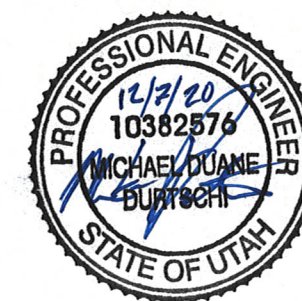
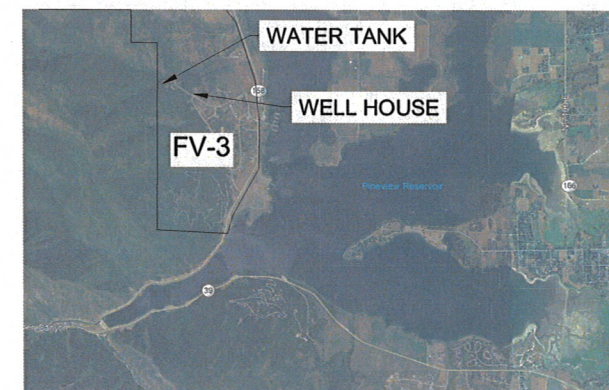
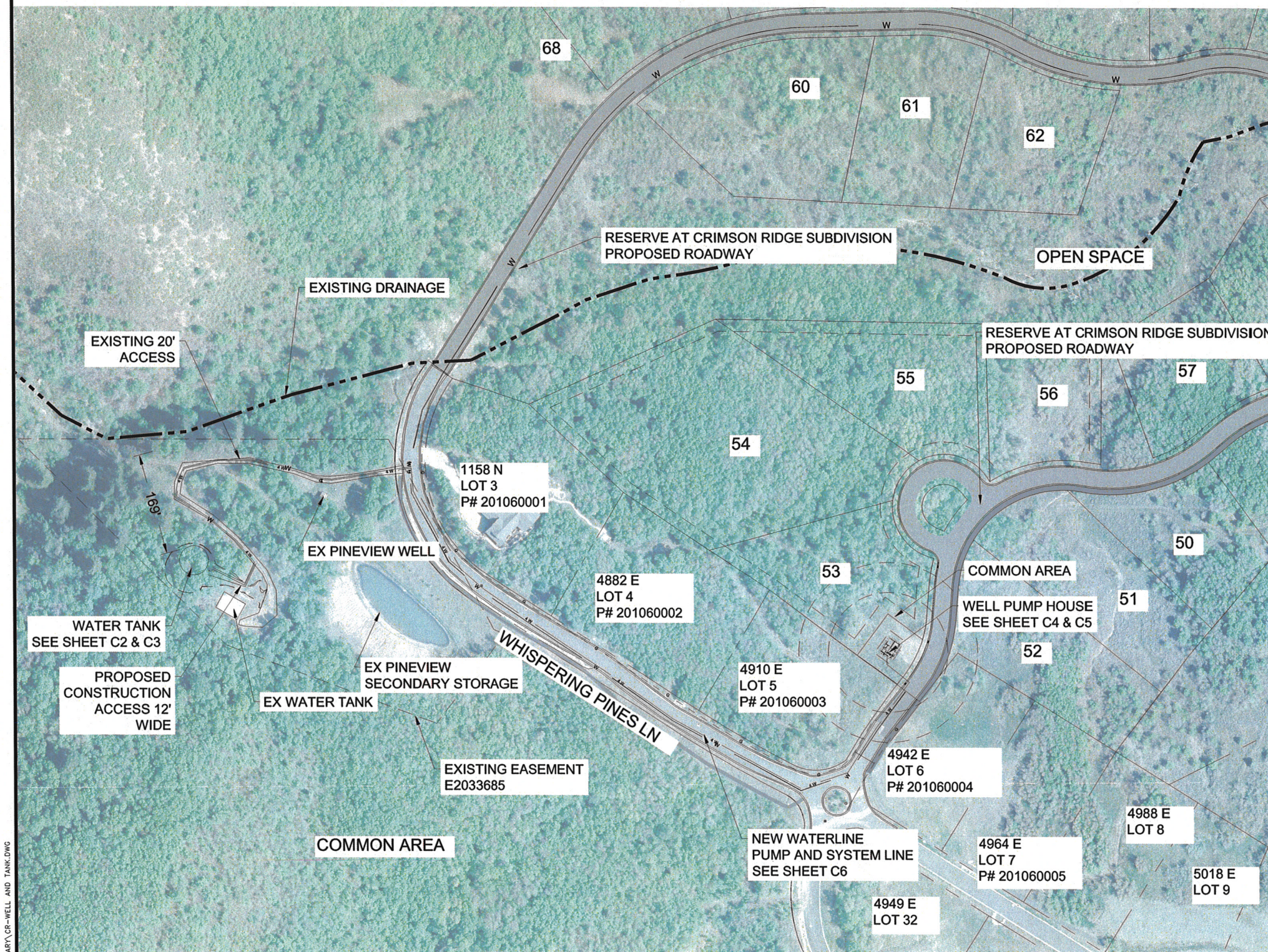
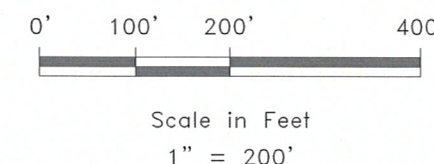


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- SHEET INDEX**
- C1 OVERVIEW SITE PLAN
 - C2 WATER TANK SITE PLAN
 - C3 WATER TANK GRADING PLAN
 - C4 WELL HOUSE PLAN
 - C5 WELL HOUSE GRADING
 - C6 WATERLINE
 - DT1 DETAILS (WATER LINE)
 - EL1 WELL HOUSE ELEVATIONS
 - EL2 WELL HOUSE ELEVATIONS
 - SW1 SWPPP

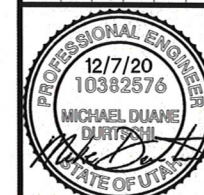


DEVELOPER:

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CENTERVILLE
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Revisions		Date	Description

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Scale:	1" = 200'
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Drafted:	KN
Checked:	MD

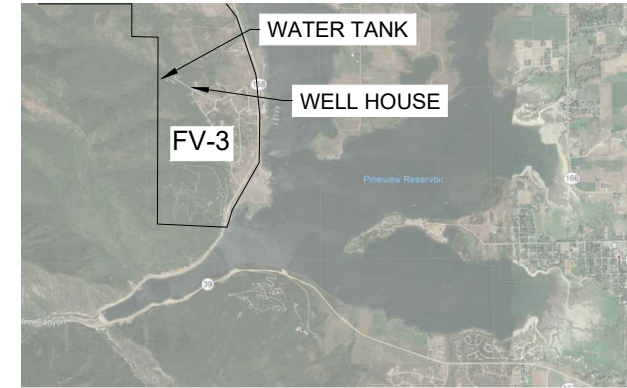
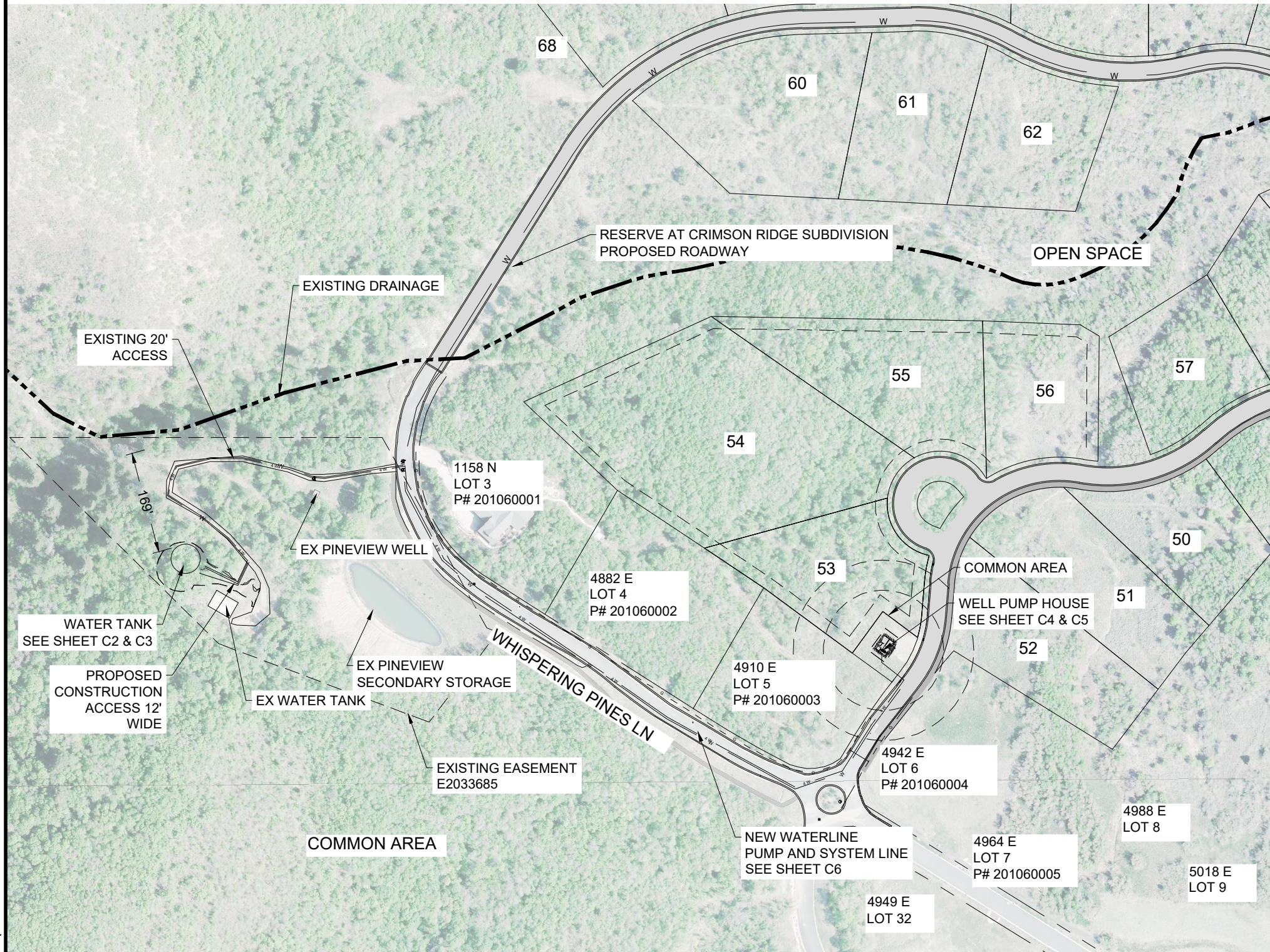


OVERVIEW SITE PLAN
CRIMSON RIDGE WATERWORKS
WELL HOUSE AND TANK
EDEN, WEBER, UTAH

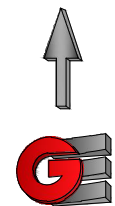
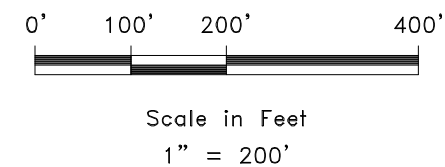


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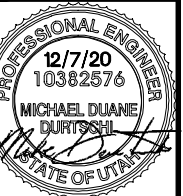


- C1 OVERVIEW SITE PLAN
- C2 WATER TANK SITE PLAN
- C3 WATER TANK GRADING PLAN
- C4 WELL HOUSE PLAN
- C5 WELL HOUSE GRADING
- C6 WATERLINE
- DT1 DETAILS (WATER LINE)
- EL1 WELL HOUSE ELEVATIONS
- EL2 WELL HOUSE ELEVATIONS
- SW1 SWPPP



DEVELOPER:

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OVERVIEW SITE PLAN
CRIMSON RIDGE WATERWORKS
WELL HOUSE AND TANK
EDEN, WEBER, UTAH



C1
9

Revisions	Date	Description

Date: 12/1/2020

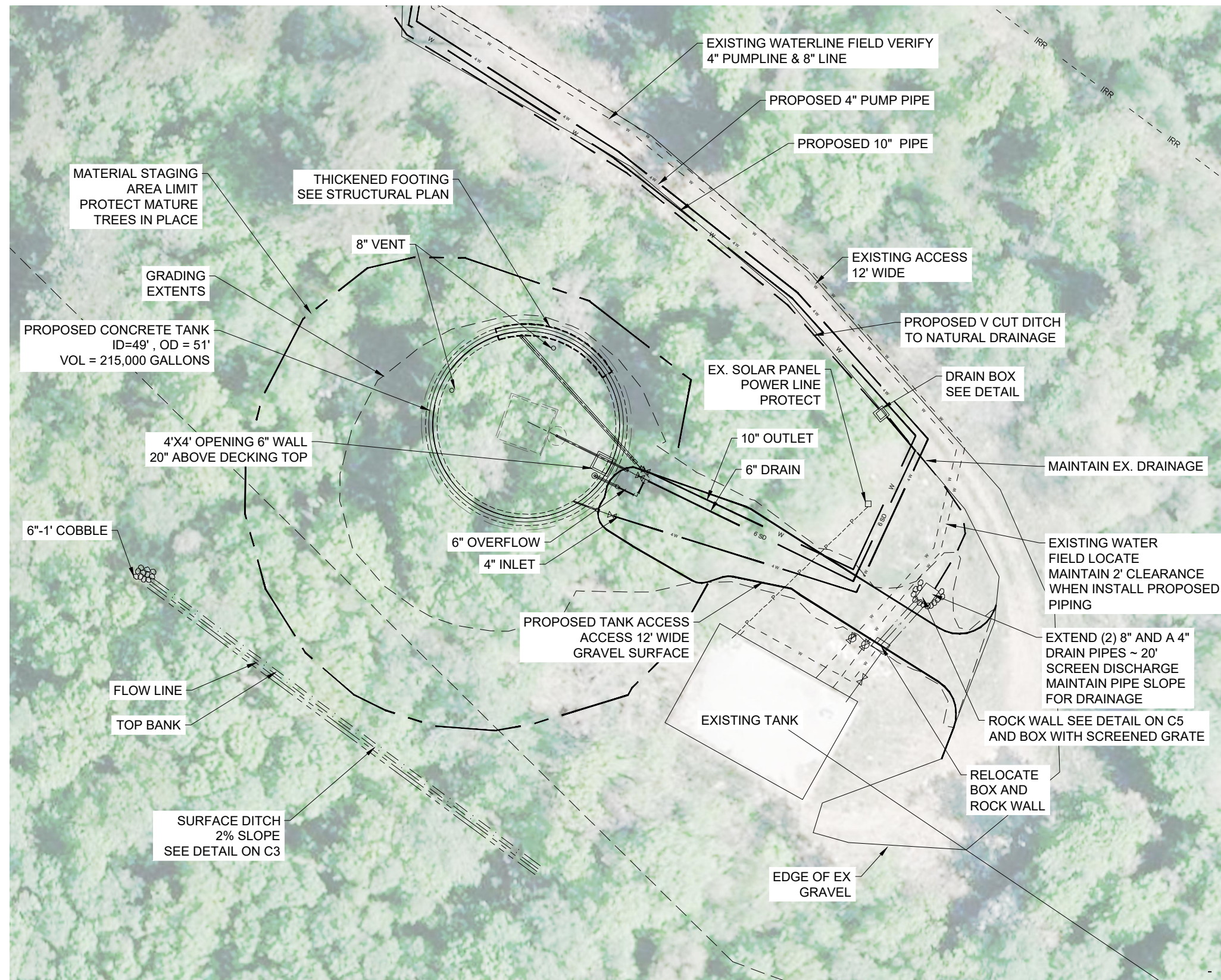
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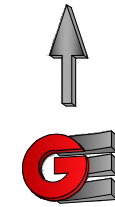
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0' 15' 30' 60'
Scale in Feet
1" = 30'

Revisions		Date	Description

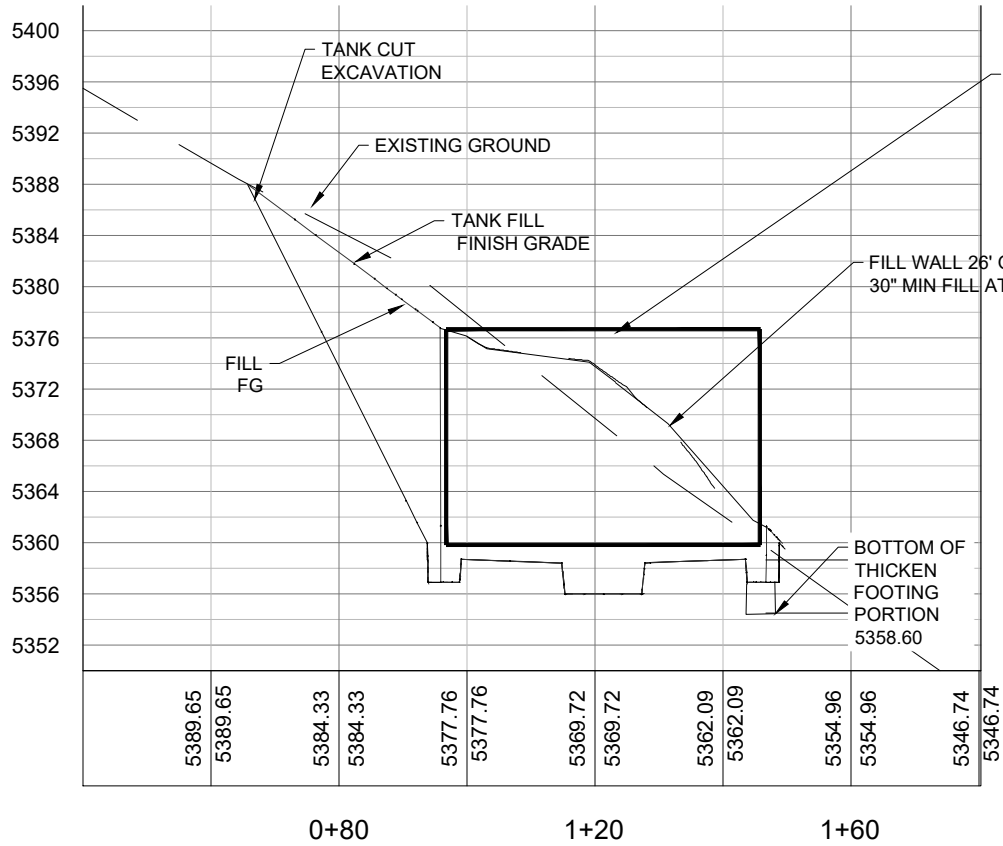


TANK SITE PLAN
CRIMSON RIDGE WATERWORKS
WELL HOUSE AND TANK
EDEN, WEBER, UTAH



C2
9

PROFILE VIEW

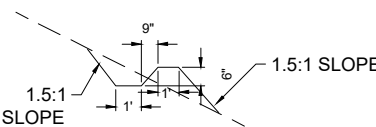
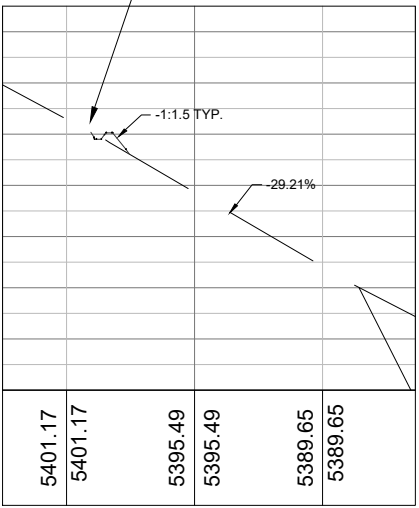


PROPOSED STORAGE RESERVOIR
SEE STRUCTURAL PLANS
49' WALL ID
16' WALL HEIGHT
15' WATER HEIGHT
215,000 GALLONS

Tank Elevations	
overflow (ex 5375.00)	5375
Top of Decking (1+83)	5376.83
Floor at wall (16' wall, 15' H2O)	5360
Bottom Footing at wall	5358.67
bottom of fill footing at wall	5357.17
30" ABOVE BOTTOM OF FOOTING	5361.17

Cut/Fill Summary

Name	2d Area	Cut	Fill	Net
VOL EGvsCUT	7558.51 Sq. Ft.	2252.76 Cu. Yd.	39.55 Cu. Yd.	2213.21 Cu. Yd.<Cut>
FG-CUT	7551.49 Sq. Ft.	3.54 Cu. Yd.	1224.29 Cu. Yd.	1220.75 Cu. Yd.<Fill>
vol ditch	2155.18 Sq. Ft.	8.92 Cu. Yd.	36.85 Cu. Yd.	27.93 Cu. Yd.<Fill>
Totals	17265.18 Sq. Ft.	2265.22 Cu. Yd.	1300.70 Cu. Yd.	964.53 Cu. Yd.<Cut>

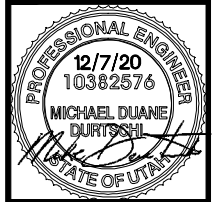


SURFACE DITCH

DEVELOPER:

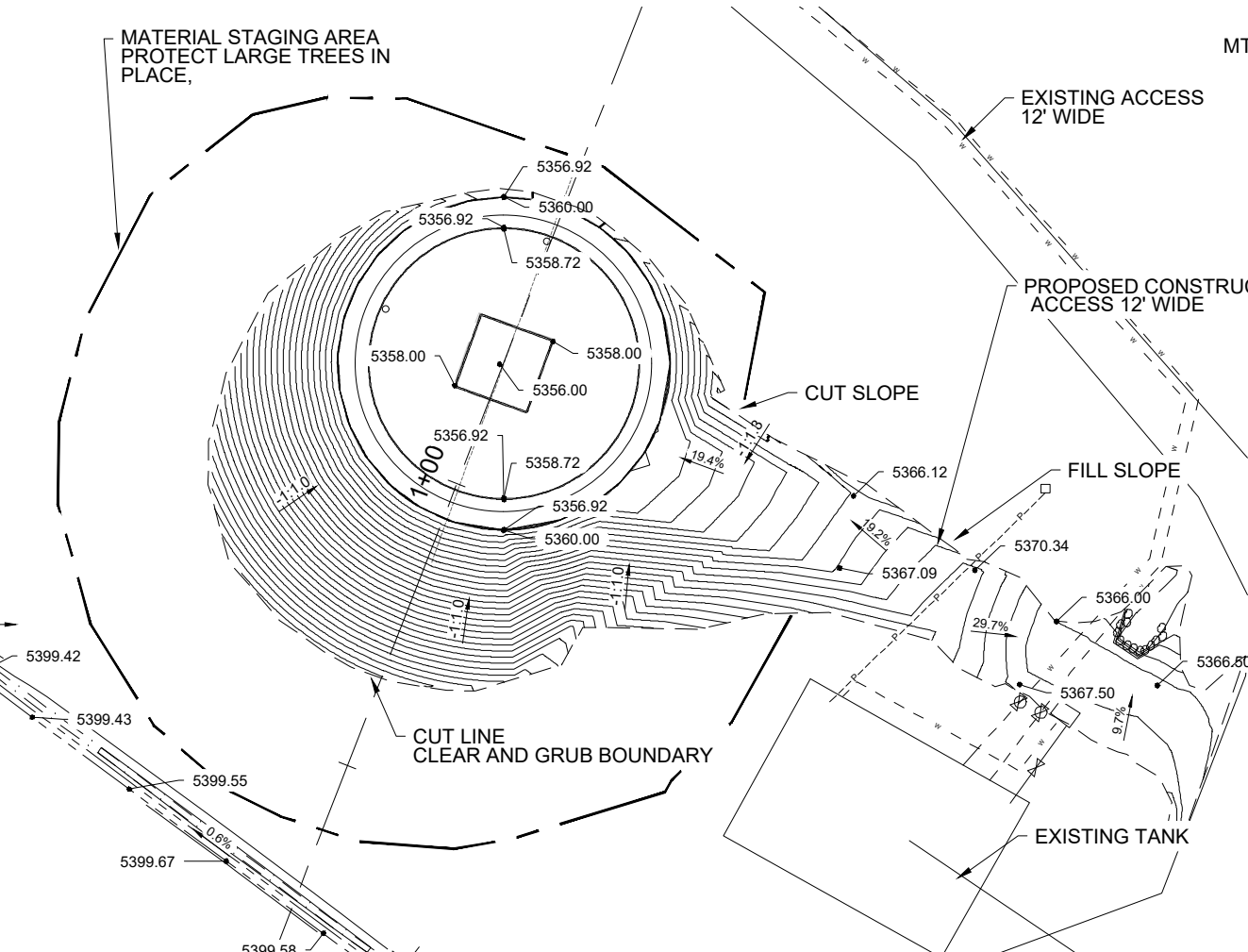
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Date:	12/1/2020
Scale:	1" = 30'
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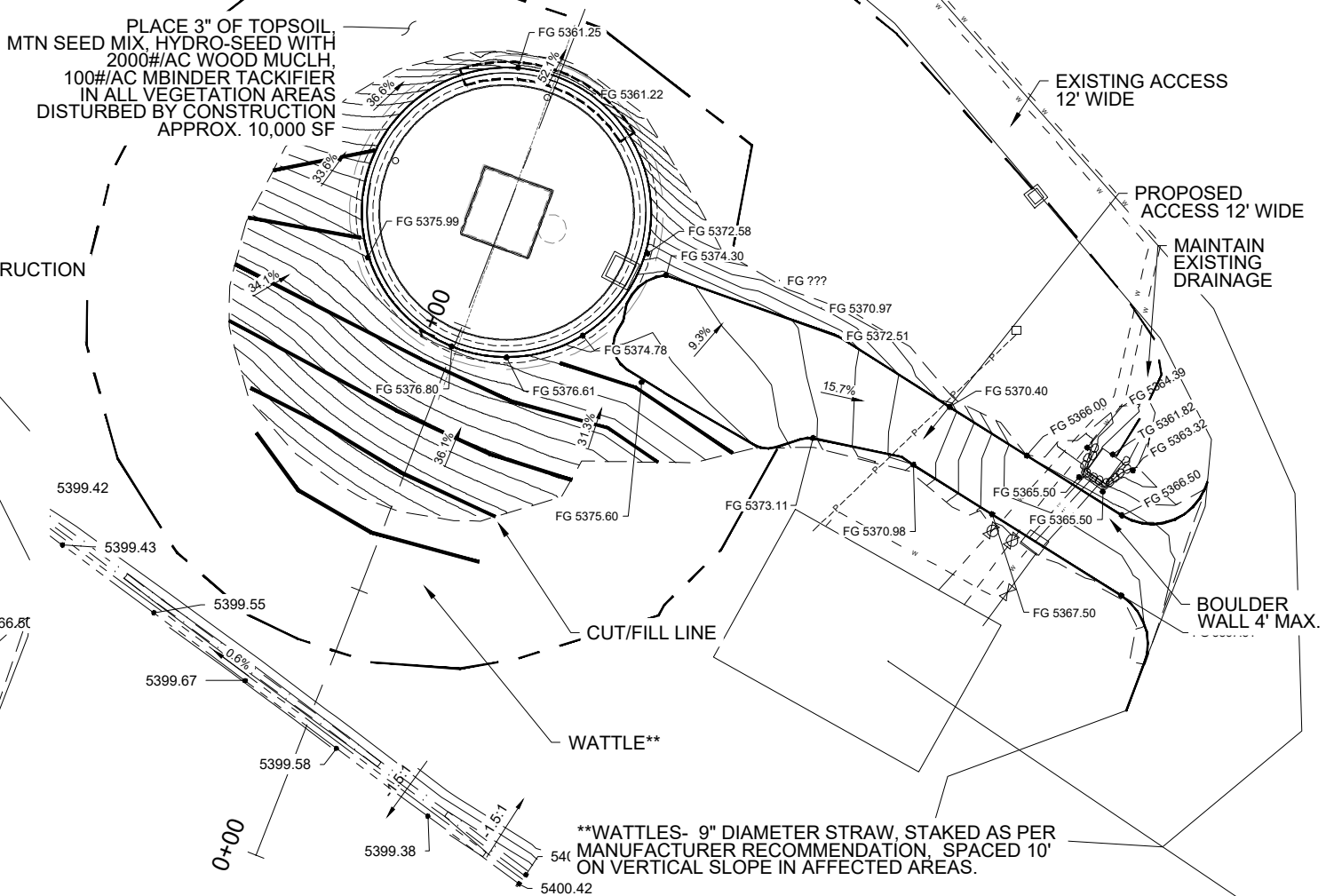


Scale in Feet
1" = 30'

PRELIMINARY EXCAVATION EXHIBIT



PRELIMINARY FINISHED GRADE EXHIBIT



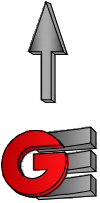
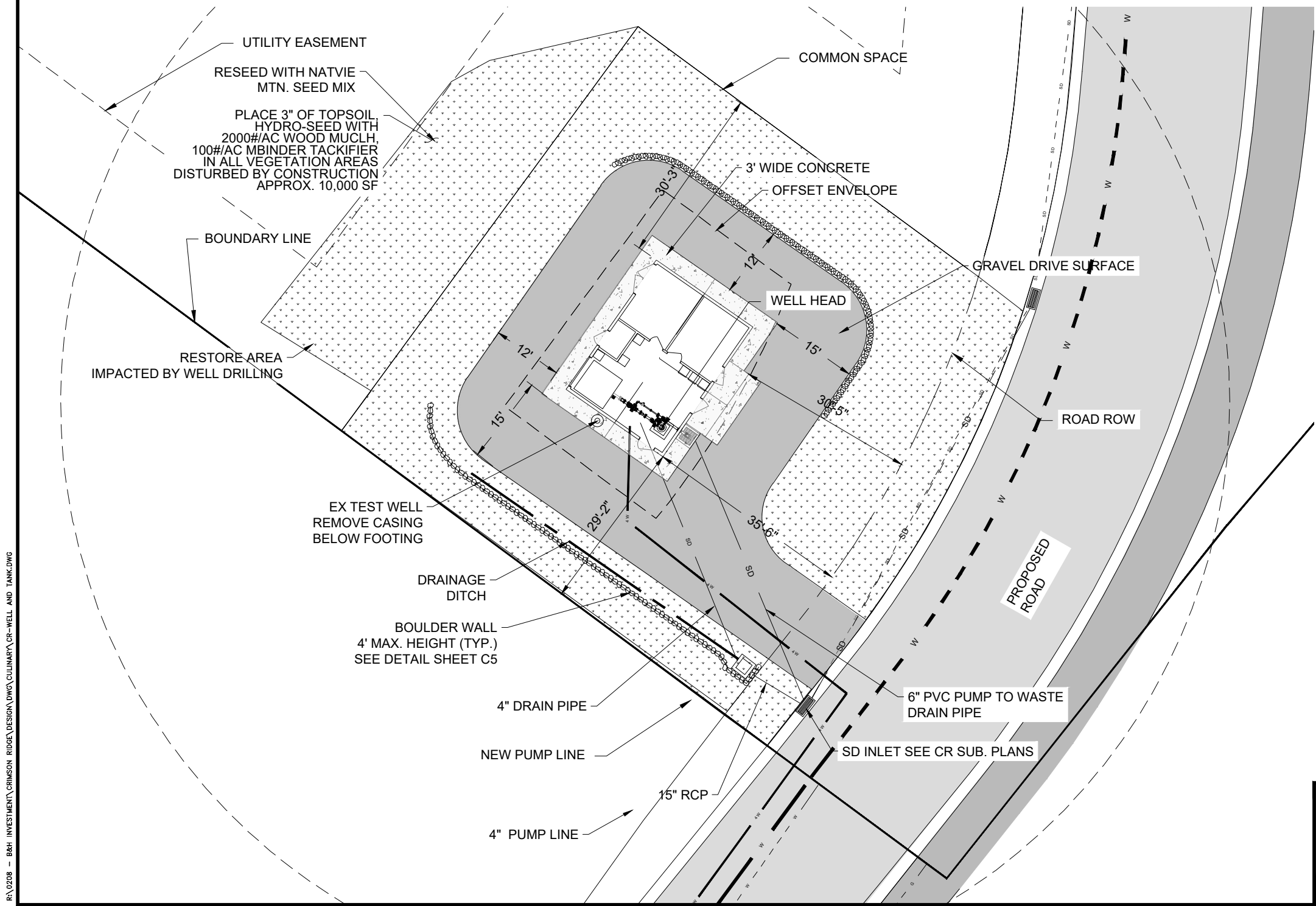
**WATTLES- 9" DIAMETER STRAW, STAKED AS PER MANUFACTURER RECOMMENDATION, SPACED 10' ON VERTICAL SLOPE IN AFFECTED AREAS.

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TANK GRADING PLAN
CRIMSON RIDGE WATERWORKS
WELL HOUSE AND TANK
EDEN, WEBER, UTAH

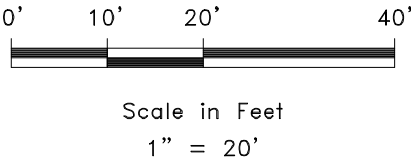


WELL HOUSE
CRIMSON RIDGE WATERWORKS
WELL HOUSE AND TANK



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WELL HOUSE
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WELL HOUSE AND TANK
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WELL GRADING
CRIMSON RIDGE WATERWORKS
WELL HOUSE AND TANK

BOULDERS SHOULD
GENERALLY RANGE FROM 2'
TO 4' IN DIAMETER. LARGER
BOULDERS SHALL BE PLACED
AT BOTTOM OF WALL.

PLACE ADDITIONAL BOULDERS
AROUND WALL AS NECESSARY TO
PROVIDE A "NATURAL" TRANSITION
TO THE SURROUNDING LANDSCAPE

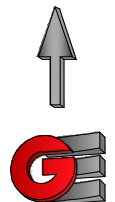
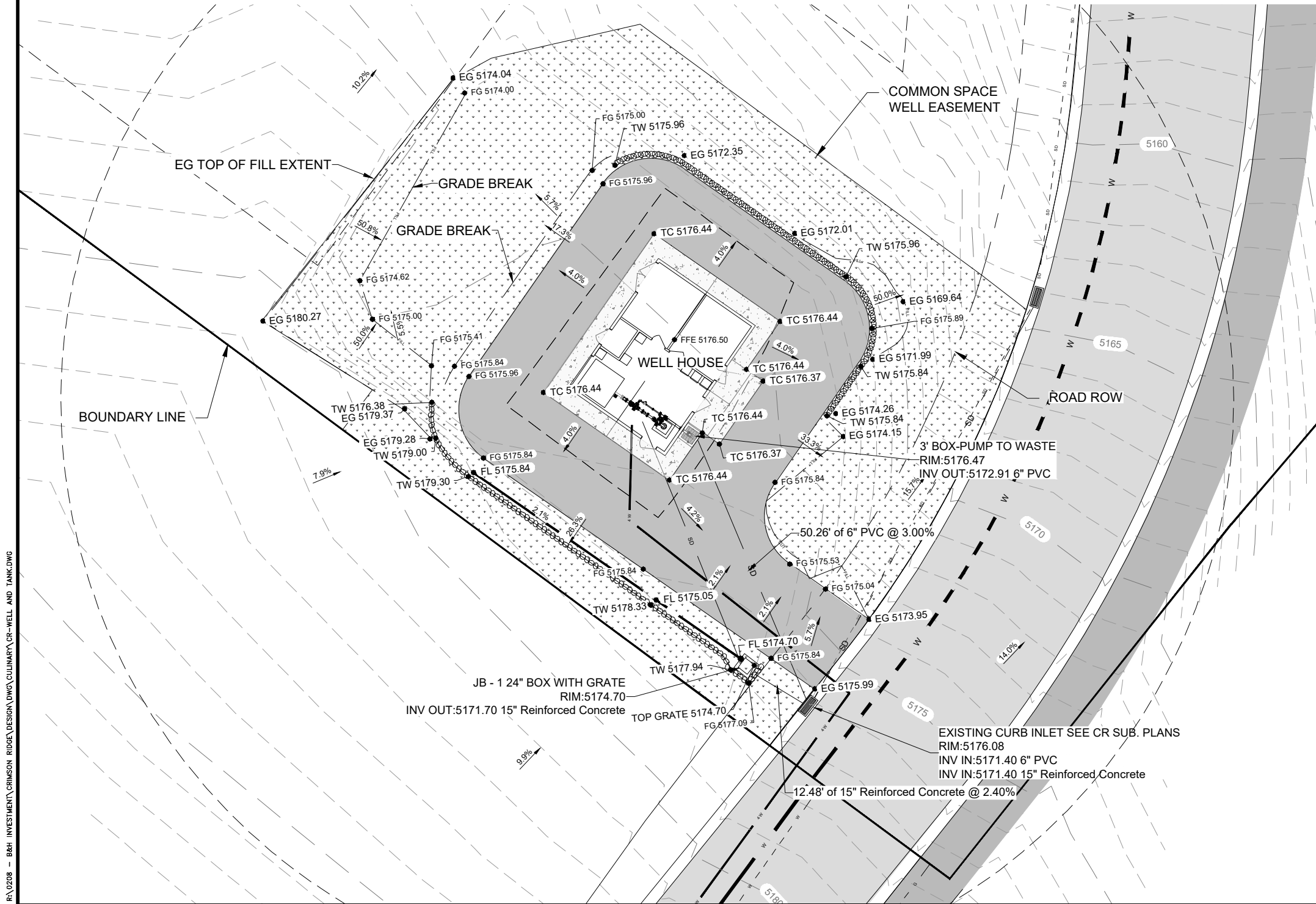
BURY 1/4 OF ALL
BOULDERS PLACED
AT GROUND LEVEL

PROVIDE FILTER
FABRIC AROUND
GRAVEL

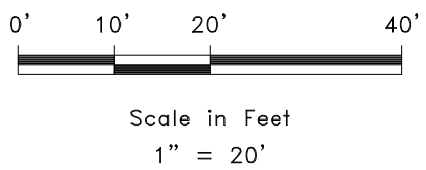
COMPACTED OR
UNDISTURBED
SUBGRADE

PROVIDE 4" PERFORAED
DRAIN PIPE WRAPPED
WITH FILTER FABRIC. STUB
AND DRAIN TO DAYLIGHT.

TYPICAL BOULDER RETAINING WALL DETAIL
NOT TO SCALE

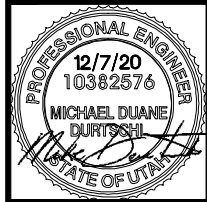


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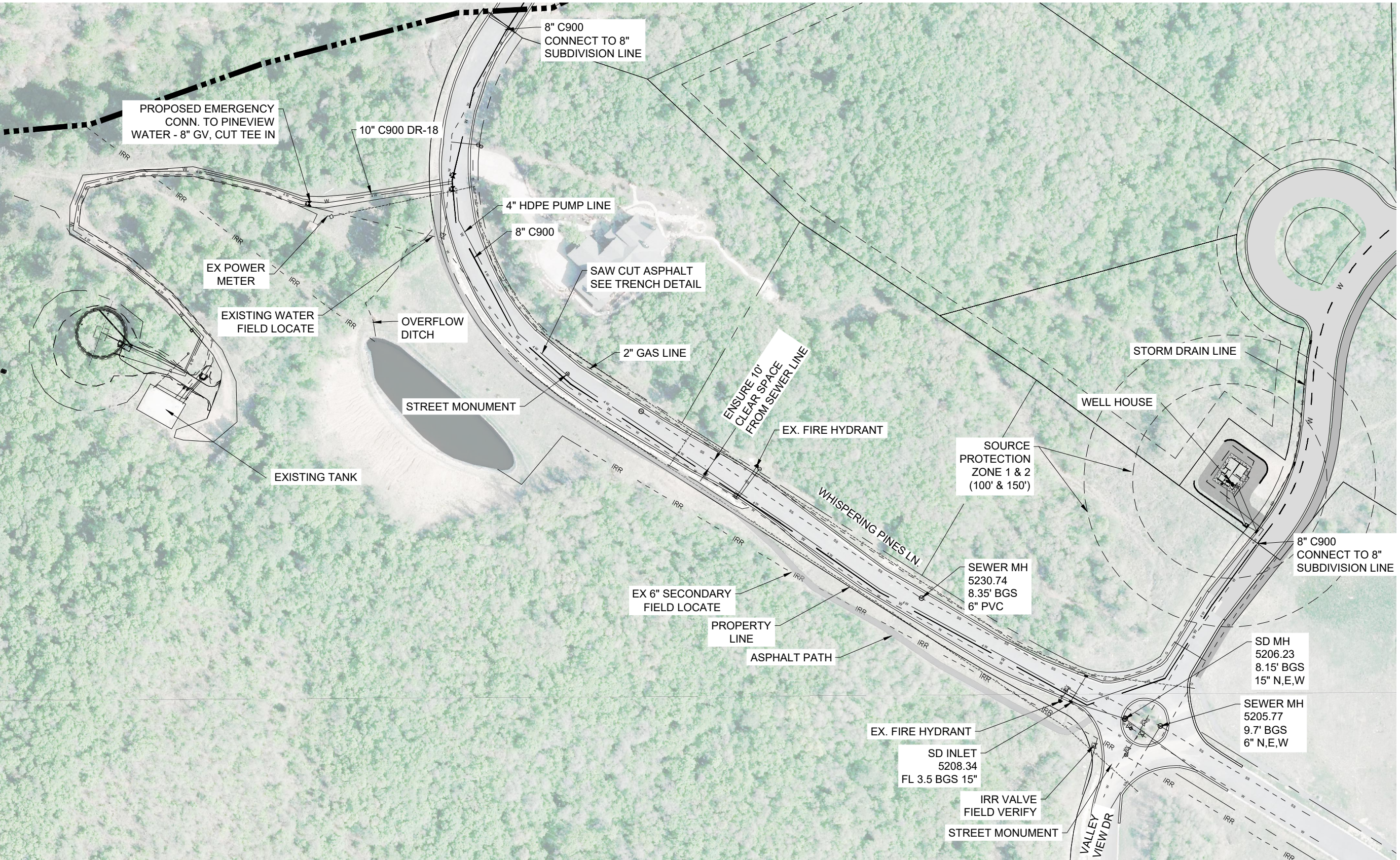
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WELL GRADING
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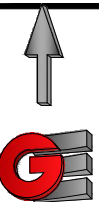
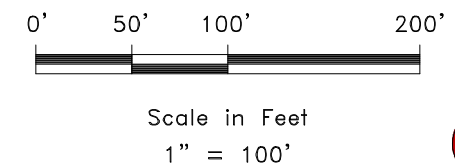
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CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER PRIOR TO EXCAVATION FOR NEW WATERLINES

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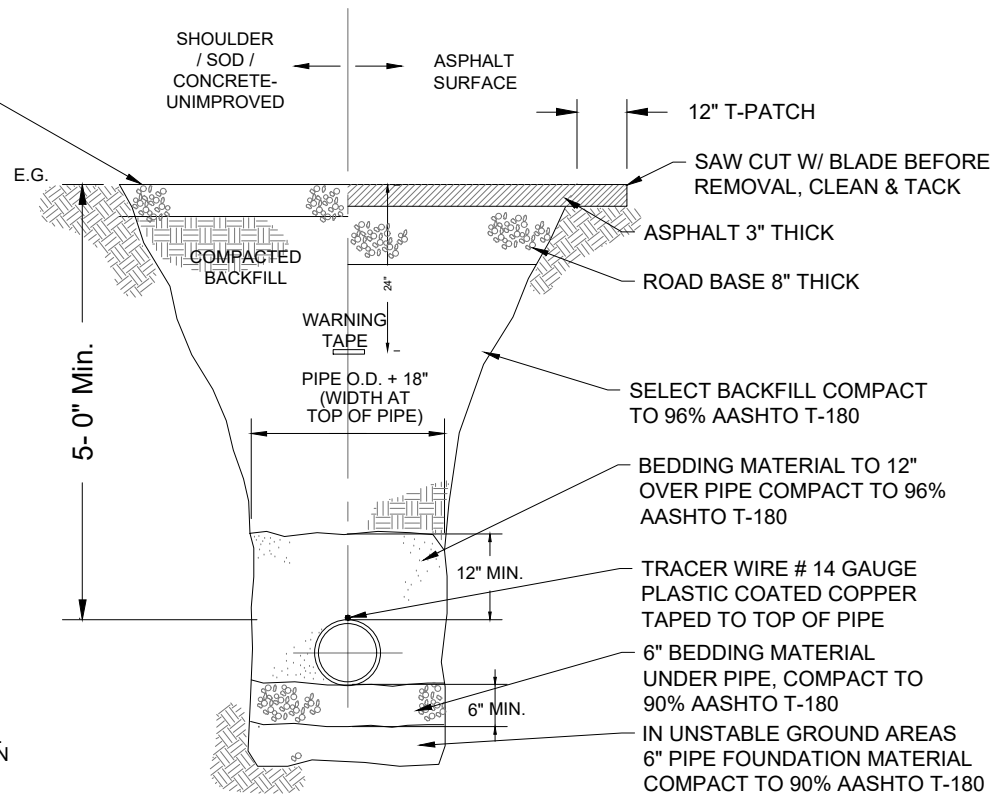
WATERLINE
CRIMSON RIDGE WATERWORKS
WELL HOUSE AND TANK

C6
9

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NOTE:
CONTRACTOR IS RESPONSIBLE TO MEET TRENCH RESTORATION STANDARDS OF THE ENTITY OWNING THE ROADWAY, RESTORE THE ROADWAY TO SAID STANDARDS AND SHALL BE SOLELY RESPONSIBLE FOR ALL ROADWAY PERMITS AND/OR FEES.

- NOTE:
- WATER & SEWER LINES SHALL BE INSTALLED A MINIMUM OF 10 HORIZONTAL FEET FROM EACH OTHER.
 - WHERE A WATER LINE AND A SEWER LINE MUST CROSS, THE WATER LINE SHALL BE AT LEAST 18" ABOVE THE SEWER LINE.
 - SEPARATION DISTANCES ARE TO BE MEASURED EDGE-TO-EDGE.
 - WATER LINES SHALL NOT BE INSTALLED IN THE SAME TRENCH WITH EITHER SEWER OR SECONDARY PIPES.
 - IF THESE STANDARDS CANNOT BE MET AN EXCEPTION TO THE STANDARD MAY BE POSSIBLE. THE ENTITY SEEKING THE EXCEPTION SHALL INITIATE AND PURSUE A REQUEST FOR A SEPARATION EXCEPTION WITH THE STATE DIVISION OF DRINKING WATER, IN ACCORDANCE WITH R309-550-7 OF THE STATE OF UTAH ADMINISTRATIVE RULES.



1 TYPICAL TRENCH DETAIL

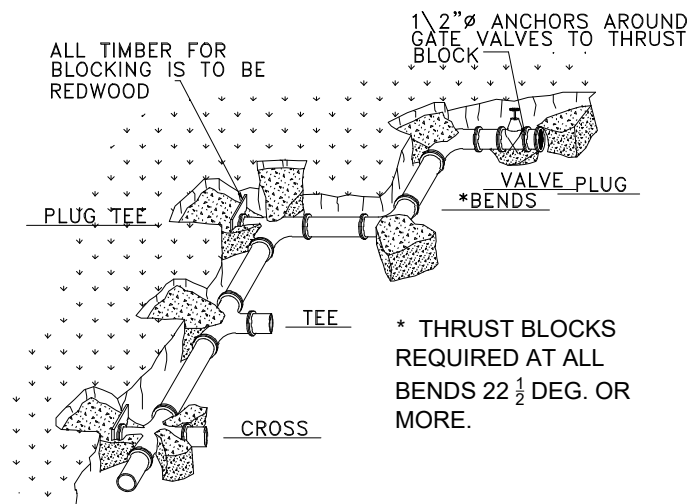


TABLE OF BEARING AREAS IN SQ. FT FOR CONCRETE THRUST BLOCKING

SIZE	BENDS				TEES*	GATE VALVES	DEAD ENDS	CROSSW/1BRANCH PLUGGED	CROSSW/2 BRAN. PLUGGED
	90°	45°	22 1/2°	11 1/4°					
3	1.0	0.0	0.3	0	0.7	0.5	0.7	0.7	0.7
4	1.8	1.0	0.5	0	1.3	0.5	1.3	1.3	1.3
6	4.0	2.2	1.1	0	2.8	0.7	2.8	2.8	2.8
8	7.1	3.8	2.0	1.0	5.0	2.4	5.0	5.0	5.0
10	11.1	6.0	3.0	1.5	7.8	4.5	7.8	7.8	7.8
12	16.0	8.6	4.4	2.2	11.3	7.3	11.3	11.3	11.3
14	21.7	11.8	6.0	3.0	15.4	11.0	15.4	15.4	15.4
15	25.0	13.5	7.0	3.5	17.6	SPECIAL DESIGN	176	17.6	17.6
16	28.4	15.3	8.0	4.0	20.0		20.0	20.0	20.0
18	36.0	19.4	10.0	5.0	25.4		25.4	25.4	25.4
20	44.2	24.0	12.2	6.1	31.4		31.4	31.4	31.4
21	49.0	26.5	13.5	6.8	34.6		34.6	34.6	34.6
22	54.0	29.0	14.8	7.4	38.0		38.0	38.0	38.0
24	64.0	34.5	17.7	8.8	45.0		45.0	45.0	45.0
30	100.0	54.0	27.6	13.8	71.0		71.0	71.0	71.0
36	144.0	78.0	40.0	20.0	102.0		102.0	102.0	102.0

*SIZE IS BRANCH SIZE.
FOR 100 P.S.I. INTERNAL STATIC PRESSURE AND 1000 LBS.PER SQ. FT. SOIL BEARING CAPACITY.

1. CONCRETE SHALL NOT BE PLACED AROUND JOINTS AND BOLTS. COVER ALL METAL CONTACT AREAS WITH A POLY WRAP PRIOR TO CONCRETE PLACEMENT.
2. IN THE ABSENCE OF A SOIL REPORT, ALL THRUST BLOCKS SHALL BE SIZED ON THE BASIS OF A MAXIMUM LATERAL BEARING VALUE OF 800 P.S.F. AND A THRUST RESULTING FROM 150% OF THE WATER LINE STATIC PRESSURE.

2 THRUST BLOCK DETAIL

ALL VALVES, TEES, CROSSES AND BENDS SHALL ALSO BE FITTED WITH MECHANICAL RESTRAINTS, SUCH AS MEGA LUGS OR APPROVED EQUAL.

AREAS GIVEN IN TABLE ARE BASED UPON AN INTERNAL STATIC PRESSURE OF 100 P.S.I AND A SOIL BEARING CAPACITY OF 1000 LBS PER SQ. FT. BEARING AREAS FOR ANY PRESSURE AND SOIL BEARING CAPACITY MAY BE OBTAINED BY MULTIPLYING THE TABULATED VALUES BY A CORRECTION FACTOR "F".

$$F = \frac{\text{ACTUAL SPECIFIED TEST PRESSURE IN HUNDREDS OF LBS/SQ. IN.}}{\text{ACTUAL SOIL BEARING CAPACITY IN THOUSANDS OF LBS.}}$$

EXAMPLE: TO FIND BEARING AREA FOR 8"-90° BEND WITH A STATIC INTERNAL PRESSURE OF 1500 P.S.I AND WITH A SOIL BEARING CAPACITY OF 3000 LBS. PER SQ. FT.
 $F = 1.5 / 3 = 0.5$ TABULATED VALUE = 7.1 SQ. FT.
 $0.5 \times 7.1 = 3.56 \sim 4$ SQ. FT. (~OR 2FT. LONG BY 2FT. HIGH.)

DEVELOPER:

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DETAILS

CRIMSON RIDGE WATERWORKS

WELL HOUSE AND TANK

EDEN, WEBER, UTAH

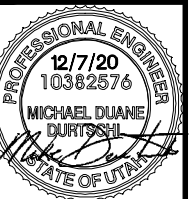


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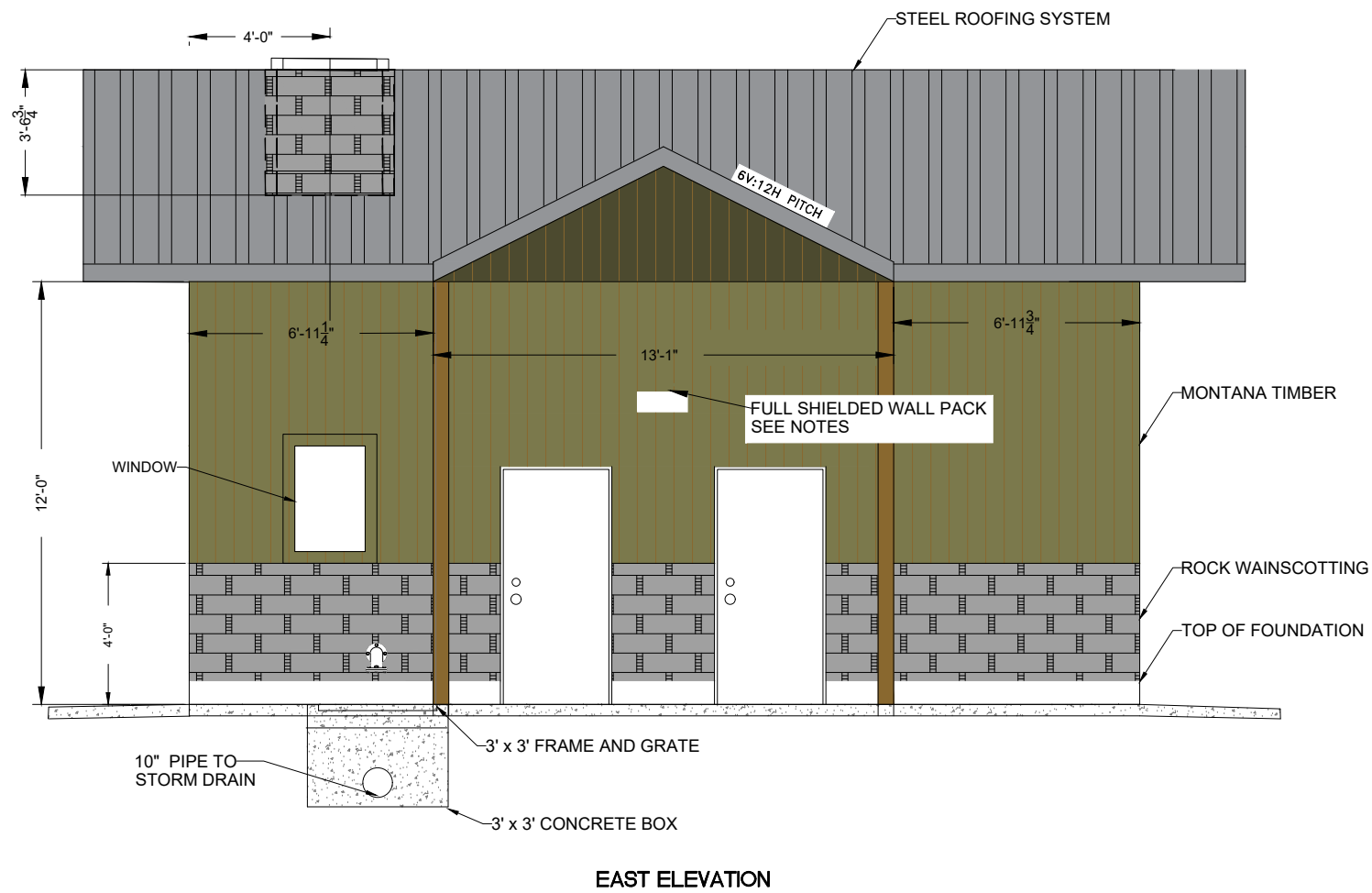
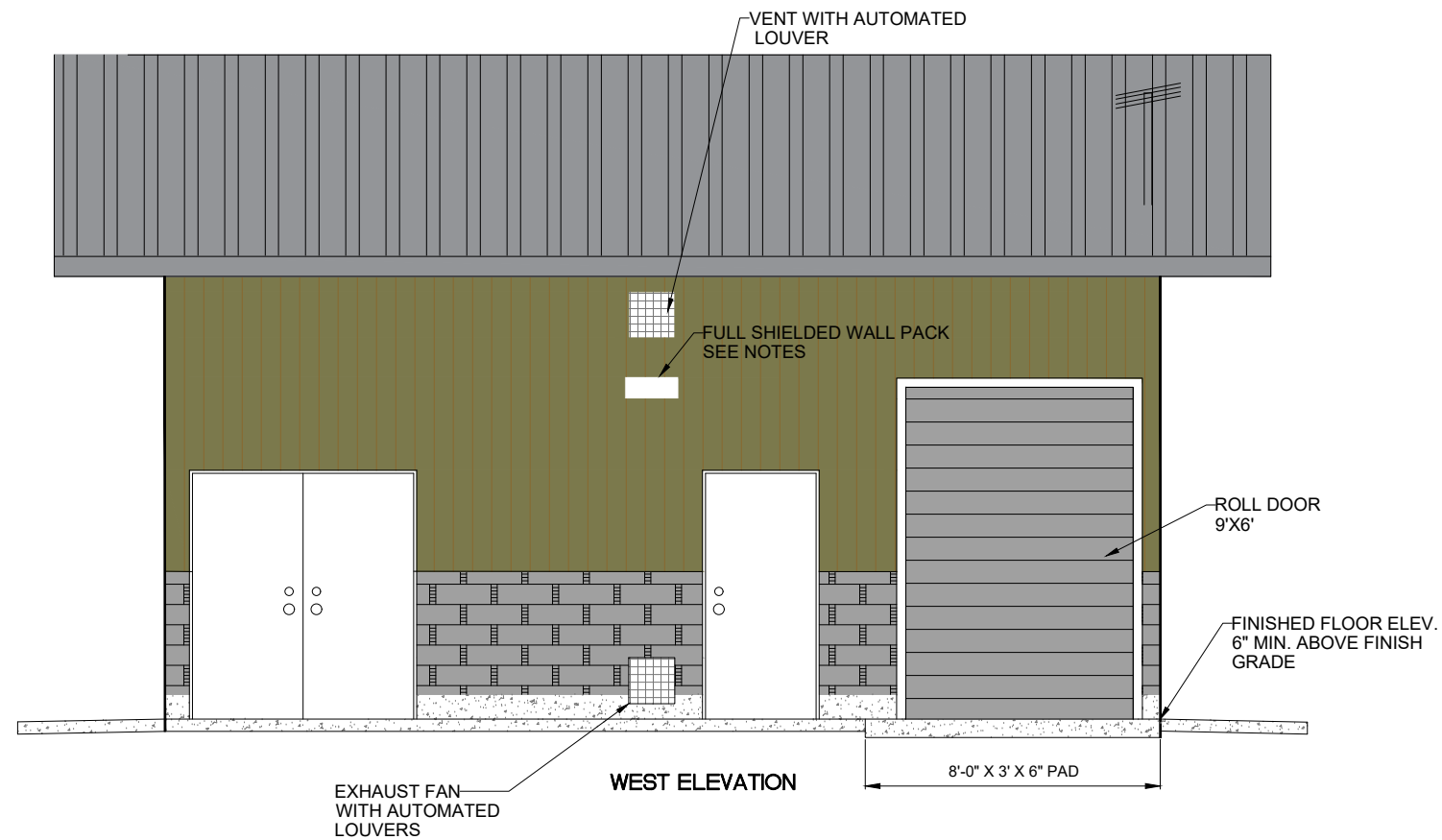
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Designed:	MD
Drafted:	KN
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- NOTES:
1. ALL VENTS AND WINDOW SHALL HAVE NO.16 SS SCREENING.
 2. LOUVERS AND FAN SHALL BE AUTOMATED TO OPEN AND CLOSE BY SWITCH. AN OUTDOOR SWITCH BOX FOR THE LIGHTING AND FAN FOR THE CHLORINE ROOM SHALL BE PLACED NEXT TO THE ENTRANCE DOOR FOR THE CHLORINE ROOM.
 3. EXHAUST FAN SHALL
OUTDOOR LIGHTING SHALL CONFORM TO OGDEN VALLEY OUTDOOR LIGHTING STANDARDS. LIGHT COLOR 3000K OR LESS, LIGHT SHALL BE FULLY SHIELDED FROM PROJECTING INTO SKY AND ADJACENT LOTS. LIGHTS SHALL BE OPERATED BY SENSORS, WITH A TWO MINUTE TIME SHUT OFF SETTING.
 4. MATERIAL COLORS SHALL BE EARTHEN COLORS.

DEVELOPER:

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					1" = 60'
					Designed: MD
					Drafted: KN
					Checked: MD

PROFESSIONAL ENGINEER
12/7/20
10382576
MICHAEL DUANE
DURTSCHE
STATE OF UTAH

ELEVATIONS

CRIMSON RIDGE WATERWORKS

WELL HOUSE AND TANK

EDEN, WEBER, UTAH

GARDNER
ENGINEERING

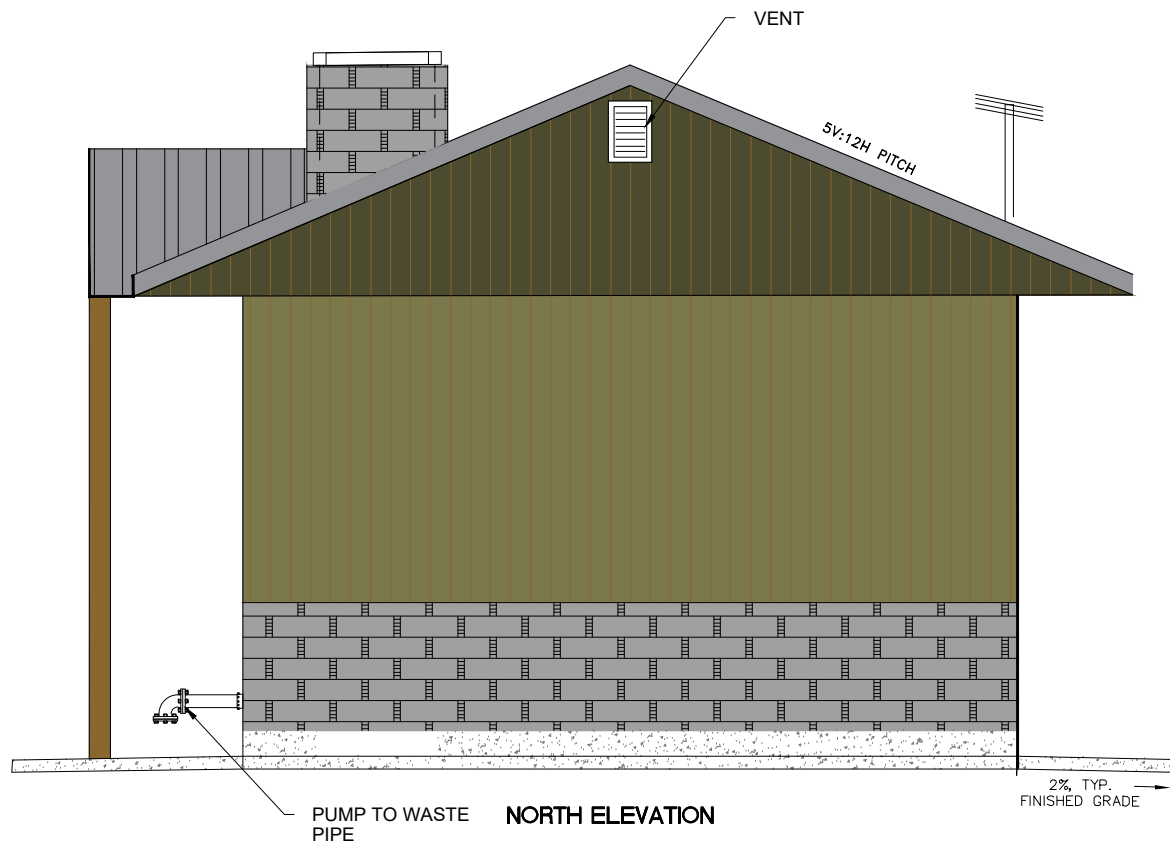
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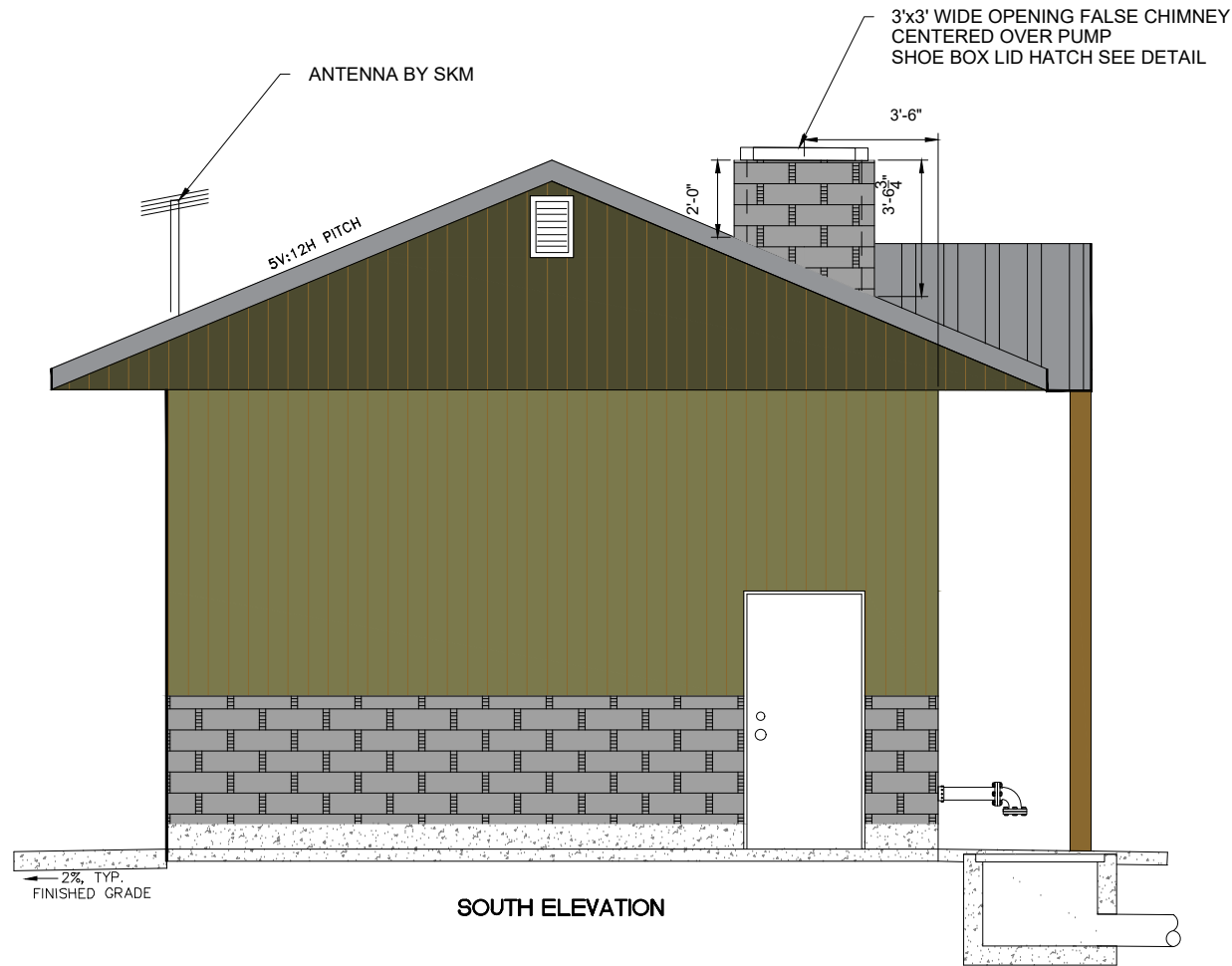
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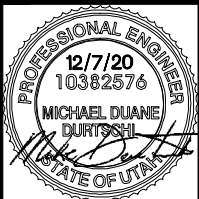
NORTH ELEVATION



SOUTH ELEVATION

DEVELOPER:

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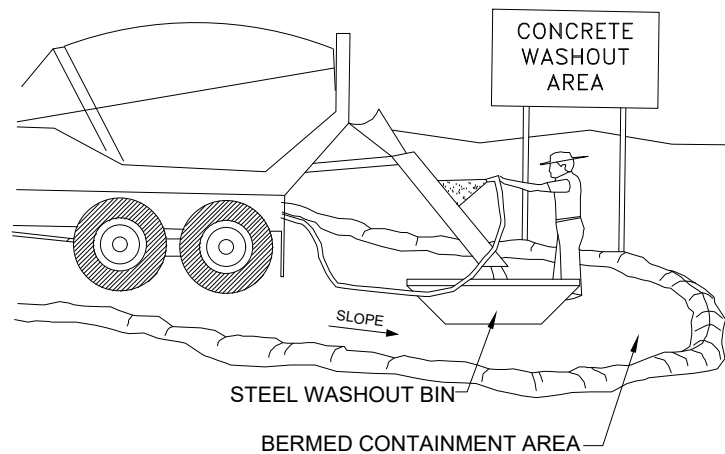


ELEVATIONS
CRIMSON RIDGE WATERWORKS
WELL HOUSE AND TANK
EDEN, WEBER, UTAH



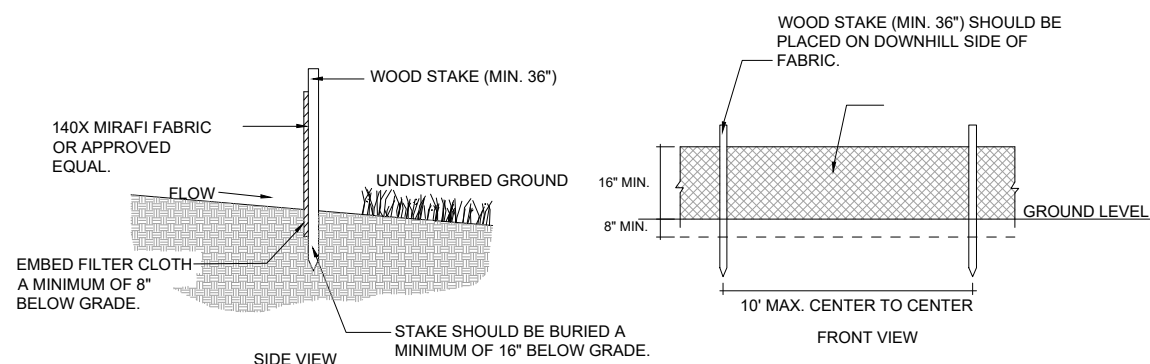
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Date		12/1/2020	
Scale			
Designed		MD	
Drafted		KN	
Checked		MD	



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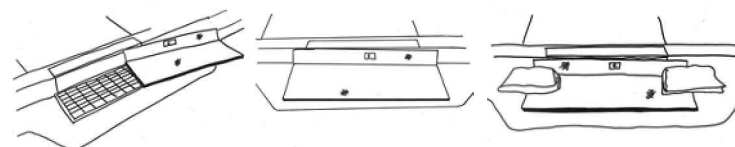
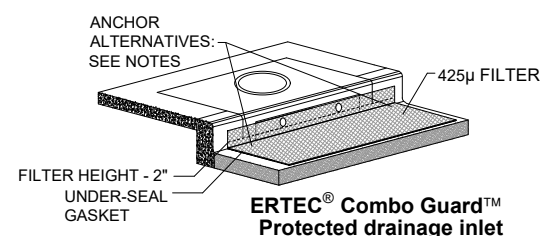
1. EXCESS AND WASTE CONCRETE SHALL BE DISPOSED OF OFF SITE OR AT DESIGNATED AREAS ONLY.
2. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
3. FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS ONSITE, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED.
4. ONSITE CONCRETE WASHOUT CONTAINMENT FACILITY SHALL BE A STEEL BIN OR APPROVED ALTERNATE.
5. SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP AND DISPOSED OF PROPERLY.



2

SILT FENCE

Scale: NTS



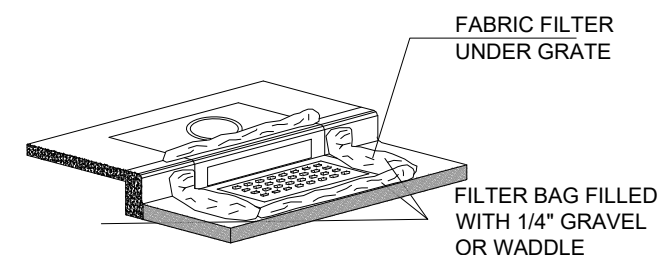
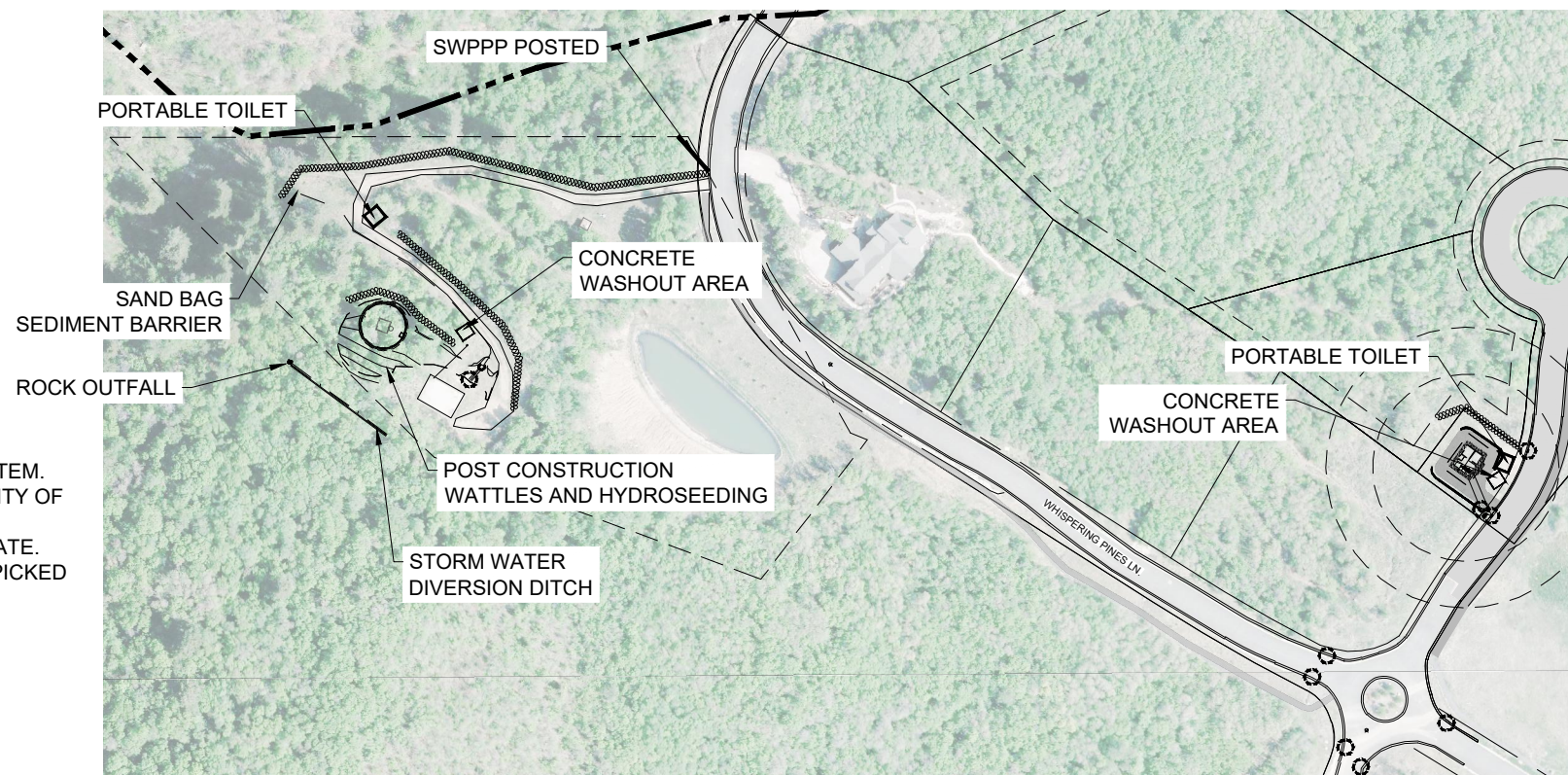
INSTALLATION NOTES

1. PLACEMENT: PLACE CG TIGHTLY AGAINST CURB OPENING AND COVER ENTIRE GRATE. CG SHOULD EXTEND AT LEAST 2 INCHES PAST GRATE TOWARDS STREET.
2. OVERLAP FOR LONG OPENINGS: OVERLAP CG UNITS AT LONGER OPENINGS.
3. ANCHOR: ANCHOR CG SO THAT WATER CANNOT FLOW BEHIND IT.
4. ALTERNATE ANCHOR METHODS: A) INSTALL GRAVEL BAGS AT EACH SIDE OF CG - HALF-ON AND HALF-OFF THE EDGES. USE HALF-FILLED GRAVEL BAGS (15 OR 20 LBS). ROUND ROCK IS RECOMMENDED. OR B) ATTACH WITH 16 GAUGE TIE-WIRE. CUT WIRE TO 18" LENGTH. AT EACH CORNER OF CG, FEED ONE END OF WIRE DOWN THROUGH CG, AROUND GRATE BAR, AND BACK UP THRU CG. ABOVE GROUND, TWIST WIRES SEVERAL TIMES, CUT-OFF EXCESS. OR C) FASTEN WITH CONCRETE ANCHORS/NAIls AT THE OUTSIDE EDGES OF CG.

1A

INLET PROTECTION - OPTION 1

Scale: NTS



1B

INLET PROTECTION - OPTION 2

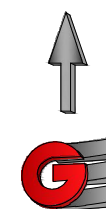
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INLET PROTECTION



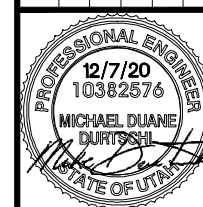
SILT FENCE



Scale in Feet
1" = 200'

Date:	12/1/2020
Scale:	1" = 200'
Designed:	MD
Drafted:	KN
Checked:	MD

Revisions	Description
Date	



SWPPP
CRIMSON RIDGE WATERWORKS
WELL HOUSE AND TANK
EDEN, WEBER, UTAH

SW1
9