Inspection. Site Erosion Con	irol		
pre assembled unit) and drive 2 feet (min.) into ground. Excavate an anchor trench (8 inches wide and 8 inches	Rough Grading	measures must be installed and driveway must be roughly graded acc	ording to	Engineering	LATH FLAGGIN
SHEEN deep) immediately up-gradient of posts.		plan			3 5
barrier and drape over barrier. Secure fabric to, stakes	Footing	Schedule after steel is in place and before the concrete is poured		Building	
with staples, or similar, with trailing edge extending into anchor trench.	Foundation	Schedule after steel is in place in the forms and before concrete is pla	ced	Building	
PERSPECTIVE VIEW 6. Backfill trench over filter fabric to anchor.	Under Slab Plumbing & Heating	Before concrete is poured or plumbing has been backfilled		Building	
1.2 mm WIDE FILTER FABRIC 2 INCH SQUARE BY 4 FEET MAINTENANCE:	Certificate of Elevation and/or	Performed by a licensed surveyor. Required prior to scheduling a Flo	or	Building	
FASTENED TO POST	Survey	Framing Inspection. See requirements below.		Building	
SHEET FLOW 2. Look for function bypassing ends of burners of undercuting fence (repair immediately).	Floor Framing Inspection	Required prior to placing floor sheeting and includes Footing Drain		Building	
3. Repair or replace damaged areas of the fence and remove accumulated sediment.		After the building is up to "the square" and all shear walls have been	and and		
4. Re-anchor fence as necessary to prevent shortcutting.	Shear Wall	and all the tie downs and shear wall connections have been installed	nalicu	Building	VAR
LINE THE SIDE AND BOTTOM OF THE TRENCH WITH THE		Required prior to four-way inspection, when required by the local Fir	e District	21000	
BOTTOM END OF THE FILTER _/ the neight of the fence.	Fire Sprinklers			Building	
EXCAVATED SOIL.		This inspection is performed after all rough electrical, plumbing, and			
<u>ATTACHING TWO SILT FENCES</u>		mechanical has been installed. All framing is complete, shear walls p			
DIRECTION OF RUNOFF WATERS 1. PLACE THE END POST OF THE SECOND FENCE	Four-Way	inspected, and truss specifications are on the job for the inspector to		Building	
INSIDE THE END POST OF THE FIRST FENCE.		Plumbing shall have either an air or water pressure test on them when inspector arrives	1 the		SANDBAG -
A CLOCKWISE DIRECTION TO CREATE A TIGHT SEAL WITH THE FABRIC MATERIAL.		Weather barrier shall be inspected prior to applying veneer. Approve	d		SMNUDAG -
3. DRIVE BOTH POSTS ABOUT 24 INCHES INTO THE GROUND AND BURY FLAP.	Weather Barrier/Stucco Lath	stucco I.C.C. research reports on site	89	Building	10 mil I
	Gas Meter Set	Required before gas meter clearance is given to Questar		Building	
	Masonry wall/bond beam	Steel in masonry and before concrete/grout is poured		Building	
	Insulation	Pre Sheetrock insulation certificate required		Building	
	Drywall Nailing	This is done before drywall is taped		Building	ST
STRAW WATTLE DETAIL	Power to Panel	Building must be up with permanent roof installed		Building	(2 PER
NO SCALE		Site Erosion Control measures must be installed and driveway graded	I to it's	-	WOOD OR
μ <i>Γ</i> 2*	Driveway pre-surfacing	final configuration		Engineering	STAKES (2 PER
		Required prior to Certificate of Occupancy and/or Bond Release. Dr			
ADMICENT ROLLS, SHUL	Final Driveway and Site	must be surfaced and site must be revegetated (inspections may be su		Engineering	
STRAW ROLLS MUST BE PLACED NOTE: ALONG SLOPE CONTOURS IN THE PLACED I. WOOD STAKES SHALL BE 1"x2"x18" OR 24" (NOMINAL),	Inspection	separately). If the site is not revegetated, the erosion control measure be in place and installed correctly.	es must		
PLACED ON CONTOUR AND STAKED AT 4' ON CENTER AND IN LOW POINTS TO ASSURE CONTACT WITH GROUND.		FEMA Elevation Certificate (if applicable) required prior to Certifica	e of		
2. NO DAYLIGHT SHOULD BE SEEN UNDER THE WATTLE	Flood Plain Elevation Certificate	Occupancy. Form must be filed with FEMA and a copy provided to t	he	Engineering	
		Engineering Department			
3. WHEN INSTALLING RUNNING LENGTHS OF STRAW WATLE BUT THE SECOND WATTLE TARKITY AGAINST THE PREST, STAKE THE WATTLES AT EACH END AND FOUR FOOT		All work is DONE and building complete. Final clearances from the			
4. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF	Final	water district for sewer, County Health Department for septic, and fin for sprinkler systems must be on the project for this inspection. Requ		Building	
THE WATTLE, LEAVING 2"-3" OF THE STAKE PROTRUDING ABOVE THE WATTLE.		Certificate of Occupancy			
5. WHEN WATTLE IS INSTALLED ON FLAT GROUND DRIVE THE STAKES STRUGHT DOWN, WHEN INSTALLING WATTLES WOOD STAKE. ON SLOPES DRIVE STAKES PERPENDICULAR TO THE SLOPE.		Required prior to anyone occupying the structure. A Certificate of			
WOOD STAKE, ON SLOPES DRIVE STAKES PERPENDICULAR TO THE SLOPE. REQ'D.	Certificate of Occupancy	Occupancy will be issued once the final clearances have been obtained	ed by the	Building	
		builder and brought to the Building Department's office in Coalville			
STRAW WATTLE		1) Snyderville Basin Residential: Final from Building Departme	nt, Final		
		from Engineering Department, Final letter from Snyderville Basin Wa			
		Reclamation District, Final water concurrency letter from appropriate	2		
		company, Final from Park City Fire District (in required subdivisions)			10
		2) Eastern Summit County: Final from Building Department, F	inal from		
		Engineering Department, Final from Fire District and Final from Hea	th		
STAKE TO BE PLACE		Department			
AT TOE OF SLOPE,		Required to verify that the site has been fully stabilized (revegetated)			
	ECP Bond Release Inspection	Inspection is required prior to applicant receiving a release of their E		Engineering	
	Der Done recebe rispection	Control Bond. Applicant must provide a written request for the relea	se of the	Lightering	
STABILIZED CONSTRUCTION ENTRANCE		bond.			
INSTALLATION: 1. Install at any point of ingress or egress at a construction site.	Construction Mitig	ation Plan Notes	Perform washout of co	oncrete trucks offsite or i	n designated concrete
TYPICAL DESIGN LAYOUT 2. Clear and grub area and grade to provide slope shown for driveway, or			washout areas only.		
access/intersection. If adjacent to waterway, use a maximum slope of 2%. 3. Compact subgrade and place filter fabric.		r, portable toilets, materials storage, parking	omen ditabas streats a	rete trucks onto the groun or streams.	nd, or into storm drains,
4. Place coarse aggregate, 1 to 2 ½ inches size, to a minimum depth of	Construction parking/trafficence Engineering Division)	c may not block the street without a permit (available from the	 Do not allow excess contractions 	oncrete to be dumped on	site, except in
o incres for commercial projects, and 4 incres for residential projects.	 Mud tracked out onto the s 	treet must be cleaned prior to the end of the work day	designated concrete w	ashout areas.	
50° MIN. MAINTENANCE: 1. Inspect daily for loss of gravel or sediment buildup.		be maintained in a neat manner. Trash and other debris may	Concrete washout areas m		
8"FOR COMMERCIAL 4" FOR RESIDENTIAL	not accumulate outside the Roadside parking is not all	dumpster. owed from November ¹⁵ to April ¹⁵	containers, or self-installe	ed structures (above-gra ainers are most resistan	
(INDWIDUAL LOTS) 3. Repair entrance and replace gravel as required to maintain control in good working condition.				lls and leaks. Companie	
12 Milestantian and estabilized area as required to accommodate traffic, and off site	Construction parking cannot be		service and provid	e regular maintenance a	
	The street side parking is allowed	during the winter season, Nov. 15 thru April 15.	and liquid waste.	ncrete washout areas ar	e used below-grade
BELEATH AGORGATE IF PROJECT HAS A DURATION OF 3 MONTHS OR MORE.			structures are prefe	erred over above-grade	
OF 3 MONTHS OR MORE.	/			to spills and leaks.	dd anhu ha ann 196
			 Self-installed above excavation is not presented above 	/e-grade structures shou practical.	nd only be used if
			encurration is not p		

Required Inspections Table







S CANDINAVIA N	LLC
Address 6410 N. B Park Loop Ro	navian LLC usiness
A New Residence: BIGELOW	Summit Powder Mountain, Lot # 153R 8464 E. Spring Park, Weber County, Utah
BUILDER Company Name Address Park City, Utah Phone Fax Fax Drawing Date Scale Title/No FLOOR BUILDER/ DEALER'S /	7-15-2021 1/4" = 1' -0" 2 LEVEL PLAN



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NOTE: ROOM AREAS SHOWN BELOW ROOM NAMES ARE APPROXIMATE ALL FRAMING STUDS ARE 16"

WALL LEGEND:

WALL 1:

- RECTANGULAR LAMINATED PROFILE WALL 7 7/8" [200x360] 1,5-hr fire rating Fire class D-s2, d0

WALL 2: - RECTANGULAR LAMINATED PROFILE WALL 7 7/8" -2"x2"FURRING WALL @16"O.C. * SLIDING CONNECTORS, (INSULATION) -gyp. Board 1/2" 글 -DAMP-PROOF COURSE မို -TILE

WALL 3: -STONE VENEER / WOOD SIDING 1" -PLYWOOD 7/16" - 2"x6" STUD FRAMING @16"O.C. *R-19 BATT INSULATION -MOISTURE BARRIER -gyp. Board 1/2"

WALL 4: -STONE VENEER -3/4" FURRING -MOISTURE BARRIER

- 2"x4" FURRING WALL @16"O.C. ***BATT INSULATION** -1/2" GYP. BOARD

WALL 5: -GYP. BOARD 1/2" - 2"x4" STUD FRAMING @16"O.C. -GYP. BOARD 1/2" 글 -DAMP-PROOF COURSE မြို -TILE

WALL 6: -GYP. BOARD 1/2" - 2"x6" STUD FRAMING @16"O.C. -gyp. board 1/2"



Address 6410 N Park Loop	RAL OFFICE Idinavian LLC . Business Rd. Unit E 85-513-0355
Cad File Drawn Checked	
A New Residence: BIGELOW	Summit Powder Mountain, Lot # 153R 8464 E. Spring Park, Weber County, Utah
BUILDER Company Name Address Park City, Ut Phone Fax	:ah 84098
	7-15-2021 1/4" = 1'-0" I LEVEL DR PLAN 'S APPROVAL : 2,2

	BUILDING SY	
Xa	Park City, Ut	avian

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S CANDINAVIA N	LLC
Address 6410 N. Bi Park Loop Rd	navian LLC usiness
A New Residence: BIGELOW	Summit Powder Mountain, Lot # 153R 8464 E. Spring Park, Weber County, Utah
BUILDER Company Name Address Park City, Utah Phone Fax Fax Drawing Date Scale Title/No. UPPER FLOOR BUILDER/ DEALER'S /	7-15-2021 1/4" = 1'-0"



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FLOOR 1 -FLOORING -4" REINFORCED CONC. SLAB (WELDED WIRE FABRIC) -6-MIL POLYETHENE VAPOR BARRIER -RIGID INSULATION 2" MINIMUM -COMPACTED GRANUAL BASE COURSE

* SOUND INSULATION -CEILING BOARDS FLOOR 3 -FLOORING -3/4" OSB PLYWOOD SUBFLOOR -2" FURRING /INSULATION -3" CONCRETE TOPPING



ARCHITECTURAL OFFICE Company Name G410 N. Business Park Loop Rd. Unit E Phone 435-513-0355 Fax Project No. Cad File Drawn Checked		SCANDINA	TLC
lew Residence: BIGELOW owder Mountain, Lot # 153R ng Park, Weber County, Utah	Company N Address (Park Phone Fax Project No. Cad File Drawn	ame Scandi 6410 N. B CLOOP RC	navian LLC Business d. Unit E
	Vew Residence:	$\stackrel{\smile}{=}$	Summit Powder Mountain, Lot # 153R 8464 E. Spring Park, Weber County, Utah

1/4" = 1' -0"

BUILDING

4.1

SECTION BUILDER/ DEALER'S APPROVAL :

Scale Title/No.

Signature and Date

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