



# Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

## Synopsis

### Application Information

<b>Application Request:</b>	Consideration and action on a request for design review approval of an accessory storage building that is more than twice the size of the primary dwelling's footprint at 4267 N 3150 E, Liberty.
<b>Agenda Date:</b>	Tuesday, February 02, 2021
<b>Applicant:</b>	Bob Kirkman
<b>File Number:</b>	DR 2020-07

### Property Information

<b>Approximate Address:</b>	4267 N 3150 E, Liberty
<b>Project Area:</b>	3 acres
<b>Zoning:</b>	Agricultural Valley AV-3
<b>Existing Land Use:</b>	Residential
<b>Proposed Land Use:</b>	Residential
<b>Parcel ID:</b>	22-225-0001
<b>Township, Range, Section:</b>	T7N, R1E, Sec 20, NW

### Staff Information

<b>Report Presenter:</b>	Scott Perkes sperkes@co.weber.ut.us 801-399-8772
<b>Report Reviewer:</b>	SB

### Adjacent Land Use

<b>North:</b>	Residential	<b>South:</b>	Residential
<b>East:</b>	Residential	<b>West:</b>	Agriculture

## Applicable Ordinances

- Weber County Land Use Code Title 104 (Zones) Chapter 6 Agricultural Valley (AV-3)
- Weber County Land Use Code Title 108 (Standards) Chapter 1 Design Review
- Weber County Land Use Code Title 108 (Standards) Chapter 7 (Supplementary and Qualifying Regulations) Section 4 (Area of Accessory Building)
- Weber County Land Use Code Title 108 (Standards) Chapter 7 (Supplementary and Qualifying Regulations) Section 16 (Large Accessory Buildings - 1,000 Square Feet or Larger)
- Weber County land Use Code Title 108 (Standards) Chapter 7 (Supplementary and Qualifying Regulations) Section 2 (Projections)

## Background and Analysis

The applicant is requesting design review approval of a large residential accessory storage building that is approximately 10,481 square feet at 4267 North 3150 East in Liberty (see **Exhibit A** for the formal application). The property is zoned Agricultural Valley AV-3 and the lot is 3 acres in area with approximately 369.54 feet of frontage on 3150 East Street.

County records indicate that there is a two-story 4,676 square foot single family detached dwelling currently on the property. The above grade footprint of this dwelling is 3,573 square feet. The proposed accessory structure is a 10,481 square foot building (98 foot by 118 foot including eaves and overhangs) (see **Exhibit B**). The building will be used for the personal storage of RV's, trailers, cars, tractors, implements, workshop storage, indoor pool, and a few living facilities (kitchen, bathroom, sauna, laundry, & loft). The proposed building will be 10 feet from the west lot line (rear), 221 feet from the east (front) lot line, 10 feet from the south side lot line, 268 Feet from the north side lot line, and 17 feet behind the home (see **Exhibit C**).

Section 108-7-16, Large Accessory Buildings (1,000 square feet or larger), item (c) states " *Accessory buildings that exceed the dwelling in area by more than double as measured by the footprint of the dwelling shall require approval by the planning commission as a **design review***". When compared to the dwelling's footprint (3,573 sq. ft.), the proposed structure (10,481 sq. ft.) is 3,335 square feet larger than double the dwelling's footprint and thereby requires design review prior to the issuance of a Land Use and Building Permit.

LUC Sec. 108-1 (Design Review) - 1 (Purpose) - "The purpose and intent of design review by the planning commission is to secure the general purposes of this chapter (LUC Sec. 108-1) and the master plan and to ensure that the general design, layout and

*appearance of buildings and structures and the development of property shall in no case be such as would impair the orderly and harmonious development of the neighborhood or impair investment in and occupation of the neighborhood”.*

Beyond the required Design Review, the following two sections of code are also applicable to a large accessory structure, of which this proposed structure has been found to be in compliance:

**LUC Sec. 108-7-4**, Area of Accessory Buildings, states *“No accessory building or group of accessory buildings in any residential estates zone, cluster subdivision, or PRUD shall cover more than 25 percent of the rear yard”.*

Since this property is zoned Agricultural Valley (AV-3), there are no lot coverage standards.

**Section 108-7-16**, list the setbacks for large accessory buildings (1,000 square feet or larger) as follow:

*(a) Accessory buildings 1,000 square feet or larger in area that accommodates uses meeting zoning requirements shall:*

*(1) Be located at least six feet from the rear of a dwelling in the residential estates zones and at least ten feet from the rear of a dwelling in the agricultural and forest zones.*

*(2) Have a side yard setback of at least **ten feet** on an interior lot and 40 feet on a corner lot where the side property line is adjacent to a street.*

*(3) Have a maximum height of 25 feet.*

*Exceptions: The side yard may be reduced to **three feet** (except in a forest zone) and **the height increased to 35 feet** if the accessory building is located at least 100 feet from a property line adjacent to a street and at least 40 feet from a dwelling on an adjacent lot.*

Per **Exhibit B**, the proposed structure will be 33' 4" tall. In reviewing the site plan (see **Exhibit C**), the proposed structure has shown to meet the applicable setbacks and heights standards due to its placement in the back yard, more than 100' from a property line adjacent to a street, and is at least 40 feet from a dwelling on an adjacent lot.

## Agency Reviews

To date, the following agencies have reviewed and approved of this accessory structure: Building, Fire, & Engineering. Planning review will be complete with the satisfaction of the Design Review process as the structure meets all zoning requirements.

The applicant will need to work with the health department to ensure the proposed bathroom and kitchen are connected to the property's septic system and that the system is properly sized.

## Conformance to the General Plan

This site plan conforms to the General Plan by meeting the outlined permitted land uses of the zone in which it is located, and all of the applicable requirements of the Weber County Land Use Code for the siting of a large accessory building.

## Summary of Planning Commission Considerations

When reading through the requirements of LUC Sec. 108-1 (Design Review), it is evident that the chapter is primarily intended for more intensive uses such as multifamily developments, resorts, commercial and manufacturing buildings, etc. As such, the code lays out specific requirements for traffic, landscaping, buildings and site layout, easements and drainage, and any associated rezoning conditions. These considerations are not specifically geared towards residential uses. For this reason, staff has asked that the applicant provide higher level review materials such as architectural elevations, proposed materials and colors, and a site plan for the planning commission's review and consideration. Based on these submitted materials, the commission will need to determine if enough information has been provided to evaluate the following considerations:

- Are the project layout and setbacks consistent with applicable requirements of the Weber County Land Use Code?
- Would this project impair the orderly and harmonious development of the neighborhood or impair investment in and occupation of the neighborhood?
- Should any additional design elements be implemented as conditions of approval?

## Conditions of Approval

Should the planning commission vote to approve this design review request, the following condition of approval would be necessary along with any other conditions that may be added by the commission:

- Satisfaction of all review agency requirements involved with the issuance of a Land Use Permit and Building Permit for the proposed structure. This also includes health department approval of septic system connections and upgrades.

- The building plans will need to be updated to show the proposed loft area. This loft cannot be considered a sleeping room and a note must be placed in the plans that indicates that the loft may not be used for habitable/sleeping space.
- A Second Kitchen Covenant must be signed and recorded on the property. This covenant will prohibit the structure from being used as a separate dwelling unit.

### Staff Recommendation

Staff recommends that the planning commission review the submitted review materials and determine if enough information has been provided in order for the above listed considerations can be adequately vetted. If so, the commission could approve the design review request with the above listed condition (along with any other conditions added by the commission) and the following findings:

- The proposed use is allowed in the AV-3 Zone
- All development standards have been met
- With any imposed conditions, the proposed building does not impair the orderly and harmonious development of the neighborhood or impair investment in and occupation of the neighborhood.

Alternatively, if the commission determines that additional review information is needed for adequate consideration, the commission could vote to table the application until such materials are furnished for further review.

### Exhibits

- A. Design Review Application
- B. Building Plans, Materials, & Colors
- C. Site Plans

### Project Location





# Google Street View of the Subject Property



**Exhibit A: Design Review Application**

<b>Weber County Design Review Application</b>			
Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401			
Date Submitted / Completed <i>11 June 2020</i>	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use)
<b>Property Owner Contact Information</b>			
Name of Property Owner(s) <i>David &amp; Shawn McGinnis</i>		Mailing Address of Property Owner(s) <i>4157 W 2200 S</i>	
Phone <i>801 791 5228</i>	Fax	<i>Taylor UT 84401</i>	
Email Address <i>GREENESS@KONNECTIONS.UT</i>		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
<b>Authorized Representative Contact Information</b>			
Name of Person Authorized to Represent the Property Owner(s)		Mailing Address of Authorized Person	
Phone	Fax	<i>Same as Owner</i>	
Email Address		Preferred Method of Written Correspondence <input type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
<b>Property Information</b>			
Project Name <i>Work Shop Garage</i>		Current Zoning <i>Rw</i>	Total Acreage <i>2.89</i>
Approximate Address <i>4157 W 2200 S</i> <i>Taylor UT 84401</i>		Land Serial Number(s) <i>Parcel # 15-199-0001</i>	
Proposed Use <i>Tinkering &amp; Fixing</i>			
Project Narrative <i>44' x 64' Shop to fix cars build projects store stuff</i> <i>Natural Earth tone Siding (metal) and Roof (metal).</i> <i>Color pallet of Beige, Green, Red</i>  <i>Roof Beige or white</i>  <i>North Face Green</i> <i>West Face Beige</i> <i>East Face Red</i> <i>South Face Green</i>			

**Property Owner Affidavit**

I (We) David & Sharon McEnnis, depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge.

David L. McEnnis  
(Property Owner)

Sharon McEnnis  
(Property Owner)

Subscribed and sworn to me this 12 day of June, 2020.



Garrett Millward  
(Notary)

**Authorized Representative Affidavit**

I (We) \_\_\_\_\_, the owner(s) of the real property described in the attached application, do authorized as my (our) representative(s), \_\_\_\_\_, to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the County considering this application and to act in all respects as our agent in matters pertaining to the attached application.

\_\_\_\_\_  
(Property Owner)

\_\_\_\_\_  
(Property Owner)

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, personally appeared before me \_\_\_\_\_ the signer(s) of the Representative Authorization Affidavit who duly acknowledged to me that they executed the same.

\_\_\_\_\_  
(Notary)

**DRAWING NOTES**

DESIGN ACCORDING TO THE 2018 IBC.  
FOR SPECIFICATIONS NOT SHOWN REFER TO THE 2018 IBC.

DESIGN CATEGORY: RISK CATEGORY II  
OCCUPANCY CLASSIFICATION: S-2  
TYPE OF CONSTRUCTION: V-B, NO FIRE SPRINKLERS  
IBC 506.2 ALLOWABLE AREA: 13,500  
INTENDED OCCUPANCY: LESS THAN 50 PERSONS

SEISMIC CRITERIA:  
DESIGN CATEGORY D  
SOIL SITE CLASS D (ASSUMED)  
R = 7.0 (LIGHT-FRAME WOOD WALLS SHEATHED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE)  
SS= 1.10g, S1= 0.40g; SDS= 0.88g  
ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE  
BASE SHEAR= 49,161 LBS

WIND LOAD:  
ULTIMATE WIND DESIGN SPEED: 103 MPH 3 SEC. GUST  
TERRAIN EXPOSURE C

SNOW LOAD:  
SITE ELEVATION: 5160 FT  
GROUND SNOW LOAD: 62 PSF  
Ce: 1.0, Ct: 1.0, Cs: 0.94  
ROOF SNOW LOAD: 41 PSF MAIN, 61 PSF LEAN (SLIDING)

DEAD LOADS:  
ROOF 14 PSF  
WALLS 7 PSF  
LOFT FLOOR 10 PSF

ROOF LIVE LOAD: 20 PSF  
FLOOR LIVE LOAD: 40 PSF

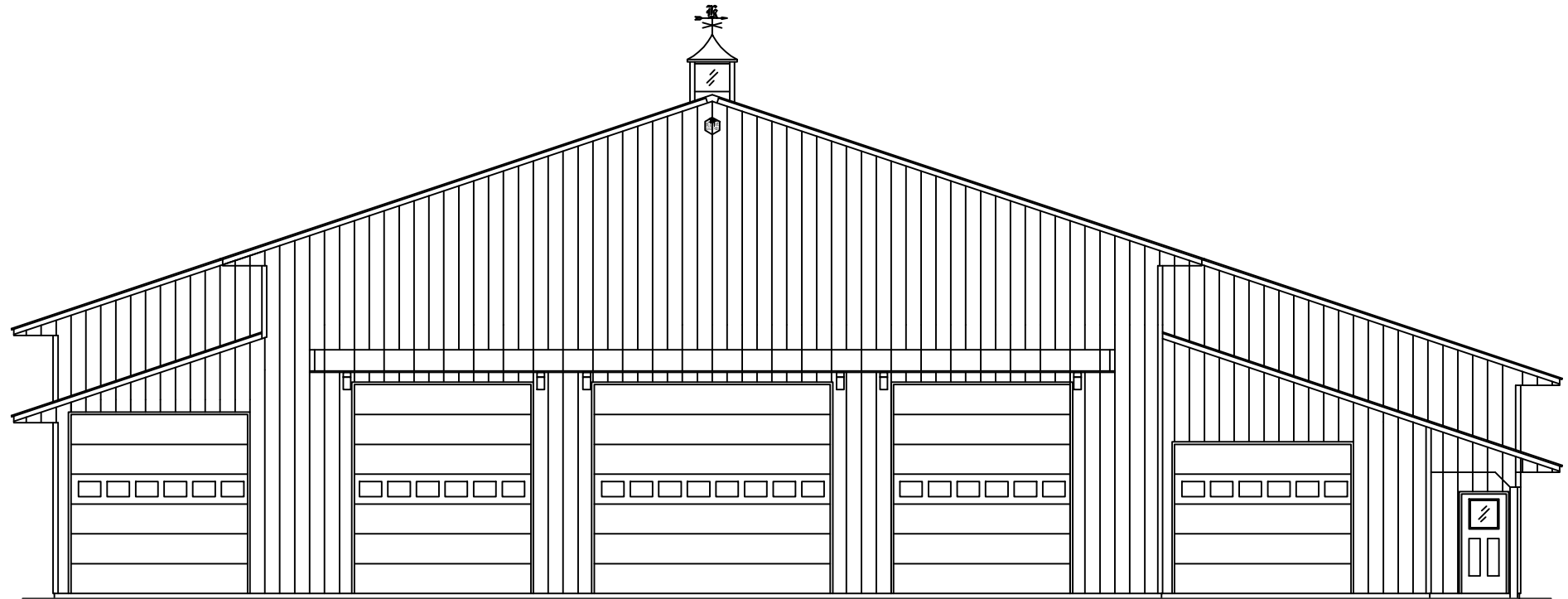
FROST DEPTH: 40 IN

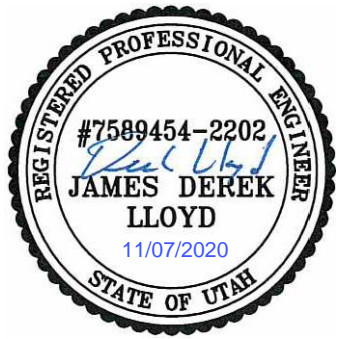

GENERAL:  
1. PLEASE REFER TO THE STRUCTURAL CALCULATIONS FOR ALL SPECIFICATIONS AND DESIGN CRITERIA NOT LISTED HERE. WHERE DETAILS ARE NOT SPECIFIED, TYPICAL DETAILS AS SPECIFIED ON PLANS AND ON THE STRUCTURAL DETAILS SHEET SHALL APPLY.

**Exhibit B**

# BEEHIVE BUILDINGS

## BOB KIRKMAN BUILDING

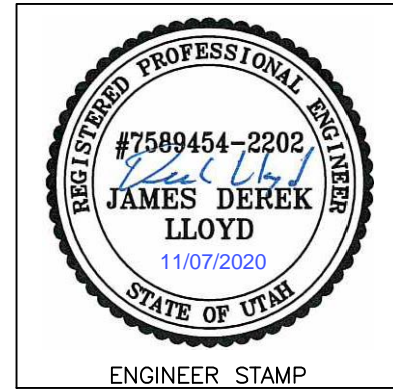


BUILDING INFORMATION	CONTRACTOR	DRAFTING & ENGINEERING	DRAWING INDEX		 ENGINEER STAMP
SITE INFORMATION:  ADDRESS: 4267 N 3150 E LIBERTY, UTAH  BUILDING INFORMATION: DIMENSIONS: 98' x 118' TOTAL SQUARE FOOTAGE: 10,481 S.F. KITCHEN, POOL: 3606 S.F. GARAGE/STORAGE: 6875 S.F. LOFT/MEZZANINE: 264 S.F. PORCHES: 531 S.F.	BEEHIVE BUILDINGS  CONTACT: GARRETT NICHOLS GARRETT@BEEHIVEBUILDINGS.COM PHONE: 801-529-4222	MOUNTAIN POINT ENGINEERING  CONTACT: DEREK LLOYD DEREK@MOUNTAINPOINTENGINEERING.COM PHONE: 801-450-5332  	SHEET	DESCRIPTION	
			01	FOUNDATION PLAN	11/07/2020
			02-04	FLOOR PLAN	
			05	ROOF PLAN	
			06-08	GIRT PLAN	
			09	ELEVATIONS	
			10-11	SECTIONS	
			12	LOFT PLAN	
			13-14	PANEL LAYOUT	
			15-18	DETAIL SHEETS	

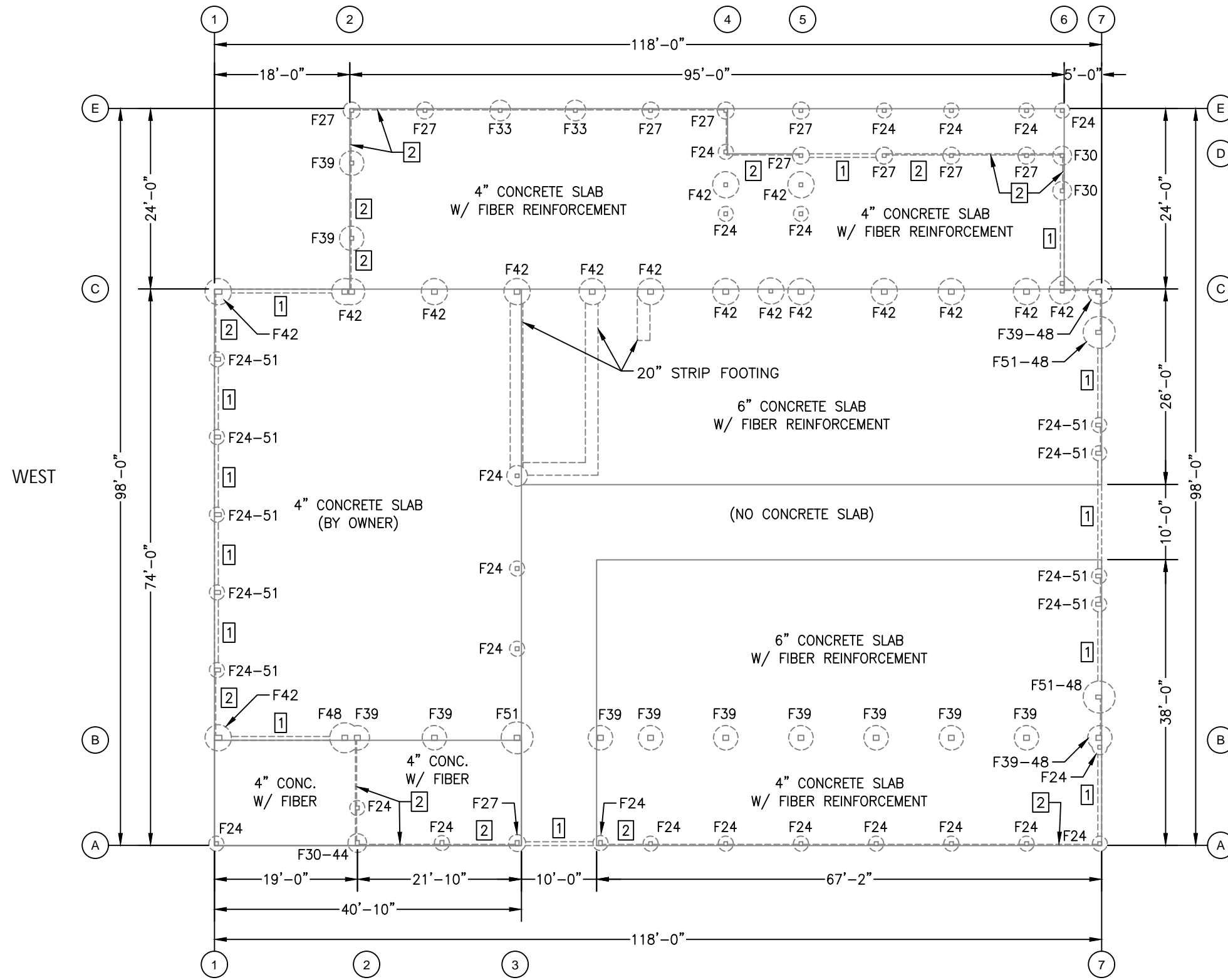


# Exhibit B

NORTH



MOUNTAIN POINT  
ENGINEERING



**CONCRETE NOTES:**

1. 28 DAY STRENGTH (F'C) W/ NORMAL 145 PCF DENSITY: FOOTINGS: 3000 PSI
2. SLABS ON GRADE: 3000 PSI REQUIRED, 3500 PSI RECOMMEND
3. ALL SLABS: PROVIDE A MIN. THICKNESS OF 4" W/ 4" DEEP MIN. CRUSHED GRAVEL BASE.
4. CONTRACTION/CONTROL JOINTS SHALL BE INSTALLED IN SLABS ON GRADE SO THE LENGTH TO WIDTH RATIO OF THE SLAB IS NO MORE THAN 1.5:1. CONTROL JOINT SPACING SHALL NOT EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION, UNLESS OTHERWISE NOTED.
5. CONTROL JOINTS SHALL BE COMPLETED WITHIN 6-18 HOURS OF CONCRETE PLACEMENT.
6. CONTROL JOINTS SHALL BE TOOLED OR SAWED TO THE GREATER DEPTH OF 1" DEEP OR 1/4 THICKNESS OF CONCRETE SLAB.

**SOILS AND EXCAVATION:**

7. NO SOILS REPORT PROVIDED - STABLE SOIL CHARACTERISTICS ASSUMED. ALL DESIGN WAS BASED ON STABLE SOIL CHARACTERISTICS. GEOTECHNICAL HAZARDS FOUND ON OR AROUND THE SITE, INCLUDING EXPANSIVE CLAYS, OR SOILS FOUND AT THE SITE WHILE EXCAVATION OCCURS WHICH DIFFERS FROM THOSE ASSUMED SHOULD BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND ENGINEER.
8. ALLOWABLE BEARING PRESSURE: 1500 PSF
9. NATIVE MATERIAL SURROUNDING FOOTING TO BE DISTURBED MINIMALLY DURING EXCAVATION.
10. FOOTINGS SHALL BE PLACED ENTIRELY IN UNDISTURBED NATIVE SOILS OR STRUCTURAL FILL WHICH IS BEARING ON UNDISTURBED NATIVE SOILS AND IS COMPACTED TO 95% OF THE MODIFIED PROCTOR DENSITY.

**RIGID INSULATION:**

1. FROST PROTECTION CONTINUOUS AROUND PERIMETER OF HEATED PORTION OF BUILDING.
  - 1.1. 2" THICK RIGID FOAM BOARD. EPS TYPE II OR TYPE IX; OR XPS TYPE IV, V, VI, VII, OR X PER ASTM C578
  - 1.2. MIN R VALUE: 5.6.
  - 1.3. EXTEND VERTICALLY BETWEEN PIERS FROM TOP OF SLAB TO 20" BELOW GRADE.
  - 1.4. SEE DETAIL ON SHEET 16.

FOOTING SCHEDULE				
MARK	DIA (IN)	DEPTH (IN)	SPIKES PER SIDE	REINFORCEMENT
F24	24	40	1	NONE
F24-51	24	51	1	NONE
F27	27	40	1	NONE
F30-44	30	44	2	NONE
F33	33	40	2	#4 BAR @ 6" O.C. EA WAY
F39	39	40	2	#4 BAR @ 6" O.C. EA WAY
F39-48	39	48	2	#4 BAR @ 6" O.C. EA WAY
F42	42	40	2	#4 BAR @ 6" O.C. EA WAY
F51	51	40	3	#4 BAR @ 6" O.C. EA WAY
F51-48	48	48	4	#4 BAR @ 6" O.C. EA WAY

- 1 6" FROST WALL AT OVERHEAD DOOR OPENINGS. SEE DETAIL ON SHEET 16.
- 2 VERTICAL RIGID INSULATION. SEE DETAIL ON SHEET 16.

FOUNDATION PLAN

BOB KIRKMAN BUILDING  
LIBERTY, UTAH

PROJECT  
B174

SCALE  
1/16" = 1'-0"

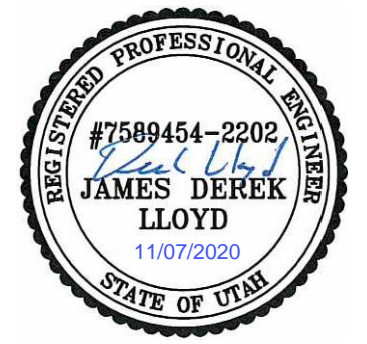
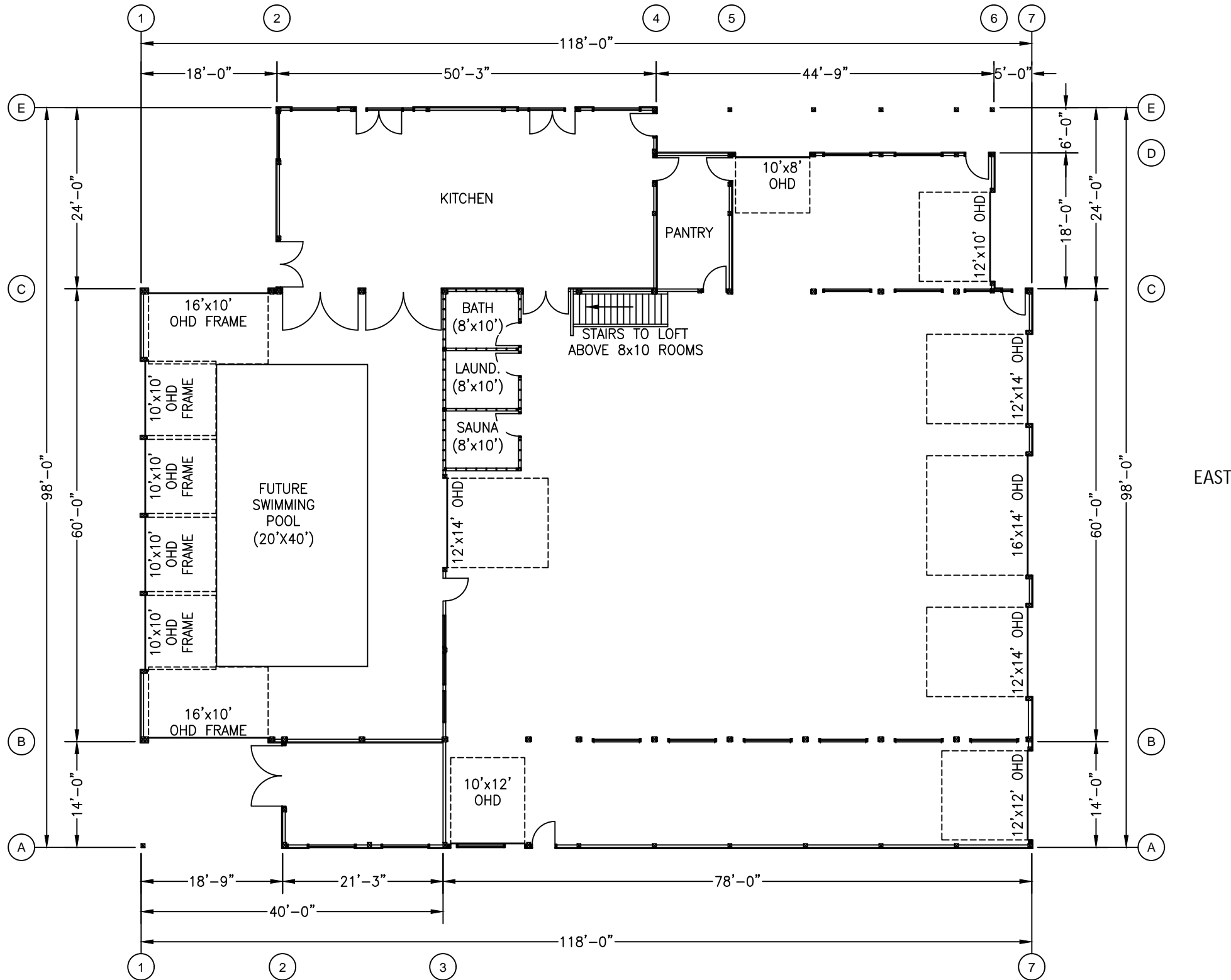
DATE  
11/07/2020

SHEET  
01



# Exhibit B

NORTH



ENGINEER STAMP

MOUNTAIN POINT  
ENGINEERING

NOTES:

1. 6X6 DF: 6X6 DF-L #2 TREATED POST.
2. 6X8 DF: 6X8 DF-L #2 TREATED POST.
3. 6X8+2X6: 6X8 DF-L #2 TREATED POST WITH TREATED 2X6 DF-L #2 ATTACHED PER DETAIL ON SHEET 17.
4. 6X8+(2)2X8: 6X8 DF-L #2 TREATED POST WITH TREATED 2X8 DF-L #2 ATTACHED PER DETAIL ON SHEET 17.
5. (2) 6X8 DF: TWO 6X8 DF-L #2 TREATED POSTS ATTACHED PER DETAIL ON SHEET 17.
6. EMBED POST INTO CONCRETE PIER. SEE DETAIL ON SHEET 16.
7. ROOF: 29 GA STEEL PANEL OVER WOOD SHEATHING. SEE ROOF PLAN ON SHEET 05.
8. WALLS: COMMERCIAL GIRTS, 29 GA STEEL PANEL EXTERIOR; WOOD SHEATHING SHEAR WALLS. INTERIOR BY OWNER.

## FLOOR PLAN

BOB KIRKMAN BUILDING  
LIBERTY, UTAH

PROJECT  
B174

SCALE  
1/16" = 1'-0"

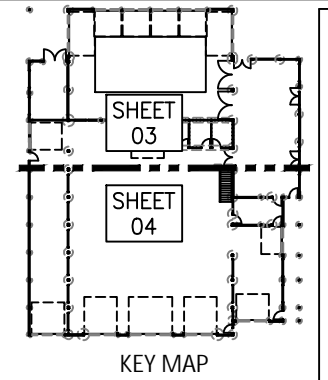
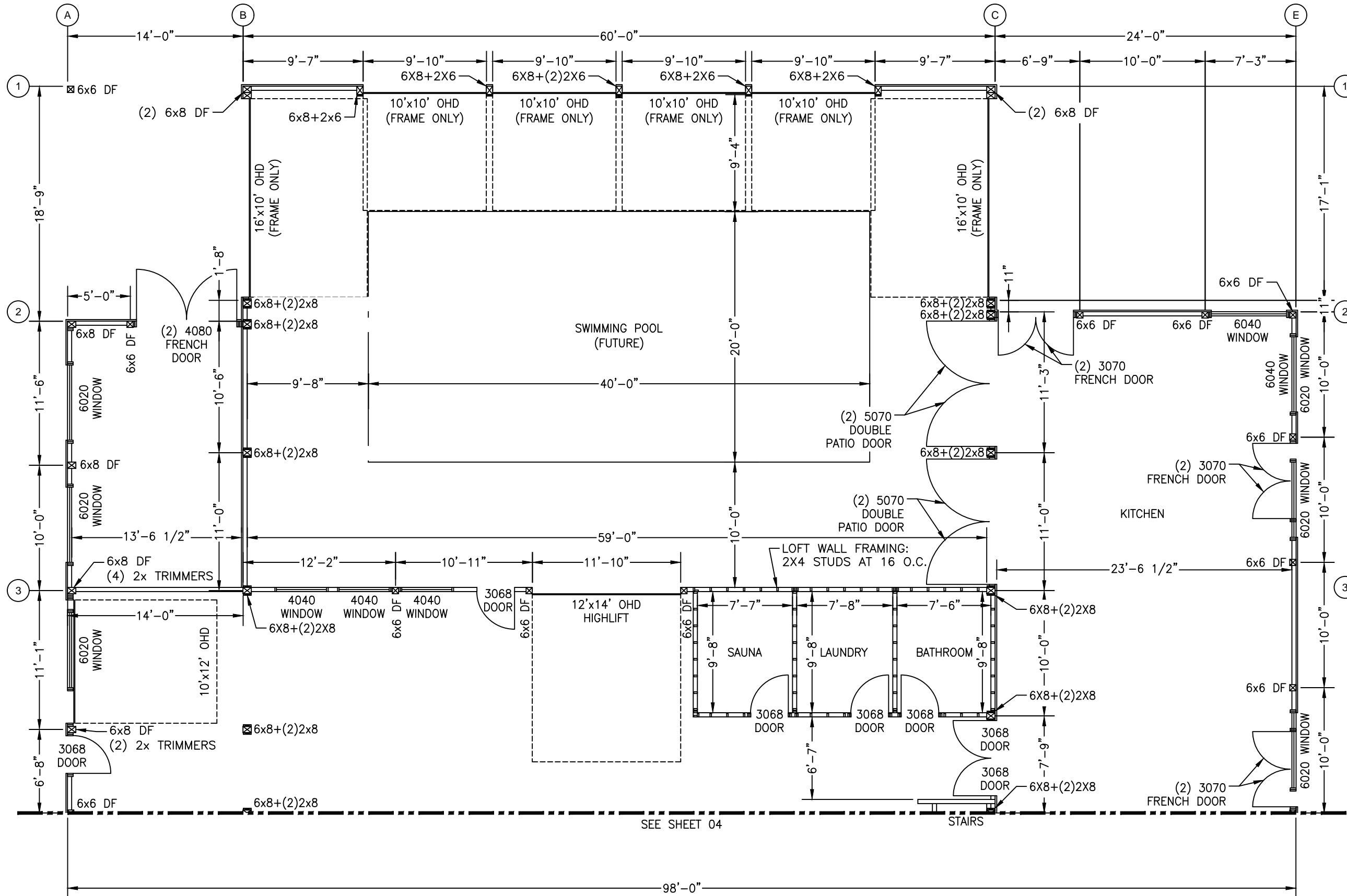
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11/07/2020

SHEET  
02

BUILDING INSULATION  
ROOF: R-58  
WALLS: R-19

# Exhibit B

WEST



MOUNTAIN POINT  
ENGINEERING

FLOOR PLAN

BOB KIRKMAN BUILDING  
LIBERTY, UTAH

PROJECT  
B174

SCALE  
1/8" = 1'-0"

DATE  
11/07/2020

SHEET  
03

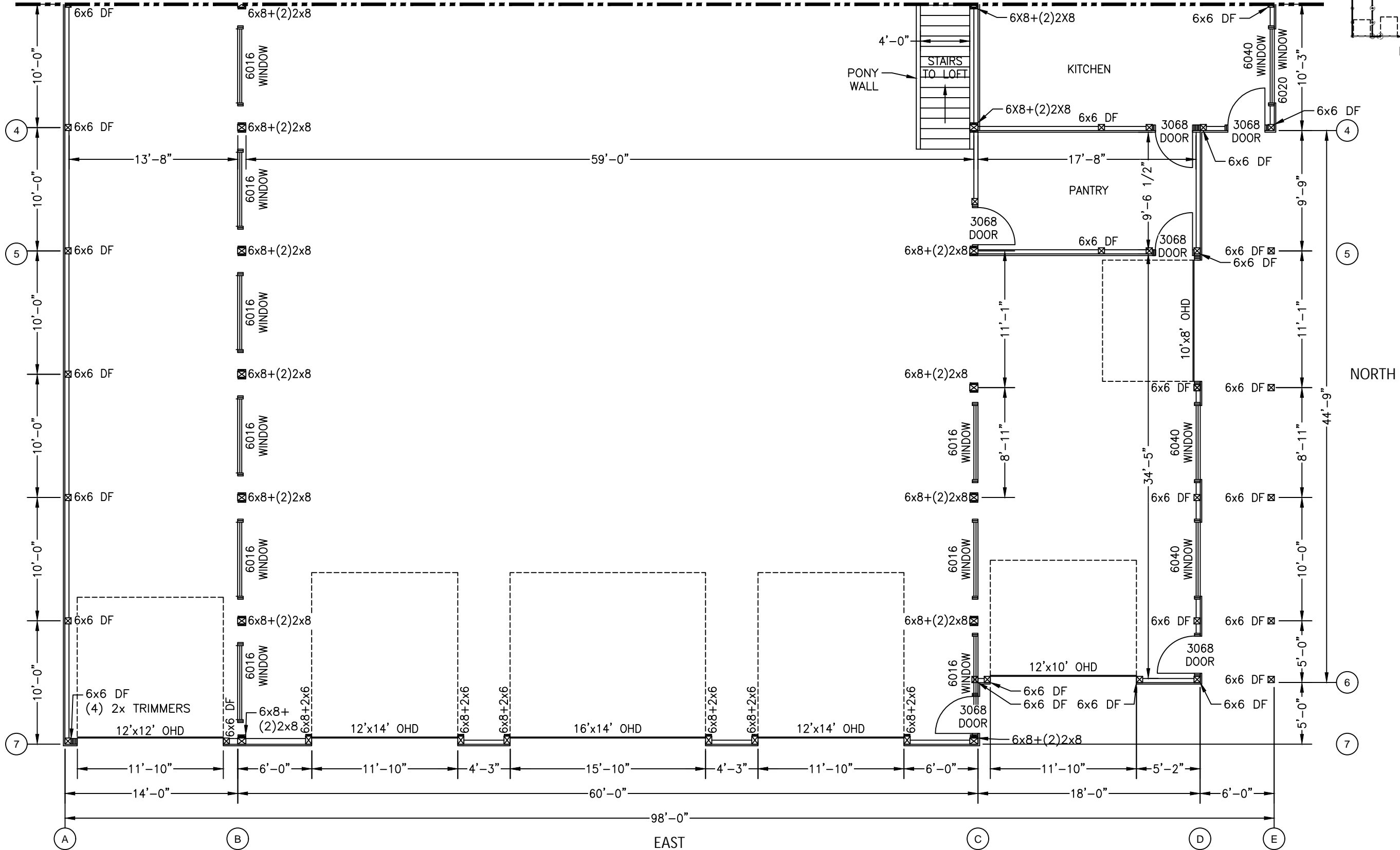
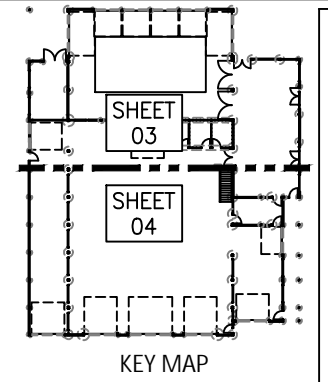
NORTH

SEE SHEET 04

STAIRS

# Exhibit B

SEE SHEET 03



MOUNTAIN POINT  
ENGINEERING

FLOOR PLAN

BOB KIRKMAN BUILDING  
LIBERTY, UTAH

PROJECT  
B174

SCALE  
1/8" = 1'-0"

DATE  
11/07/2020

SHEET  
04

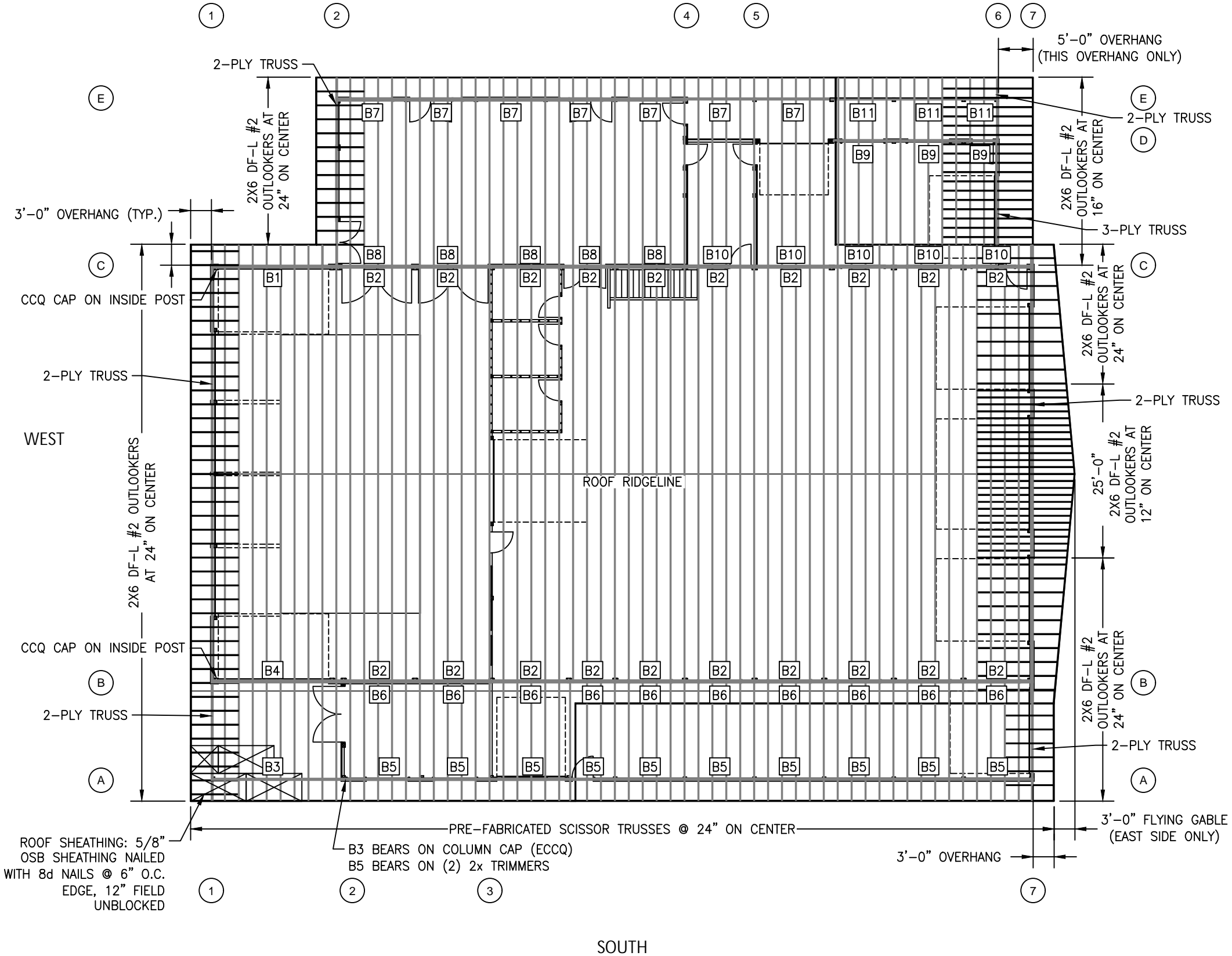
# Exhibit B

NORTH



ENGINEER STAMP

MOUNTAIN POINT  
ENGINEERING



BEAM SCHEDULE			
MARK	BEAM	COLUMN CAP	HANGER
B1	3-PLY 1-3/4"x18" LVL	CCQ66SDS2.5	-
B2	3-PLY 1-3/4"x11-7/8" LVL	CCQ66SDS2.5	-
B3	2-PLY 1-3/4"x16" LVL	ECCQ46SDS2.5	-
B4	3-PLY 1-3/4"x20" LVL	CCQ66SDS2.5	-
B5,B7,B11	2-PLY 1-3/4"x9-1/2" LVL	CCQ46SDS2.5	-
B6,B8,B10	2-PLY 1-3/4"x7-1/4" LVL	-	HUC28-2
B9	2-PLY 1-3/4"x11-7/8" LVL	CCQ46SDS2.5	-

- NOTES:
- TRUSSES WILL BE DEFERRED PER IBC 107.3.4.1 AND WILL BE DESIGNED BY A LICENSED ENGINEER IN THE STATE OF UTAH.
  - PROVIDE TRUSS BOTTOM CHORD BRACING PER TRUSS MANUFACTURER'S SPECIFICATIONS.
  - OVERHANG: SEE DETAIL ON SHEET 12

ROOF FRAMING PLAN

BOB KIRKMAN BUILDING  
LIBERTY, UTAH

PROJECT  
B174

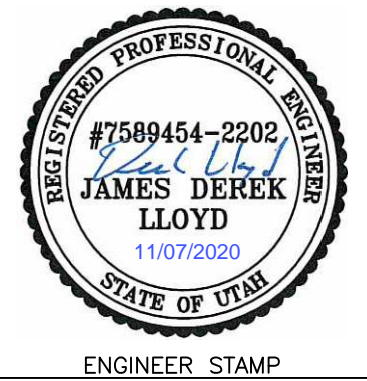
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DATE  
11/07/2020

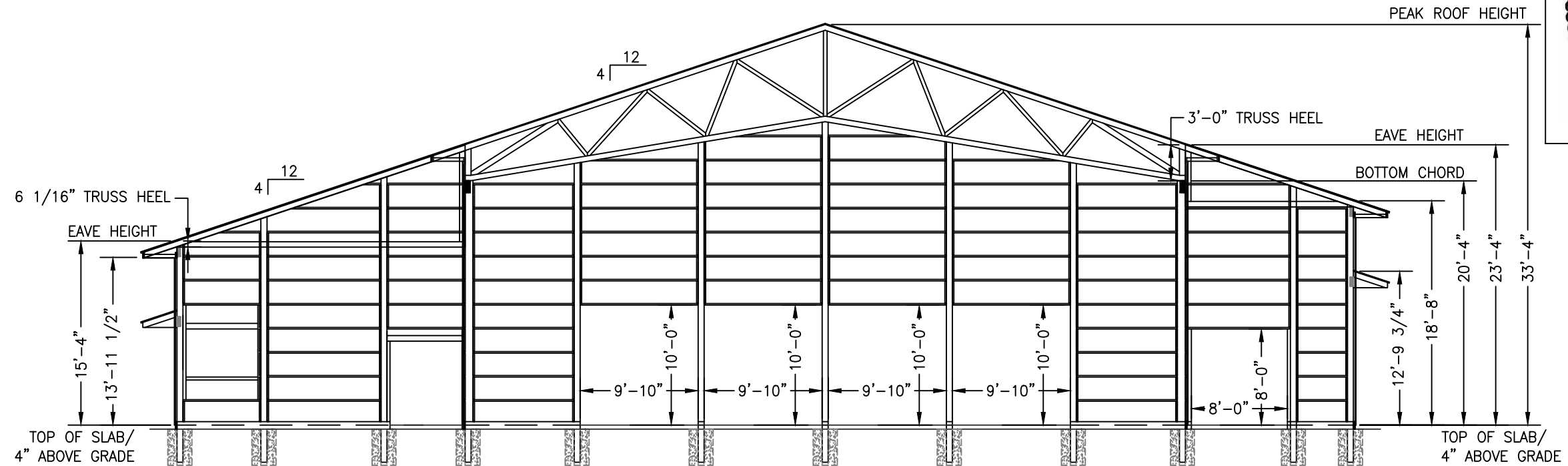
SHEET  
05



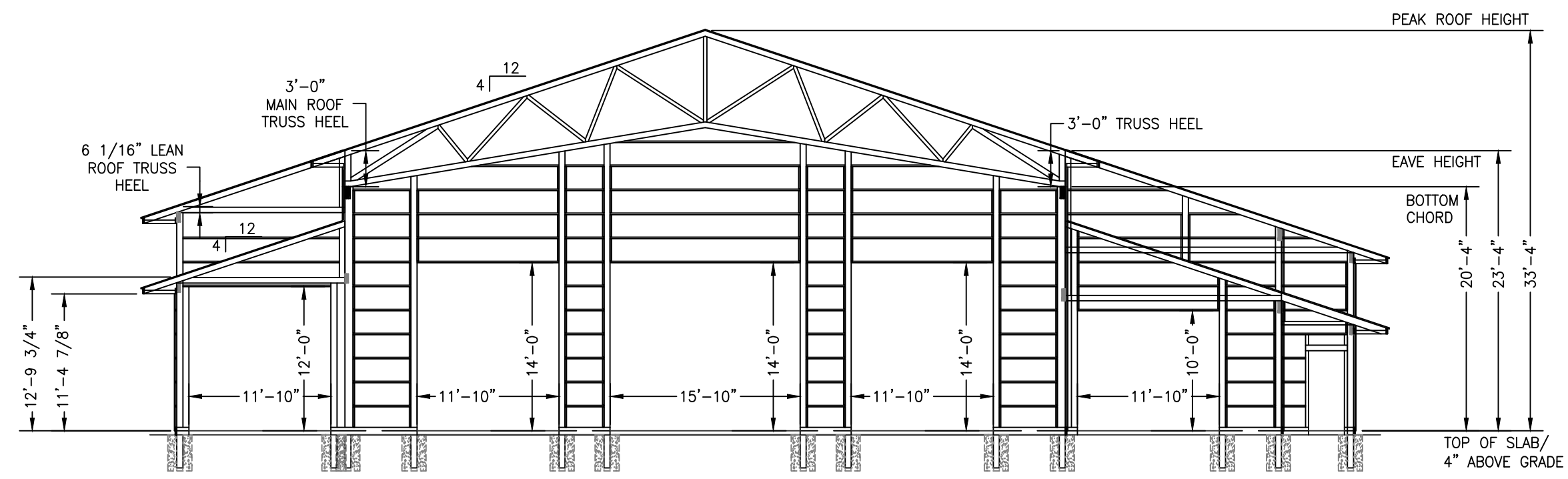
# Exhibit B



MOUNTAIN POINT  
ENGINEERING



GABLE END GIRT WALL - WEST - WALL LINE 1, 2



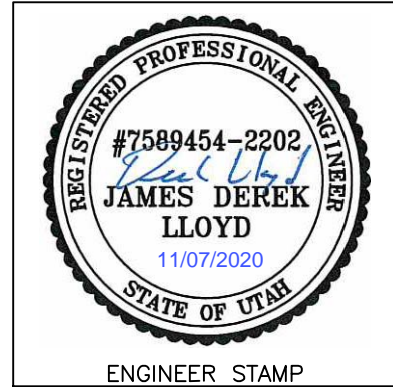
GABLE END GIRT WALL - EAST - WALL LINE 6, 7

GIRT PLAN

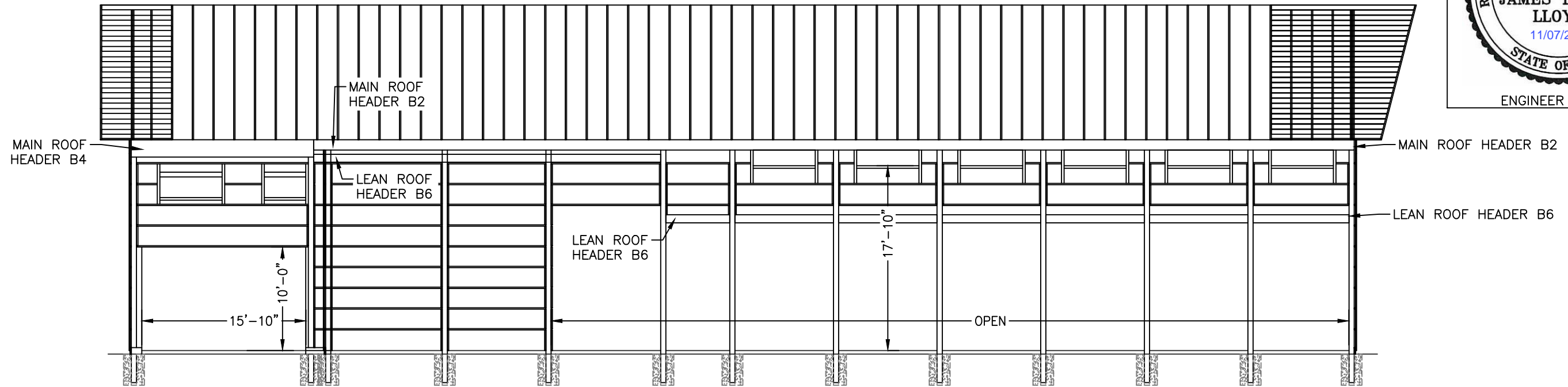
BOB KIRKMAN BUILDING  
LIBERTY, UTAH

PROJECT	B174
SCALE	3/32" = 1'-0"
DATE	11/07/2020
SHEET	06

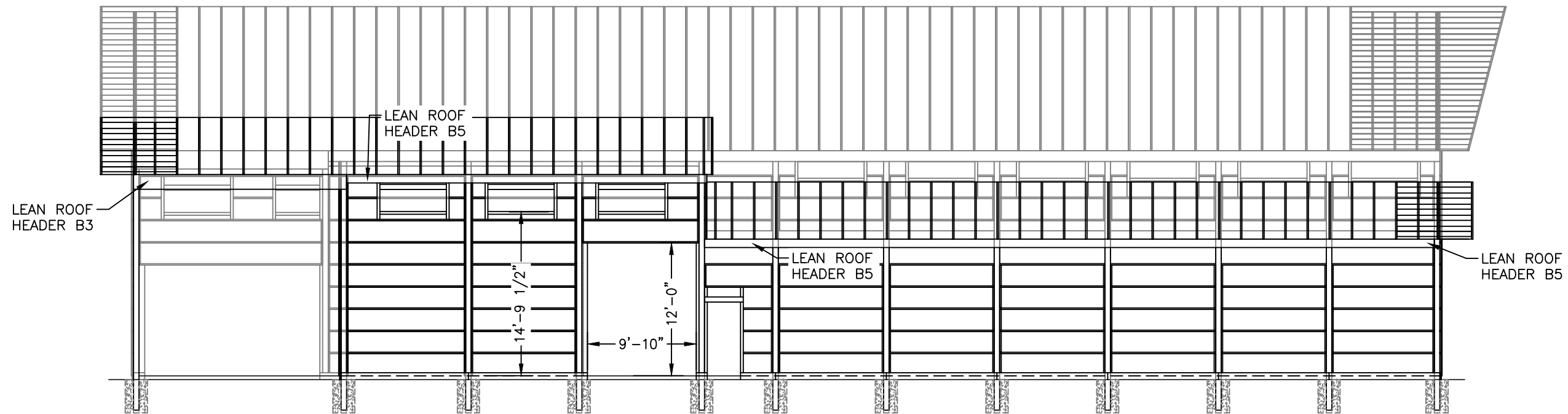
# Exhibit B



MOUNTAIN POINT  
ENGINEERING



GABLE END GIRT WALL - SOUTH - WALL LINE B



GABLE END GIRT WALL - SOUTH - WALL LINE A

GIRT PLAN

BOB KIRKMAN BUILDING  
LIBERTY, UTAH

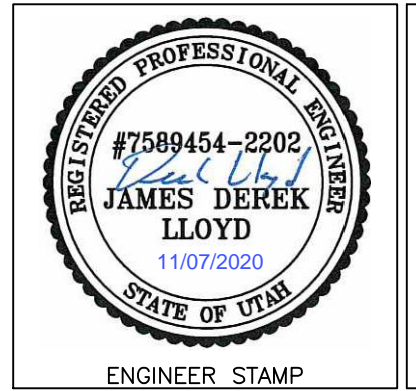
PROJECT  
B174

SCALE  
3/32" = 1'-0"

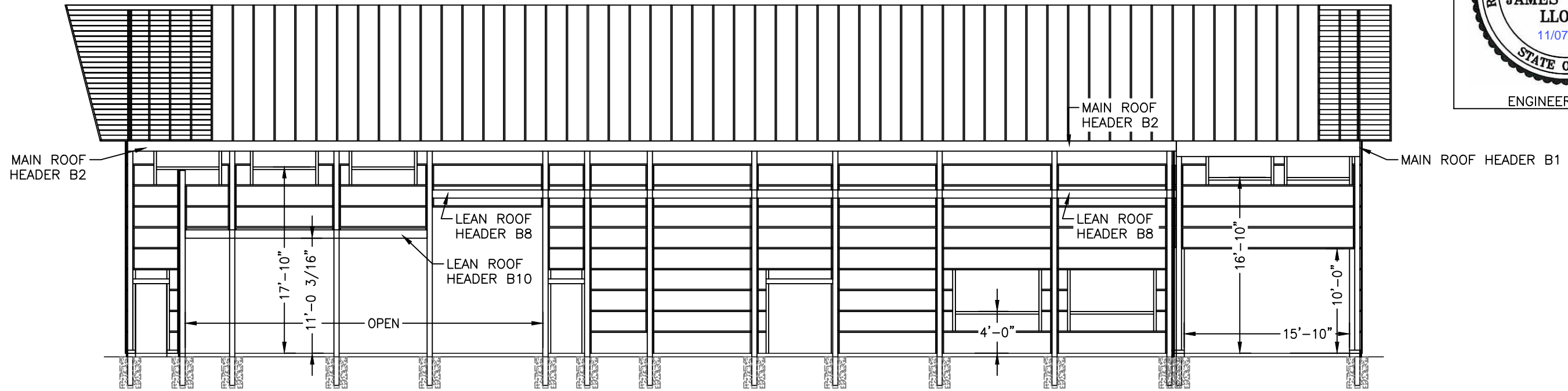
DATE  
11/07/2020

SHEET  
07

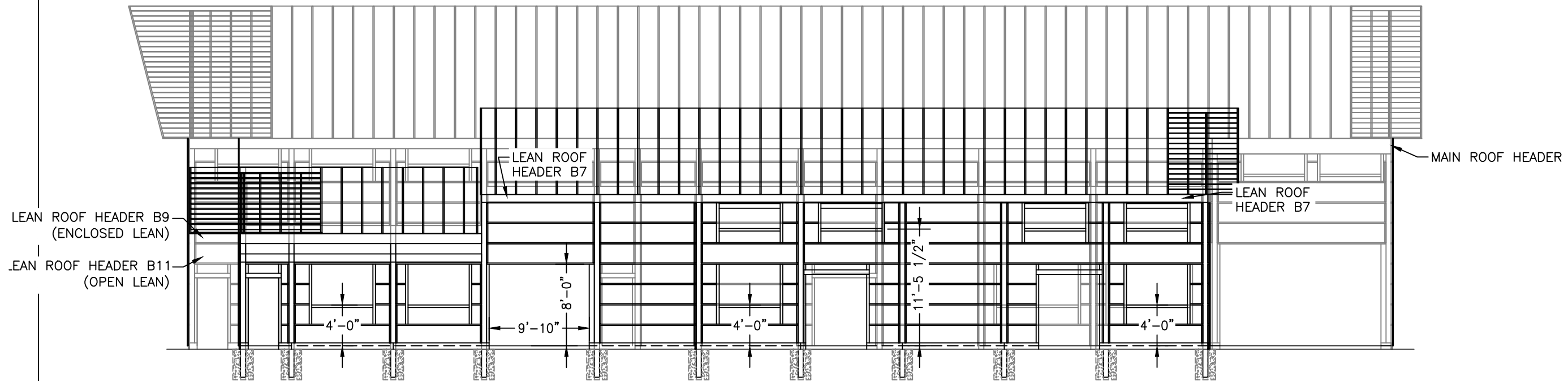
# Exhibit B



MOUNTAIN POINT  
ENGINEERING



GABLE END GIRT WALL - NORTH - WALL LINE C



GABLE END GIRT WALL - NORTH - WALL LINE D, E

GIRT PLAN

BOB KIRKMAN BUILDING  
LIBERTY, UTAH

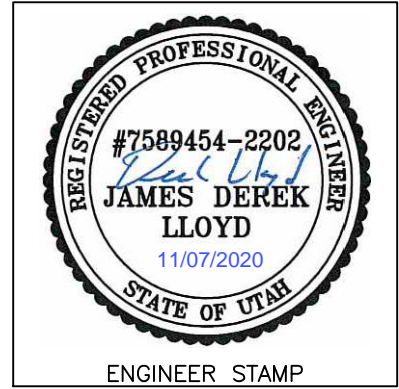
PROJECT  
B174

SCALE  
3/32" = 1'-0"

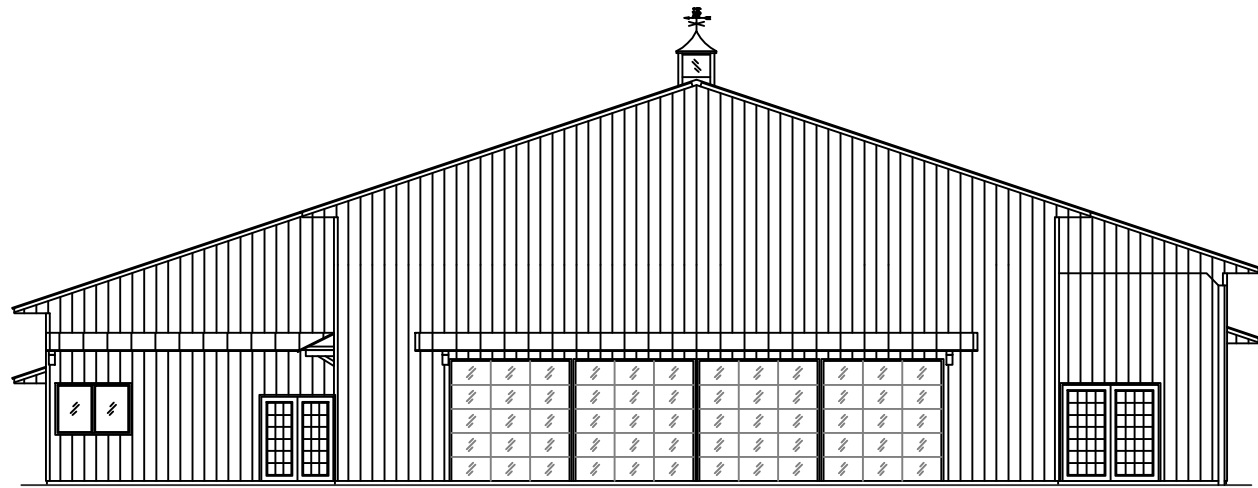
DATE  
11/07/2020

SHEET  
08

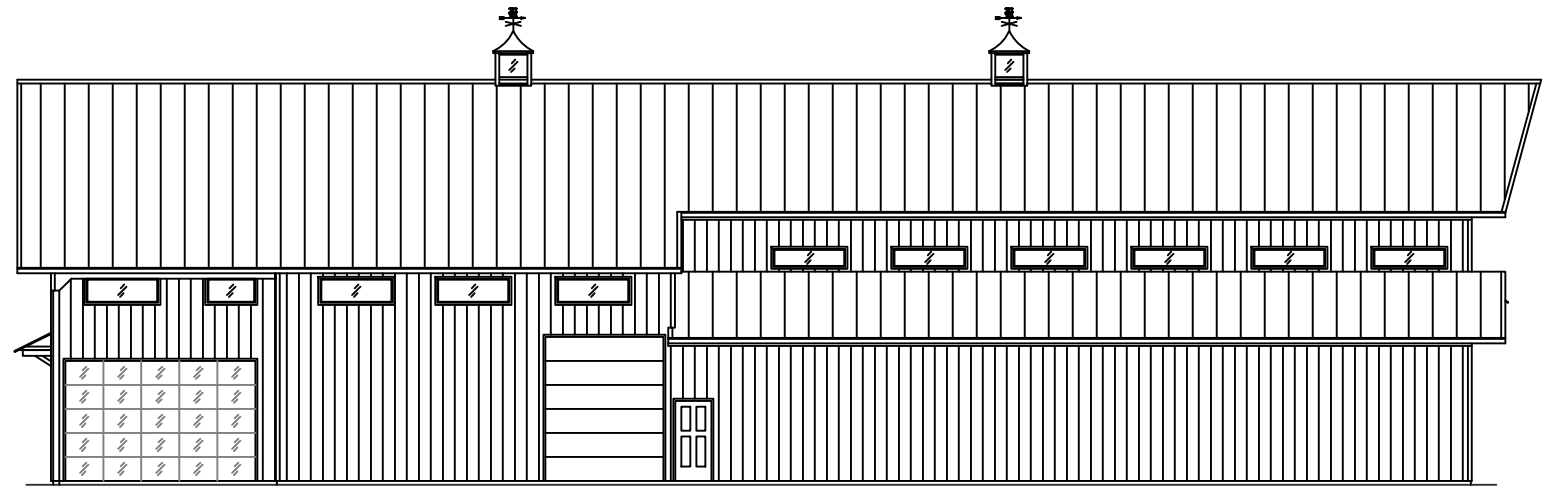
# Exhibit B



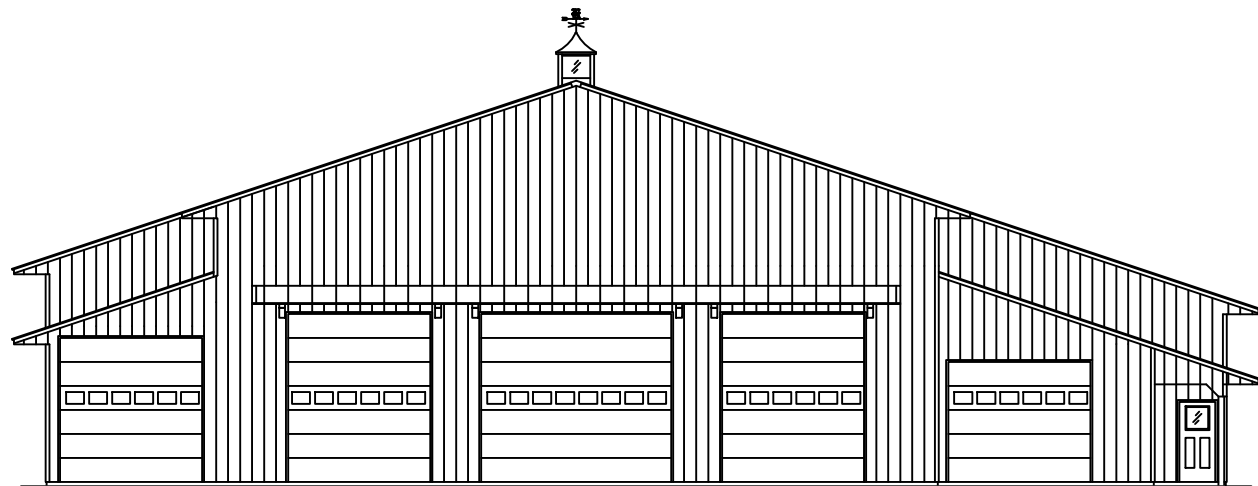
MOUNTAIN POINT  
ENGINEERING



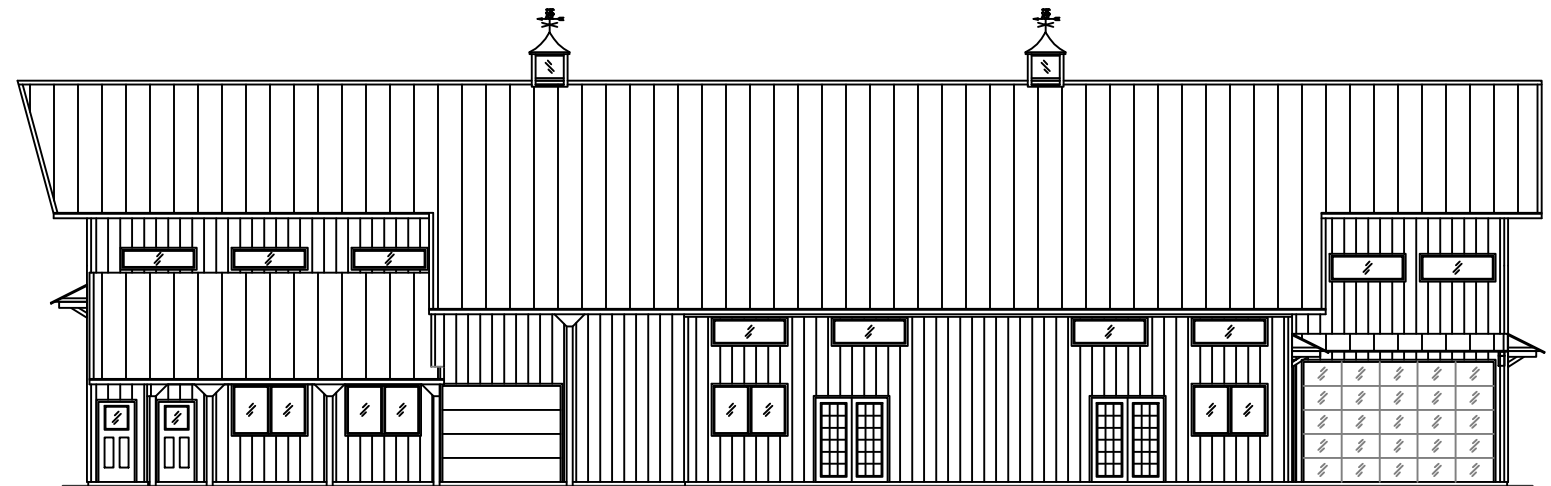
GABLE END ELEVATION - WEST



SIDE ELEVATION - SOUTH



GABLE END ELEVATION - EAST



SIDE ELEVATION - NORTH

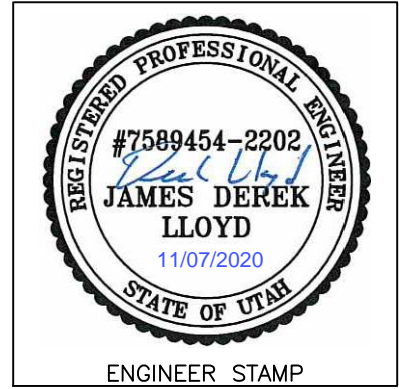
## ELEVATIONS

BOB KIRKMAN BUILDING  
LIBERTY, UTAH

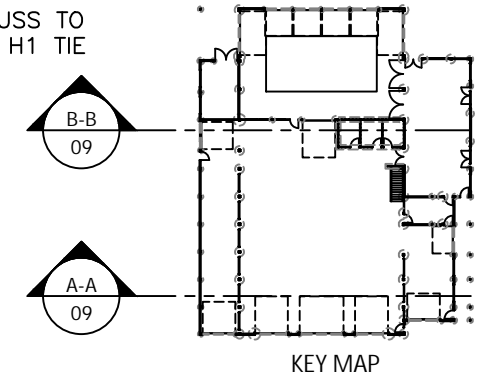
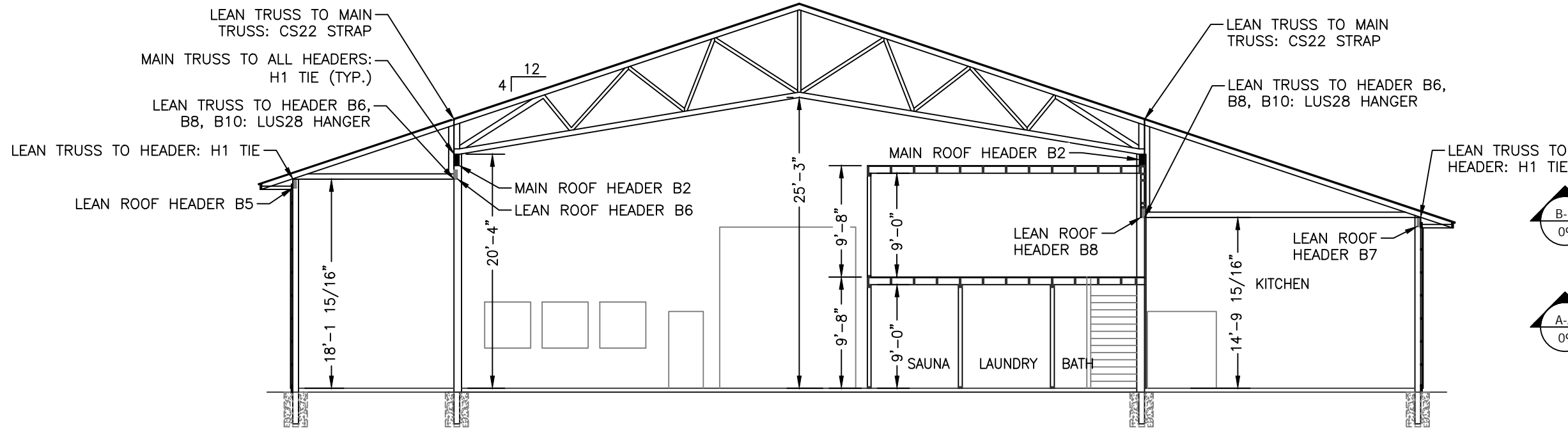
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B174  
SCALE  
1/16" = 1'-0"  
DATE  
11/07/2020  
SHEET  
09



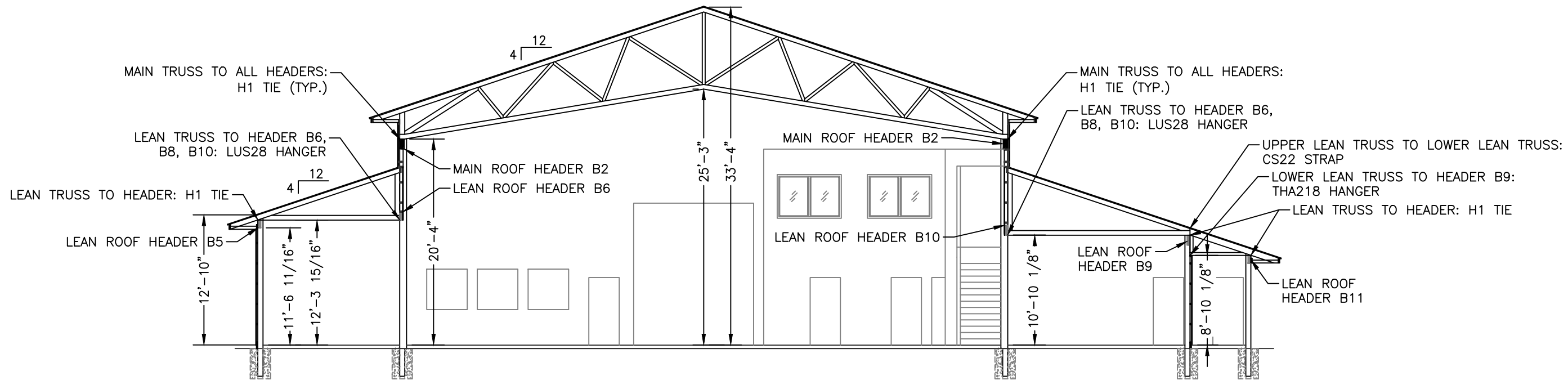
# Exhibit B



MOUNTAIN POINT  
ENGINEERING



SECTION B-B



SECTION A-A

SECTIONS

BOB KIRKMAN BUILDING  
LIBERTY, UTAH

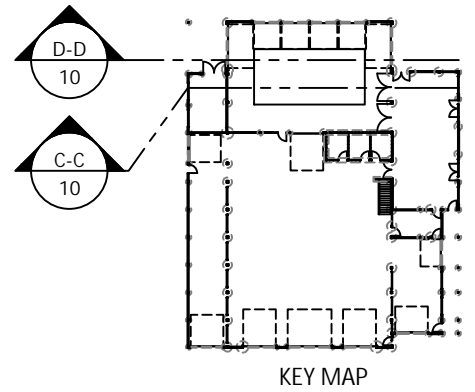
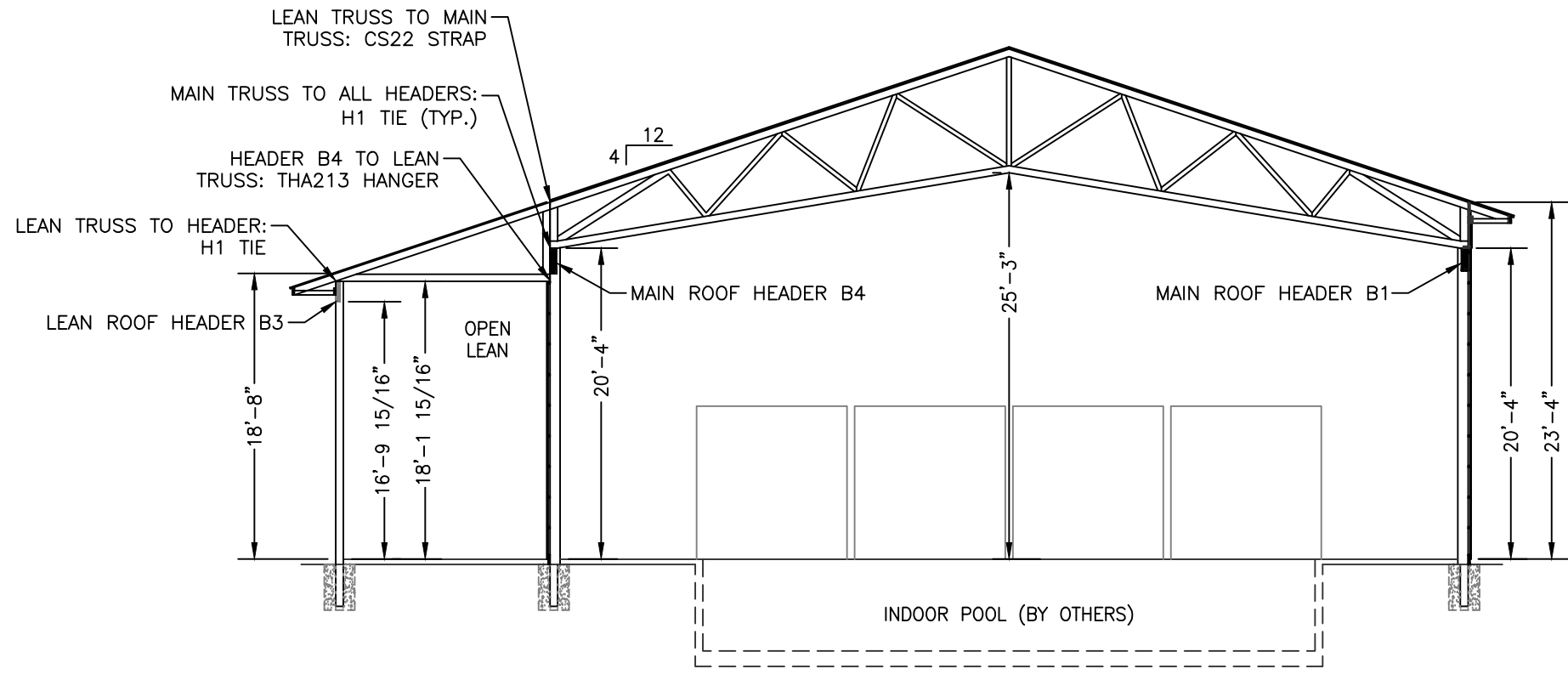
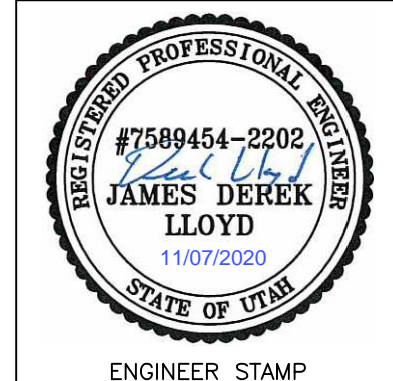
PROJECT  
B174

SCALE  
3/32" = 1'-0"

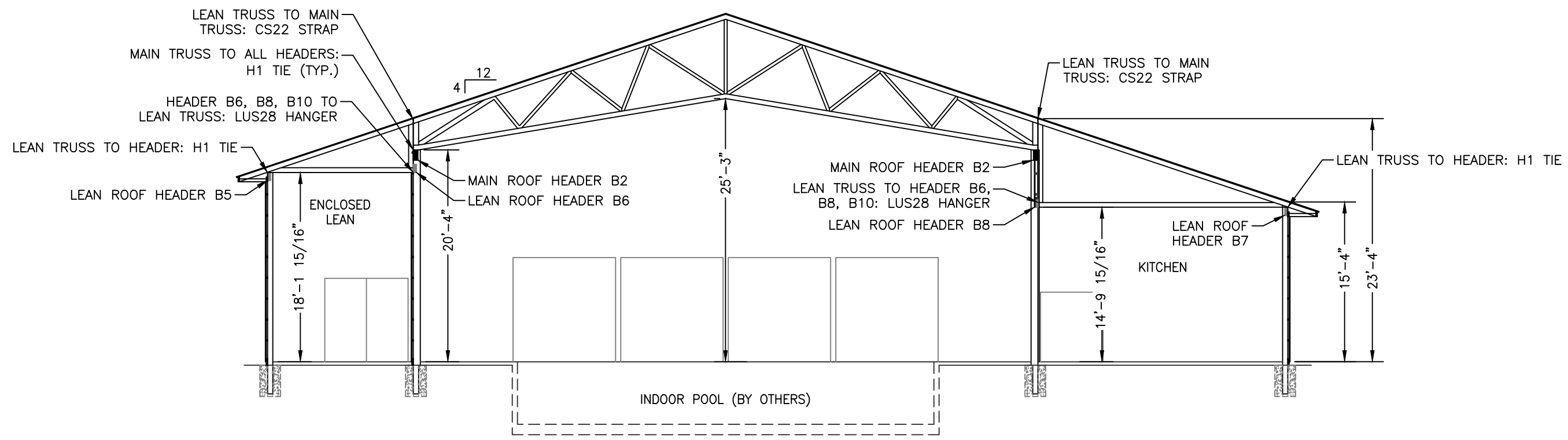
DATE  
11/07/2020

SHEET  
10

# Exhibit B



SECTION D-D



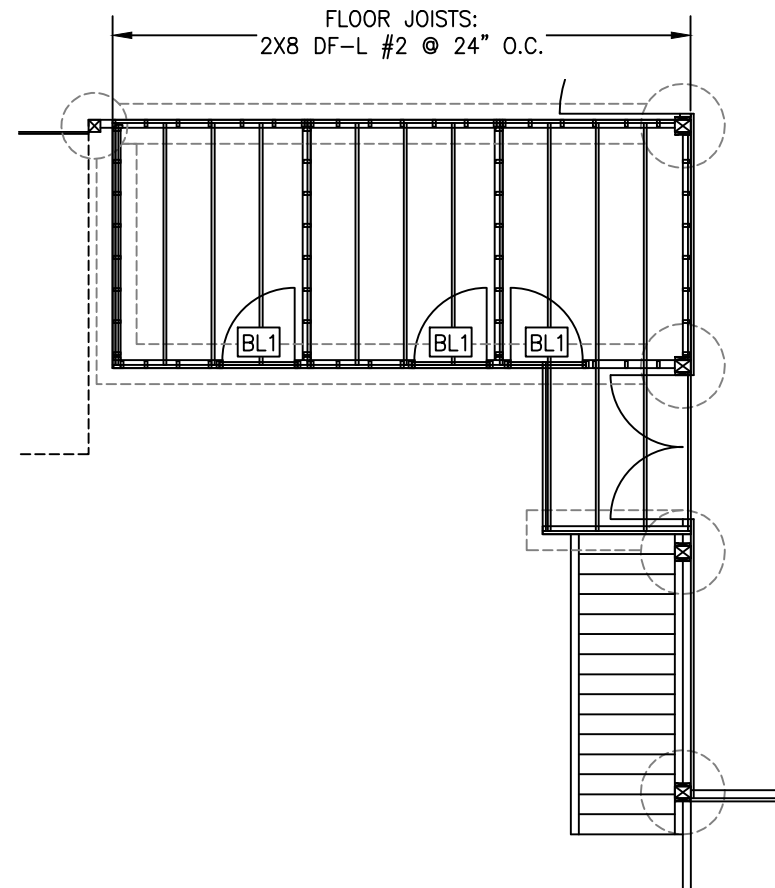
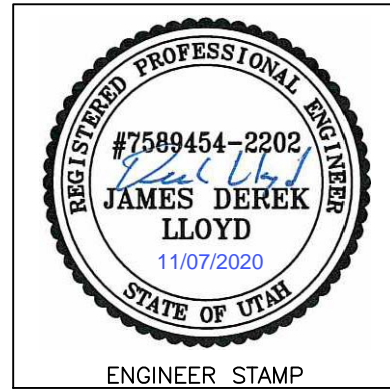
SECTION C-C

## SECTIONS

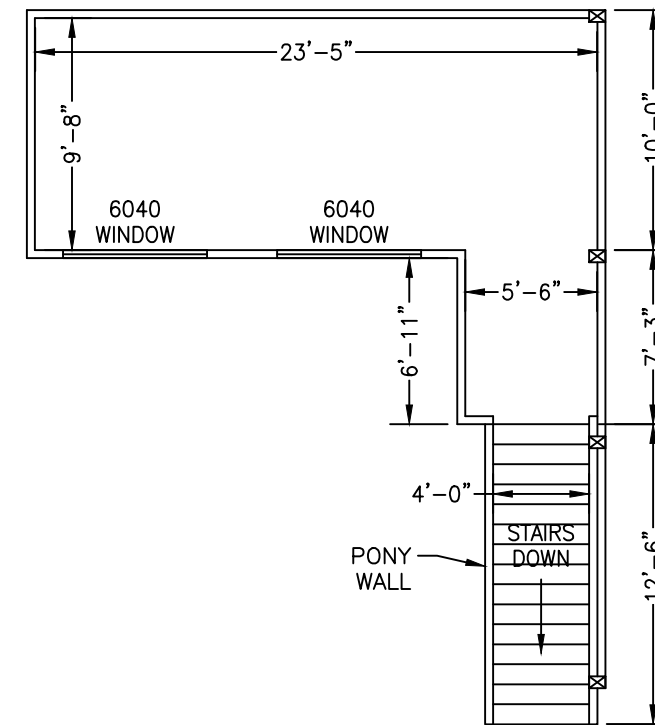
BOB KIRKMAN BUILDING  
LIBERTY, UTAH

PROJECT	B174
SCALE	3/32" = 1'-0"
DATE	11/07/2020
SHEET	11

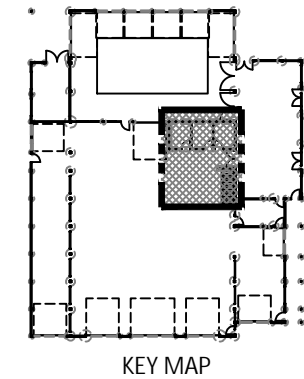
# Exhibit B



LOFT FLOOR FRAMING PLAN



LOFT FLOOR PLAN



LOFT PLAN

NOTES:

1. BL1: (2) 2X4 DF-L #2; (1) 2x TRIMMER
2. 6040 WINDOW HEADER: (2) 2X6 DF-L #2; (1) 2X TRIMMER
3. FLOOR SHEATHING: 3/4" OSB.
4. STAIRS:
  - 4.1. RISE: 7.25"
  - 4.2. RUN: 10"
  - 4.3. TOTAL RISE: 9'-8"
  - 4.4. TOTAL RUN: 12'-6"
5. LOFT WALLS: 2X4 @ 16" O.C.; OSB ON OUTSIDE, 1/2" GYPSUM BOARD INTERIOR. R-19 INSULATION.
6. LOFT ROOF FRAMING SIMILAR TO LOFT FLOOR FRAMING.

BOB KIRKMAN BUILDING  
LIBERTY, UTAH

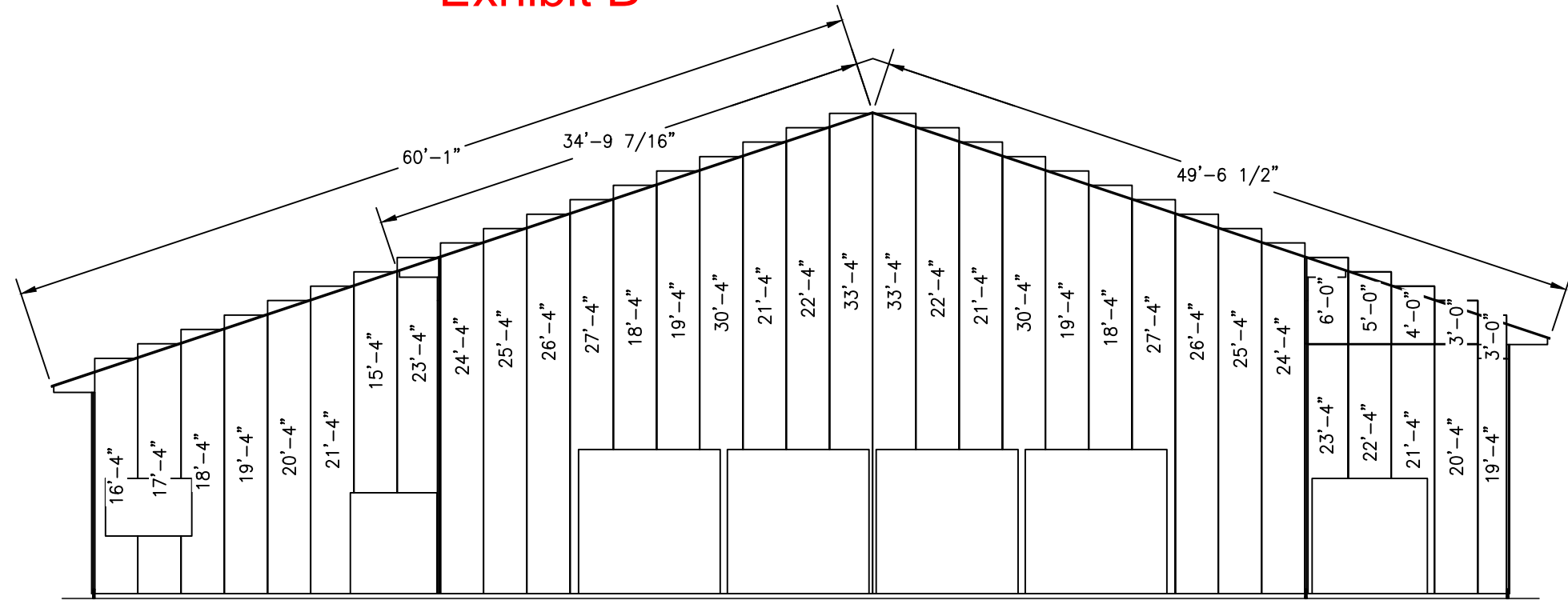
PROJECT  
B174

SCALE  
1/8" = 1'-0"

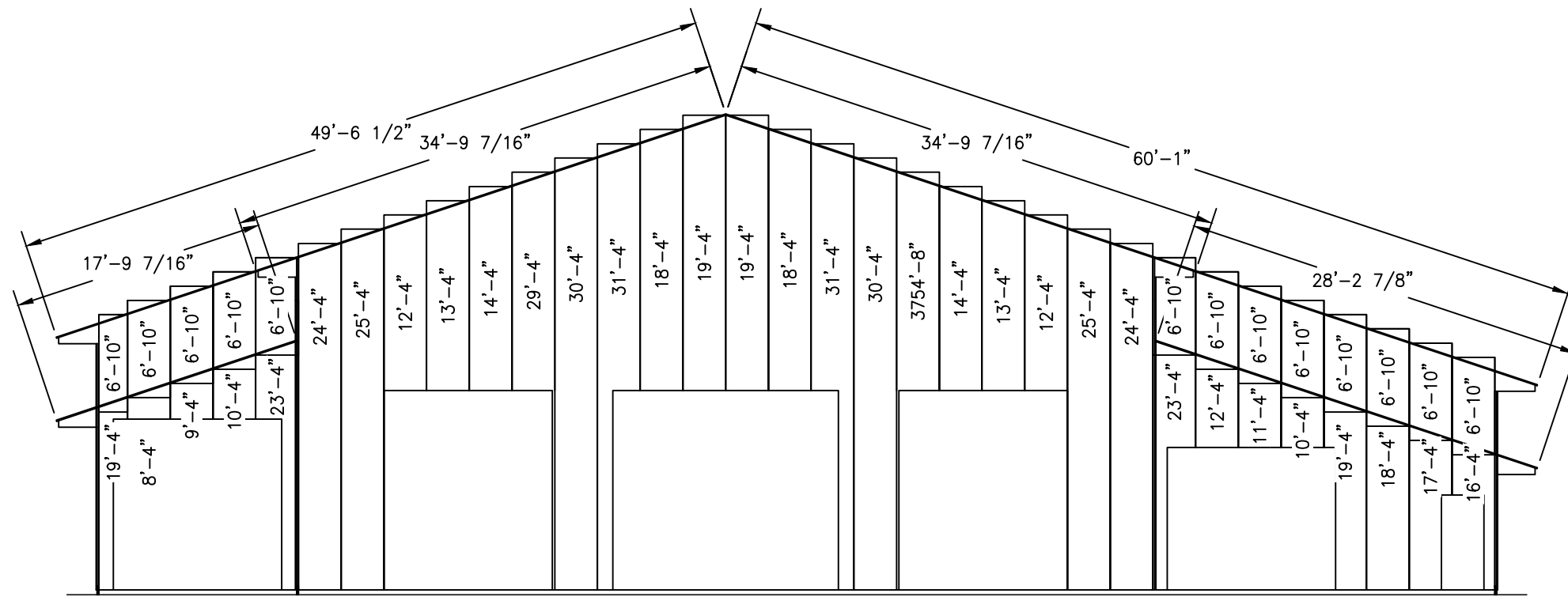
DATE  
11/07/2020

SHEET  
12

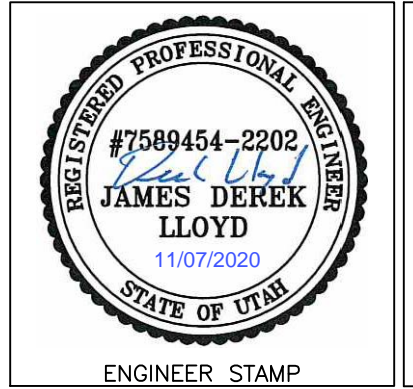
# Exhibit B



GABLE END GIRT WALL - WEST - WALL LINE 1, 2



GABLE END GIRT WALL - EAST - WALL LINE 6, 7



## PANEL LAYOUT

BOB KIRKMAN BUILDING  
LIBERTY, UTAH

PROJECT  
B174

SCALE  
1/8" = 1'-0"

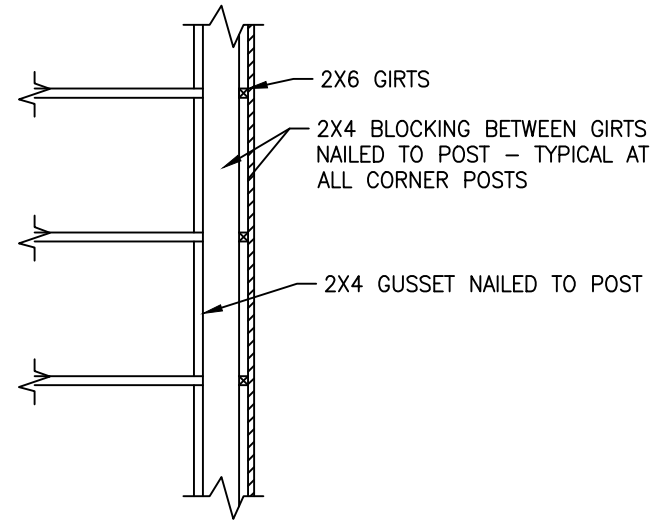
DATE  
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SHEET  
13

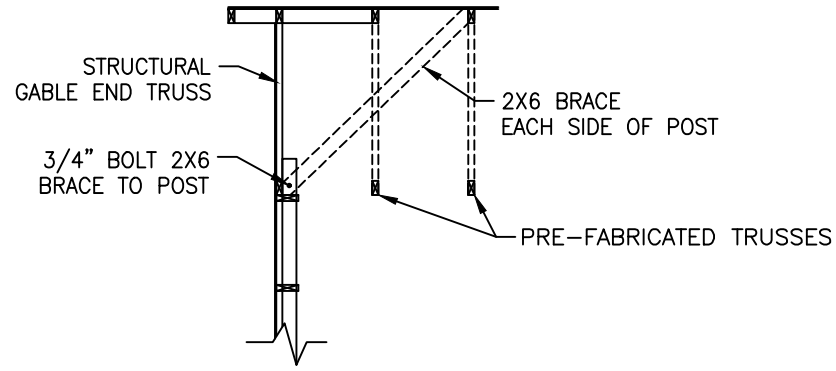




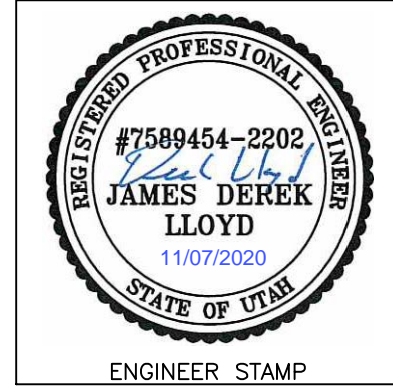
# Exhibit B



**CORNER BLOCKING**  
 NOT TO SCALE

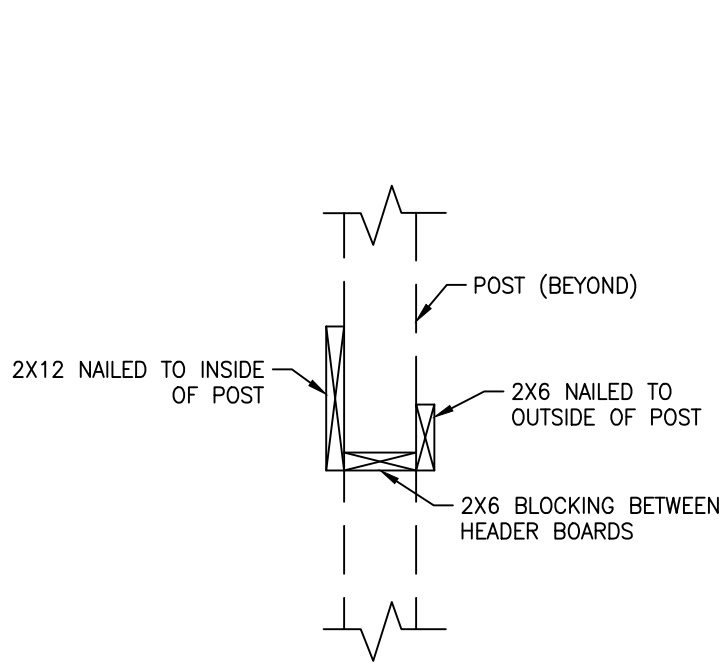


**GABLE END BRACING DETAIL**  
 NOT TO SCALE

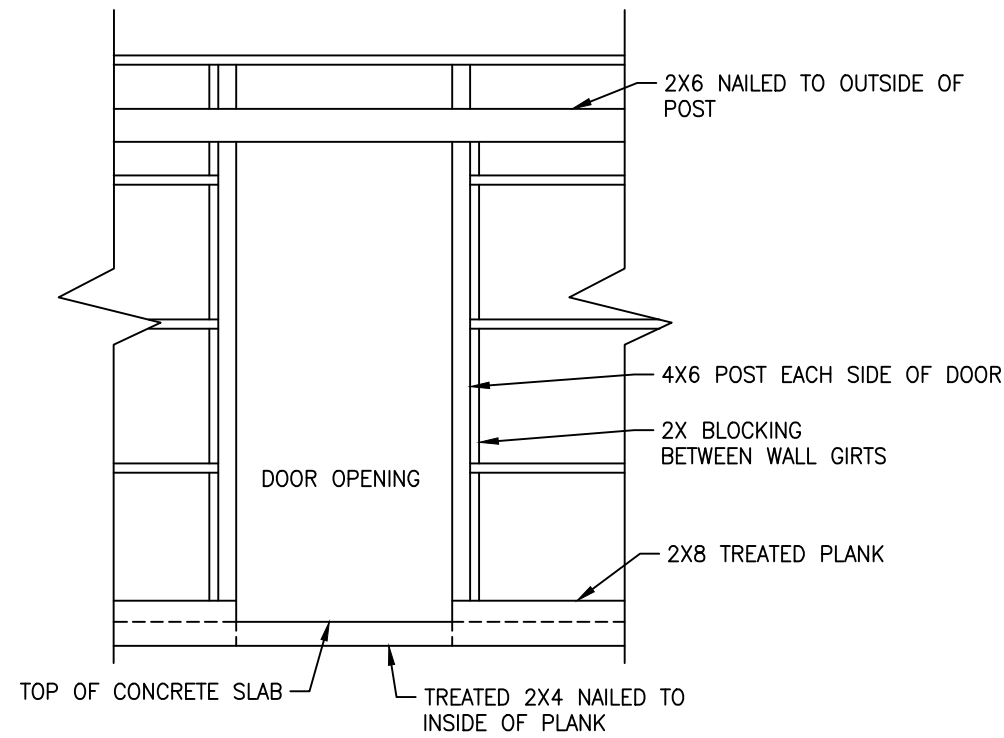


MOUNTAIN POINT  
 ENGINEERING

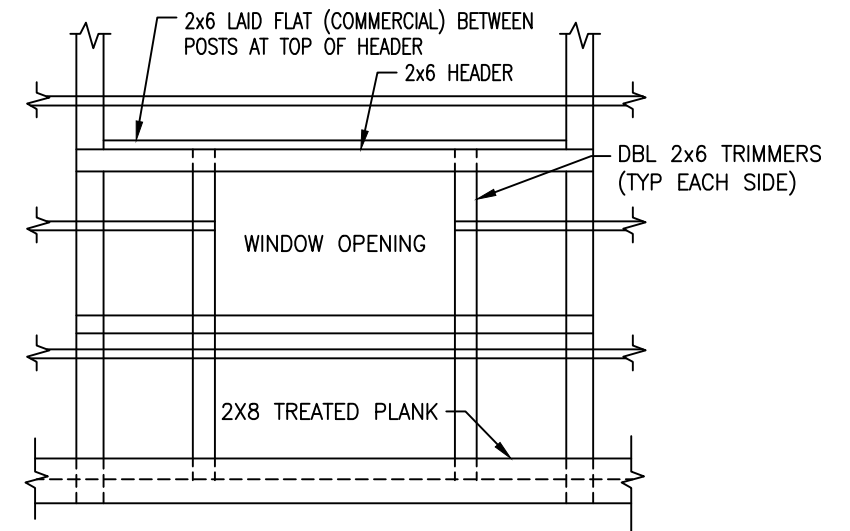
DETAIL SHEET



**OVERHEAD DOOR HEADER**  
 NOT TO SCALE



**MAN DOOR OPENING**  
 NOT TO SCALE



**WINDOW OPENING**  
 NOT TO SCALE

BOB KIRKMAN BUILDING  
 LIBERTY, UTAH

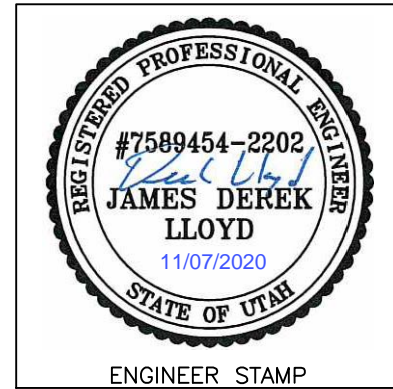
PROJECT  
 B174

SCALE  
 AS NOTED

DATE  
 11/07/2020

SHEET  
 15

# Exhibit B



MOUNTAIN POINT  
ENGINEERING

DETAIL SHEET

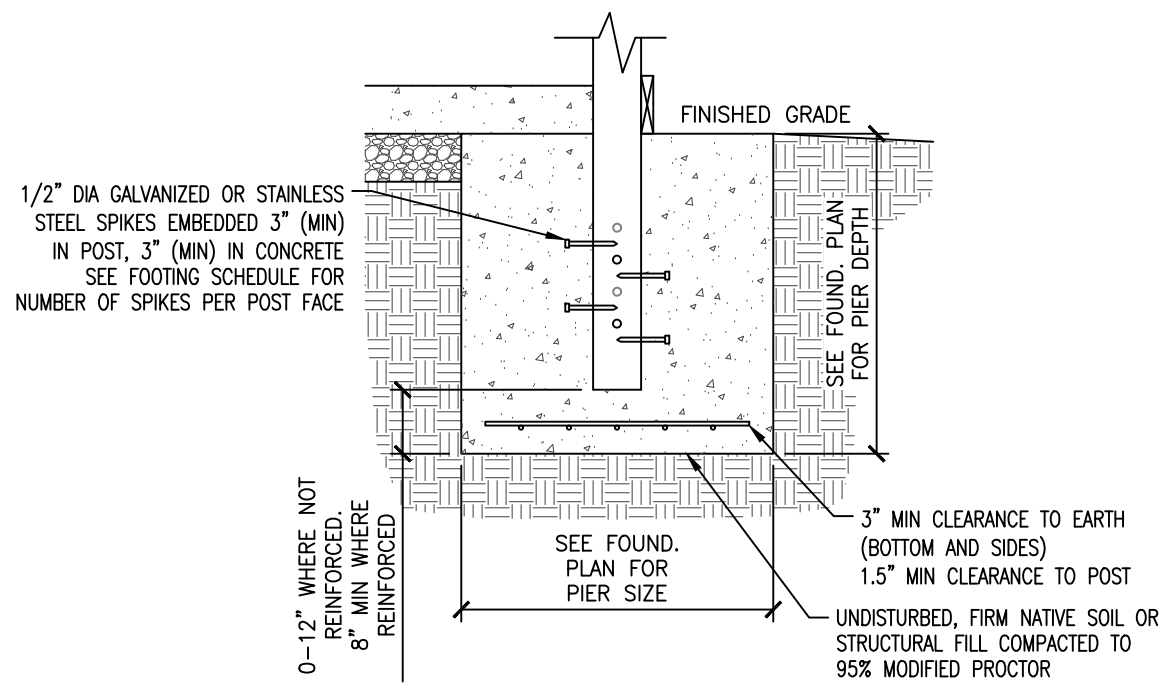
BOB KIRKMAN BUILDING  
LIBERTY, UTAH

PROJECT  
B174

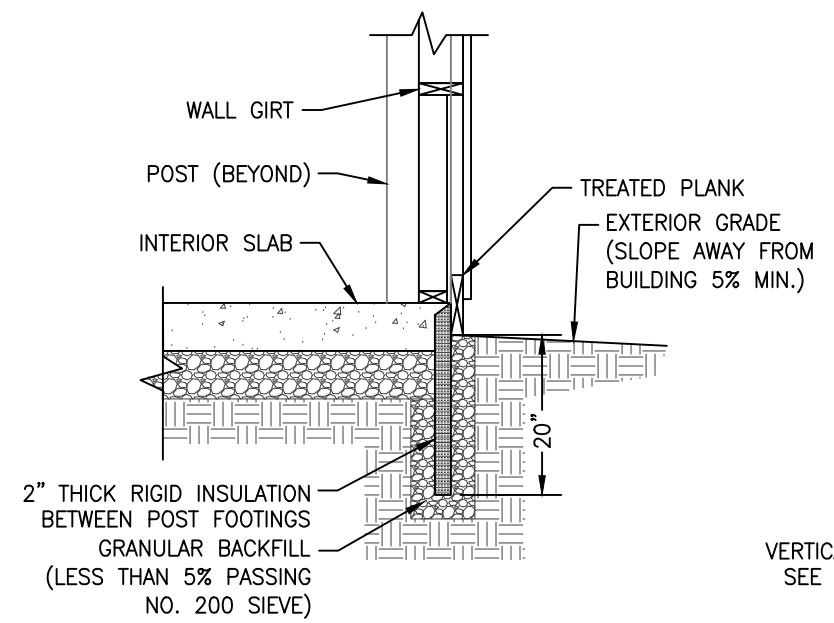
SCALE  
AS NOTED

DATE  
11/07/2020

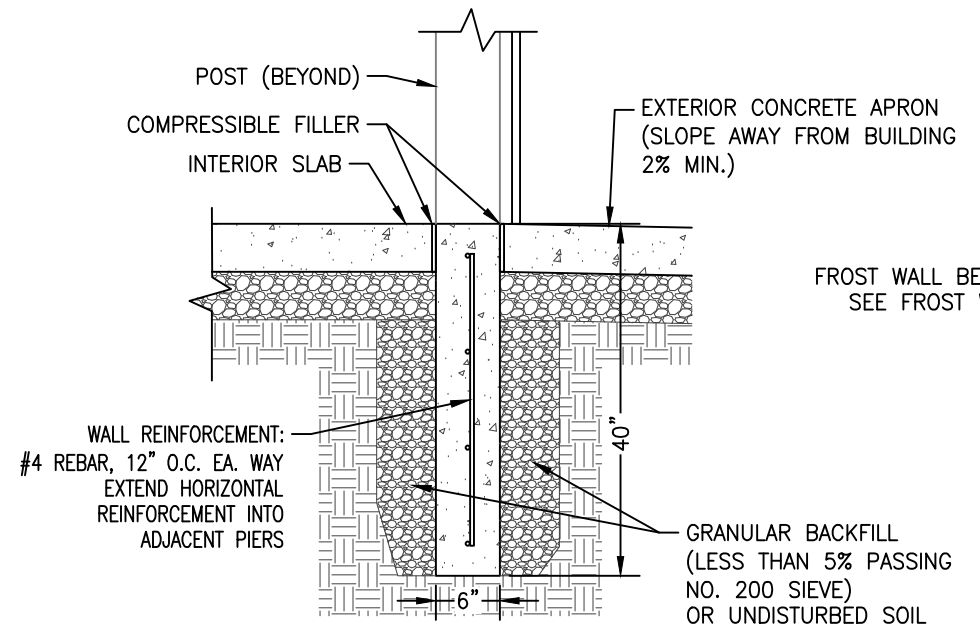
SHEET  
16



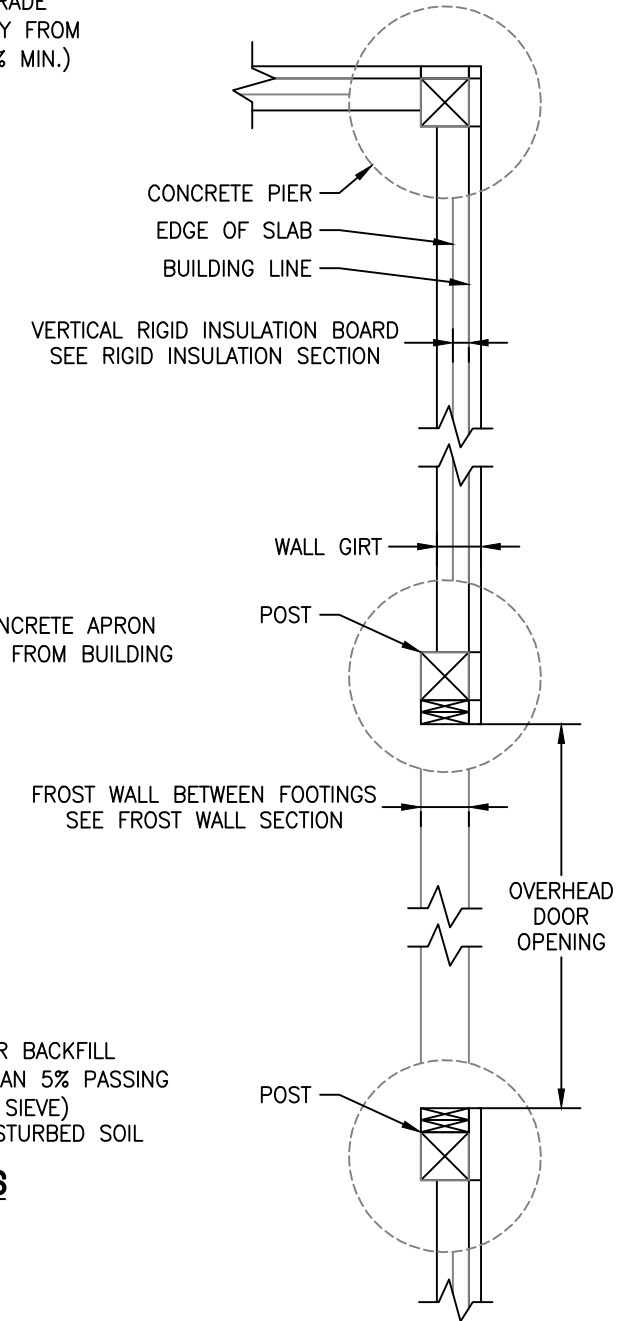
**STRIP FOOTING DETAIL**  
1/2" = 1'-0"



**RIGID INSULATION SECTION**  
NOT TO SCALE

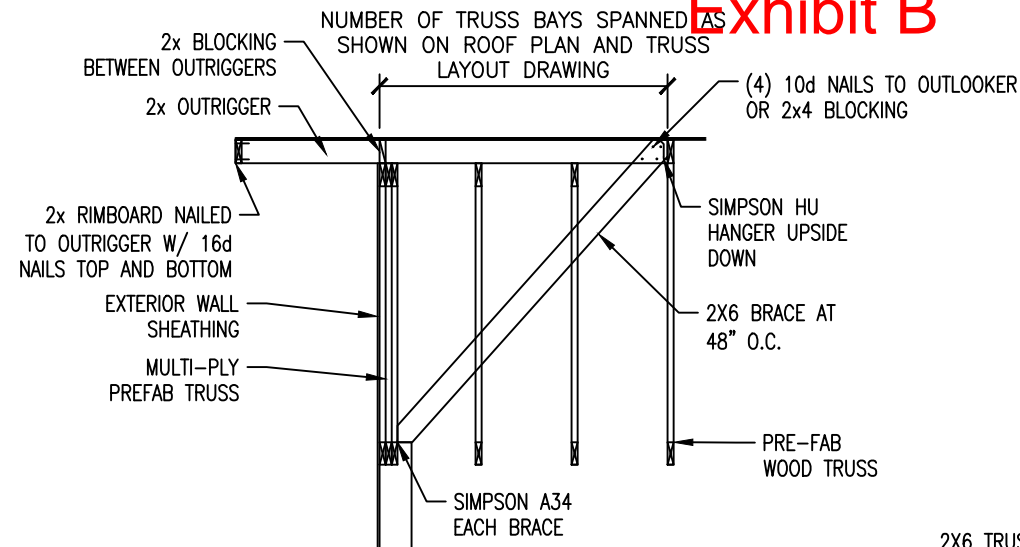


**FROST WALL SECTION AT OPENINGS**  
NOT TO SCALE

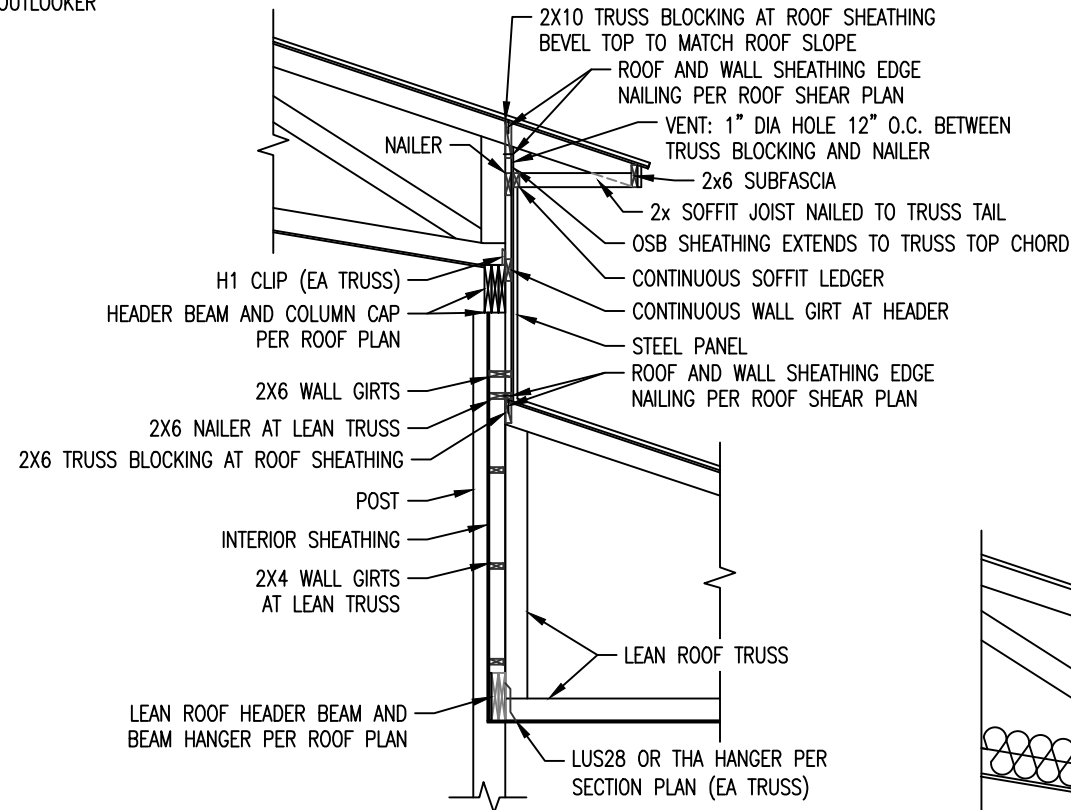


**FROST PROTECTION DETAIL**  
PLAN VIEW  
NOT TO SCALE

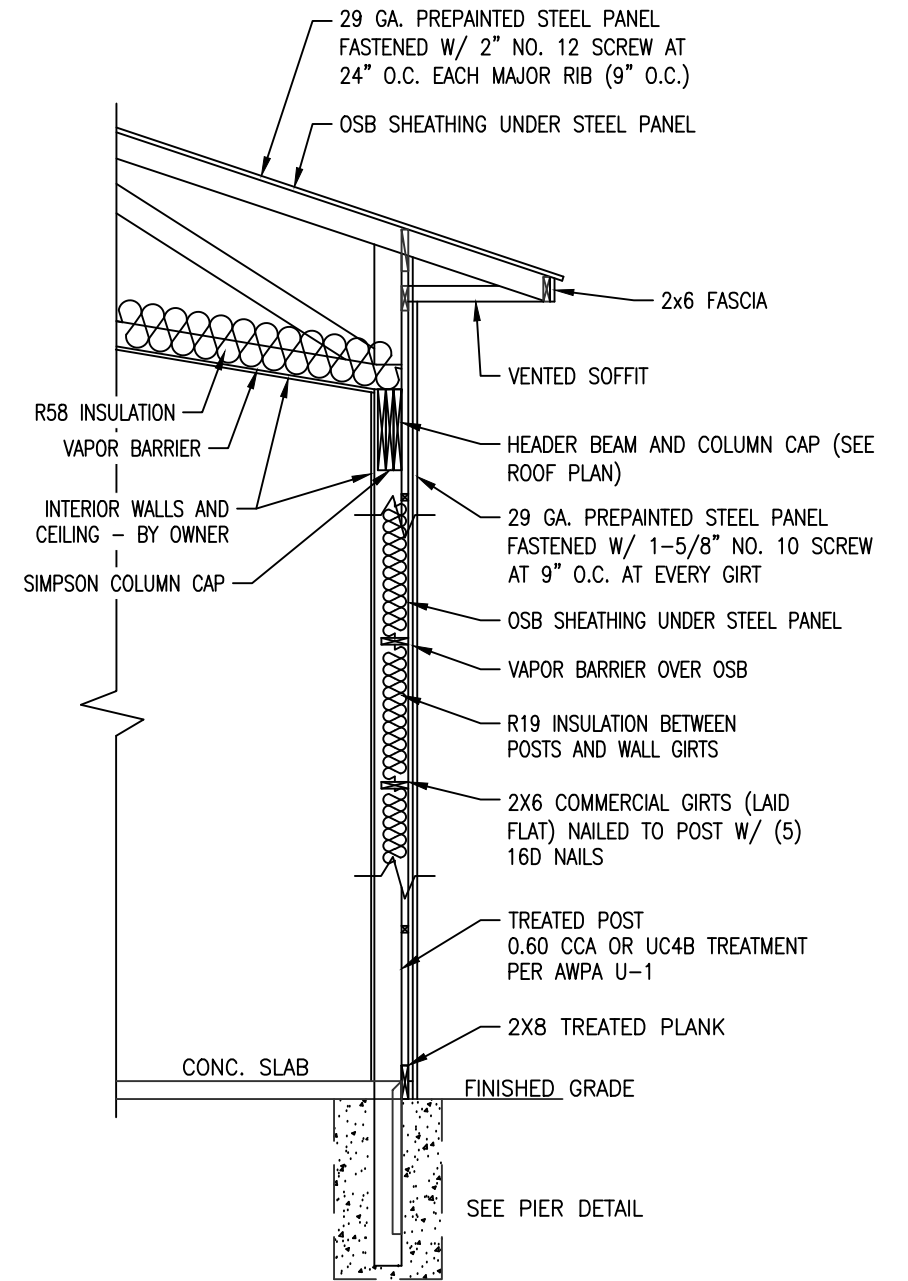
# Exhibit B



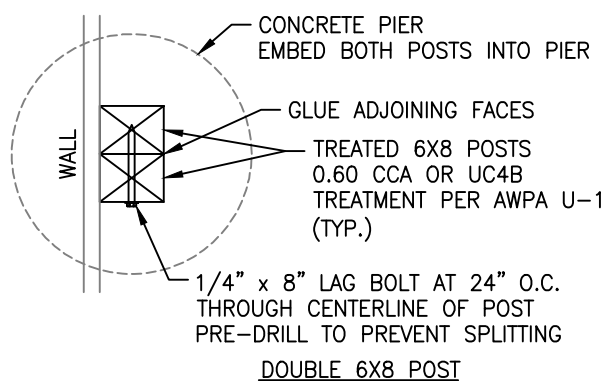
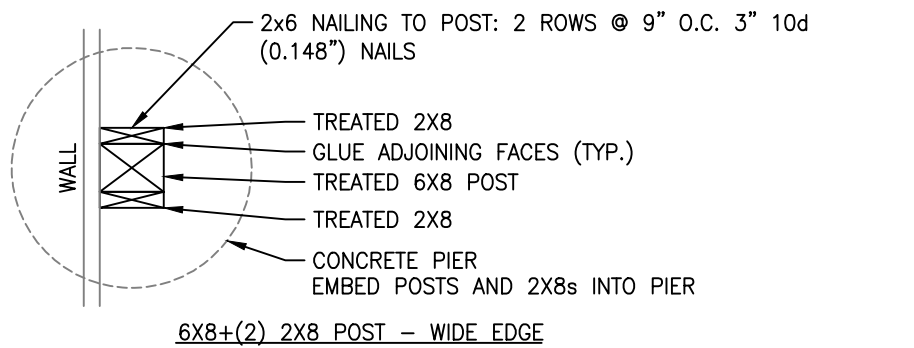
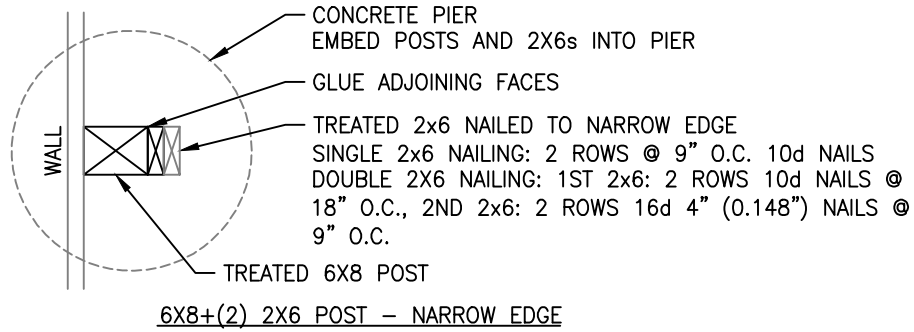
**BRACE AND OVERHANG DETAIL**  
NOT TO SCALE



**TRUSS TO POST DETAIL**  
NOT TO SCALE

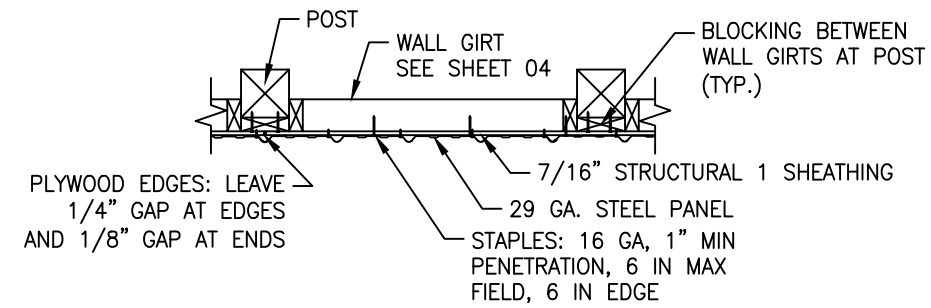


**TYPICAL WALL SECTION**  
NOT TO SCALE

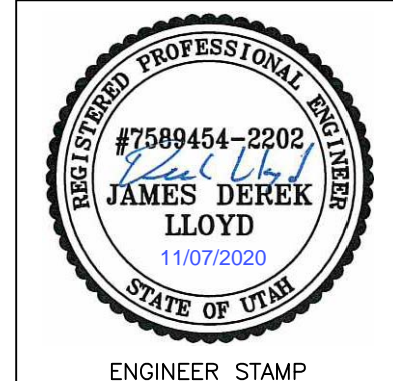


**POST DETAIL**  
NOT TO SCALE

- POST DETAIL NOTES:
1. POST CROSS-SECTIONS SHOWN TO BE CONTINUOUS FROM BOTTOM OF EMBEDDED POST TO BOTTOM OF LOWEST BEAM/TRUSS BOTTOM CHORD.
  2. SPLICES NOT PERMITTED IN 6X8 POSTS.
  3. 2x6s AND 2x8s MAY BE SPLICED 6 FEET ABOVE TOP OF SLAB. SPLICE NAILING: 2 ROWS AT 4.5" 15 INCHES EITHER SIDE OF SPLICE. UNTREATED WOOD OK ABOVE SPLICE.
  4. EDGE NAILING: 1.5" MIN, 3" MAX
  5. END NAILING: 2.25" MIN, 3" MAX



**SHEAR WALL DETAIL**  
NOT TO SCALE



MOUNTAIN POINT  
ENGINEERING

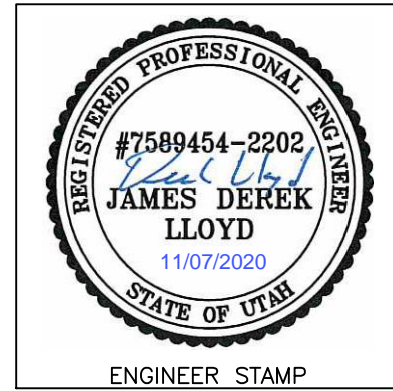
DETAIL SHEET

BOB KIRKMAN BUILDING  
LIBERTY, UTAH

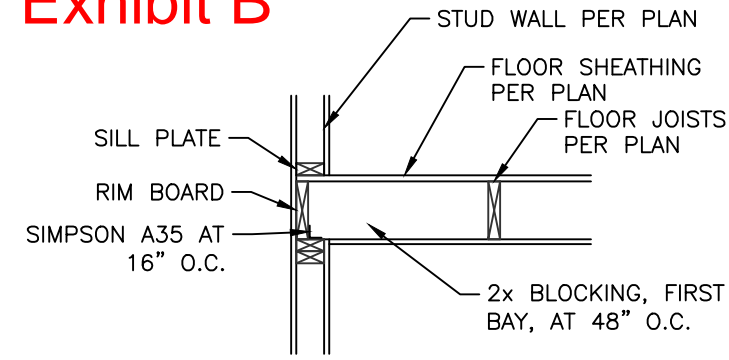
PROJECT	B174
SCALE	AS NOTED
DATE	11/07/2020
SHEET	17



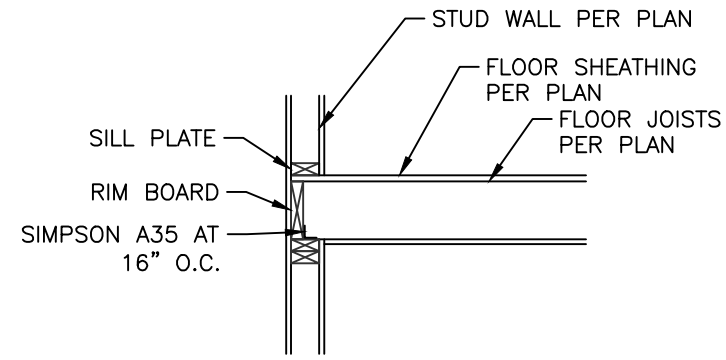
# Exhibit B



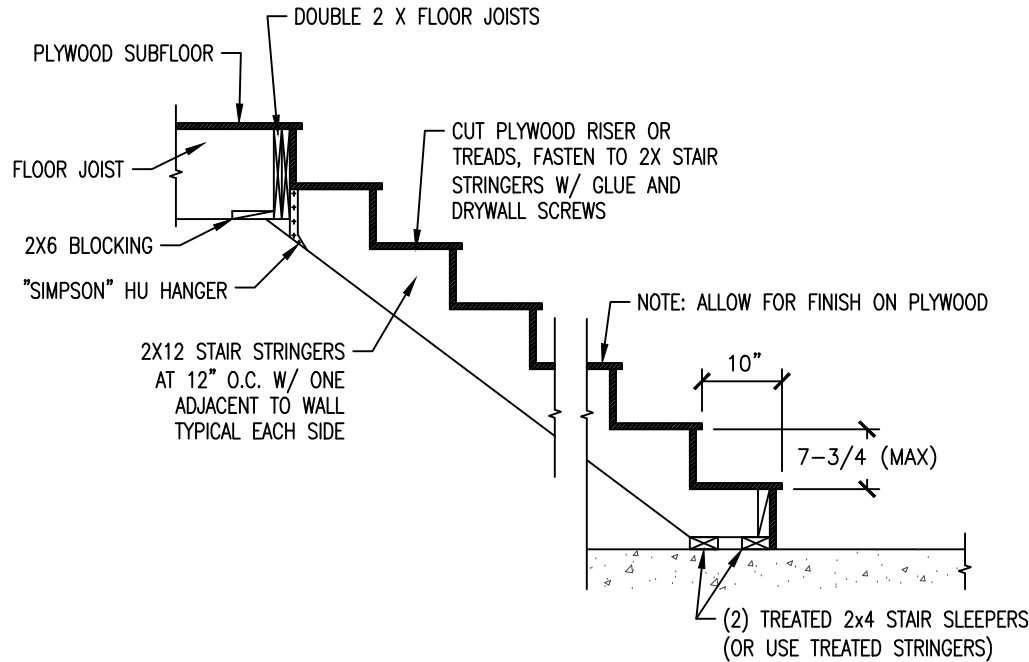
MOUNTAIN POINT  
ENGINEERING



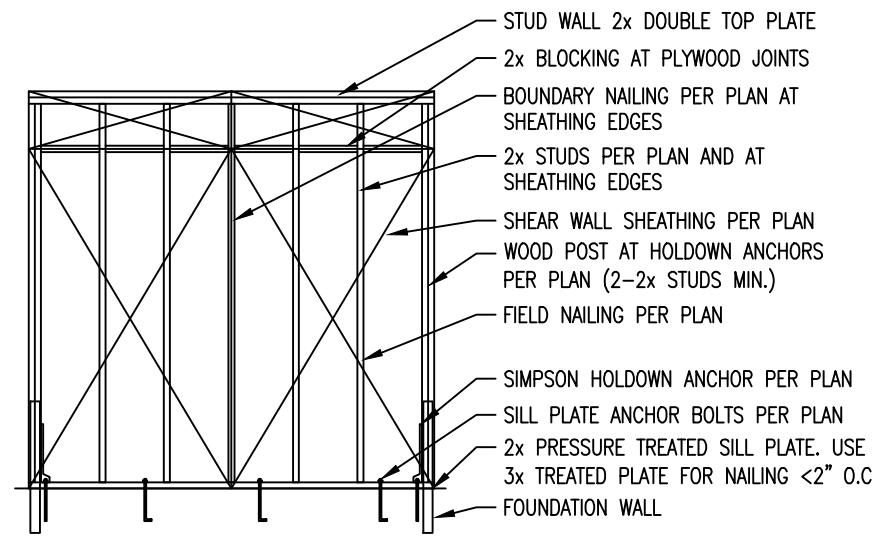
**FLOOR PARALLEL TO WALL**  
NOT TO SCALE



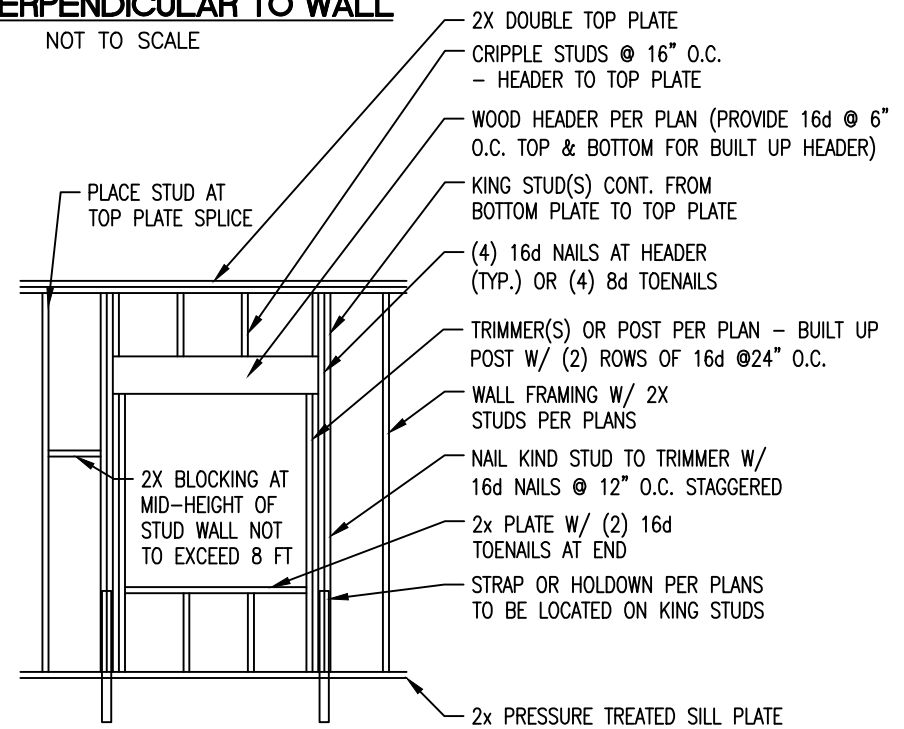
**FLOOR PERPENDICULAR TO WALL**  
NOT TO SCALE



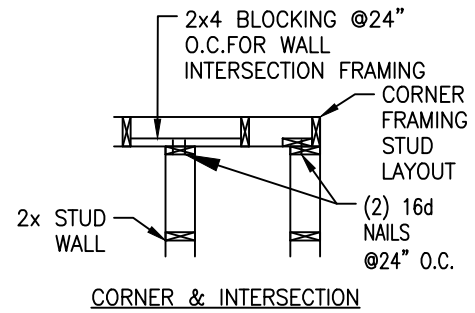
**STAIR DETAIL**  
1/2" = 1'-0"



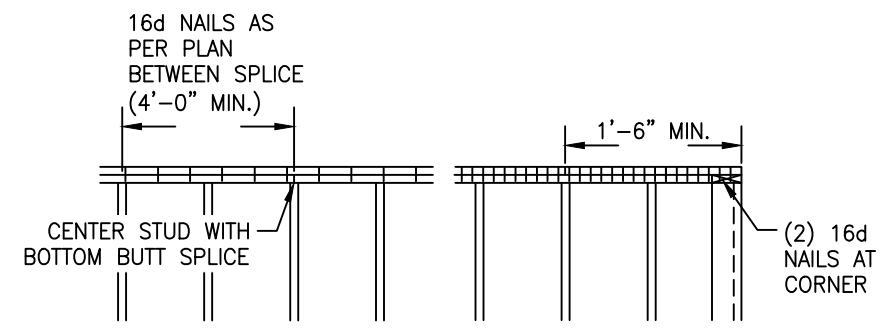
**SHEAR WALL DETAIL - WALL LINE 3**  
NOT TO SCALE



**WALL FRAMING DETAIL - LOFT WALLS**  
NOT TO SCALE



**CORNER & INTERSECTION**

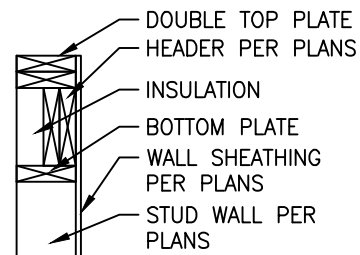


**ELEVATION VIEW**

**CORNER ELEVATION VIEW**

NOTE:  
1. ATTACH TOP & BOTTOM PLATE TO WALL STUD W/ (2) 16d NAILS  
2. ATTACH DOUBLE TOP PLATES W/ MIN. OF 16d NAILS @ 16" O.C.

**TOP PLATE SPLICE DETAIL**  
NOT TO SCALE



**HEADER FRAMING**

- NOTES:
1. HANDRAILS:
    - 1.1. PROVIDE HANDRAILS - MINIMUM ONE SIDE.
    - 1.2. HEIGHT OF RAILING ABOVE TREADS - 32" (30" MIN - 34" MAX).
    - 1.3. EXTEND HANDRAILS 12" NOSING OF TOP TREAD AND 12" PLUS TREAD WITH BEYOND THE BOTTOM NOSING.
    - 1.4. RETURN AND TERMINATE ENDS OF HANDRAILS TO WALL OR POST.
    - 1.5. PROVIDE 1-1/2" CLEAR BETWEEN HANDRAIL AND WALL.
    - 1.6. CROSS-SECTIONAL DIMENSION HAND GRIP PORTION OF HANDRAILS 1-1/4" MINIMUM.
  2. TREADS:
    - 2.1. ALL TREADS SURFACES ARE TO BE SLIP RESISTANT.
    - 2.2. ALL EXPOSED EDGES OF TREADS ARE TO BE SMOOTH, ROUNDED OR CHAMFERED. NO ABRUPT EDGES AT LOWER FRONT EDGE OF NOSING.
  3. NOSING:
    - 3.1. NOSING PROJECTION PAST FACE OR RISER BELOW TO BE 1-1/2" MAXIMUM.
  4. RISERS:
    - 4.1. SUFFICIENTLY SOLID TO PREVENT PASSAGE OF OBJECTS LARGER THAN 1/4".
  5. DIMENSIONS (UNLESS NOTED OTHERWISE):
    - 5.1. RISERS: 7-3/4" MAX VERT 4" MIN.
    - 5.2. TREADS: 10" MINIMUM HORIZ.
  6. MAXIMUM VARIATION IN HEIGHT OF RISERS OR WIDTH OF TREADS IN ANY GIVEN FLIGHT: 1/4".
  7. MINIMUM HEADROOM CLEARANCE MEASURED VERTICALLY FROM THE PLANE OF THE CEILING FINISH TANGENT TO THE TREAD NOSING AT THE STAIRWELL: 6'-8" MINIMUM CLEARANCE.
  8. INTERIOR FINISH BY OWNER.

DETAIL SHEET

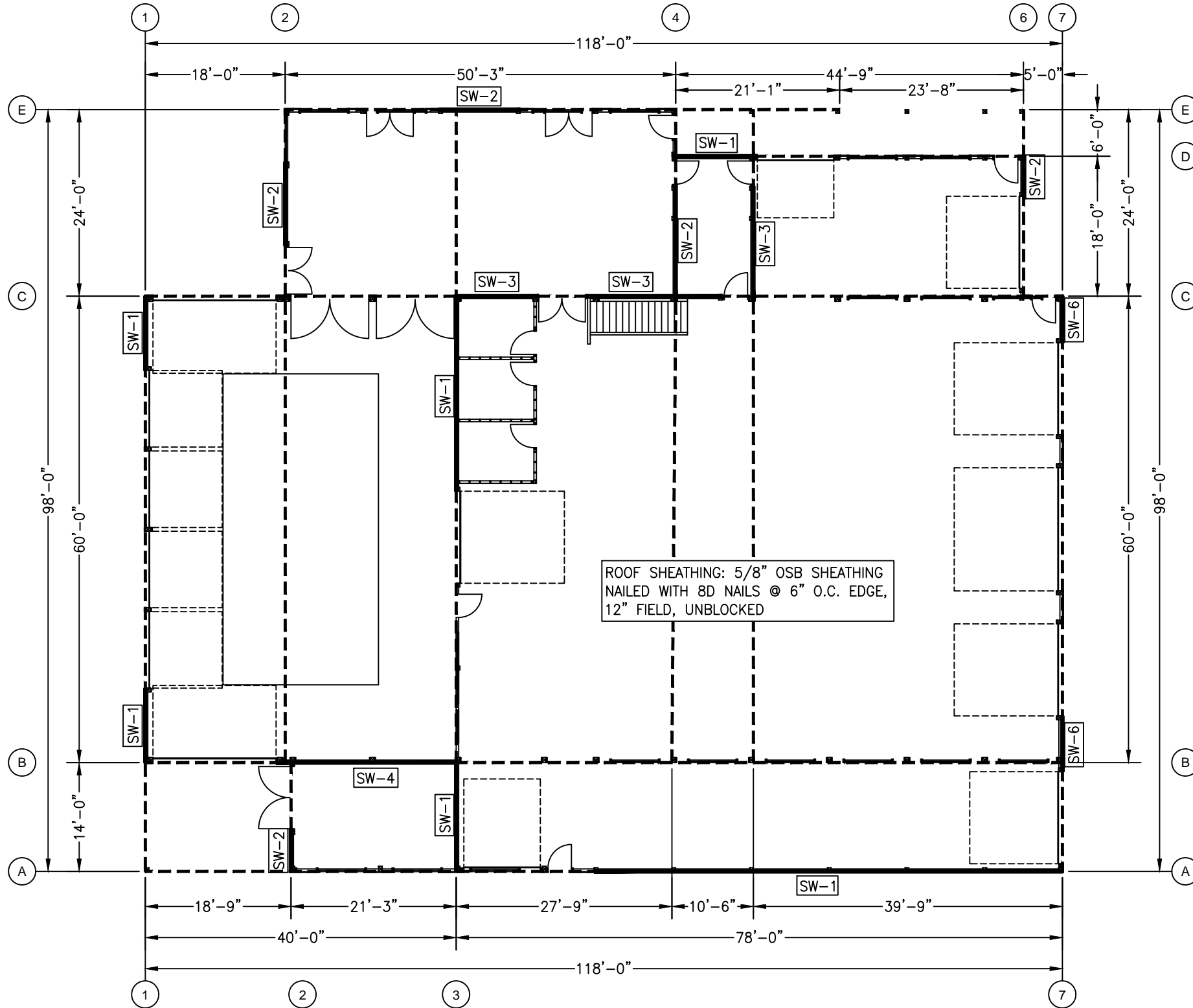
BOB KIRKMAN BUILDING  
LIBERTY, UTAH

PROJECT B174
SCALE AS NOTED
DATE 11/07/2020
SHEET 18



# Exhibit B

NORTH



SOUTH



ENGINEER STAMP

MOUNTAIN POINT  
ENGINEERING

SHEAR WALL SCHEDULE			
MARK	NAILING		NOTES
	EDGE	FIELD	
SW-1	6" O.C.	6" O.C.	1,2
SW-2	4" O.C.	6" O.C.	1,2,3,4
SW-3	3" O.C.	6" O.C.	1,2,3,4
SW-4	2" O.C.	6" O.C.	1,2,3,4
SW-5	6" O.C.	6" O.C.	1,2,3,4,5
SW-6	4" O.C.	6" O.C.	1,2,3,4,5

- SCHEDULE NOTES:
- 7/16" APA RATED OSB PANEL
  - 8d COMMON OR GALVANIZED BOX NAILING. PROVIDE HOT-DIPPED ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER NAILS AT PRESERVATIVE TREATED AND FIRE-RETARDANT-TREATED WOOD LOCATIONS
  - BLOCK ALL PANEL EDGES
  - 3" NOMINAL FRAMING AT ABUTTING PANEL EDGES
  - DOUBLE-SHEATHED SHEAR WALL: TWO LAYERS OF SHEATHING ON EXTERIOR SIDE.
    - PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS
    - FRAMING MEMBERS WHERE TWO PANELS ABUT SHALL BE 3" (NOMINAL) WIDE AND NAILS ON EACH SIDE SHALL BE STAGGERED.
    - FASTEN EACH SHEATHING LAYER SEPARATELY TO FRAMING. BASE LAYER SHALL HAVE 1-INCH EDGE DISTANCE AND FACE LAYER SHALL HAVE A 3/8-INCH EDGE DISTANCE.
      - FASTEN FIRST LAYER W/ 8d NAILS AT 4 INCHES O.C. ALONG PANEL EDGES AND 6 INCHES O.C. ALONG INTERMEDIATE FRAMING.
      - FASTEN SECOND LAYER W/ 10d NAILS AT 4 INCHES O.C. ALONG PANEL EDGES AND 6 INCHES O.C. ALONG INTERMEDIATE FRAMING.

- NOTES:
- ALL EXTERIOR WALLS TO BE SHEATHED AS TYPE "SW-1", U.N.O
  - ALL WOOD SHEATHING SHALL BE APA RATED EXPOSURE 1 PLYWOOD OR OSB WITH MINIMUM 24" SPAN RATING.
  - ROOF AND FLOOR SHEATHING TO BE LAID UP WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND END JOINTS STAGGERED 4'-0" O.C. INSTALL ROOF SHEATHING WITH 1/8" SPACE AT ALL PANEL EDGES.

## ROOF FRAMING PLAN

BOB KIRKMAN BUILDING  
LIBERTY, UTAH

PROJECT	B174
SCALE	1/16" = 1'-0"
DATE	11/07/2020
SHEET	19

# Exhibit B

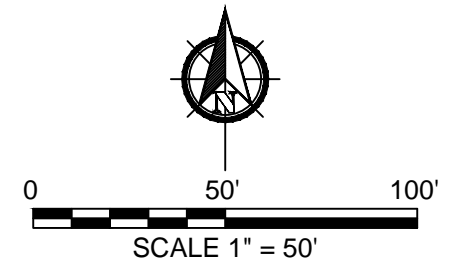




Exhibit B



# Exhibit C



LOCATIONS OF EXISTING HOUSE AND DRIVEWAY ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY SETBACKS AND CLEARANCES BETWEEN EXISTING HOUSE AND NEW BUILDING ARE MET.

