

When recorded, please mail to:

Summit Wealth Holdings, LLC
110 W. 1700 N.
Centerville, UT 84014

RELEASE OF LIABILITY

This RELEASE OF LIABILITY (the “**Release**”) is executed as of April 5, 2021 (the “**Effective Date**”), by Summit Wealth Holdings, LLC, a Utah limited liability company, (“**Developer**”).

RECITALS

A. Developer is the owner and developer of a residential subdivision known as “Harbor View Estates” (the “**Project**”) located in Weber County, Utah, more particularly described in Exhibit A attached hereto.

B. Developer has or will dedicate, grant, and convey to Weber County (the “**County**”) those portions of the Project designated as streets so they will be recognized as public roadways in perpetuity (the “**Project Streets**”).

C. The entrance of the Project includes a street island (the “**Island**”) that is described as “Open Space F” on the Project’s plat that has or will be recorded with the Weber County Recorder’s Office. The Island is approximately 1,520 square feet in size. Developer has installed or may install various improvements such as landscaping, curbing and signage on the Island (the “**Improvements**”).

D. The County has requested that the Developer release the County from any responsibility for maintenance of the Island or the Improvements and liability for any damage to the Island or Improvements that may result from the County’s maintenance of the Project Streets.

DECLARATION

NOW, THEREFORE, Developer hereby declares and agrees:

1. Maintenance of the Island. Developer, its administrators, successors, and/or assigns will assume complete responsibility for any and all maintenance of the Island and the Improvements and shall conduct maintenance and repair activities that may be necessary to comply with Weber County regulations and/or local standards.

2. Release of Liability. Developer, its administrators, successors, and/or assigns shall forever and unconditionally release the County from any responsibility or liability whatsoever for any damage to or destruction of any portion of the Island or the Improvements that may directly or indirectly result from the County’s maintenance of the Project Streets.

3. Covenants to Run with the Land. This Release of Liability shall be recorded by the Weber County Recorder’s office and it is intended that each of the covenants, conditions, rights, and obligations set forth herein shall run with the land. Accordingly, this Release shall forever apply and be enforceable against Harbor View Estates Home Owners Association, Inc., as the governing body of the Project (or any other association that may govern the Project), including any members of such association and the owners of any parcels or lots located within the Project.

[Signature Page Follows]

IN WITNESS WHEREOF, Developer has executed this release as of the Effective Date.

“DEVELOPER”

SUMMIT WEALTH HOLDINGS, LLC

Signature: *Steven Fenton*

Name: Steven Fenton

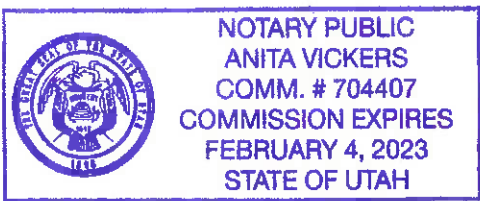
Title: Manager

STATE OF UTAH)

ss:

COUNTY OF ~~WEBER~~)
Salt Lake

On the 5th day of April, 2021 personally appeared before me Steven Fenton, the signer of the foregoing instrument, who duly acknowledged to me that he executed the same on behalf of Summit Wealth Holdings, LLC for its stated purpose.



Anita Vickers
Notary Public

EXHIBIT A

Legal Description of the Project

The Project is located in Weber County, State of Utah, and is more particularly described as follows:

A PART OF THE NORTHEAST QUARTER OF SECTION 10 AND A PART OF THE SOUTH HALF OF SECTION 3, TOWNSHIP 6 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN. BEGINNING AT A POINT ON THE NORTHERLY BOUNDARY LINE OF THE RESERVE AT CRIMSON RIDGE CLUSTER SUBDIVISION PHASE 1 BEING LOCATE NORTH 90°00'00" EAST 798.17 FEET AND SOUTH 00°00'00" EAST 37.80 FEET FROM THE NORTH QUARTER CORNER OF SECTION 10, TOWNSHIP 6 NORTH, RANGE 1 EAST, OF THE SALT LAKE BASE AND MERIDIAN (BASIS OF BEARING BEING THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 NORTH, RANGE 1 EAST, OF THE SALT LAKE BASE AND MERIDIAN SOUTH 89°38'41" EAST); RUNNING THENCE NORTH 35°45'52" WEST 57.86 FEET; THENCE ALONG THE ARC OF A 295.00 FOOT RADIUS CURVE TO THE RIGHT 35.65 FEET, HAVING A CENTRAL ANGLE OF 06°55'30", CHORD BEARS NORTH 32°18'07" WEST 35.63 FEET; THENCE NORTH 51°37'53" EAST 278.93 FEET; THENCE NORTH 40°13'06" WEST 607.64 FEET; THENCE NORTH 40°42'22" WEST 310.19 FEET; THENCE NORTH 48°18'19" WEST 386.26 FEET; THENCE SOUTH 29°21'53" WEST 358.34 FEET; THENCE ALONG THE ARC OF A 25.00 FOOT RADIUS CURVE TO THE RIGHT 27.00 FEET, HAVING A CENTRAL ANGLE OF 61°52'36", CHORD BEARS NORTH 76°58'27" WEST 25.71 FEET; THENCE NORTH 45°02'30" WEST 210.44 FEET; THENCE ALONG THE ARC OF A 250.00 FOOT RADIUS CURVE TO THE LEFT 41.41 FEET, HAVING A CENTRAL ANGLE OF 09°29'22", CHORD BEARS NORTH 49°04'50" WEST 41.36 FEET; THENCE NORTH 64°06'26" EAST 152.56 FEET; THENCE NORTH 23°18'36" EAST 250.13 FEET TO AN EXISTING FENCE LINE; THENCE ALONG SAID EXISTING FENCE LINE THE FOLLOWING THREE (3) COURSES: (1) SOUTH 89°36'44" EAST 101.63 FEET; (2) SOUTH 89°28'56" EAST 436.43 FEET; (3) NORTH 89°31'33" EAST 508.87 FEET TO THE WEST RIGHT-OF-WAY LINE OF HIGHWAY 158; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE THE FOLLOWING FOUR (4) COURSES: (1) SOUTH 19°31'57" EAST 403.00 FEET; (2) SOUTH 00°13'57" EAST 333.69 FEET; (3) SOUTH 89°36'59" EAST 58.25 FEET; (4) SOUTH 09°26'55" EAST 347.95 FEET TO THE NORTH BOUNDARY LINE OF SAID RESERVE AT CRIMSON RIDGE PHASE 1; THENCE LONG SAID NORTH BOUNDARY LINE SOUTH 54°14'07" WEST 537.83 FEET TO THE POINT OF BEGINNING. CONTAINING 19.478 ACRES.

ALSO AND TOGETHER WITH

A PART OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 NORTH, RANGE 1 EAST, OF THE SAT LAKE BASE AND MERIDIAN. BEGINNING AT A POINT ON THE WEST LINE OF SAID NORTHWEST QUARTER BEING LOCATED SOUTH 00°20'41" EAST 601.40 FEET ALONG THE WEST LINE OF SAID NORTHWEST QUARTER; RUNNING THENCE SOUTH 85°42'49" EAST 1304.26 FEET TO THE BOUNDARY LINE OF SAID RESERVE AT CRIMSON RIDGE PHASE 1; THENCE ALONG THE BOUNDARY LINE OF SAID RESERVE AT CRIMSON RIDGE PHASE 1 FOLLOWING TWO (2) COURSES: (1) SOUTH 32°00'00" EAST 213.36 FEET; (2) NORTH 90°00'00" WEST 1412.00 FEET TO THE WEST LINE OF SAID NORTHWEST QUARTER; THENCE ALONG THE WEST LINE OF SAID NORTHWEST QUARTER NORTH 00°20'41" WEST 278.43 FEET TO THE POINT OF BEGINNING. CONTAINING 7.09 ACRES.

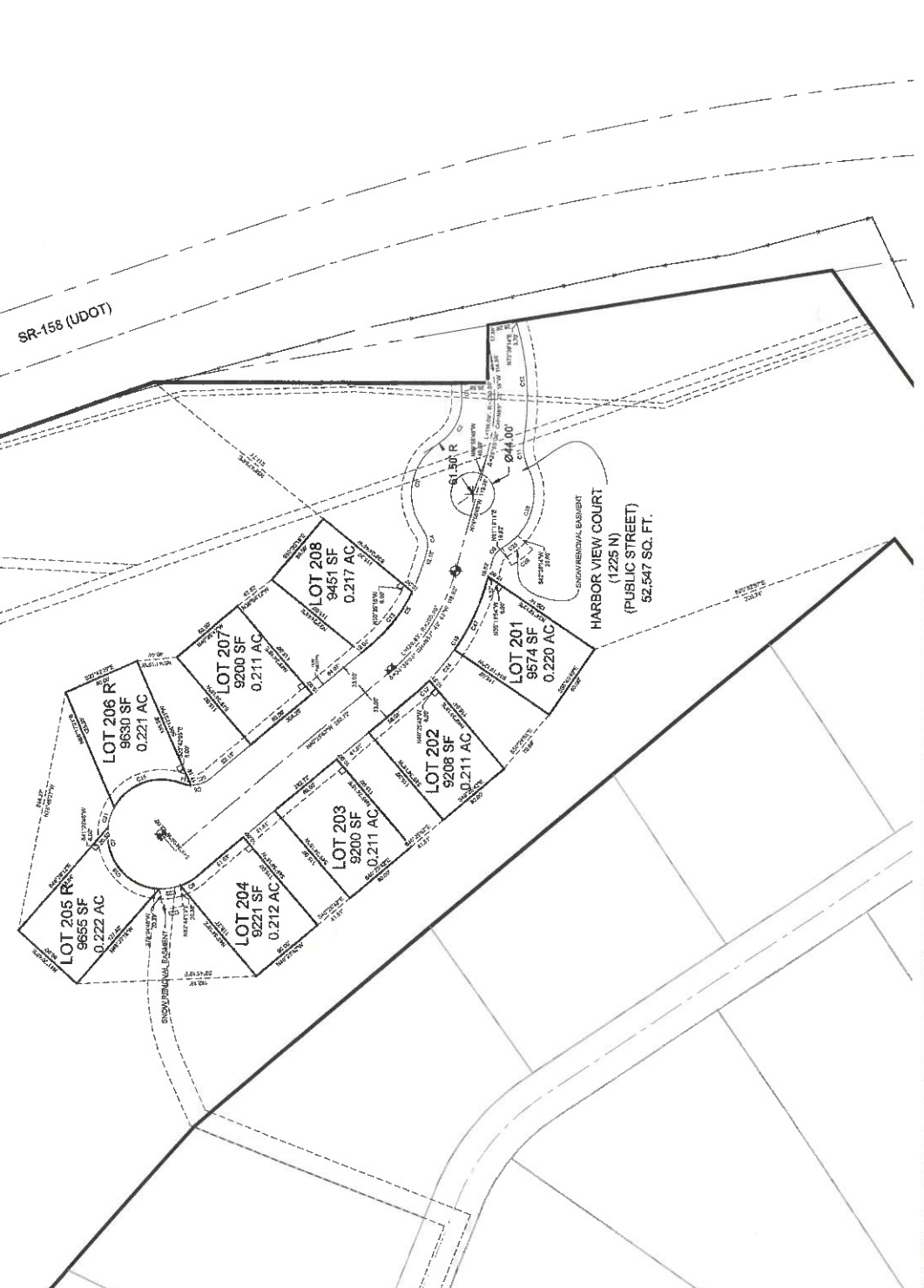
HARBOR VIEW ESTATE
CLUSTER SUBDIVISION

LOCATED IN THE NORTHEAST QUARTER OF SECTION 10, AND THE SOUTH HALF OF SECTION 3
TOWNSHIP 6 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,
WEBER COUNTY, UTAH, JANUARY 2021

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	29.46	197.00	3.95	N89° 43' 59"E	29.45
C2	42.89	95.00	54.95	S89° 51' 09"E	48.08
C3	59.24	61.50	92.45	S79° 35' 26"E	84.92
C4	22.25	25.00	50.84	N79° 30' 04"E	21.50
C5	190.59	167.00	24.50	S37° 40' 45"E	99.05
C6	32.02	32.07	61.16	S9° 59' 35"E	30.52
C7	231.90	85.00	241.16	N67° 09' 05"E	94.70
C8	15.39	25.00	20.17	S32° 20' 34"E	19.05
C9	18.50	25.00	44.69	N52° 30' 00"E	19.01
C10	21.43	81.50	85.15	N72° 49' 31"W	23.24
C11	30.13	30.00	34.53	S81° 31' 10"W	28.68
C12	116.09	285.00	25.46	S89° 23' 10"W	113.80
C13	68.06	187.00	23.95	N52° 12' 24"W	88.18
C14	9.87	33.84	17.17	N11° 17' 31"E	8.84
C15	78.60	35.00	81.58	N57° 12' 24"W	72.93
C16	21.87	235.00	84.61	S69° 19' 47"W	80.78
C17	21.87	235.00	84.61	N67° 07' 48"W	21.87
C18	140.30	132.00	34.52	N87° 40' 47"W	151.19
C19	22.14	30.00	42.89	N79° 16' 59"W	21.84
C20	21.39	35.00	22.27	N72° 16' 49"W	21.74
C21	21.44	95.00	22.35	S9° 05' 29"E	21.30
C22	20.06	75.00	13.32	S9° 05' 30"E	20.00
C23	40.09	235.00	9.65	S59° 40' 21"E	40.00
C24	16.42	61.50	17.19	S37° 40' 00"E	16.35
C25	26.52	81.50	16.72	S39° 02' 18"E	26.50
C26	28.68	135.00	19.25	N59° 16' 19"W	77.91



- LEGEND**
- WEBER COUNTY MONUMENT AS NOTED
 - SET AN IRON PEG AND MARKED WITH AN IRON NAIL
 - SECTION BOUNDARY
 - SECTION LINE
 - ADJACENT PARCEL
 - SECTION LINE
 - EMERGENCY
 - EMERGENCY FORCE LINE



S2 COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____
FILED FOR AND RECORDED _____
AT _____ IN BOOK _____ OF OFFICIAL RECORDS PAGE _____ RECORDED FOR _____ COUNTY RECORDER BY _____

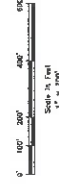
GARDNER ENGINEERING
MUNICIPAL LAND SURVEYING

DEVELOPER: BRAN INVESTMENT PROPERTIES LLC
100 SOUTH 3725 EAST OGDEN, UT 84202
CENTERVILLE, UTAH 84004 (801) 438-8888

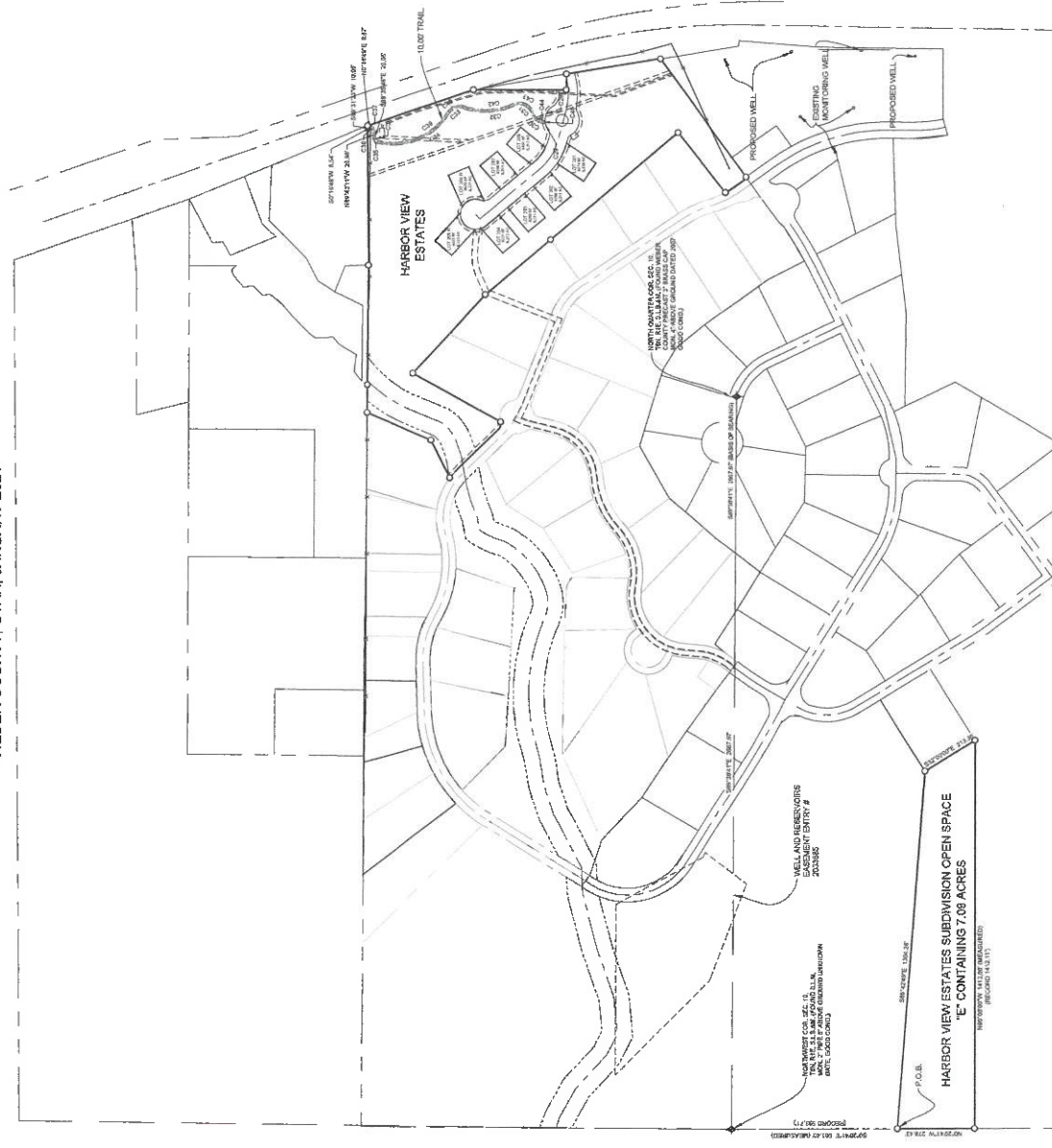
HARBOR VIEW ESTATES
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LOCATED IN THE NORTHEAST QUARTER OF SECTION 10, AND THE SOUTH HALF OF SECTION 3
TOWNSHIP 6 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,
WEBER COUNTY, UTAH, JANUARY 2021

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C20	60.97	81.50	56.80	N61° 48' 43"W	50.90
C28	26.26	81.50	38.35	N67° 37' 39"E	26.01
C30	70.29	46.27	135.43	S35° 11' 59"W	50.54
C31	78.15	41.72	110.20	S30° 47' 48"W	67.21
C32	177.42	24.98	42.01	S2° 38' 10"E	175.47
C33	88.82	48.81	104.43	S10° 20' 09"E	81.90
C34	294.15	234.41	71.80	S22° 54' 04"E	278.22
C35	31.80	26.90	70.35	S49° 48' 59"W	26.84
C36	13.71	10.00	10.00	S45° 15' 49"W	14.14
C37	31.46	20.00	60.00	N45° 15' 48"E	26.38
C38	19.85	15.00	70.35	N47° 45' 39"E	16.59
C39	200.35	224.09	71.33	N42° 48' 02"W	202.49
C40	84.61	38.01	90.45	N19° 20' 09"W	76.10
C42	187.21	225.62	41.01	N2° 35' 37"W	183.66
C43	87.10	51.72	107.37	N50° 55' 43"E	83.46
C44	56.20	38.27	84.15	N55° 07' 20"E	51.29
C46	10.02	81.50	9.33	N80° 07' 22"E	10.01



- LEGEND**
- ↑ REDE COUNTY INSTRUMENT AS NOTED
 - WARRIOR CATCHER ENCLOSURES
 - SUBDIVISION BOUNDARY
 - LOT LINE
 - ADJACENT PARCELS
 - SECTION LINE
 - EASEMENT
 - ROAD AND EASEMENT LINE
 - TRAIL



S3 DEVELOPER: GARDNER ENGINEERING LLC 110 WEST 100 NORTH CENTERVILLE, UTAH 84604 (801) 225-1111	3 GARDNER ENGINEERING COLLETTA AND JEFFREY MUNICIPAL LAND SURVEYING OFFICE: 300 N. 225 E. P.O. BOX 1014 WASHINGTON, UT 84784	COUNTY RECORDER
		ENTRY NO. _____ FEE PAID _____ FILED FOR AND RECORDED _____ AT _____ IN BOOK _____ OF OFFICIAL _____ RECORDS PAGE _____ RECORDED _____ FOR _____
		COUNTY RECORDER