

LACY  
Powder Mountain, Lot # 147  
- Copper Crest,  
Park City, Utah  
Build by:

Scandinavian LLC

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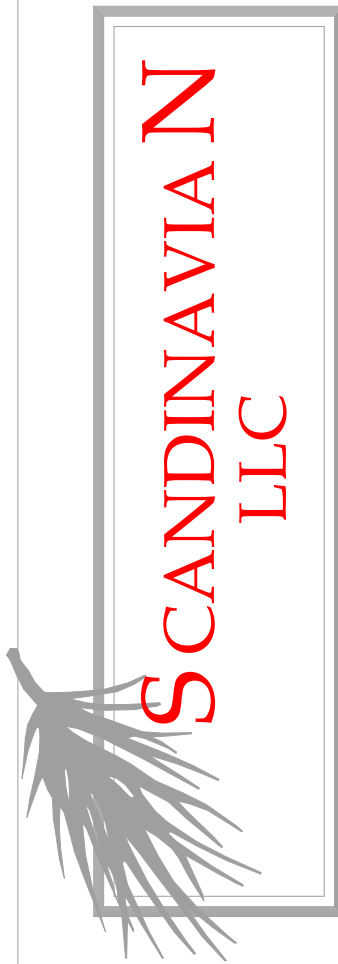
UPPER LEVEL FLOOR PLAN

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4.1 BUILDING SECTION

Building  
*dreams* into  
*legacies*



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Project No.  
Ctd File  
Drawn  
Checked

A New Residence:  
PENNY AND JIM LACY  
Summit Powder Mountain, Lot # 147  
- Copper Crest, Utah

BUILDER  
Company Name  
Address  
Park City, Utah 84098  
Phone  
Fax

Drawing Date 3-23-2021

Scale

Title No.

COVER SHEET

BUILDER/ DEALER'S APPROVAL :

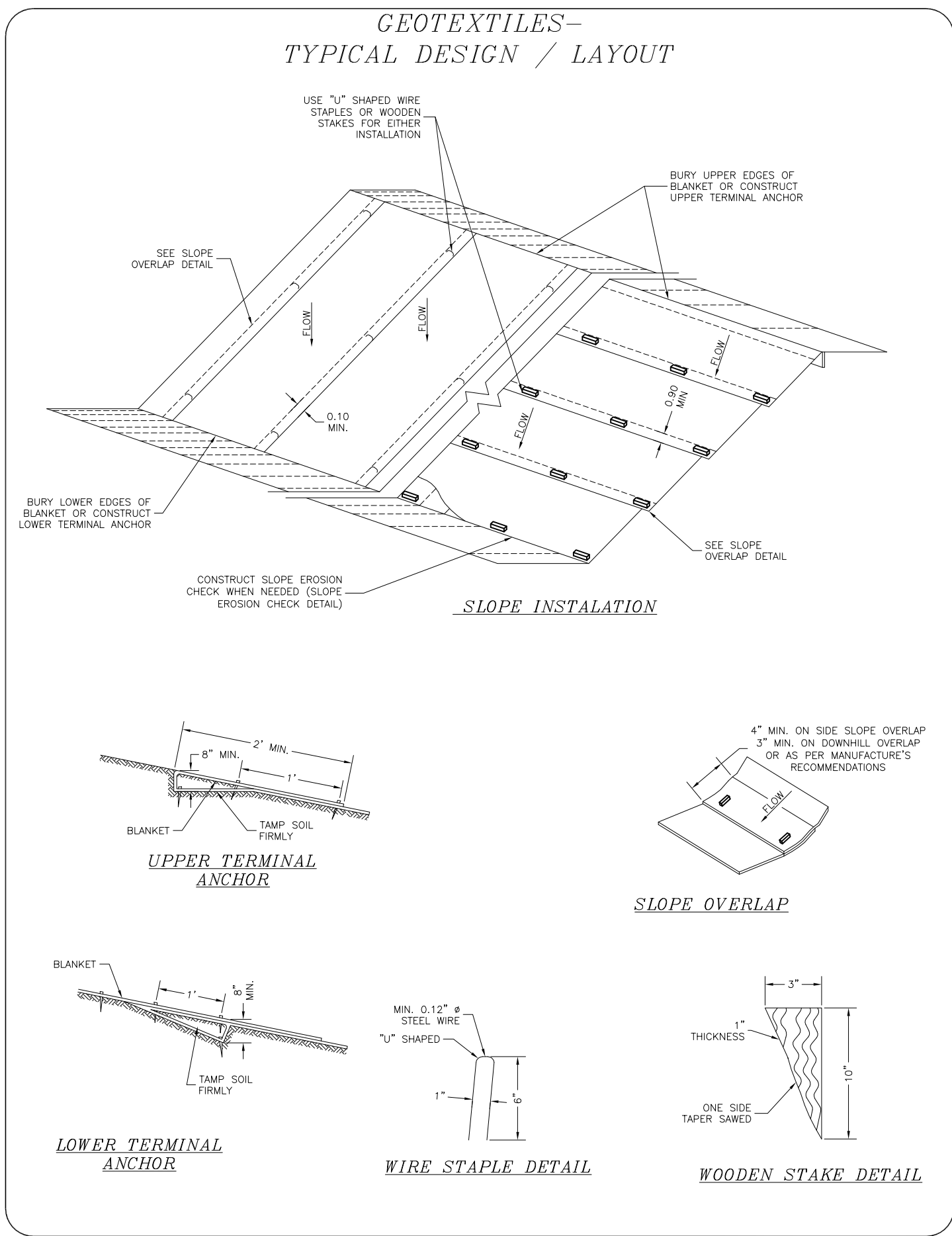
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1.0

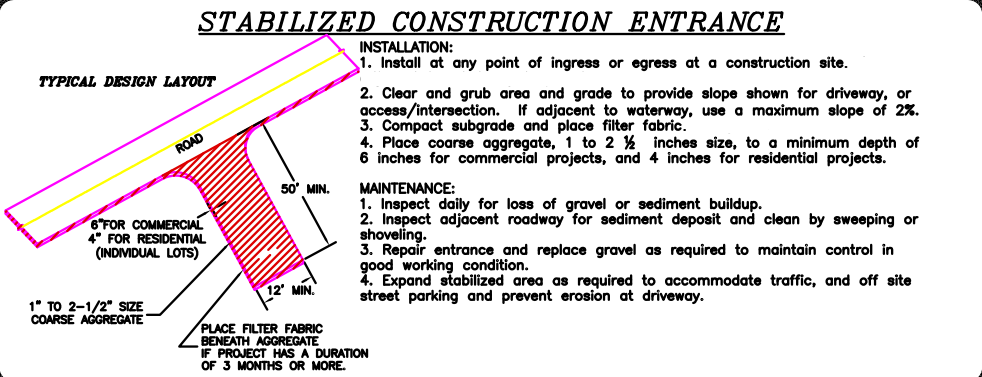
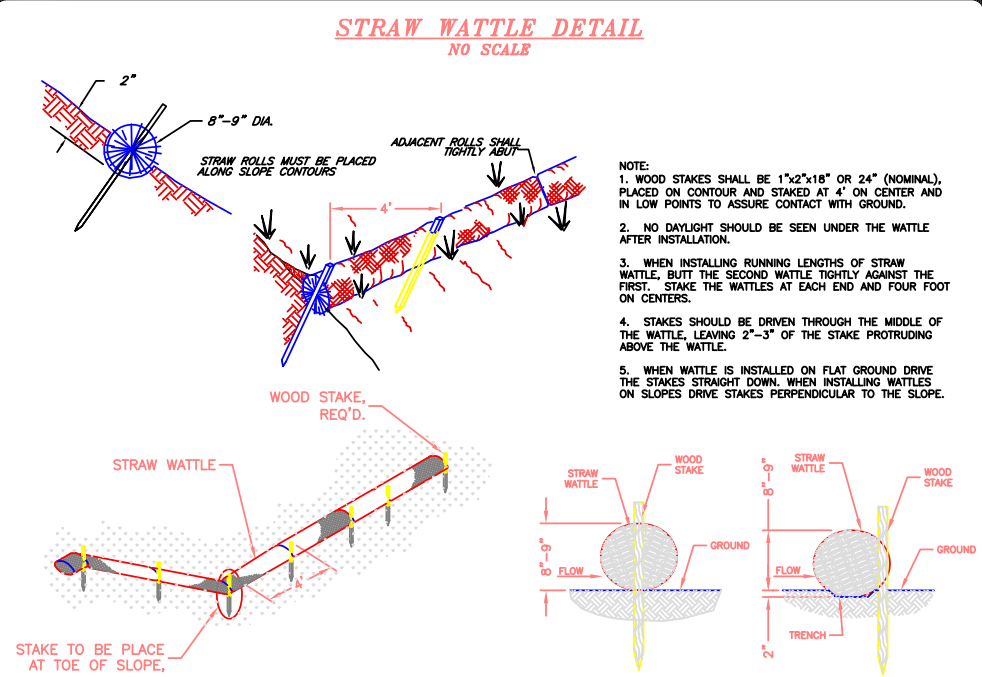
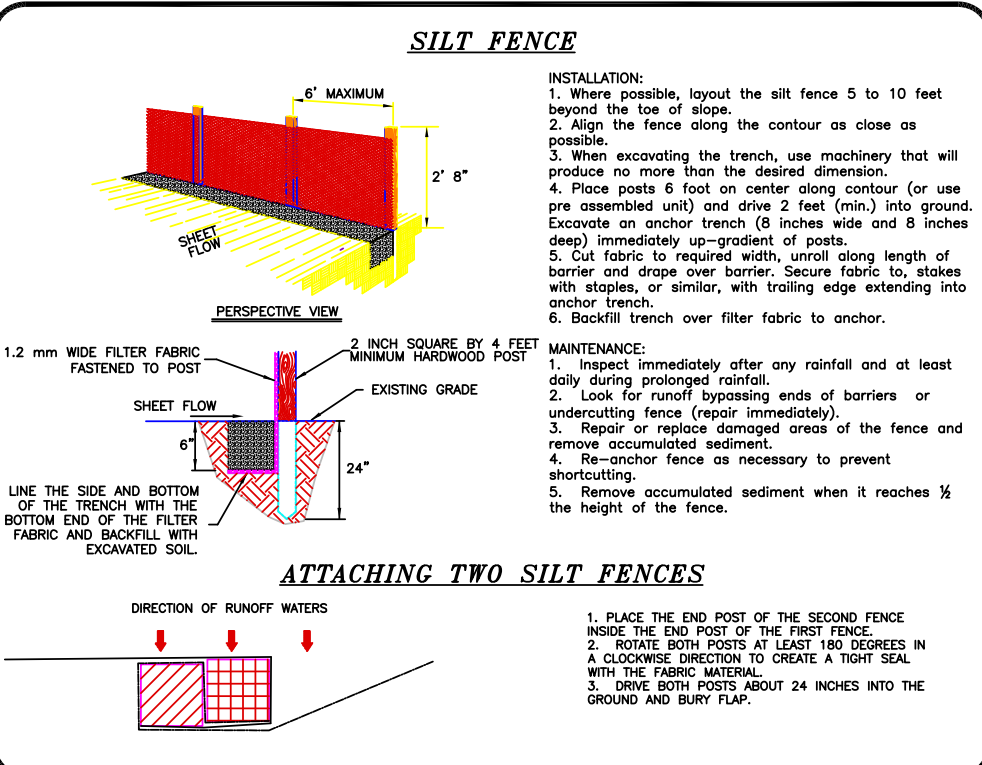




## CONSTRUCTION MITIGATION PLAN

- Construction parking/traffic may not block the street without a permit (available from the Engineering Department).
  - Mud tracked onto the street must be cleaned prior to the end of the work day.
  - The construction site must be maintained in a neat manner. Trash and other debris may not accumulate outside the dumpster.
  - Construction parking cannot be located within the R-O-W.
- No street side parking is allowed during the winter season, Nov. 15 thru April 15.

- (a) = TRASH RECEPTACLE (COVERED DUMPSTER)  
(b) = STORAGE AREA  
(c) = PORTABLE TOILET  
(d) = PARKING AREA  
(e) = CONCRETE WASHOUT



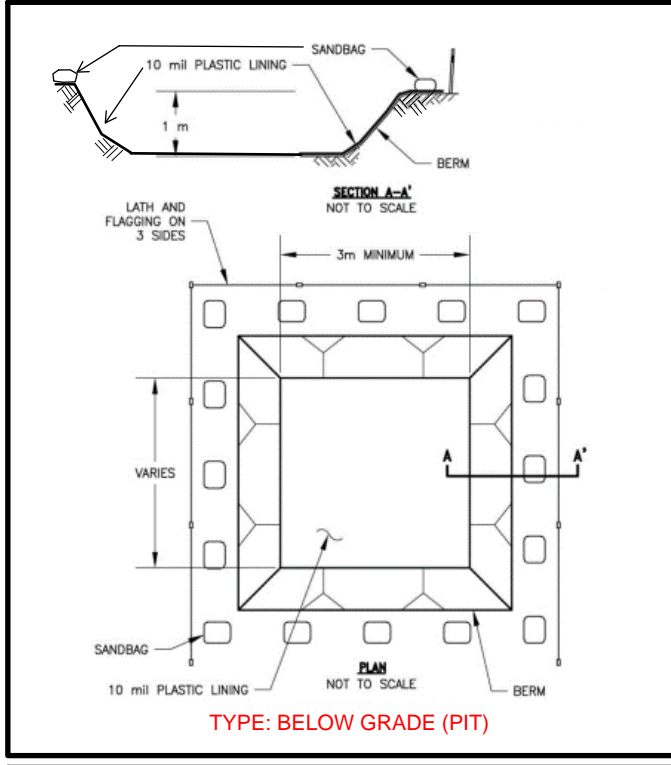
Required Inspections Table		
Inspection	Description/Requirements	Contact
Driveway/Site Staking	Required prior to issuance of a Building Permit. Locate stake the driveway at the street and at the road right of way/property line and locate stake all property corners.	Engineering
Grading	Required prior to scheduling a Footing Inspection. Site Erosion Control measures must be installed and driveway must be roughly graded according to plan.	Engineering
Footing	Schedule after steel is in place and before concrete is poured.	Building
Foundation	Schedule after steel is in place and before concrete is placed.	Building
Certificate of Elevation and/or Survey	Performed by a licensed surveyor. Required prior to scheduling a Floor Framing Inspection. See requirements below.	Building
Floor Framing Inspection	Required prior to placing floor sheathing and includes Footing, Drain inspection.	Building
Shear Wall	After the building is up to "the square" and all shear walls have been nailed and all tie downs and shear wall connections have been installed.	Building
Fire Sprinklers	Required prior to low-way inspection, when required by the local Fire District.	Building
Four-Way	This inspection is performed after all rough electrical, plumbing, and mechanical has been installed. All framing is complete, shear walls previously inspected, and final specifications are on the job for the inspector to read. Plumbing shall have either an air or water pressure test on them when the inspector arrives.	Building
Weather Barrier/Sheath Lath	Weather barrier shall be inspected prior to applying veneer. Approved stone 1/2" C.C. research reports on site.	Building
Gas Meter Set	Required before gas meter clearance is given to Questar.	Building
Masonry wall/found beam	Steel in masonry and before concrete/grout is poured.	Building
Insulation	Pre Sheetrock insulation certificate required.	Building
Drywall Nailing	This is done before drywall is taped.	Building
Power to Panel	Building must be up with permanent roof installed.	Building
Driveway pre-surfacing	Site Erosion Control measures must be installed and driveway graded to it's final configuration.	Engineering
Final Driveway and Site Inspection	Required prior to Certificate of Occupancy and/or Final Release. Driveway must be surfaced and site must be revegetated (inspections may be schedule separately). If the site is not revegetated, the erosion control measures must be in place and installed correctly.	Engineering
Flood Plain Elevation Certificate	FEMA Elevation Certificate (if applicable) required prior to Certificate of Occupancy. Form must be filed with FEMA and a copy provided to the Engineering Department.	Engineering
Final	All work is DONE and building concrete. Final clearances from the waste water district for sewer, County Health Department for septic, and fire district for sprinkler systems must be on the project for this inspection. Required for Certificate of Occupancy.	Building
Certificate of Occupancy	Required prior to anyone occupying the structure. A Certificate of Occupancy will be issued once the final clearances have been obtained by the builder and brought to the Building Department's office as a Certificate of Occupancy. Final from Building Department, Final from Fire District and Final from Health Department.	Building
ICP Final Release Inspection	1) Seydewille Basin Residential: Final from Building Department, Final from Engineering Department, Final letter from Seydewille Basin Water Reclamation District. Final water conveyance letter from appropriate water company. Final from Park City Fire District (in required subdivisions). 2) Eastern Summit County: Final from Building Department, Final from Engineering Department, Final from Fire District and Final from Health Department.	Engineering

Construction Mitigation Plan Notes

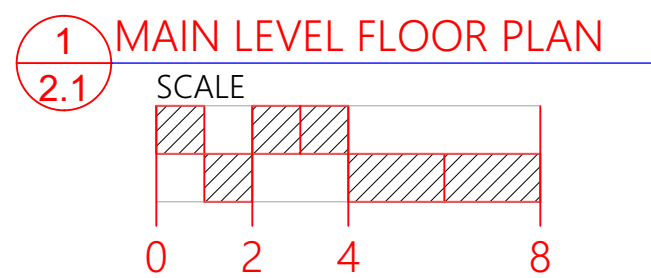
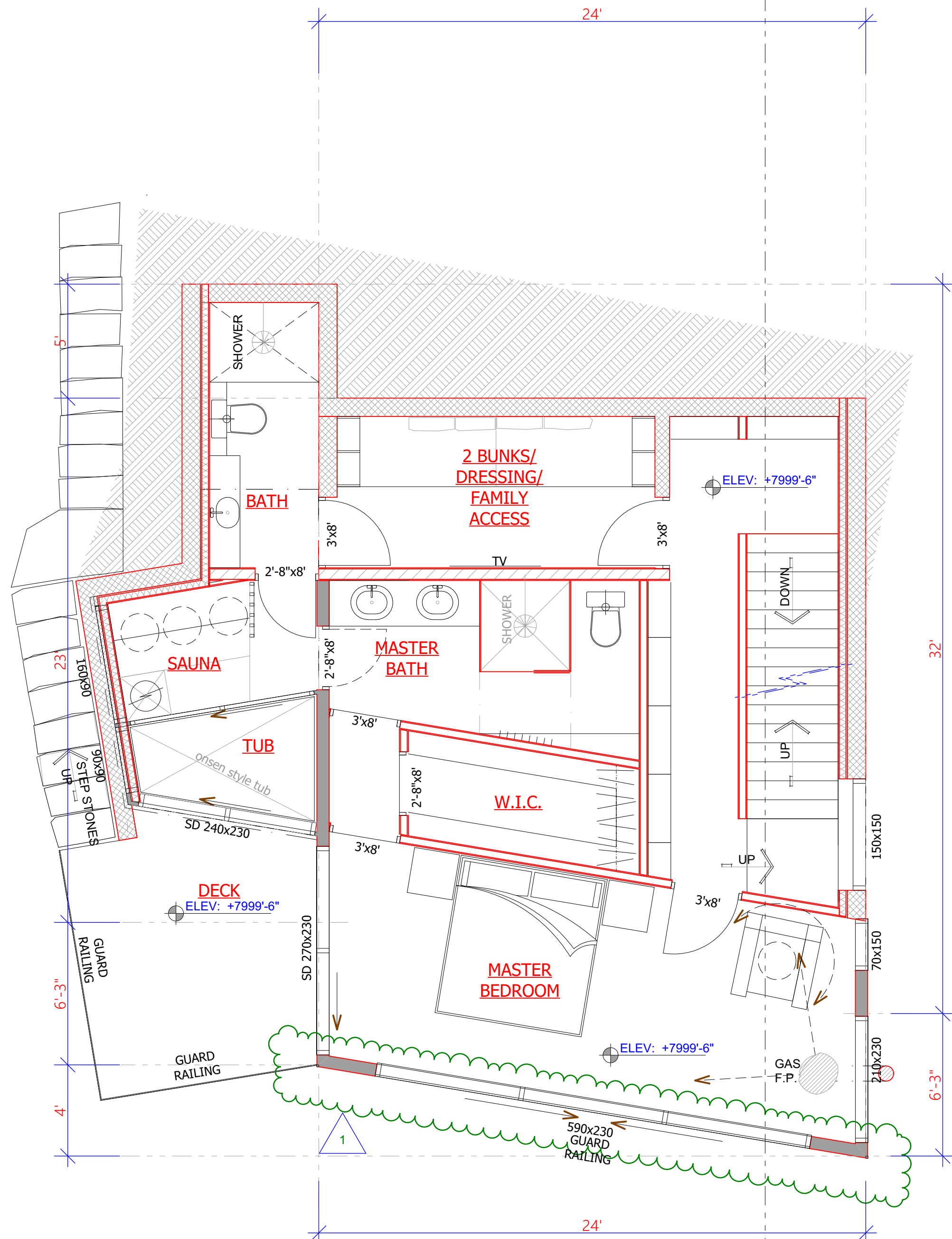
- Show location for dumpster, portable toilets, materials storage, parking
- Construction parking/traffic may not block the street without a permit (available from the Engineering Department)
- Mud tracked onto the street must be cleaned prior to the end of the work day
- The construction site must be maintained in a neat manner. Trash and other debris may not accumulate outside the dumpster.
- Roadside parking is not allowed from November 15 to April 15

Construction parking cannot be located within the R-O-W.  
No street side parking is allowed during the winter season, Nov. 15 thru April 15.

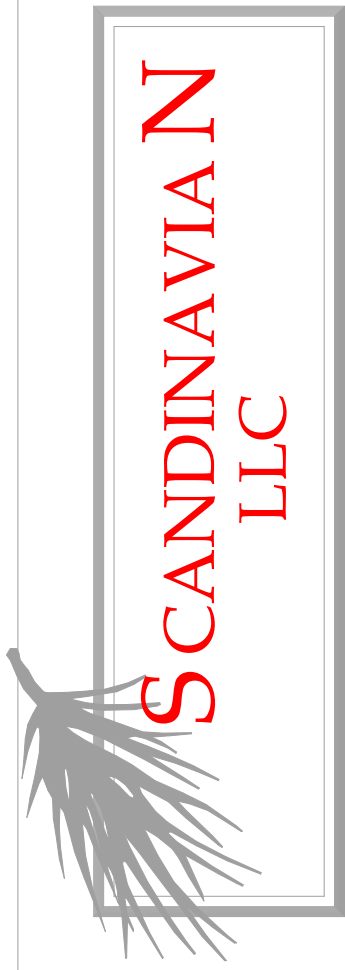
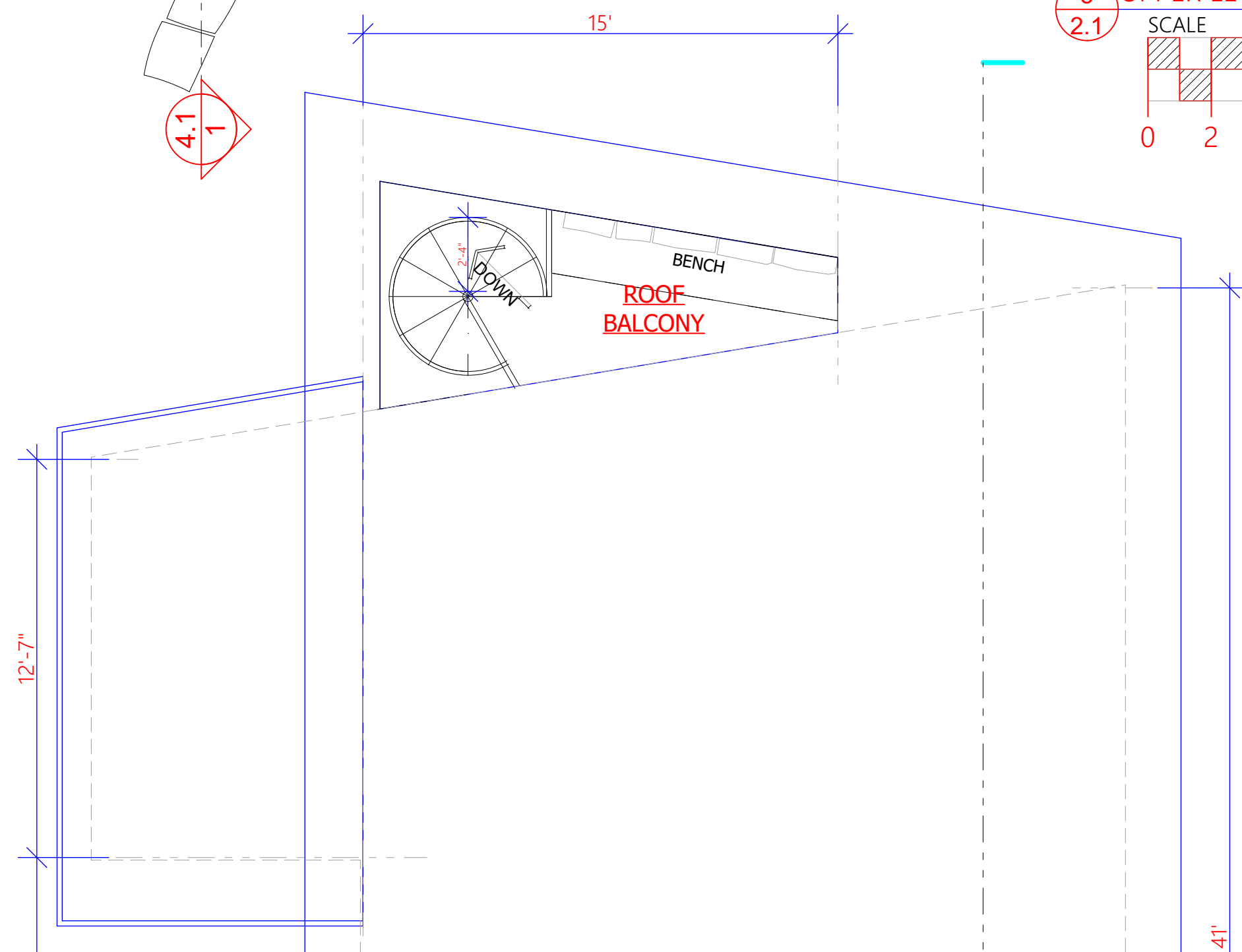
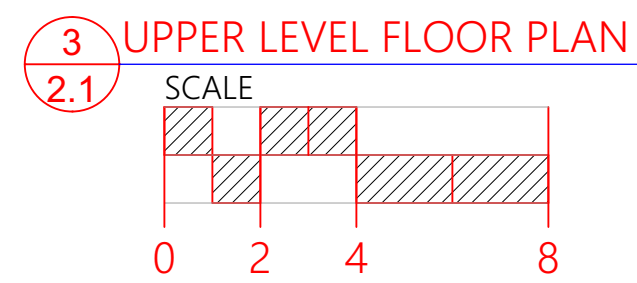
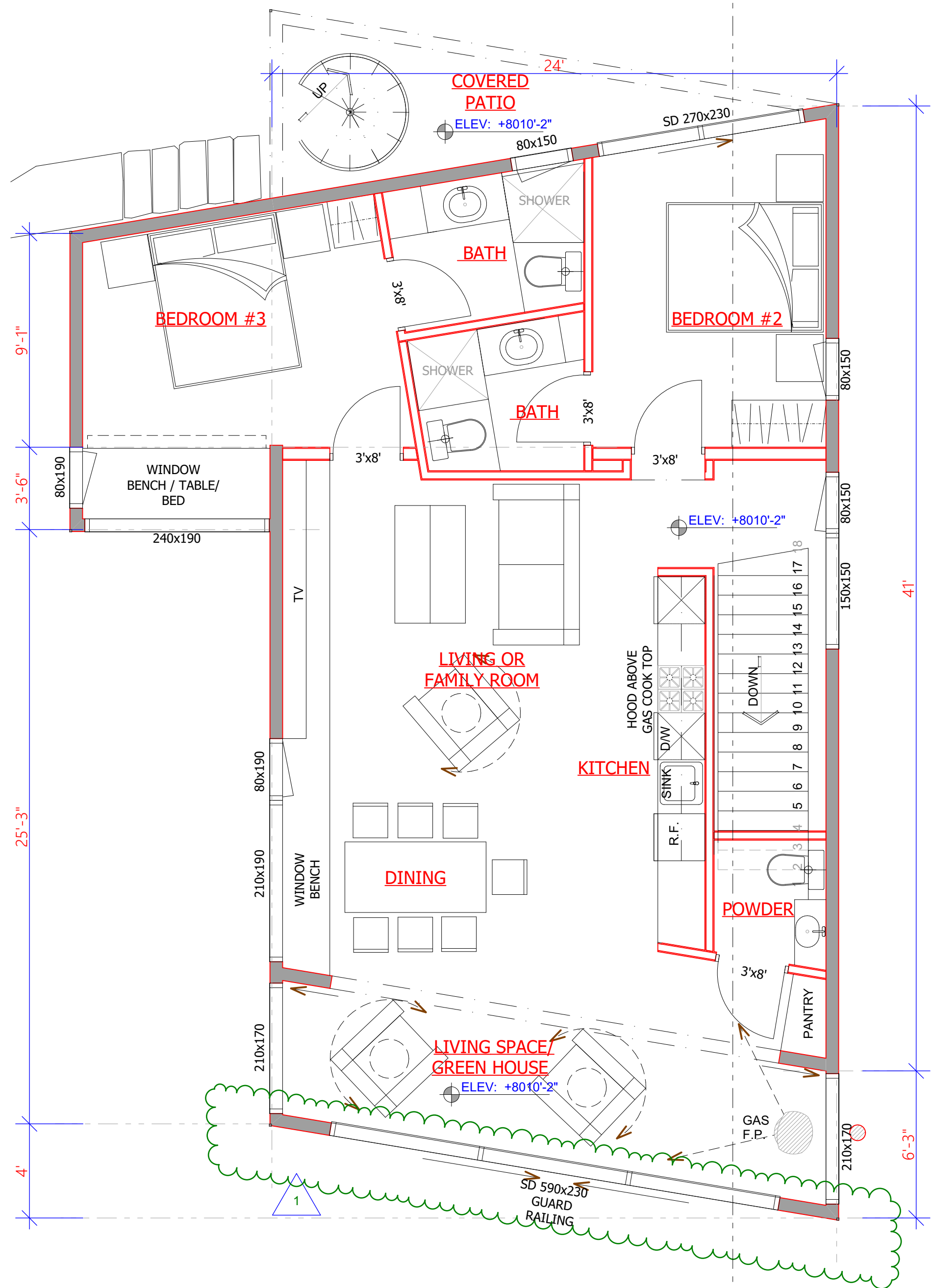
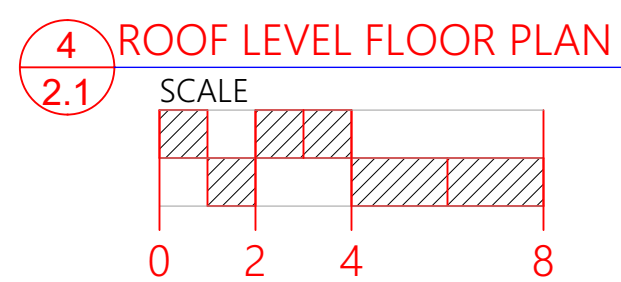
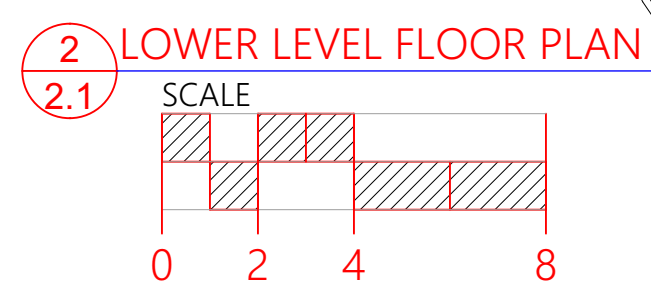
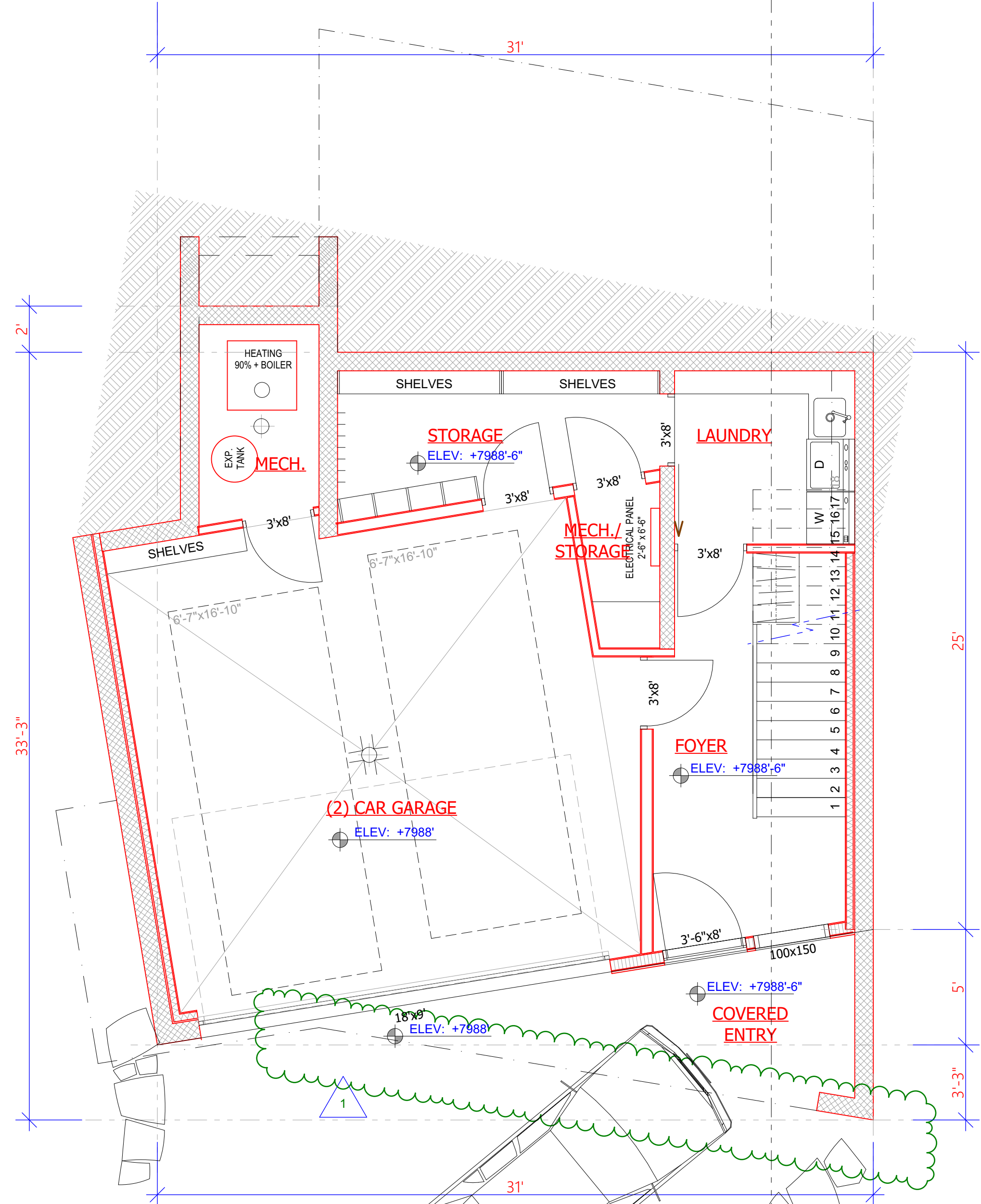
- Perform washout of concrete trucks offsite or in designated concrete washout areas only.
- Do not wash out concrete trucks onto the ground, or into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped onsite, except in designated concrete washout areas.
- Concrete washout areas may be prefabricated concrete washout containers, or self-installed structures (above-grade or below-grade).
- Prefabricated containers are most resistant to damage and protect against spills and leaks. Companies may offer delivery service and provide regular maintenance and disposal of solid and liquid waste.
- If self-installed concrete washout areas are used, below-grade structures are preferred over above-grade structures because they are less prone to spills and leaks.
- Self-installed above-grade structures should only be used if excavation is not practical.







AREA CALCULATION	
UPPER LEVEL FLOOR PLAN	1108 sqft
MAIN LEVEL FLOOR PLAN	890 sqft
LOWER LEVEL FLOOR PLAN	350 sqft
MECHANICAL & STORAGE AREA	84 sqft
2 CAR GARAGE	465 sqft
TOTAL HEATED AREA	2 432 sqft
UNHEATED AREAS	465sqft
TOTAL GRAND AREA	2 897 sqft



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A New Residence:  
**PENNY AND JIM LACY**  
Summit Powder Mountain, Lot # 147  
- Copper Crest, Utah

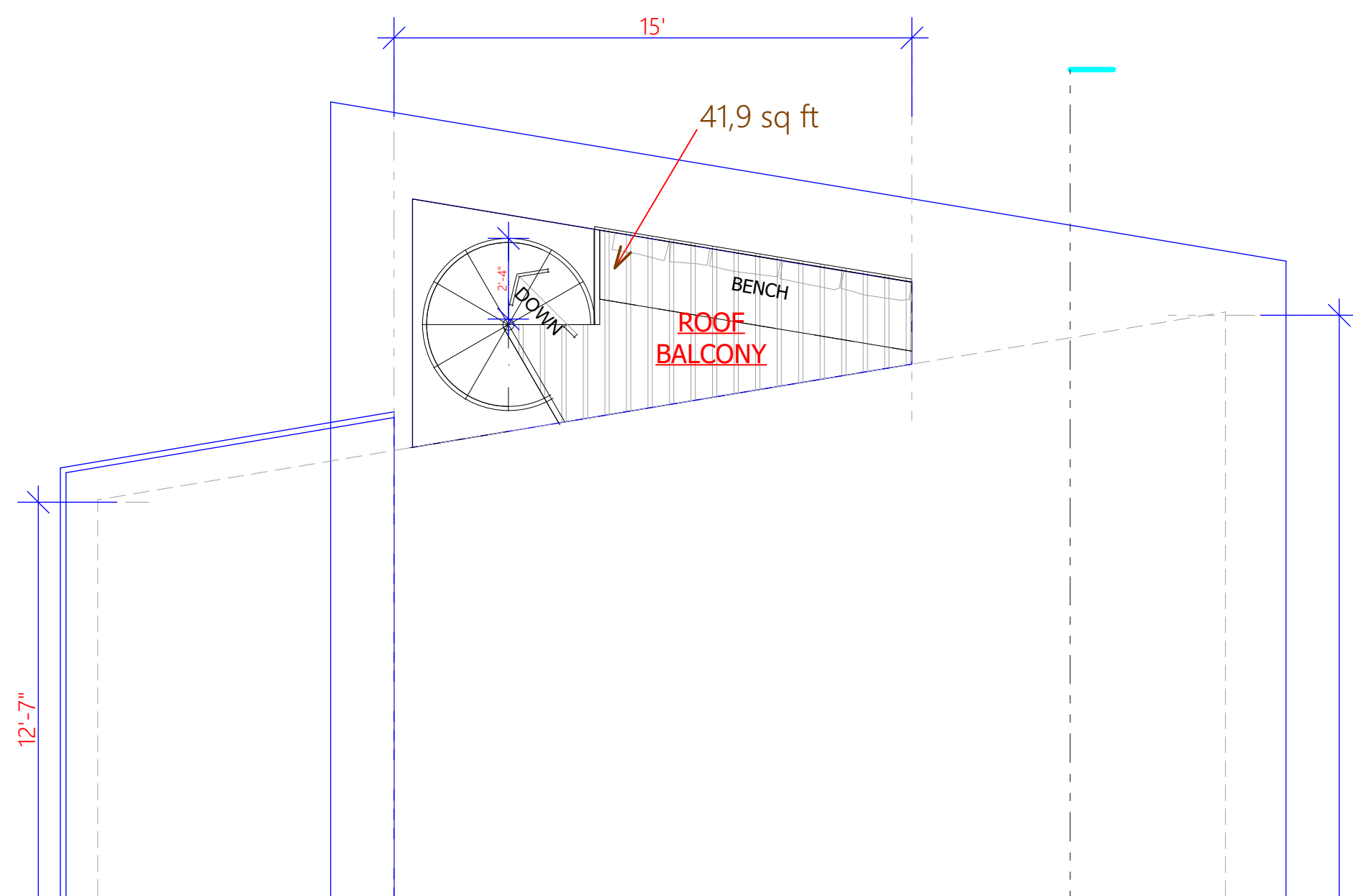
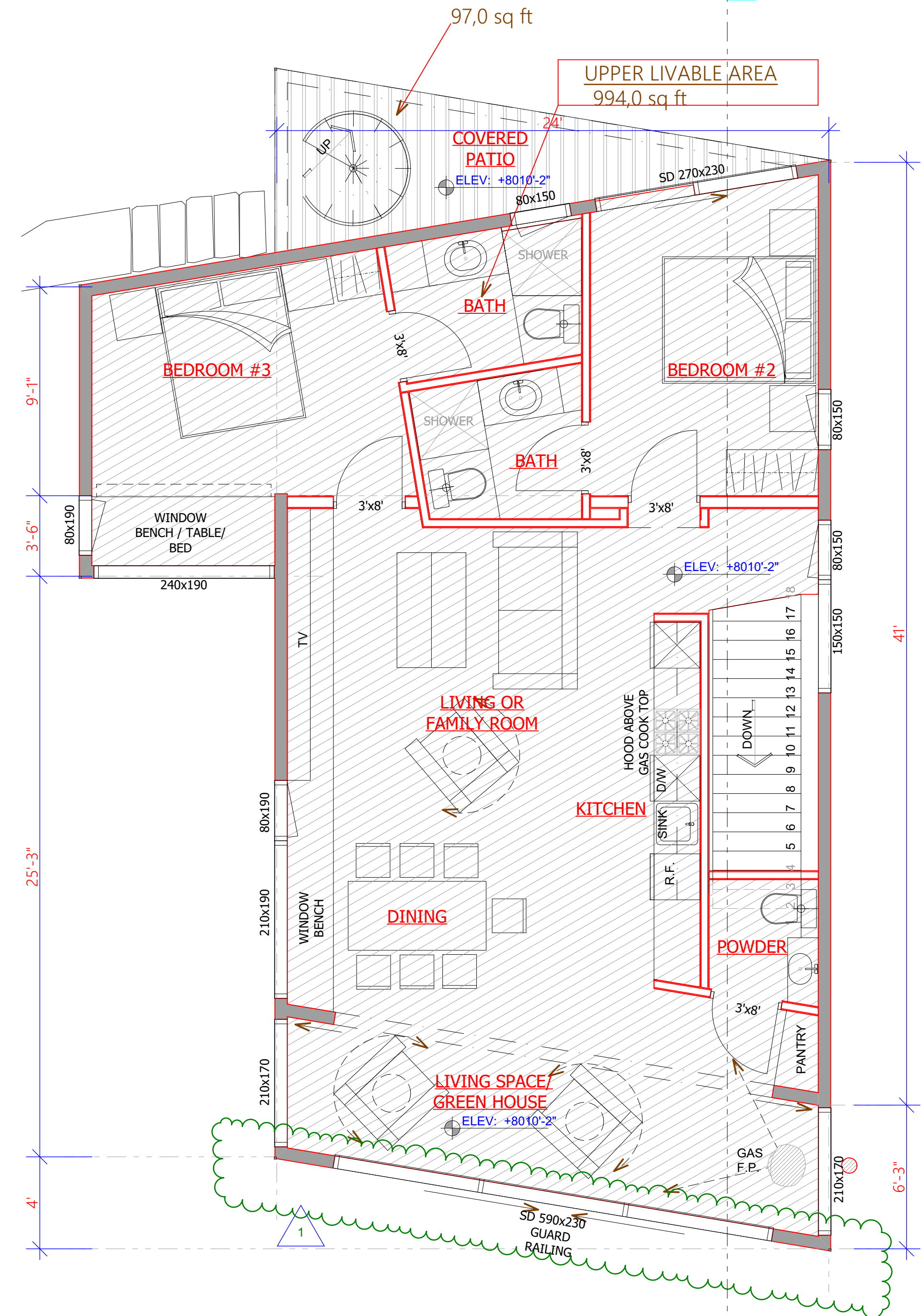
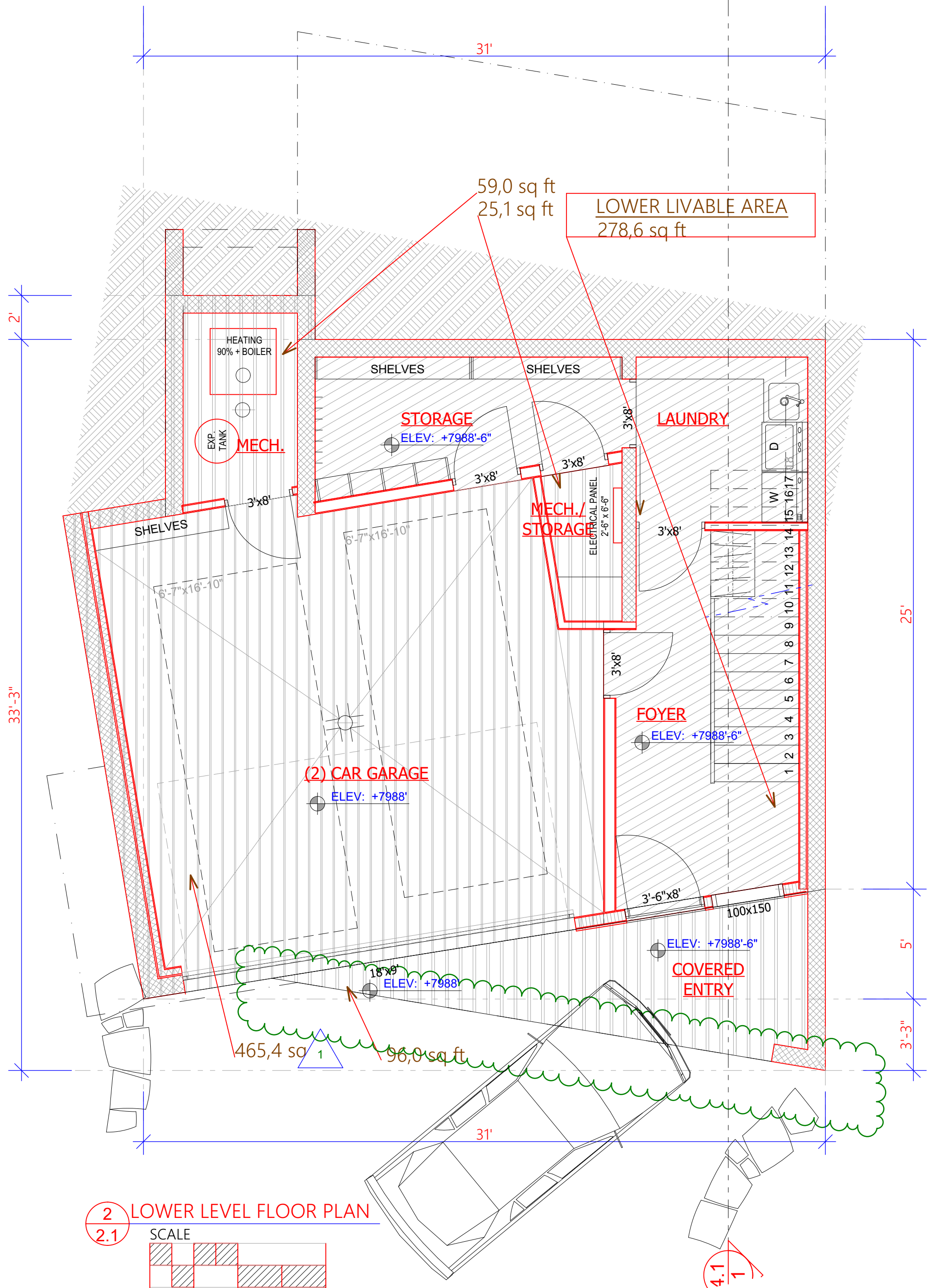
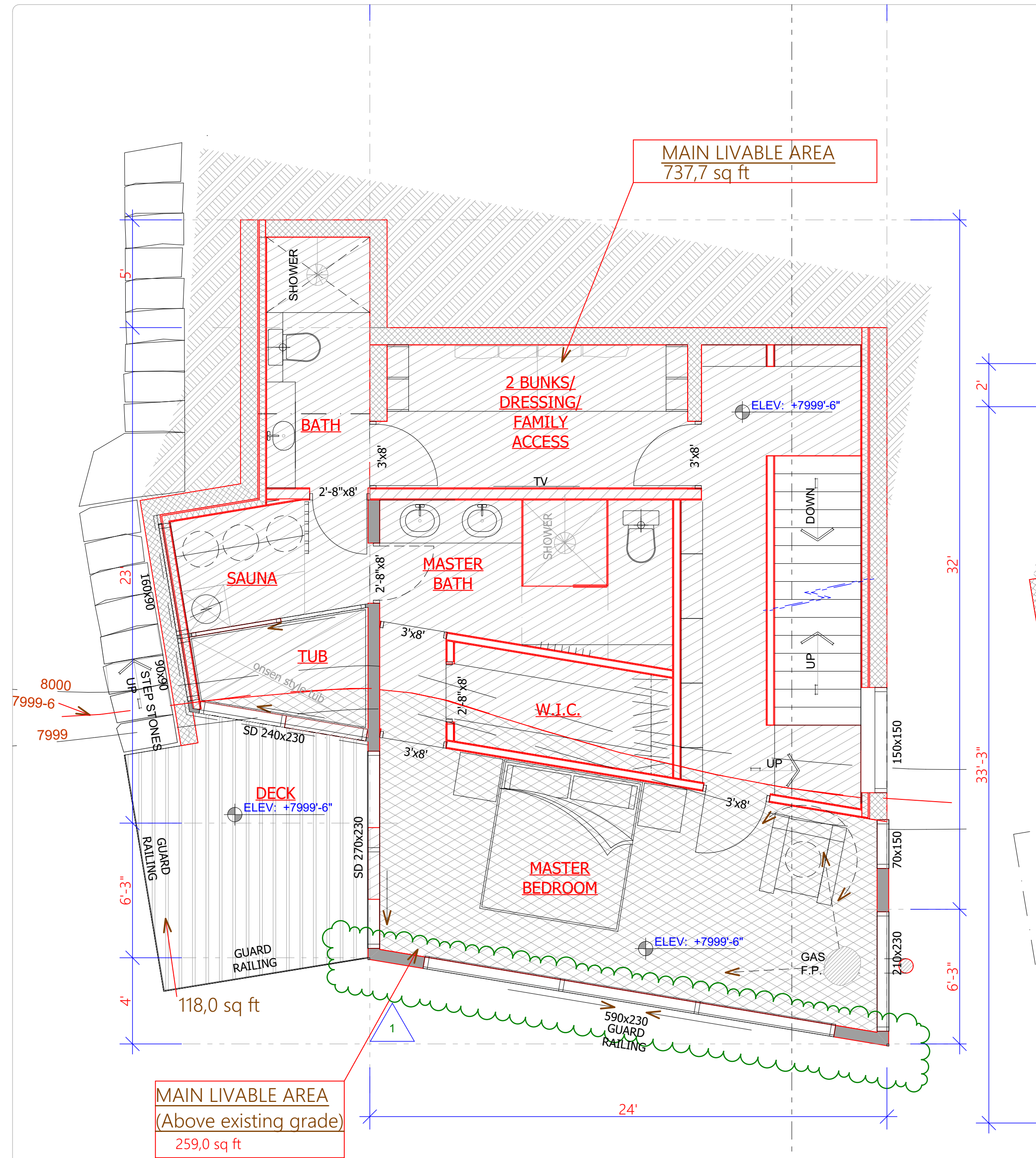
BUILDER  
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Address  
Park City, Utah 84098  
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Drawing Date  
3-23-2021  
Scale  
1/4" = 1' - 0"  
Title No.  
**FLOOR PLANS**  
BUILDER/ DEALER'S APPROVAL :  
Signature and Date



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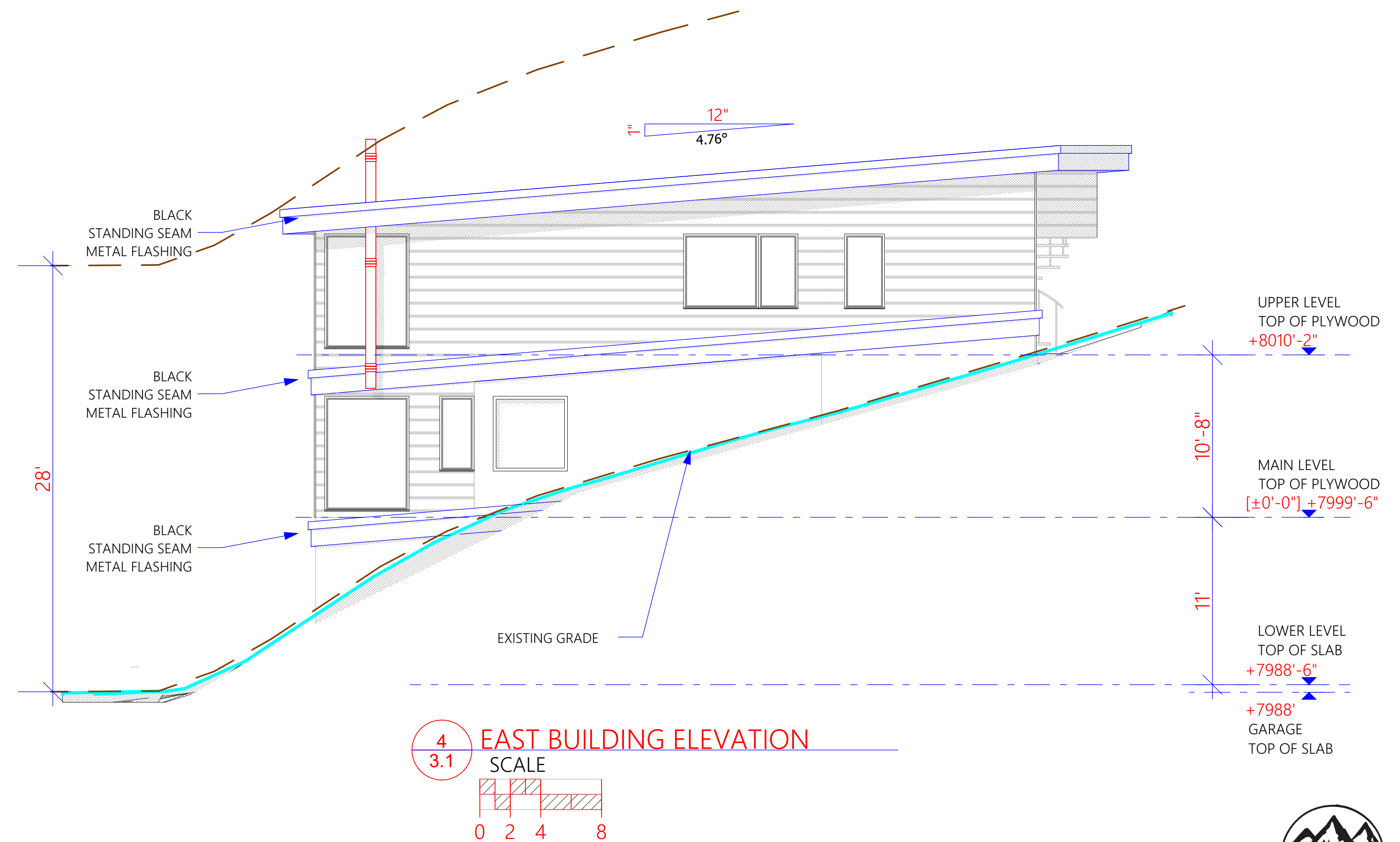
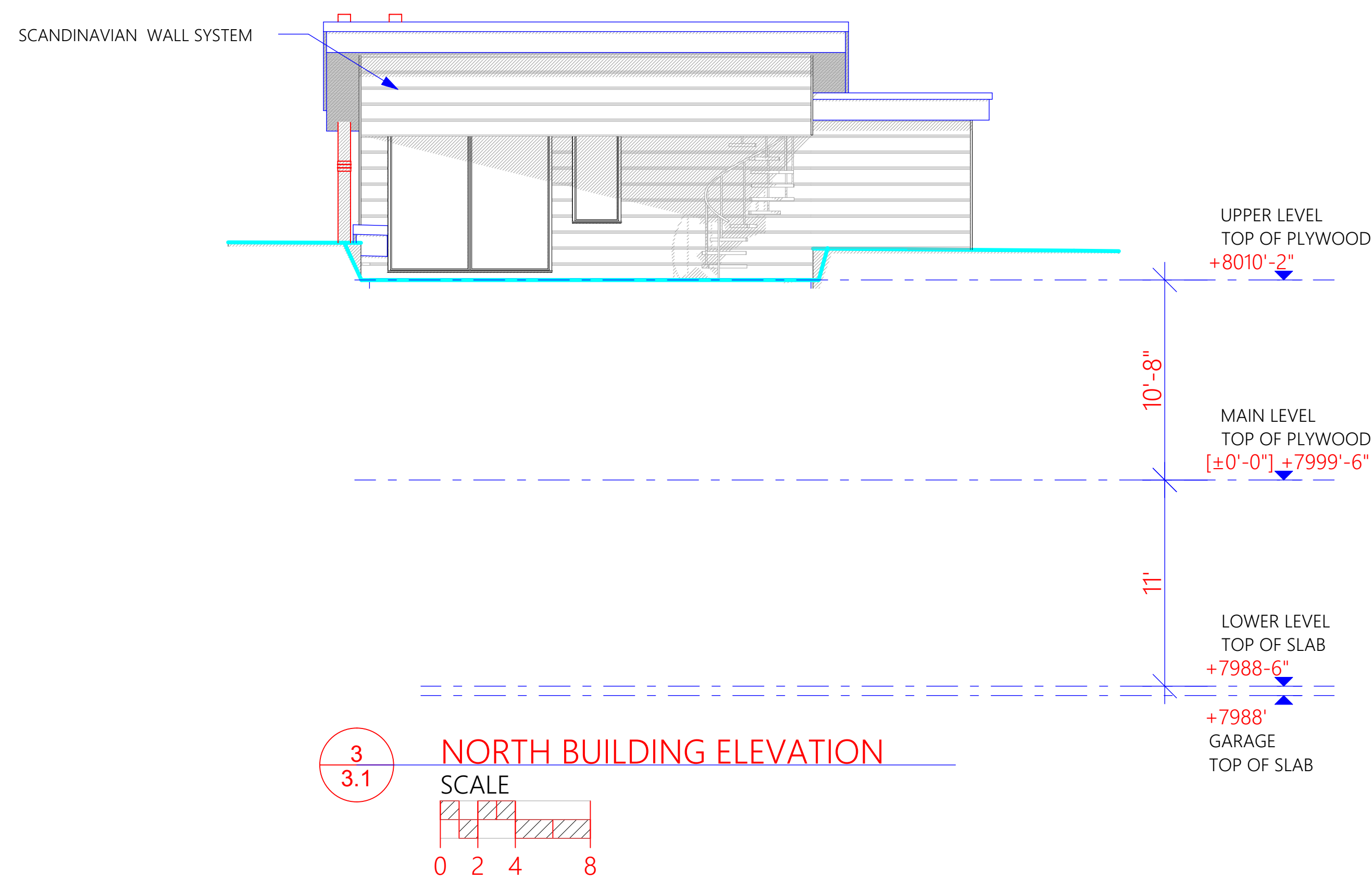
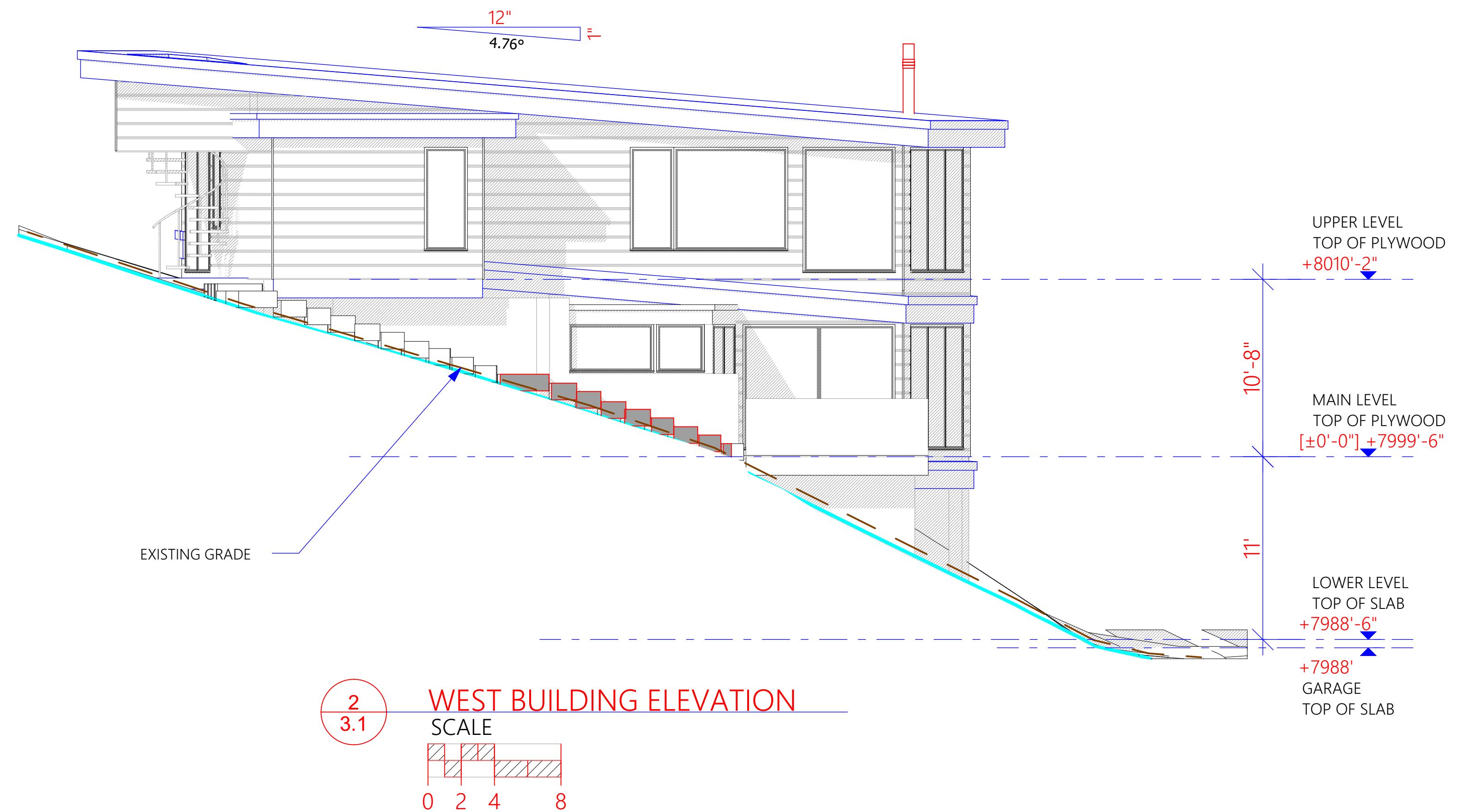
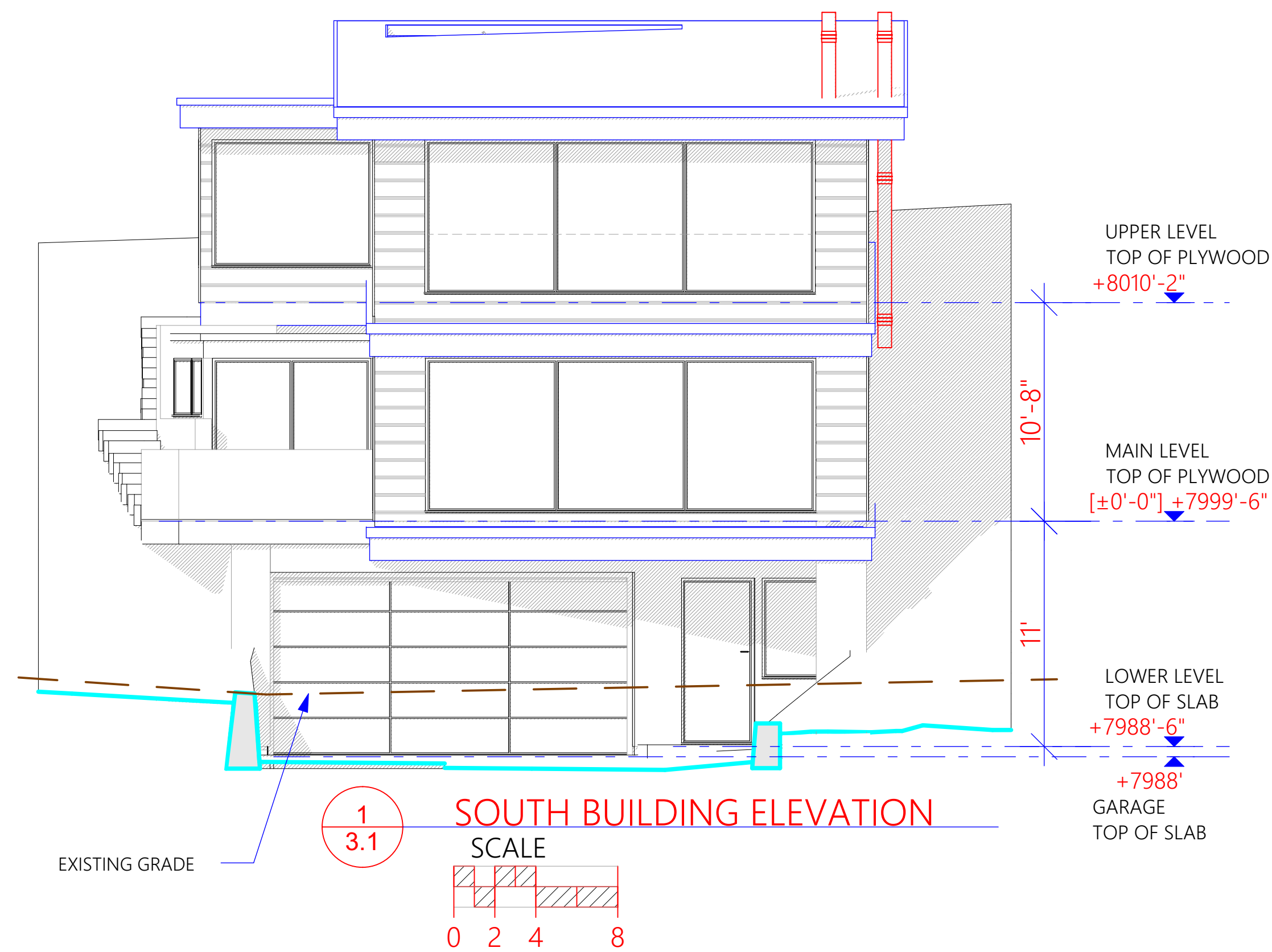
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Drawing Date 3-23-2021

Scale 3/16" = 1' - 0"

Title No.

BUILDING ELEVATIONS

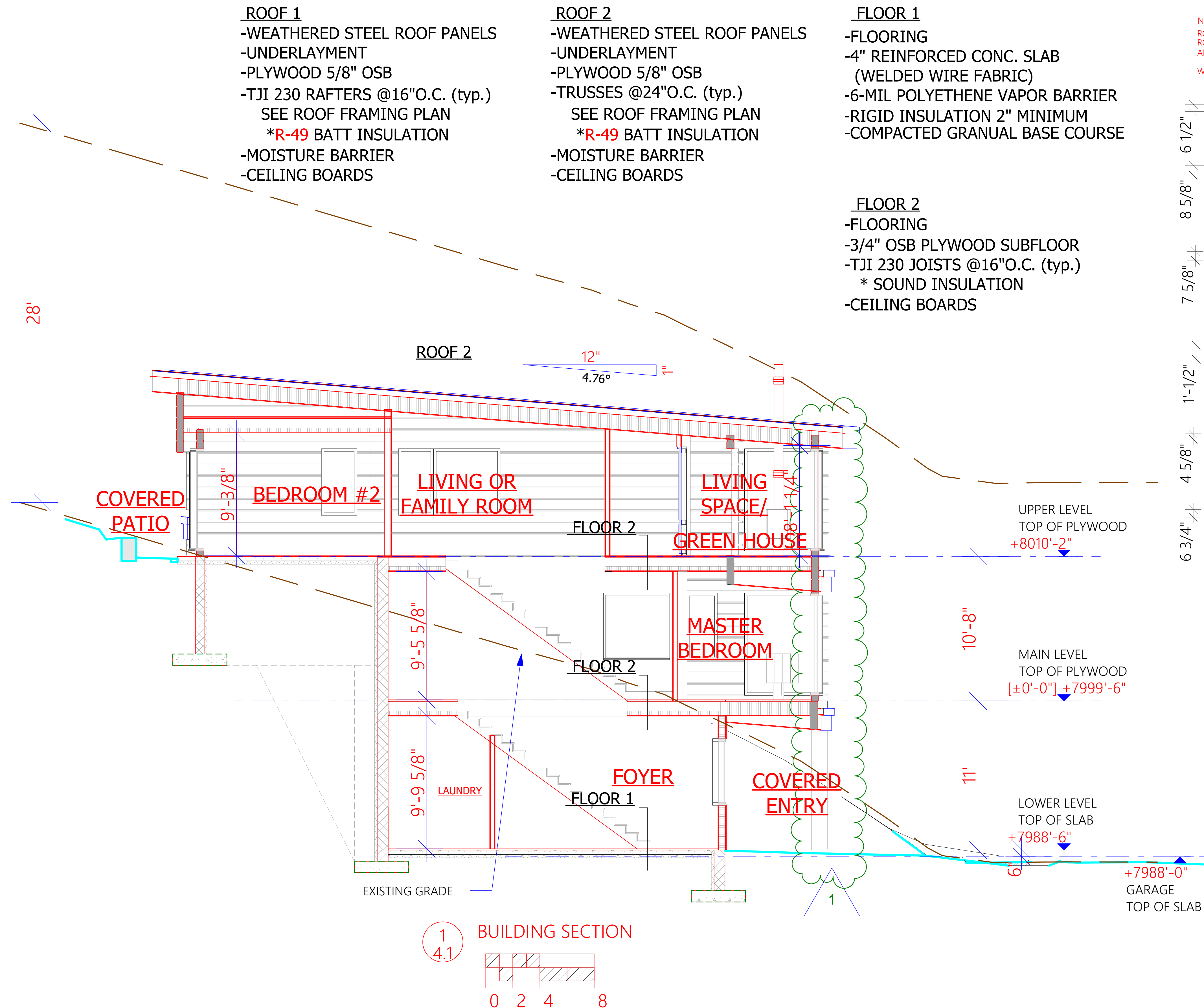
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NOTE:  
ROOM AREAS SHOWN BELOW  
ROOM NAMES ARE APPROXIMATE  
ALL FRAMING STUDS ARE 16"

WALL LEGEND:

WALL 1:

- RECTANGULAR LAMINATED  
PROFILE WALL 6 1/2" [164x260]

WALL 2:

- RECTANGULAR LAMINATED PROFILE WALL 6 1/2"  
- 2"x2" FURRING WALL @16"O.C.  
\* SLIDING CONNECTORS, ( INSULATION )  
- GYP. BOARD 1/2"  
- DAMP-PROOF COURSE  
- TILE

WALL 3:

- STONE VENEER / WOOD SIDING 1"  
- PLYWOOD 7/16"  
- 2"x6" STUD FRAMING @16"O.C.  
\* R-19 BATT INSULATION  
- MOISTURE BARRIER  
- GYP. BOARD 1/2"

WALL 4:

- STONE VENEER  
- 8" CONCRETE WALL  
- 3/4" FURRING  
- 2"x6" STUD FRAMING @16"O.C.  
\* BATT INSULATION  
- MOISTURE BARRIER  
- 1/2" GYP. BOARD

WALL 5:

- GYP. BOARD 1/2"  
- 2"x4" STUD FRAMING @16"O.C.  
- GYP. BOARD 1/2"  
- DAMP-PROOF COURSE  
- TILE

WALL 6:

- GYP. BOARD 1/2"  
- 2"x6" STUD FRAMING @16"O.C.  
- GYP. BOARD 1/2"



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**BUILDING SECTION**

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