

VICINITY MAP
Not to Scale

Hidden Brook Estates

A part of the Southwest Quarter of Section 33, T7N, R1E, SLB&M, U.S. Survey
Weber County, Utah
February 2020

SURVEYOR'S CERTIFICATE

I, Andy Hubbard, do hereby certify that I am a Professional Land Surveyor in the State of Utah, and that I hold License No. 6242920 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Licensing Act. I also certify that I have completed a survey of the property described hereon in accordance with Section 17-23-17 and that I have verified all measurements shown hereon this plat of Hidden Brook Estates in Weber County, Utah and that it has been correctly drawn to the designated scale and is a true and correct representation of the following description of lands included in said subdivision, based on data compiled from records in the Weber County Recorder's Office. Monuments have been found or placed as represented on this plat. I furthermore certify that all lots within this Subdivision hereby meet all current lot width and area requirements of the Weber County Zoning Ordinance.

Signed this ____ day of _____, 2020.

6242920
License No.

Andy Hubbard

lots and streets OWNERS DEDICATION

We the undersigned owners of the herein described tract of land, do hereby set apart and subdivide the same into lots as shown on the plat and name said tract Hidden Brook Estates and do grant and dedicate a perpetual right and easement over, upon and under the lands designated hereon as public utility easement and/or Detention Pond Easement, the same to be used for the maintenance and operation of public utility service line and storm drainage facilities, whichever is applicable as may be authorized by the governing authority, with no buildings or structures being erected within such easements, and further dedicate to public use all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares.

Signed this ____ Day of _____, 2020.

- X -

Printed names of who will be signing

X - Owner

ACKNOWLEDGMENT

State of Utah }
County of _____ } ss

The foregoing instrument was acknowledged before me this ____ day of _____ 2020 by _____ X _____.

Residing At: _____ A Notary Public commissioned in Utah
Commission Number: _____
Commission Expires: _____
Print Name

DESCRIPTION

A part of the Southwest Quarter of Section 33, Township 7 North, Range 1 East, Salt Lake Base and Meridian, U.S. Survey, Weber County, Utah:
Beginning at the Southeastly Corner of Lot 60, Big Sky Estates No. 2 (Entry No. 500942, Book 15 of Plats, Page 85) Weber County, Utah, said point being 905.93 feet South 89°38'24" East along the Section Line and 0.76 feet South 33°30'26" West from the Southwest Corner of said Section 33; and running thence along the Easterly, Southerly and Northerly Lines of said Big Sky Estates No. 2 the following nine (9) courses: (1) North 33°30'26" East 149.22 feet; (2) South 65°30'00" East 34.00 feet to a point of curvature; (3) Southeastly along the arc of a 528.00 foot Radius curve to the right a distance of 188.91 feet (Central Angle equals 20°29'58" (20°30' Record) and Long Chord bears South 55°15'00" East 187.90 feet) to a point of non-tangency; (4) North 45°00'00" East 358.00 feet; (5) North 51°00'00" West 733.00 feet; (6) North 41°00'00" West 264.00 feet; (7) North 32°11'29" East 215.43 feet to a point of a non-tangent curve; (8) Northwesterly along the arc of a 185.01 foot Radius curve to the left a distance of 101.39 feet (Central Angle equals 31°23'57" and Long Chord bears North 61°25'08" West 100.13 feet) to a point of non-tangency; and (9) North 12°52'49" East 183.84 feet to the Southwestly Corner of the Skyline Mountain Properties Partners LP Property; thence along said Southerly, Westerly and Northerly Lines the following three (3) courses: (1) East 1228.68 feet; (2) South 1325.12 feet; and (3) South 89°56'10" West 1074.51 feet to the Southeastly Corner of said Lot 60 and the Point of Beginning.

Contains 30.500 Acres, more or less

Description of land to be included in the subdivision.
WCO 106-1-8(c)(1) h.1.
A written boundary description of property surveyed.
UCA 17-23-17(3)(f)
Surveyed legal descriptions shall have a mathematical error in closure equal to or less than 2cm (0.0656 feet) plus 50 parts per million. WCO 45-3-3(a)

Written boundary description does not match map also map boundary does not close

The Map shall contain a written narrative. WCO 106-1-8(c)(1)k.; UCA 17-23-17(4)(a)
The narrative explains and identifies the purpose of the survey. UCA 17-23-17(4)(a)(i)
The narrative explains and identifies the basis on which lines were established. UCA 17-23-17(4)(a)(ii)
The narrative explains and identifies the found monuments or deed elements that controlled the established or reestablished lines. UCA 17-23-17(4)(a)(iii)
The written narrative shall contain the documentary, parole, and tangible evidence used in establishing the location of the lines of the survey. WCO 45-3-4(a).

The written narrative shall contain the legal principles of boundary establishment utilized in establishing the location of the lines of the survey. WCO 45-3-4(b).
If the survey abuts or references a public or private right of way, subdivision, utility corridor, railroad, canal, river, etc. the survey narrative shall indicate what documentary, parole, and tangible evidence was used and which legal principles of boundary establishment were used to re-establish the location of said features. WCO 45-3-4(a).

NARRATIVE

This Subdivision Plat was requested by X for the purpose of creating nine (9) residential Lots.
Property Corners are Monumented as depicted on this survey.

FLOOD PLAIN

This property lies entirely within flood zone X (unshaded) as shown on the FEMA Flood Insurance Rate Map for Weber County, Utah, Community Panel Number 49057C0236 F dated 2 June, 2015. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual chance flood plain" (no shading)

NOTES

- 10' wide Public Utility Easement as indicated by dashed lines, except as otherwise shown.
- Stream Protection Easement is 50.0' each side of the Centerline of the Stream, as determined and witnessed on the ground.
- Developer and Contractor to follow recommendations outlined in Geotechnical Study prepared by Christensen Geotechnical.
- No building shall be permitted within the QMS Area.

A signature block for Weber-Morgan Health Department conforming to state code and county ordinance.
Weber-Morgan Health Department:
I hereby certify that the soils, percolation rates, and site conditions for this subdivision have been investigated by this office and are approved for on-site wastewater disposal systems.
Signed this ____ day of _____, 20__.

Director, Weber-Morgan Health Department
WCO 106-1-8(c)(1)h.11

WEBER COUNTY SURVEYOR

I hereby certify that the Weber County Surveyor's Office has reviewed this plat and all conditions for approval by this office has been satisfied. The approval for this plat by the Weber County Surveyor does not relieve the Licensed Land Surveyor who executed this plat from the responsibilities and/or liabilities associated therewith.

Signed this ____ day of _____, 2020.

Weber County Surveyor

WEBER COUNTY ATTORNEY

I have examined the financial guarantee and other documents associated with this subdivision plat, and in my opinion they conform with the County Ordinance applicable thereto and now in force and effect.

Signed this ____ day of _____, 2020.

Weber County Attorney

WEBER COUNTY ENGINEER

I hereby certify that the required public improvement standards and drawings for this subdivision conform with County standards and the amount of the financial guarantee is sufficient for the installation of these improvements.

Signed this ____ day of _____, 2020

Weber County Engineer

WEBER COUNTY COMMISSION ACCEPTANCE

This is to certify that this subdivision plat, the dedication of streets and other public ways and financial guarantee of public improvements associated with this subdivision, thereon are hereby approved and accepted by the Commissioners of Weber County, Utah this ____ day of _____, 2020.

Chairman, Weber County Commission

Attest: _____

Title: _____

WEBER COUNTY PLANNING COMMISSION APPROVAL

This is to certify that this subdivision plat was duly approved by the Weber County Planning Commission.
Signed this ____ day of _____, 2020.

Chairman, Weber County Planning Commission

Sheet 1 of 2

WEBER COUNTY RECORDER
ENTRY NO. _____ FEE PAID _____
RECORDED _____ FILED FOR RECORD AND
_____ AT _____
IN BOOK _____ OF OFFICIAL
RECORDS, PAGE _____ RECORDED
FOR _____

WEBER COUNTY RECORDER
BY: _____ DEPUTY

ENGINEER:
Great Basin Engineering Inc
c/o Andy Hubbard
5746 South 1475 East Suite 200
Ogden, Utah 84405
(801) 394-4515

DEVELOPER:
Nordic Valley Partners, LLC
c/o Brandon Janis
562 South 1100 West
Farmington, Utah 84025
(281) 250-4047
brandonjanis@gmail.com

GREAT BASIN ENGINEERING
5746 SOUTH 1475 EAST OGDEN, UTAH 84403
MAIN (801)394-4515 S.L.C (801)521-0222 FAX (801)392-7544
WWW.GREATBASINENGINEERING.COM

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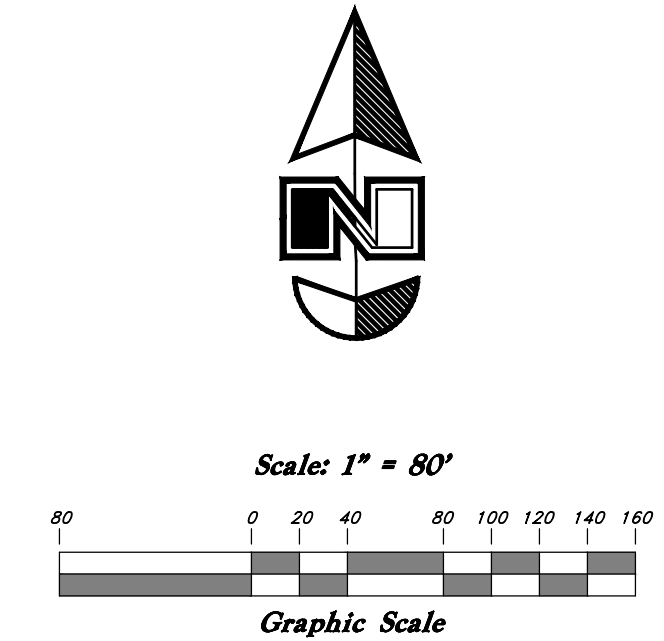
The location, widths, and other dimensions of proposed lots with proper labeling of spaces to be dedicated to public or designated as private. WCO 106-1-5(a)(7)
Check Brg and dimensions of proposed lots

All easements observed, recorded in the Recorder's Office, or included in a preliminary title report unless legally vacated by all easement holders. WCO 106-1-8(c)(1)m
subject to all title report easements

The existing location, widths, and other dimensions of all existing or platted streets or railroad lines within and immediately adjacent (within 30') to the tract of land to be subdivided.

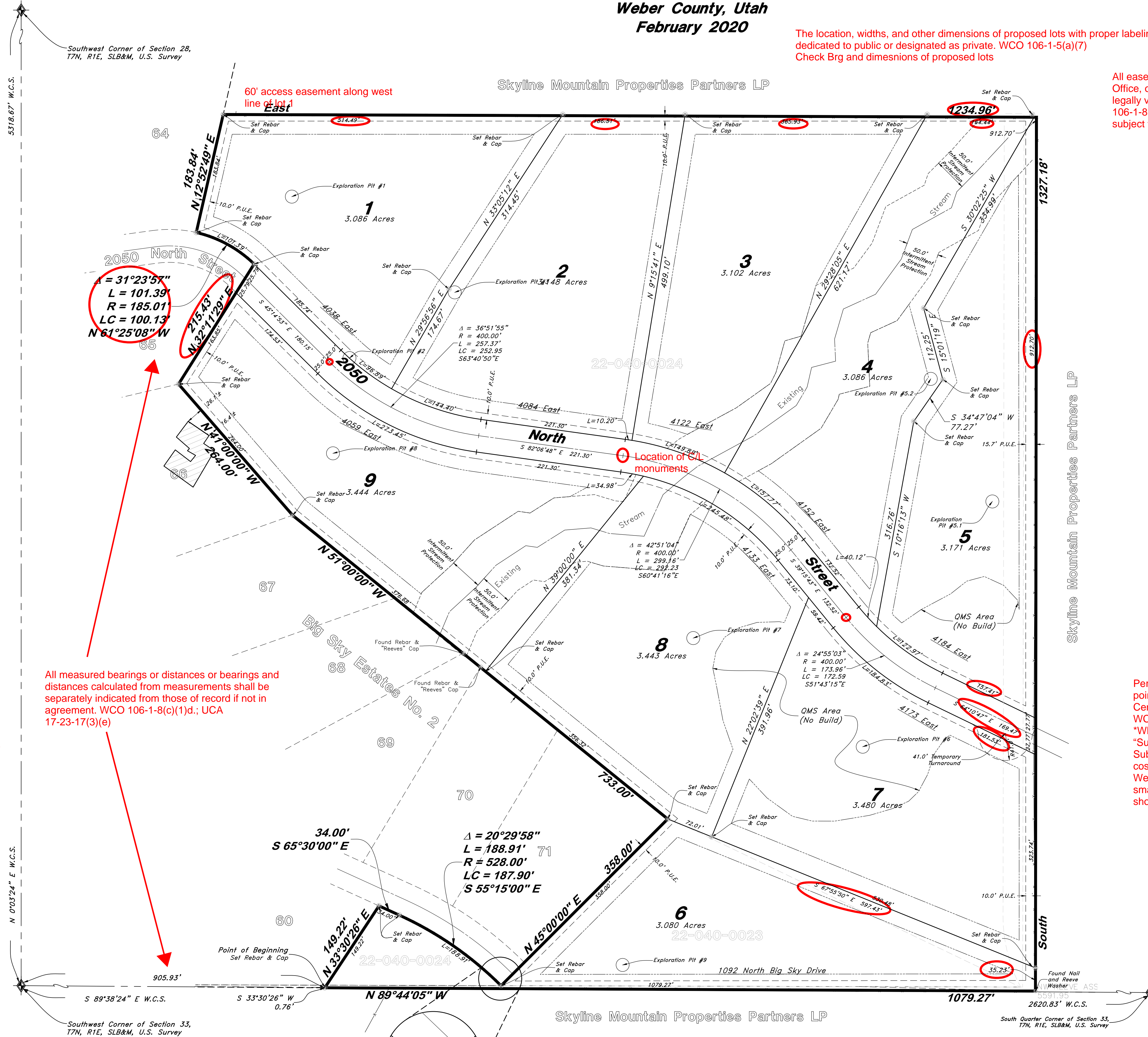
The location, widths, and other dimensions of proposed public streets, private streets, private access rights of way, or alleys with proper labeling of spaces to be dedicated to public or designated as private. WCO 106-1-5(a)(7) WCO 106-1-5(a)(6)
Check Bearing and dimension of platted street.

The existing location, widths, and other dimensions of all existing or platted land drains, culverts, watercourses, wetlands, streams corridor setbacks, flood plain within and immediately adjacent (within 30') to the tract of land to be subdivided. WCO 106-1-5(a)(6)
Stream needs dimensioned



The existing location, widths, and other dimensions of all existing or platted easements within and immediately adjacent (within 30') to the tract of land to be subdivided.
QMS Area needs to be dimensioned also all buildable areas

Permanent street monuments shall be accurately set at points necessary to establish all lines of the street. Centerline monuments shall be noted on the final plat. WCO 106-4-2(g) & WCO 106-1-8(c)(1)j
*When street monuments are required, send "Subdivision Monumentation Letter" to developer of Subdivision to notify of the MIA and its associated costs.
We suggest three centerline monuments as located by small circle on plat. A letter will be sent with next review showing the centerline monuments.



- Legend**
- ⊙ Monument to be set
 - ⊕ Found Centerline Monument
 - (Rad.) Radial Line
 - (N/R) Non-Radial Line
 - PUE Public Utility Easement
 - PU&DE Public Utility & Drainage Easement
 - Fence
 - Buildable Area
 - Set Hub & Tack
 - A will be set Nail in Curb
 - ⊙ Extension of Property
 - Set 5/8" x 24" Long Rebar & Cap w/ Lathe

The words "Basis of Bearings" must be shown on the plat between two existing, described government monuments. WCO 106-1-8(c)(1)d.; UCA 17-23-17(3)(d)

All measured bearings or distances or bearings and distances calculated from measurements shall be separately indicated from those of record if not in agreement. WCO 106-1-8(c)(1)d.; UCA 17-23-17(3)(e)

- NOTES**
1. 10' wide Public Utility Easement as indicated by dashed lines, except as otherwise shown.
 2. Stream Protection Easement is 50.0' each side of the Centerline of the Stream, as determined and witnessed on the ground.
 3. Developer and Contractor to follow recommendations outlined in Geotechnical Study prepared by Christensen Geotechnical.
 4. No building shall be permitted within the QMS Area.

The plat shall have a detailed description of all monuments found and each one shall be referenced on the plat including the type, size, condition, and location in reference to the surface of the ground as well as a description or graphic depiction of the markings, date, agency, entity, or surveyor as inscribed on the monument. WCO 45-3-3(b)

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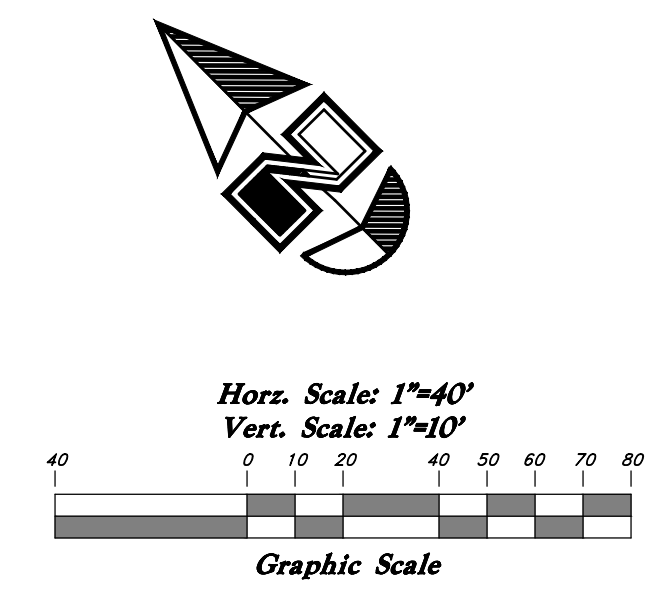
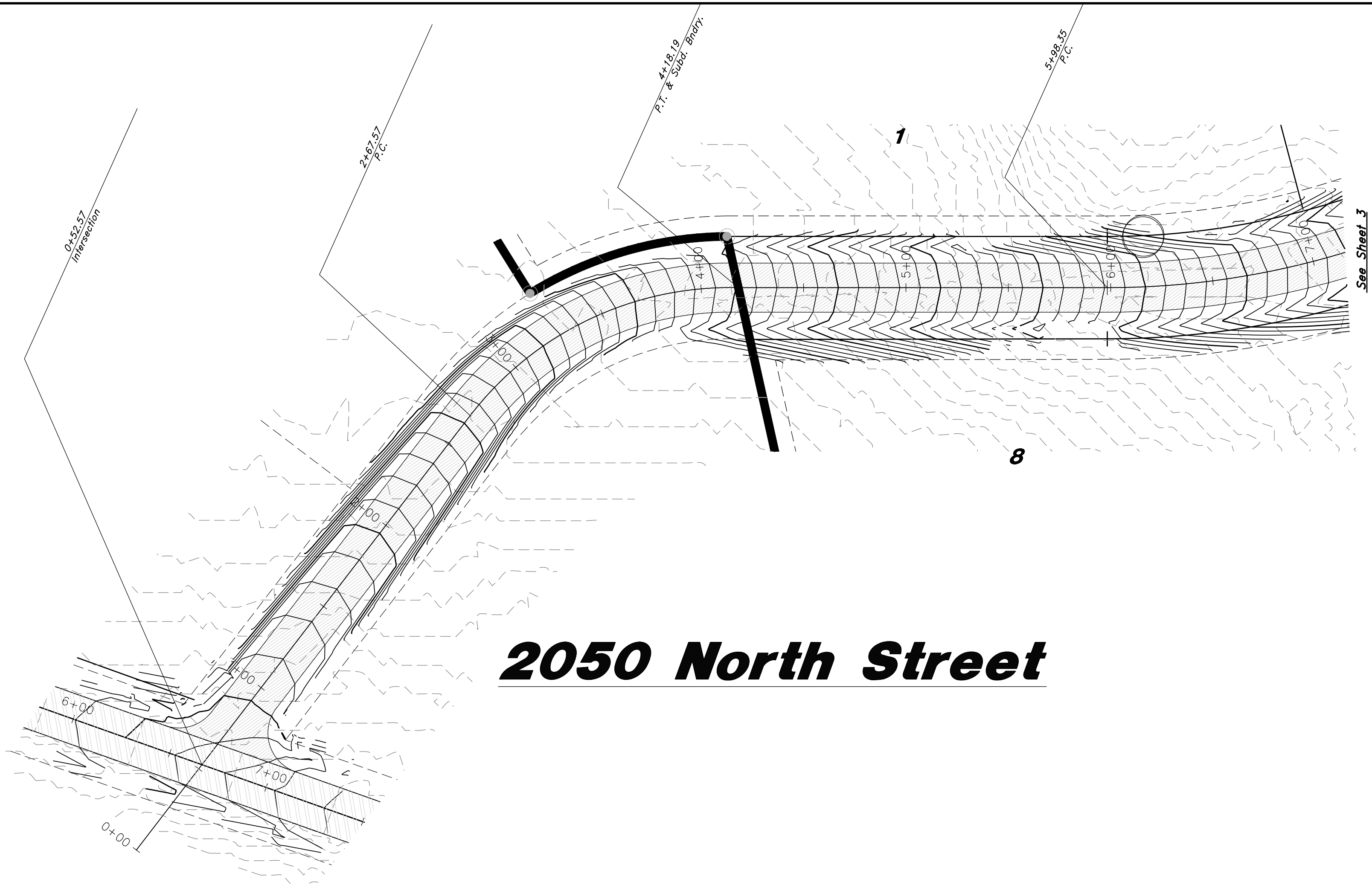
Sheet 2 of 2

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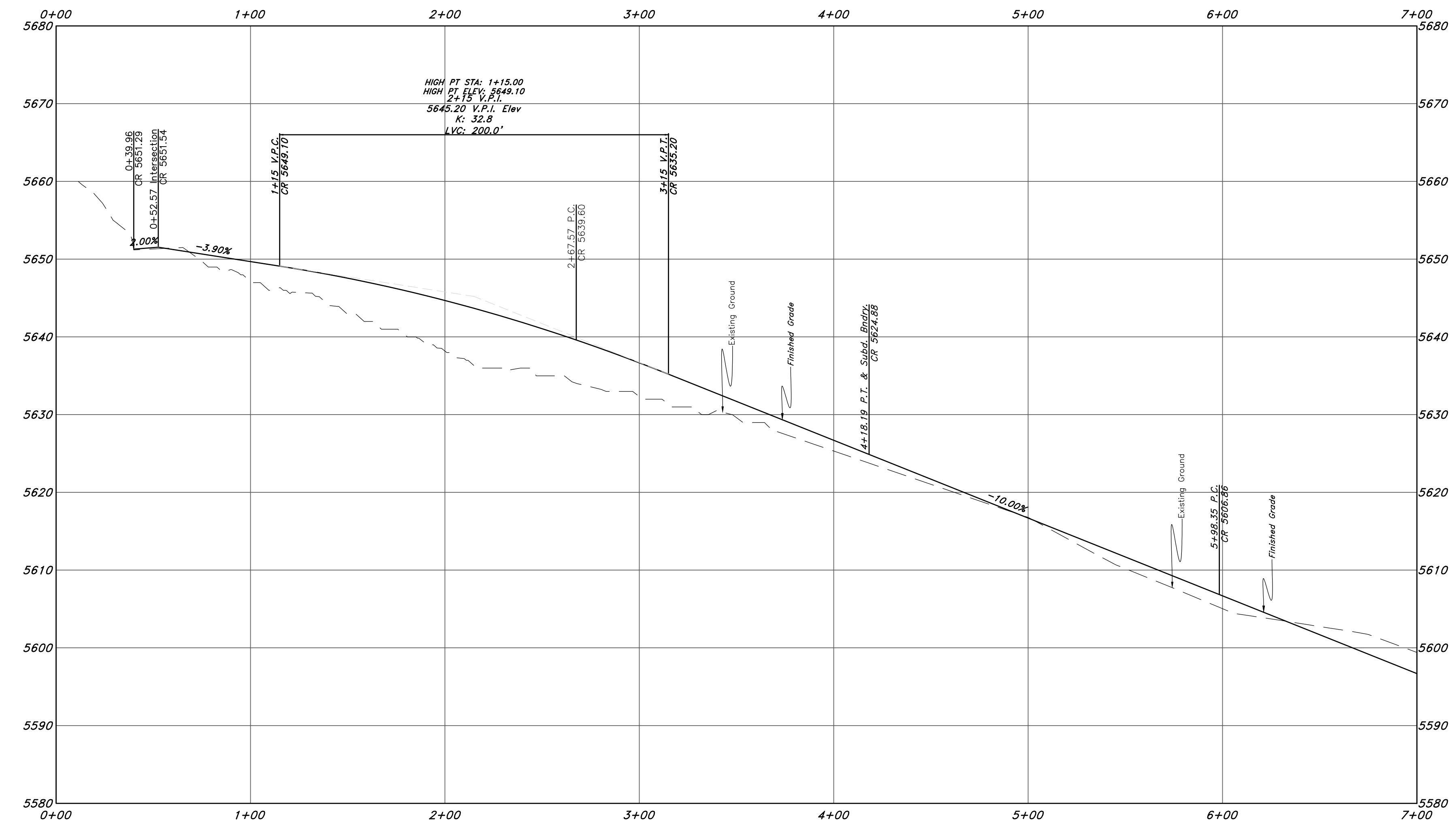
WEBER COUNTY RECORDER

BY: _____ DEPUTY _____



2050 North Street

- LEGEND**
- +— Centerline
 - - - - Buried Telephone line
 - - - - Overhead Telephone line
 - - - - Overhead Power line
 - - - - Power line
 - - - - Sanitary Sewer line
 - - - - Culinary Water line
 - - - - Gas line
 - - - - Storm Drain line
 - - - - Secondary Waterline
 - - - - Land Drain line
 - - - - Irrigation Waterline
 - - - - Fence Power Meter
 - Power Pole
 - Post
 - Water Meter
 - Gas Meter
 - Power Meter
 - Telephone Box
 - Sewer Manhole
 - Drain Manhole
 - Water Manhole
 - Cleanout Box
 - TA Top of Asphalt
 - EA Edge of Asphalt
 - NG Natural Ground
 - LG Lip of Gutter
 - SP Service Pole
 - LP Light Pole
 - PP Power Pole
 - TP Telephone Pole
 - FH Fire Hydrant
 - DIT Flowline of Ditch
 - TS Top of Slope
 - TOP Top of Slope
 - CO Cleanout
 - TC Fence
 - Flowline
 - Drain Manhole
 - Spot Elevation
 - Contour
 - DMH x98.00
 - Asphalt
 - Concrete
 - Building
 - Catch Basin
 - Corrugated Metal Pipe
 - R.C.P. Reinforced Concrete Pipe
 - C&C Edge of Concrete
 - RWALL Retaining Wall
 - SMH Sewer Manhole
 - WV Water Valve
 - CB Catch Basin
 - DV Diversion Box
 - TC Top of Curb
 - SW Sidewalk
 - GAS Gas line Marker
 - GUY Guy Wire
 - BLDG Building Corner
 - Fire Hydrant
 - NG Natural Ground
 - Water Valve
 - Light Pole
 - Power Pole w/guy
 - Deciduous Tree
 - Coniferous Tree
 - ARP Area Reference Plat
 - COL Building Columns
 - LS Landscaping



REV	DATE	DESCRIPTION

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Cover Sheet

Hidden Brook Estates

2050 North Big Sky Drive
 Weber County, Utah
 A part of Section 33, T7N, R1E, SLB&M, U.S. Survey

29 Jan, 2020

SHEET NO.

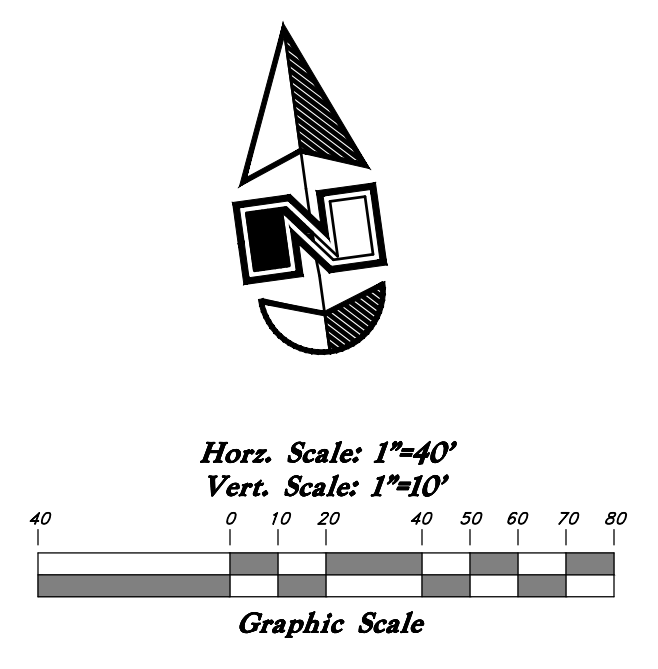
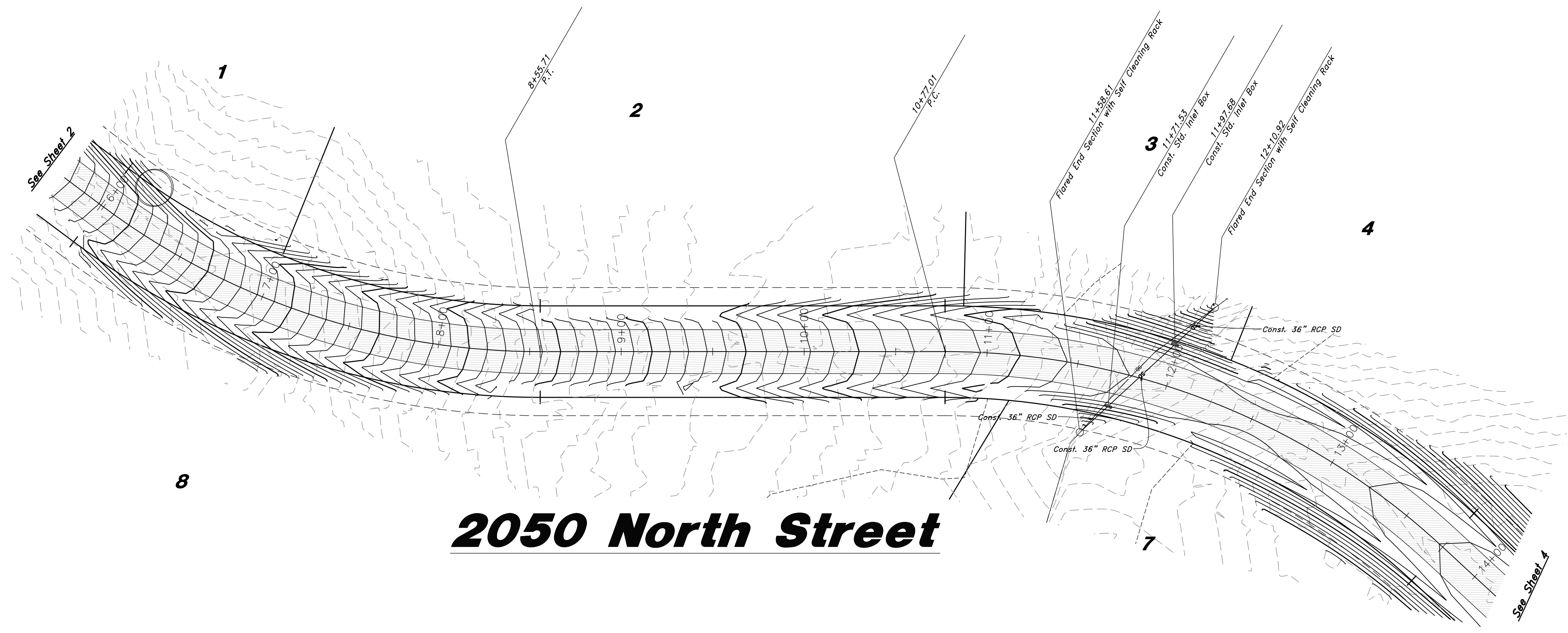
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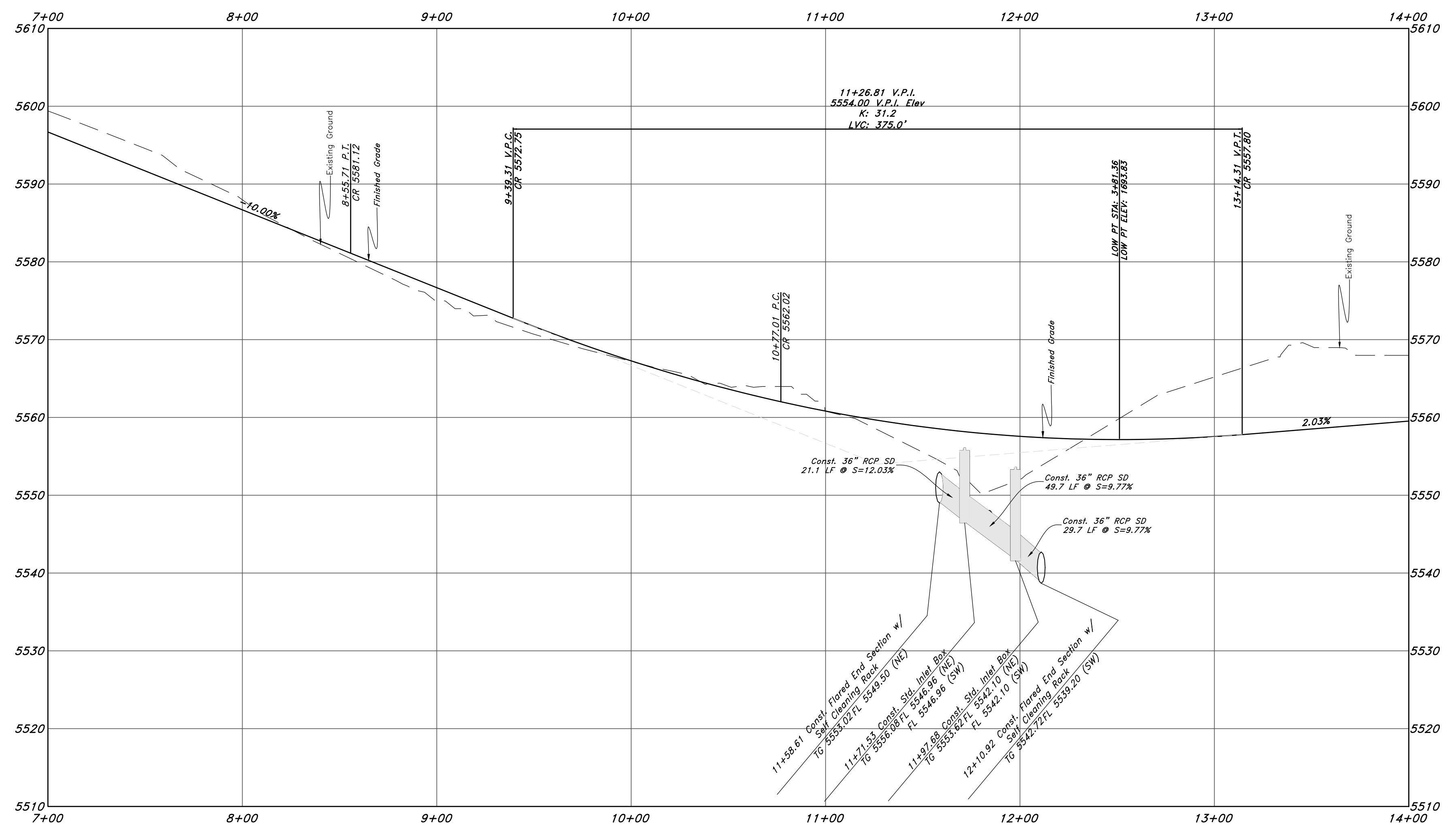
18N753 - AM

NOT FOR CONSTRUCTION





- LEGEND**
- Centerline
 - - - UOT - Buried Telephone line
 - - - OHT - Overhead Telephone line
 - - - OHP - Overhead Power line
 - - - UGP - Power line
 - - - S - Sanitary Sewer line
 - - - W - Culinary Water line
 - - - G - Gas line
 - - - SD - Storm Drain line
 - - - SW - Secondary Waterline
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 - RWALL - Retaining Wall
 - SMH - Sewer Manhole
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 - DV - Diversion Box
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 - BLDG - Building Corner
 - Fire Hydrant
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 - Light Pole
 - Power Pole w/guy
 - Deciduous Tree
 - Coniferous Tree
 - ARP - Area Reference Plat
 - COL - Building Columns
 - LS - Landscaping

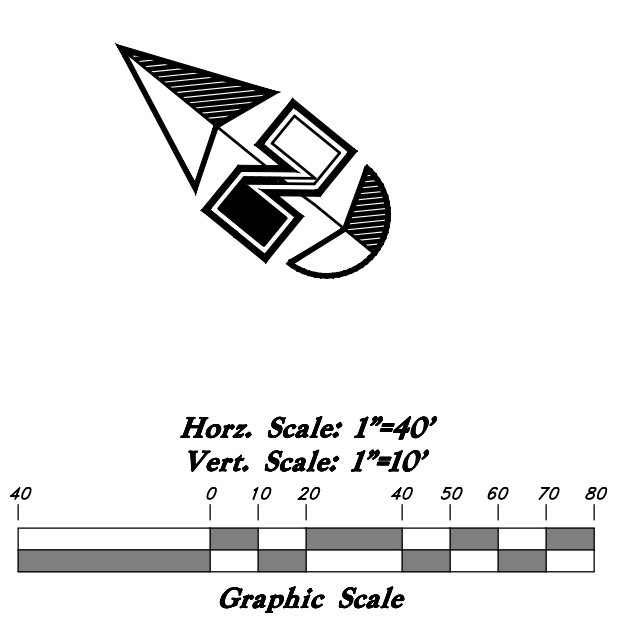
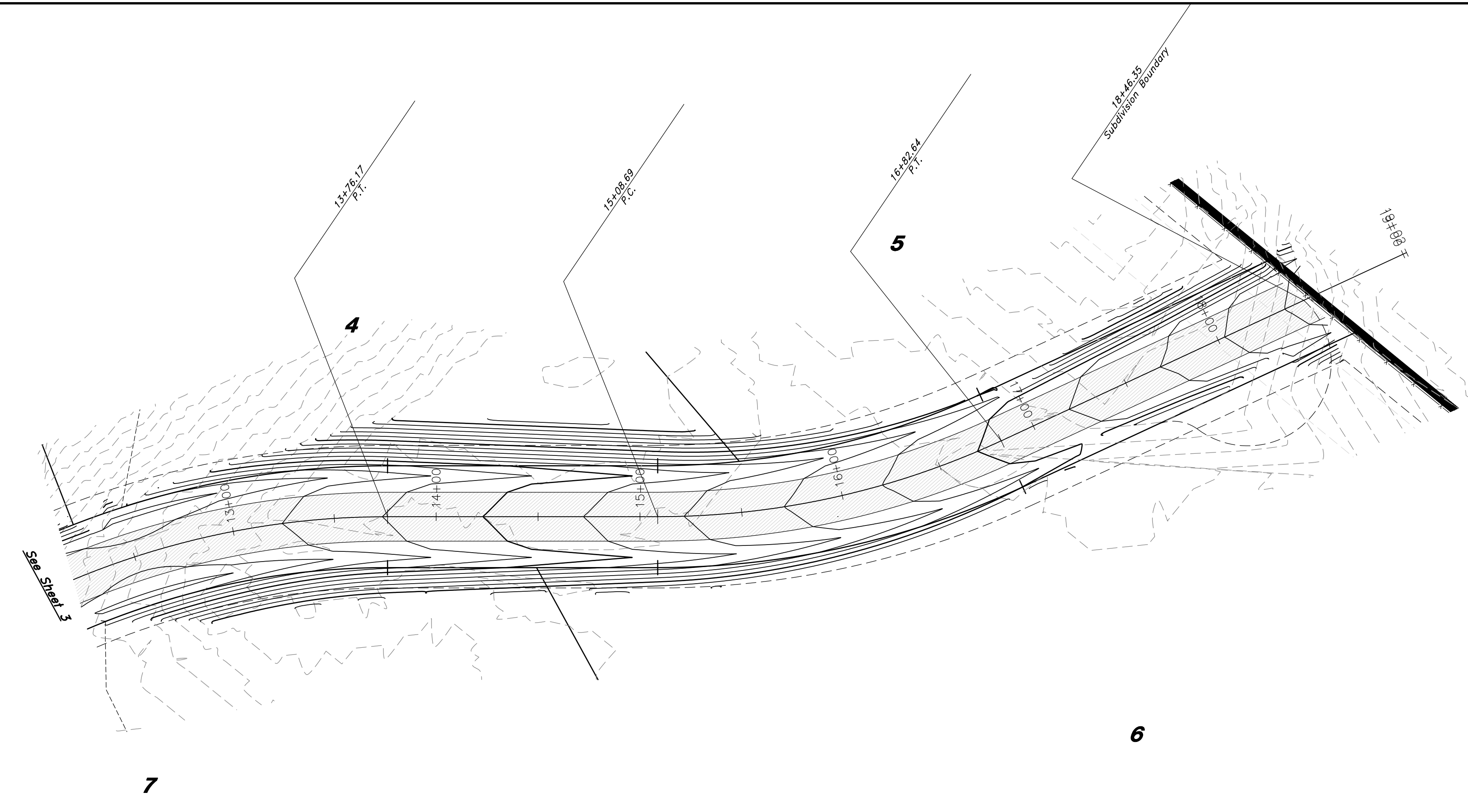


<p>COVER SHEET</p> <p>Hidden Brook Estates</p> <p>2050 North Big Sky Drive Weber County, Utah A part of Section 33, T7N, R1E, S1B&M, U.S. Survey</p>	<p>GREAT BASIN ENGINEERING</p> <p>5746 SOUTH 1475 EAST OGDEN, UTAH 84403 MAIN (801)394-4451 SLLC (801)521-0222 FAX (801)392-7544 WWW.GREATBASINENGINEERING.COM</p>
<p>29 Jan, 2020</p>	<p>SHEET NO.</p> <p>3</p>
<p>Call before you Dig Avoid cutting underground utility lines. It's costly.</p> <p>Call 811</p> <p>1-800-662-4111</p>	

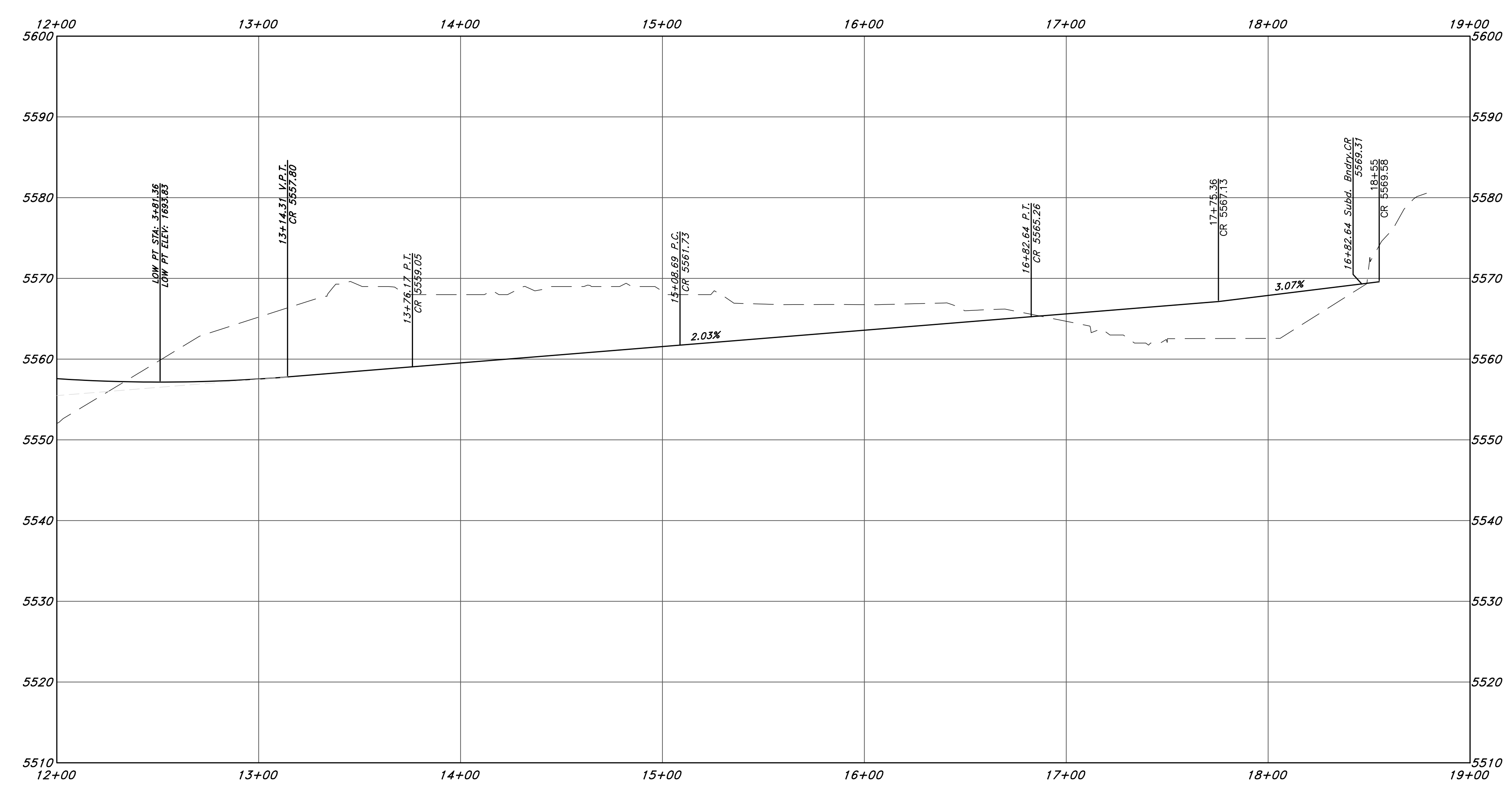
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2050 North Street



REV	DATE	DESCRIPTION

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 A part of Section 33, T7N, R1E, SLB&M, U.S. Survey

29 Jan, 2020

SHEET NO.

4

1-800-862-4111

NOT FOR CONSTRUCTION



