



Staff Report for Administrative Approval

Weber County Planning Division

Synopsis

Application Information

Application Request:	Consideration and action on a request for design review approval of an office and storage building located at 4770 East 2660 North, Eden UT, 84310
Type of Decision:	Administrative
Applicant:	Philip Castiglia
File Number:	DR 2021-01

Property Information

Approximate Address:	4770 East 2660 North, Eden UT, 84310
Project Area:	2,400 square feet
Zoning:	CV-2
Existing Land Use:	Non-Conforming Residential
Proposed Land Use:	Commercial
Parcel ID:	22-328-0001
Township, Range, Section:	Township 7 North, Range 1 East, Section 34 NW

Adjacent Land Use

North:	AV-3 (Snowcrest Jr. High School)	South:	Commercial (County Storage Sheds)
East:	Commercial (Washworks Car Wash/Laundromat)	West:	Commercial

Staff Information

Report Presenter:	Scott Perkes sperkes@co.weber.ut.us 801-399-8772
Report Reviewer:	RG

Applicable Ordinances

- Weber County LUC Title 104, Chapter 21 – Commercial Valley Zone (CV-2) Zone
- Weber County LUC Title 108, Chapter 1 – Design Review
- Weber County LUC Title 108, Chapter 2 – Architectural, Landscape, and Screening Design Standards
- Weber County LUC Title 108, Chapter 8 – Parking and Loading Space, Vehicle Traffic and Access Regulations
- Weber County LUC Title 108, Chapter 16 – Ogden Valley Outdoor Lighting
- Weber County LUC Title 110, Chapter 2 – Ogden Valley Signs

Summary and Background

The applicant is requesting an administrative design review approval of a proposed commercial office building. The applicant has designed the proposed structure to match materially and aesthetically with the existing nonconforming single-family home on the property (see **Exhibit A**). This building includes two separate office spaces and some integrated storage area in the form of an attached two bay garage. The applicant plans to run his business (Terra Form Utah LLC. see **Exhibit B**) out of one of the structure's two office spaces while leasing the other office space to another tenant.

Analysis

Zoning: The proposed structure is located in the CV-2 zone. This zone allows for both commercial offices and Soil and Lawn Service businesses as permitted uses. While there is no specific definition of a "Soil and Lawn Service" in the Land Use Code, the applicant's business, Terra Form Utah LLC, fits into the Soil and Lawn Service business category as it is a landscaping and design business. The applicant will run this business out of the office space incorporated into the proposed commercial structure.

- The site plan and building plans show that the proposed building is compliant with the following site development standards for the CV-2 Zone:

Minimum lot area: None;

Minimum lot width: None;

Minimum front yard setback: None;

Minimum side yard setback: 10 Feet (exemptions to allow no setback minimum, as outlined in LUC Sec. 104-20-2, do not apply to this property and proposal).

- The proposed structure is no closer than 29 feet away from a side property line;

Minimum rear yard setback: 10 Feet (exemptions to allow no setback minimum, as outlined in LUC Sec. 104-20-2, do not apply to this property and proposal).

- The proposed structure is 12 feet away from the rear property line.

Building Height: Minimum height of 1 story and a maximum height of 35 feet.

- The proposed structure is two stories and 25 feet tall.

Lot Coverage: 60 percent maximum lot coverage ratio.

- The property's existing nonconforming structures together with the proposed commercial structure equates to a total lot coverage ratio of 6.7%.

- The CV-2 zone requires the following two connectivity requirements that will need to be satisfied prior to the issuance of a Land Use Permit.
 1. Complete Streets
 - a. Per LUC Sec. 104-20-4(c)(1), complete streets are required for any new commercial development within the CV-2 zone. This includes the installation of a complete street (defined in LUC Sec. 101-2-4) that spans the street frontage of the lot for the width of the existing and proposed completed improvements.
 - i. Staff recommends that a deferral agreement be drafted, signed, and recorded by the applicant to ensure that a complete street is installed, at the owner's expense, at a time that the County determines these improvements to be necessary.
 2. Cross-Access Easements
 - a. Per LUC Sec. 104-20-4(f), at a minimum, each developed commercial lot or parcel shall have two points of ingress and egress, at least one of which shall be stubbed to adjacent property where practicable.
 - i. Staff does not believe this requirement to be practicable at this time given the nature of surrounding land uses and the anticipated traffic circulation patterns of the proposed structure.

Design Review: The CV-2 Zone requires a design review (as outlined in LUC §108-1) to ensure that the general design, layout, and appearance of commercial sites and buildings is orderly and harmonious with the surrounding neighborhood. LUC §108-1-2(a) states that design review applications for buildings in the CV-2 zone with a footprint of less than 10,000 square feet, and which impact an area of less than one acre, may be reviewed and approved administratively by the Planning Director.

As part of a design review, the Planning Director shall consider applicable codes and impose conditions that mitigate deficiencies if necessary. Considerations for Design Review, per LUC Sec. 108-1, is given to the following criteria. Staff Analysis follows each criteria:

- *Traffic safety and traffic congestion:*
 - The proposal is not anticipated to substantially increase traffic or to cause any traffic safety hazards. The existing access off of 2650 North Street will be used, and parking will be provided adjacent to the proposed structure (see page 7 of **Exhibit B**).
- *Outdoor advertising:*
 - At present, the applicant has not proposed the installation of any associated signage. Any future signage will need to be reviewed through a separate design-review application.
- *Outdoor Lighting Plan:*
 - The existing nonconforming single-family home on the property has already been brought into compliance with the outdoor lighting requirements of LUC Sec. 108-16 due to a recent renovation.
 - The proposed commercial structure, as presently submitted, does not include any outdoor lighting. However, the Building Department has verified that as a commercial structure, outdoor lighting will

need to be included in order to meet building code requirements. As such, staff recommends that an outdoor lighting plan be submitted and approved as a condition of design review approval.

- **Landscaping:**
 - At present, the applicant is depicting the use of trees along the north east property line as well as in front of the proposed commercial structure to help screen the structure from adjacent properties (see page 7 of **Exhibit B**). *It's important to note that the landscaping plan does not specify the type of trees to be planted.*
 - Staff recommends that an updated landscaping plan be submitted which clarifies the type of trees to be planted.
- **Building and site layout:**
 - The site plan and building plans show that the proposed building is compliant with the site development standards for the CV-2 Zone.
- **Utility easements, drainage, and other engineering questions:**
 - The proposed structure does not conflict with any existing easements or drainage on the lot.
 - The proposal must meet all review agency requirements, including the requirements of the Engineering Division. At present, the Engineering Division has provided an approval of the associated land use permit without any additional conditions.

Architectural, landscape, and screening design standards: Per LUC Sec. 108-2, the following architectural, landscape, and screening design standards apply to all new commercial uses. Staff's analysis is provided below each standard:

Minimum Standards; Architectural:

- **Color.** External surfaces shall be predominantly natural, muted earth tones. White may only be used as an accent color. The roof of an addition to an existing structure, when matching existing colors, shall be exempt.
 - Per the submitted renderings and photos of the existing home (of which the proposed structure is intended to follow materially and aesthetically), the proposed structure will be primarily clad with a dark grey corrugated steel paneling and black painted I-beams as accents (see **Exhibits A & C**).
- **Exposed fronts and street sides of buildings.** Exposed fronts and street sides of buildings shall be constructed of non-reflective materials and shall be textured concrete, brick, stone and/or natural wood/wood-like materials. Concrete masonry units or block CMUs shall not be considered acceptable materials unless it is specially colored and textured to give an appearance of natural rough stone. Vinyl and/or aluminum siding shall not be acceptable.
 - The proposed structure does not incorporate the above listed materials. Corrugated steel sheets have been selected in order to match the existing home on the site. As indicated below, exposed metal is an allowable material so long as it is painted and is non-reflected. To help soften the impact of this material choice, the structure will be screened from the street by trees per the proposed landscaping plan (see page 7 of **Exhibit B**). *It's important to note that the submitted landscaping plan does not specify the type of trees to be planted.*
 - Staff recommends that the updated landscaping plan incorporate coniferous trees to improve screening through the winter months when leaves are not present on deciduous trees.
- **Glass.** Use of glass for displays and to allow visual access to interior spaces shall be allowed. Mirrored glazing is prohibited on any building. Tinted or solar absorption glazing may be used.
 - The proposed structure incorporates standard sized windows, none of which are intended for display purposes.
- **Exposed metal.** Exposed metal shall be painted, stained, or anodized in permitted colors and shall be non-reflective. Copper, brass and wrought iron may remain untreated and allowed to develop a natural patina.

- The proposed structure will be almost exclusively clad with corrugated metal sheets. All of which will be painted a dark grey color. The accent I-beam supports will also be painted a dark grey/black.
- *Metal windows.* Metal as a window framing support or mounting material shall be painted, stained, anodized or vinyl-clad in approved colors.
 - *The proposed windows will be metal framed and painted a dark grey/black color.*
- *Architectural detail.* Architectural detail shall be provided at focal points on all building facades, such as doorways, balconies, roof overhangs and dormers, such that monotonous horizontal lines greater than 50 feet do not occur.
 - *The proposed structure will have a continuous façade of 60' in length.* This façade is broken up by two office windows. This façade will also be screened by the proposed landscaping to help break up the monotonous width of the flat façade.

Minimum Standards and Guidelines, General Landscaping:

- LUC Sec. 108-2-5 outlines the general landscaping requirements for new commercial developments. To-date, the applicant has submitted a basic landscaping plan.
 - Staff recommends that as a condition of approval, and prior to the issuance of a land use/building permit, an updated landscaping plan be submitted to verify compliance with the requirements of this section of the land use code.

Conformance to the General Plan

The proposal conforms to the Ogden Valley General Plan by continuing commercial development within existing commercial and village areas (pg. 25 Ogden Valley General Plan, Commercial Development Goal 1).

Staff Recommendation

The Planning Division recommends approval of file #DR 2021-01 subject to all review agency requirements and the following conditions:

1. A deferral agreement must be signed and recorded by the applicant to ensure that a complete street is installed, at the owner's expense, at a time that the County determines these improvements to be necessary.
2. An outdoor lighting plan must be submitted and approved.
3. An updated landscaping plan must be submitted which adheres to the Minimum Standards and Guidelines; General Landscaping as outlined in LUC Sec. 108-5 & 108-7). This plan will also need to clarify the type of trees to be planted and will need to incorporate coniferous trees to improve screening through the winter months when leaves are not present on deciduous trees. Staff recommends that this condition be satisfied prior to the issuance of a Land Use/Building Permit.
4. Any future signage will need to be reviewed through a separate design-review application.

The recommendation for approval is based on the following findings:

1. The proposal complies with applicable County codes.
2. The proposed project conforms to the Ogden Valley General Plan.

Administrative Approval

Administrative approval of DR 2021-01 is granted based upon its compliance with the Weber County Land Use Code. This approval is subject to the requirements of applicable review agencies and the conditions of approval listed in this staff report.

Date of Administrative Approval: APRIL 13/21


 Rick Grover
 Weber County Planning Director

Exhibits

- A. Photos of Existing Single-Family Home
- B. Building Plans
- C. Architectural Renderings

Area Map

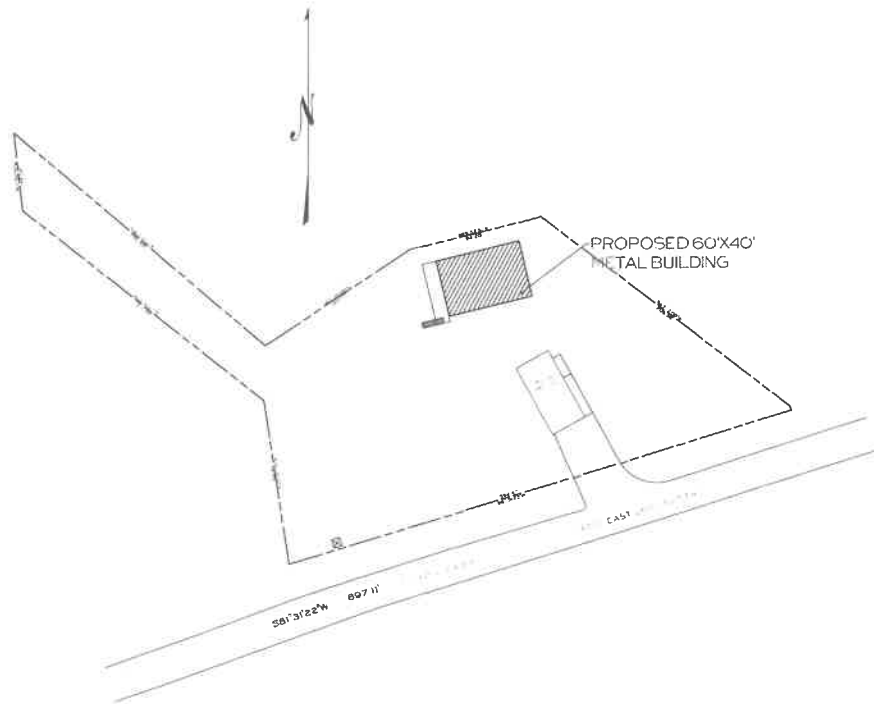
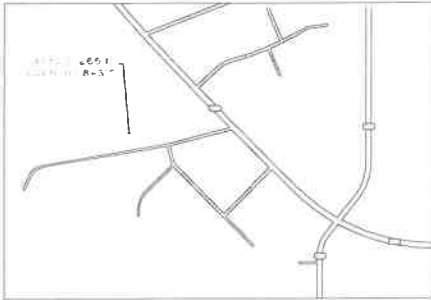


Exhibit A – Existing Single-Family Home (Commercial Structure to be Modeled After)





Exhibit B



SHEET INDEX

- INDEX SHEET, PROPERTY MAP, VICINITY MAP
- ELEVATIONS
- 1st FLOOR PLAN
- 2nd FLOOR PLAN
- 1st FLOOR ELECTRICAL
- 2nd FLOOR ELECTRICAL
- FIRE SUPPRESSION PLAN

- A1
- A2
- A3
- A4
- E1
- E2
- F1

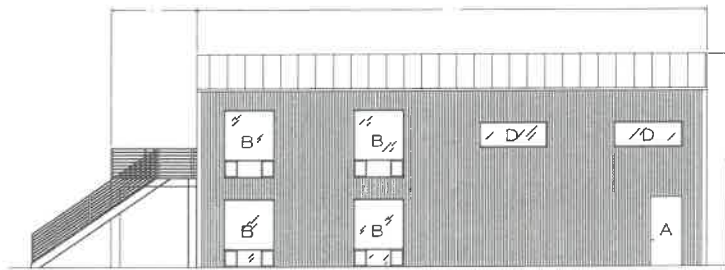
Terra Form Inc.

CASTIGLIA PROPERTY

INDEX SHEET

A1

Exhibit B

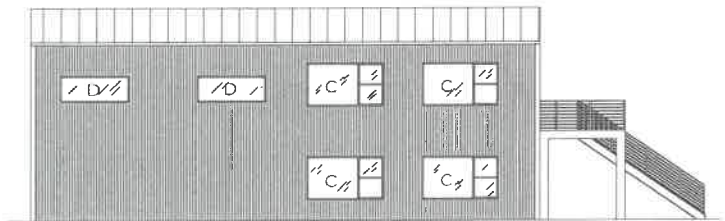


1. SOUTH ELEVATION



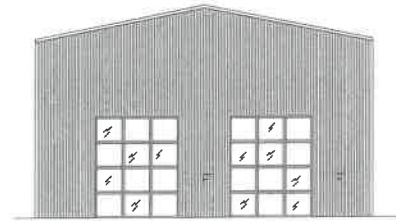
2. WEST ELEVATION

SCALE 1/4" = 1'-0"



3. NORTH ELEVATION

SCALE 1/4" = 1'-0"



4. EAST ELEVATION

SCALE 1/4" = 1'-0"

EXTERIOR DOOR AND WINDOW SCHEDULE

TYPE	QTY	ROUGH OPENING	STYLE
A PEDESTRIAN DOORS	3	4425" x 97562"	HINGED RIGHT
B ANDERSON WINDOW	5	72" x 96"	FIXED BOX
C ANDERSON WINDOW	4	1085" x 15025"	FIXED SINGLE HUNG
D ANDERSON WINDOW	4	96" x 35"	FIXED
E AMSCO STUDIO PATIO DOOR	2	1495" x 596"	OXHO
F ADVANCED ROLL UP DOOR	2	18" x 142"	ROLL UP DOOR

Terra Form Inc.

Philip Castiglia Owner
phone 1202.535.0242
www.terraform.com

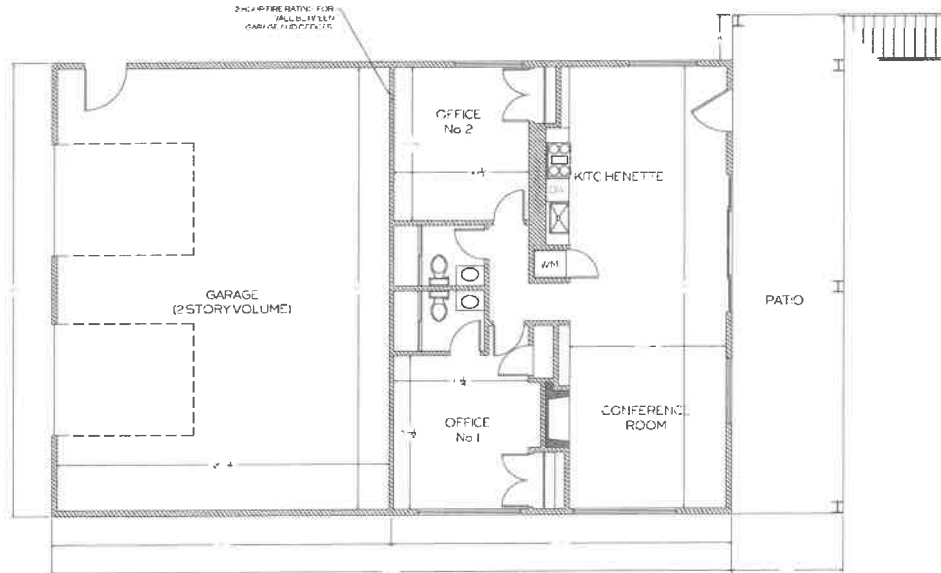
CASTIGLIA PROPERTY

ELEVATIONS

DATE 3/20/20

SCALE 1/4" = 1'-0"

A2



FIRST FLOOR

SCALE 1/4" = 1'-0"

CASTIGLIA PROPERTY
477 EAST 2ND NORTH, EDEN, IOWA 52424

FIRST FLOOR LAYOUT

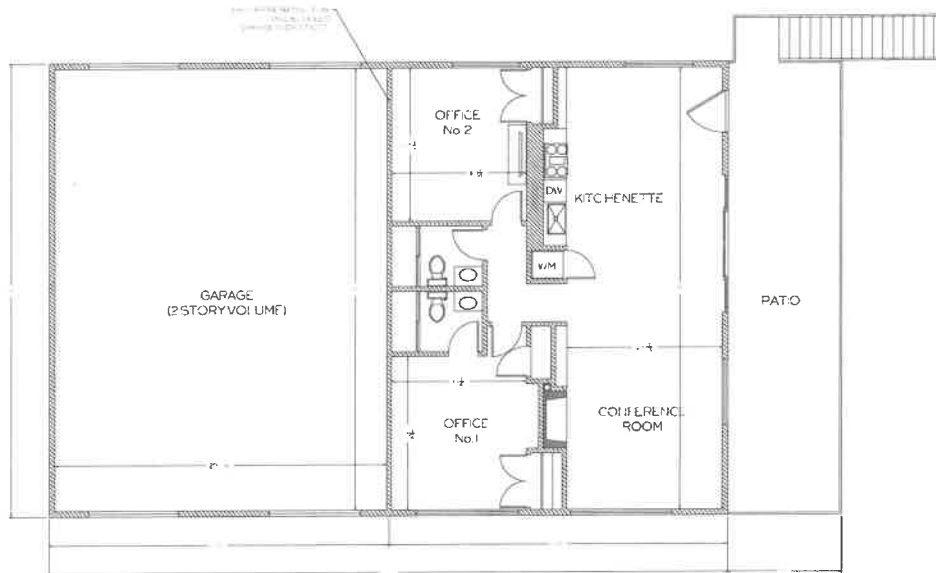
DATE: 11/10/10

BY: K.S.

A3

Exhibit B

Terra Form Inc.



SECOND FLOOR

Project: Terra Form Inc.
Date: 09/15/15
Scale: 1/8" = 1'-0"

CASTIGLIA PROPERTY

SECOND FLOOR LAYOUT

Scale: 1/8" = 1'-0"

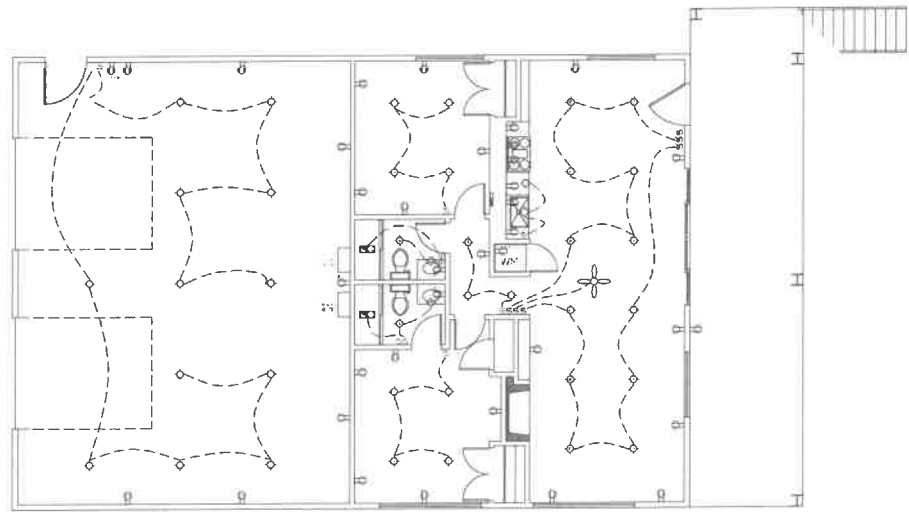
Date: 09/15/15

A4

ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE STATE ELECTRICAL CODES. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LOCAL CODES.

SYMBOL LEGEND

SYMBOL	NAME
⊕	DUPLEX WALL OUTLET
⊕	GFCI OUTLET
⊕	WEATHERPROOF GFCI OUTLET
⊕	DISHWASHER OUTLET
⊕	SWITCHED OUTLET FOR GARBAGE DISPOSAL
⊕	SWITCH
⊕	SWITCH 3-WAY
⊕	ELECTRICAL PANEL
⊕	LIGHT FIXTURE
⊕	RECESSED LIGHT FIXTURE
⊕	UNDER CABINET LIGHTING
⊕	GARAGE DOOR OPENER



FIRST FLOOR

SCALE

Terra Form Inc.

Phone: (604) 535-3648
www.terraforminc.com

CASTIGLIA PROPERTY

FIRST FLOOR ELECTRICAL

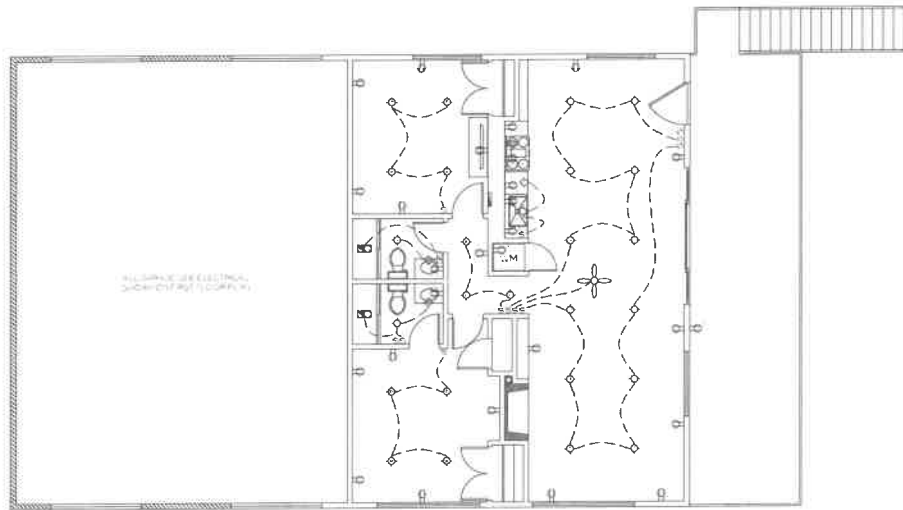
E1

Exhibit B

NOTE: OUTLETS SHALL BE SPACED ACCORDING TO THE NEC. ALL OUTLETS SHALL BE SPACED AT THE DIRECTION OF THE ELECTRICIAN. ACTUAL OUTLET LOCATIONS MAY VARY FROM WHAT THE PLAN SHOWS.

SYMBOL LEGEND

SYMBOL	NAME
⊕	DUPLEX WALL OUTLET
⊕	GFC OUTLET
⊕	WEATHERPROOF GFC OUTLET
⊕	DISHWASHER OUTLET
⊕	SWITCHED OUTLET FOR GARBAGE DISPOSAL
⊕	SWITCH
⊕	SWITCH 3-WAY
⊕	ELECTRICAL PANEL
⊕	LIGHT FIXTURE
⊕	RECESSED LIGHT FIXTURE
⊕	UNDER CABINET LIGHTING
⊕	GARAGE DOOR OPENER



SECOND FLOOR

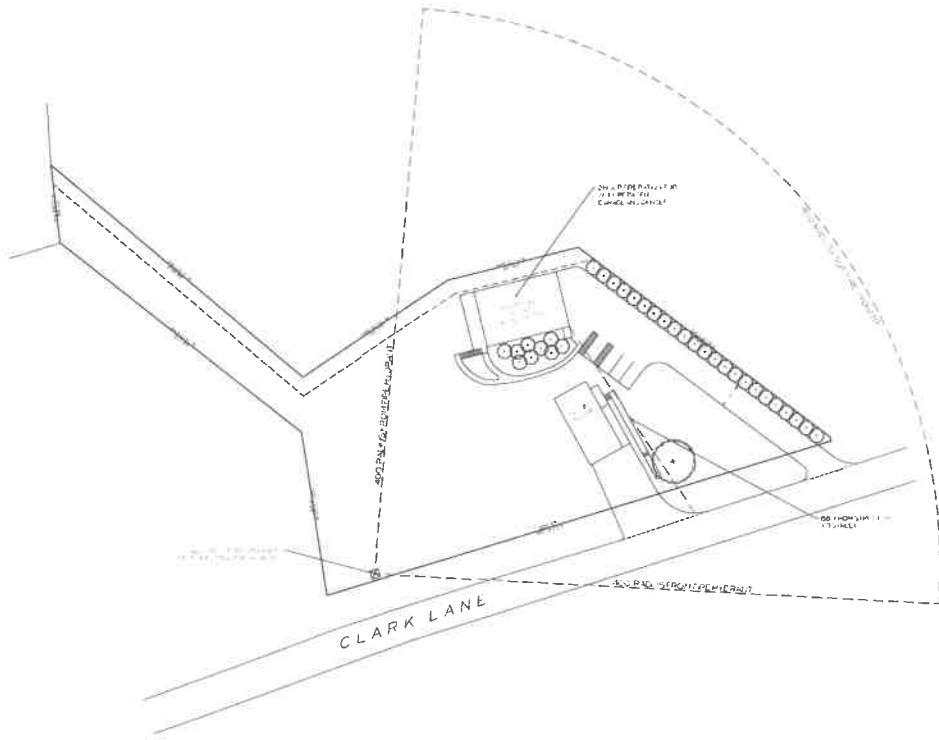
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CASTIGLIA PROPERTY

SECOND FLOOR ELECTRICAL

E1

Exhibit B



Terra Form Inc.

CASTIGLIA PROPERTY

FIRE PLAN

F1

Exhibit C - 3D Renderings

