

Not to Scale

Hidden Brook Estates

A part of the Southwest Quarter of Section 33, T7N, R1E, SLB&M, U.S. Survey Weber County, Utah February 2020

NARRATIVE

This Subdivision Plat was requested by X for the purpose of creating nine (9) residential Lots.

Property Corners are Monumented as depicted on this survey.

FLOOD PLAIN

This property lies entirely within flood zone X (unshaded) as shown on the FEMA Flood Insurance Rate Map for Weber County, Utah, Community Panel Number 49057C0236 F dated 2 June, 2015. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual chance flood plain" (no shading)

NOTES

1. 10' wide Public Utility Easement as indicated by dashed lines, except as

2. Stream Protection Easement is 50.0' each side of the Centerline of the Stream, as determined and witnessed on the ground.

3. Developer and Contractor to follow recommendations outlined in Geotechnical Study prepared by Christensen Geotechnical.

4. No building shall be permitted within the QMS Area.

Description of land to be included in the subdivision. WCO 106-1-8(c)(1) h.1. A written boundary description of property surveyed. UCA 17-23-17(3)(f)

Surveyed legal descriptions shall have a mathematical error in closure equal to or less than 2cm (0.0656 feet) plus 50 parts per million. WCO 45-3-3(a)

Written boundary description does not match map also map boundary does not close

I, Andy Hubbard, do hereby certify that I am a Professional Land Surveyor in the State of Utah, and that I hold License No. 6242920 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Licensing Act. I also certify that I have completed a survey of the property described hereon In accordance with Section 17-23-17 and that I have verified all measurements shown hereon this plat of Hidden Brook Estates in Weber County, Utah and that it has been correctly drawn to the designated scale and is a true and correct representation of the following description of lands included in said subdivision, based on data compiled from records in the Weber County Recorder's Office. Monuments have been found or placed as represented on this plat. I furthermore certify that all lots within this Subdivision hereby meet all current lot width and area requirements of the Weber County Zoning Ordinance.

Signed this day of	, 2020.
<i>6242920</i>	
License No.	Andy Hubbard
	,

SURVEYOR'S CERTIFICATE

Signed this

State of Utah

OWNERS DEDICATION

We the undersigned owners of the herein described tract of land, do hereby set apart and subdivide the same into lots as shown on the plat and name said tract Hidden Brook Estates and do grant and dedicate a perpetual right and easement over, upon and under the lands designated hereon as public utility easement and/or Detention Pond Easement, the same to be used for the maintenance and operation of public utility service line and storm drainage facilities, whichever is applicable as may be authorized by the governing authority, with no buildings or structures being erected within such easements, and further dedicate to public use all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares.

Ü	,	
		- X -

Printed names of who will be signing

Χ	_	Owner	

. 2020.

ACKNOWLEDGMENT

County	of		} SS								
	The	foregoing		acknowledg X			e this_		day of		
Residing	g At <u>:</u>						5 / //				
Commis	ssion	Number <u>:</u>			Α	Notary	Public	commis	ssioned i	n Uta	ih
Commis	ssion	Expires:									

DESCRIPTION

A part of the Southwest Quarter of Section 33, Township 7 North, Range 1 East, Salt Lake Base and Meridian, U.S. Survey, Weber County, Utah:

Beginning at the Southeasterly Corner of Lot 60, Big Sky Estates No. 2 (Entry No. 500942, Book 15 of Plats, Page 85) Weber County, Utah, said point being 905.93 feet South 89°38'24" East along the Section Line and 0.76 feet South 33°30'26" West from the Southwest Corner of said Section 33; and running thence along the Easterly, Southerly and Northerly Lines of said Big Sky Estates No. 2 the following nine (9) courses: (1) North 33°30'26" East 149.22 feet; (2) South 65°30'00" East 34.00 feet to a point of curvature; (3) Southeasterly along the arc of a 528.00 foot Radius curve to the right a distance of 188.91 feet (Central Angle equals 20°29'58" (20°30' Record) and Long Chord bears South 55°15'00" East 187.90 feet) to a point of non-tangency; (4) North 45°00'00" East 358.00 feet; (5) North 51°00'00" West 733.00 feet; (6) North 41°00'00" West 264.00 feet; (7) North 32°11'29" East 215.43 feet to a point of a non-tangent curve; (8) Northwesterly along the arc of a 185.01 foot Radius curve to the left a distance of 101.39 feet (Central Angle equals 31°23'57" and Long Chord bears North 61°25'08" West 100.13 feet) to a point of non-tangency; and (9) North 12°52'49" East 183.84 feet to the Southwesterly Corner of the Skyline Mountain Properties Partners LP Property; thence along said Southerly, Westerly and Northerly Lines the following three (3) courses: (1) East 1228.68 feet; (2) South 1325.12 feet; and (3) South 89°56'10" West 1074.51 feet to the Southeasterly Corner of said Lot 60 and the Point of Beginning.

Contains 30.500 Acres, more or less

A signature block for Weber-Morgan Health Department conforming to state code and county ordinance. Weber-Morgan Health Department: I hereby certify that the soils, percolation rates, and site conditions for this subdivision have been investigated by this office and are approved for on-site wastewater disposal systems. Signed this ___ day of _____, 20__.

Director, Weber-Morgan Health Department WCO 106-1-8(c)(1)h.11

WEBER COUNTY SURVEYOR

I hereby certify that the Weber County Surveyor's Office has reviewed this plat and all conditions for approval by this office has been satisfied. The approval for this plat by the Weber County Surveyor does not relieve the Licensed Land Surveyor who executed this plat from the responsibilities and/or liabilities associated therewith.

Signed this _____, day of ______, 2020.

Weber County Surveyor

I have examined the financial guarantee and other

The Map shall contain a written narrative. WCO

lines were established. UCA 17-23-17(4)(a)(ii)

The narrative explains and identifies the found

established or reestablished lines. UCA

monuments or deed elements that controlled the

The written narrative shall contain the documentary,

location of the lines of the survey. WCO 45-3-4(a).

boundary establishment utilized in establishing the

location of the lines of the survey. WCO 45-3-4(b).

etc. the survey narrative shall indicate what

parole, and tangible evidence used in establishing the

The written narrative shall contain the legal principles of

If the survey abuts or references a public or private right of way, subdivision, utility corridor, railroad, canal, river,

documentary, parole, and tangible evidence was used

and which legal principles of boundary establishment were used to re-establish the location of said features.

The narrative explains and identifies the purpose of the

The narrative explains and identifies the basis on which

106-1-8(c)(1)k.; UCA 17-23-17(4)(a)

survey. UCA 17-23-17(4)(a)(i)

17-23-17(4)(a)(iii)

WCO 45-3-4(a).

documents associated with this subdivision plat, and in my opinion they conform with the County Ordinance applicable thereto and now in force and Signed this _____ day of _____

WEBER COUNTY ATTORNEY

I hereby certify that the required public improvement standards and drawings for this subdivision conform with County standards and the amount of the financial quarantee is sufficient for the installation of these improvements. Signed this _____, 2020 Weber County Attorney

Weber County Engineer

WEBER COUNTY ENGINEER

WEBER COUNTY COMMISSION ACCEPTANCE

This is to certify that this subdivision plat, the dedication of streets and other public ways and financial guarantee of public improvements associated with this subdivision, thereon are hereby approved and accepted by the Commissioners of Weber County, Utah this _____, day of ________, 2020.

Chairman,	Weber	County	Commission
Attest:			
Title:			

WEBER COUNTY PLANNING COMMISSION APPROVAL

was					subdivisio r County	
	miśsion.'	,			,	9
	Signed i	his	_ da	y of		
2020	o.			•		

Chairman, Weber County Planning Comission

Great Basin Engineering Inc c/o Andy Hubbard 5746 South 1475 East Suite 200 Ogden, Utah 84405 (801) 394-4515

DEVELOPER: Nordic Valley Partners, LLC c/o Brandon Janis 562 South 1100 West Farmington, Utah 84025 (281) 250-4047 brandonjanis@gmail.com

Sheet 1 of 2 WEBER COUNTY RECORDER FEE PAID __FILED FOR RECORD AND RECORDED_ _____ IN BOOK______ OF OFFICIAL RECORDS, PAGE____ _____. RECORDED WEBER COUNTY RECORDER

18N753 - AP



Hidden Brook Estates

A part of the Southwest Quarter of Section 33, T7N, R1E, SLB&M, U.S. Survey

Weber County, Utah

The existing location, widths, and other dimensions of all existing or platted streets or railroad lines within and immediately adjacent (within 30') to the tract of land to be subdivided.

The location, widths, and other dimensions of proposed public streets, private streets, private access rights of way, or alleys with proper labeling of spaces to be dedicated to public or designated as private. WCO 106-1-5(a)(7) WCO 106-1-5(a)(6) Check Bearing and dimension of platted street.

The existing location, widths, and other dimensions of all existing or platted land drains, culverts, watercourses, wetlands, streams corridor setbacks, flood plain within and immediately adjacent (within 30') to the tract of land to be subdivided.WCO 106-1-5(a)(6) Stream needs dimensioned

Legend

Monument to be set

Found Centerline Monument (Rad.) Radial Line (N/R) Non-Radial Line PUE Public Utility Easement Easement XXX Fence

---- Buildable Area

- Set Hub & Tack
- A will be set Nail in Curb ▲ @ Extension of Property
- Set 5/8"x 24" Long Rebar & Cap w/ Lathe

The words "Basis of Bearings" must be shown on the plat between two existing, described government monuments. WCO 106-1-8(c)(1)d.; UCA 17-23-17(3)(d)

NOTES

1. 10' wide Public Utility Easement as indicated by dashed lines, except as otherwise

2. Stream Protection Easement is 50.0' each side of the Centerline of the Stream, as determined and witnessed on the ground.

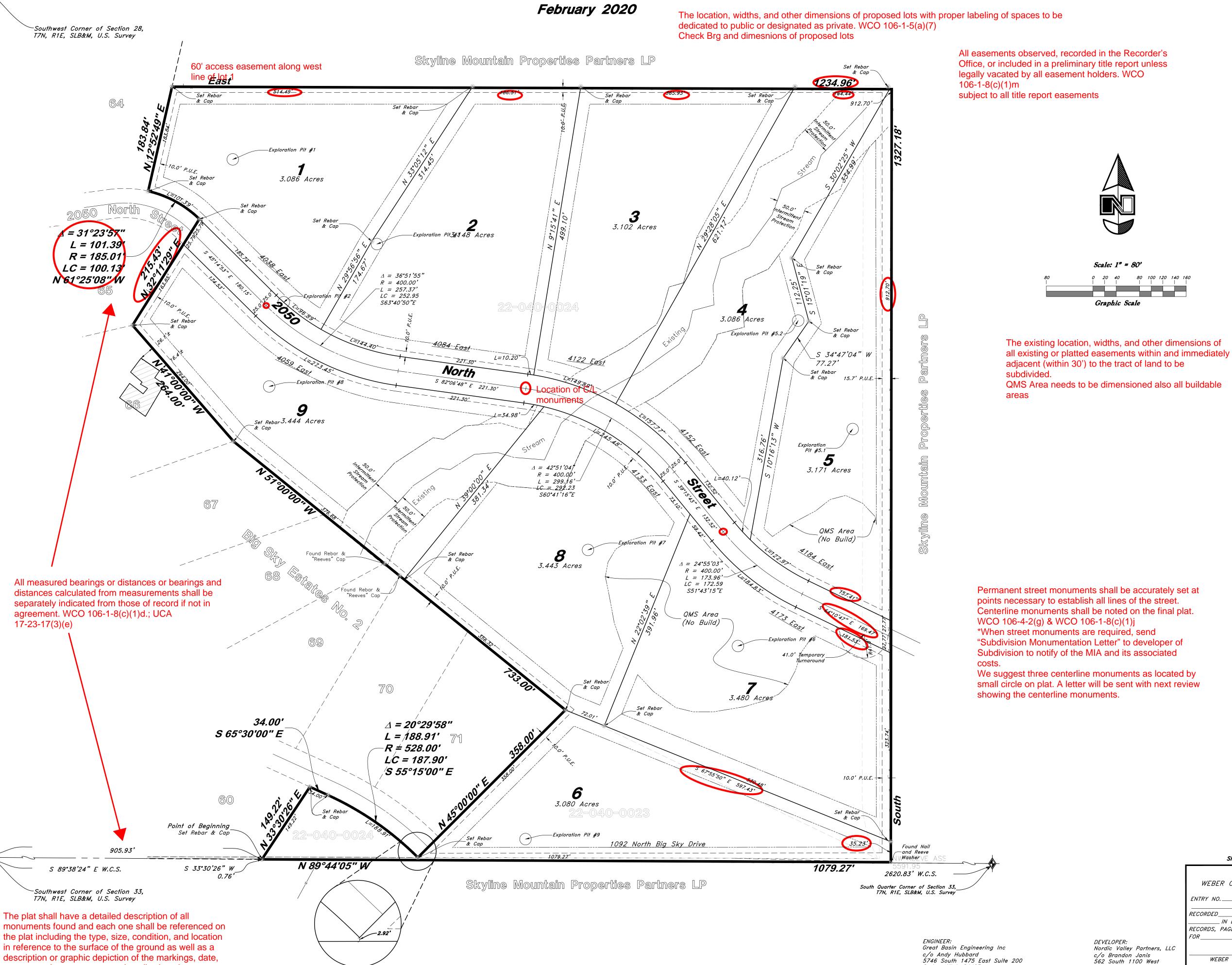
3. Developer and Contractor to follow recommendations outlined in Geotechnical Study prepared by Christensen Geotechnical.

4. No building shall be permitted within the QMS Area.

GREAT BASIN O ENGINEERING Z 5746 SOUTH 1475 EAST OGDEN, UTAH 84403 MAIN (801)394-4515 S.L.C (801)521-0222 FAX (801)392-7544 W W W . G R E A T B A S I N E N G I N E E R I N G . C O M

agency, entity, or surveyor as inscribed on the

monument. WCO 45-3-3(b)



18N753 - AP

ENTRY NO._

RECORDED_

Farmington, Utah 84025

brandonjanis@gmail.com

(281) 250-4047

Ogden, Utah 84405

(801) 394-4515

RECORDS, PAGE___

Sheet 2 of 2

WEBER COUNTY RECORDER

WEBER COUNTY RECORDER

FEE PAID

_FILED FOR RECORD AND

__ IN BOOK_______ OF OFFICIAL

- 1. All construction shall conform to Weber County standards and specifications. 2. All Construction on the Irrigation Line shall meet or exceed Hooper Irrigation Standards
- 3. All Construction on the Culinary Waterline to meet or Exceed Taylor West Weber Standards
- 4. Underground utility piping materials will meet or exceed Weber County Standards.
- 5. Culinary water services will be 3/4" Dia. C-900 DR14 PVC to be centered on the frontage and extended 10' beyond the right of way line.
- 6. 4" Sanitary sewer laterals to be constructed 10' down slope from the center of the lot and extended 10' beyond the right of way line.
- 7. 4" Land drain laterals to be constructed at the low corner of the lot and extended 10' bevond the right of way line.
- 4. Saw Cut Existing Asphalt to provide a smooth clean edge. 5. All Utility trenches within the Street right of way shall have a City approved imported
- 6. Thrust block all water line fittings.
- 7. All inlet grates shall be bicycle safe. 8. All fire hydrants and access roads shall be installed before prior to any construction of
- 9. All fire hydrants shall be placed with $4 \frac{1}{2}$ inch connections facing the point of access for the Fire Department Apparatus.
- 10. Prior to the beginning of construction of any buildings, a fire flow test of new hydrants shall be conducted to verify the actual fire flow for this project. The Fire Prevention Division shall witness this test and shall be notified a minimum of 48 hours prior to the
- 11. Fire flow for the subdivision shall be 1000 GPM.
- 12. A provided temporary address marker must be installed at the building site during 13. Roads and bridges shall be designed, constructed and maintained to support an imposed
- load of 75,000 lbs. 14. All roads shall be designed, constructed, surfaced and maintained so as to provide an
- all-weather driving surface. 15. Fire access roads for this project shall be completed and approved prior to any combustible construction. Temporary roads shall meet the same requirements for height, width and imposed loads as permanent roads.
- 16. All required fire hydrants and water systems shall be installed, approved and fully functional prior to any combustible construction.
- 17. All ADA Ramps are to meet APWA Plan 235.1. Example B with Truncated Dome, arev in
- 18. If any existing subsurface drainage encountered during the construction, the contractor will be required to connect into existing land drain or storm drain system.

1. Coordinate all utility connections to building with plumbing plans and building

- 2. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
- 3. All catch basin and inlet box grates are to be bicycle proof.
- 4. All inlet boxes located in curb and gutter are to be placed parallel to the curb and gutter and set under the frame and grate. Improperly placed boxes will be removed and replaced at no additional cost to the owner. Precast or cast in place boxes are acceptable.
- 5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
- 6. Gas lines, telephone lines, and cable TV lines are not a part of these plans unless otherwise noted.
- 7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
- 8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible to construct any vertical adjustments necessary to clear sewer, storm drain or other utilities as necessary including
- valve boxes and hydrant spools to proper grade. 9. Field verify all existing and/or proposed Roof Drain/Roof Drain down spout connections to Storm Water System with Civil, Plumbing & Architectural plans. Notify Engineer of any discrepancies.
- 10. All gravity flow utility lines shall be installed prior to any pressurized utilities unless written permission is obtained from the engineer of record before

UTILITY PIPING MATERIALS:

All piping to be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

CULINARY SERVICE LATERALS

1. Culinary service laterals need to be 1" CTS poly with a 14 gauge tracing wire along service line from Main to Property line.

WATER MAIN LINES AND FIRE LINES

1. Pipe material as shown on utility plan view or to meet Taylor West Weber Standards and Specifications.

SANITARY SEWER LINES

- 1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D 3034, Type
- 2. All sewer lines to be marked with marking tape per Weber County Standards.

STORM DRAIN LINES

- 1. 15" to 21" pipes Concrete Pipe, ASTM C14, Class III up to 13' of cover. For greater than 13' feet of cover, use reinforced concrete pipe and classes listed below.
- 2. 24" pipes or larger Reinforced Concrete Pipe, ASTM C76, Class III up to 13' of cover, Class IV for 13' to 21' of cover, Class V for 21' to 32' of cover, and Special Design for cover greater than 32 feet.

NATURAL GAS SERVICE LATERALS (DOMINION ENERGY)

- 1. PLASTIC PIPING MATERIAL: Plastic polyethylene pipe materials and compression couplings must be approved for natural gas applications and must be installed underground. All plastic pipe and fittings must conform to ASTM D2513 (60 psi and above high density pipe approved 3408).
- 2. Plastic pipe must be joined by individuals qualified in the heat fusion method of connecting pipe and fittings or approved mechanical fittings. A minimum number 18 insulated yellow copper tracer wire shall be installed with underground nonmetallic gas piping and shall terminate above grade at each end. Tracer wire shall not come in contact with plastic piping.
- 3. Risers and prefabricated risers inserted with plastic pipe shall conform to ASTM D2513, shall be metallic, have a space of 10 inches from the bottom of the service valve and grade, and shall be wrapped or coated to a point at least 6 inches above grade or protected in an approved manner. When a riser connects underground to plastic pipe, the underground horizontal metallic portion of the riser shall extend at least 12 inches before connecting to the plastic pipe by means of an approved transition fitting, adapter or heat fusion.
- 4. Plastic pipe used underground for customer fuel lines must be approved polyethylene material and be buried a minimum of 12 inches. It shall not be used inside buildings or above ground. PVC (Polyvinyl Chloride) is not approved for piping systems in Questar Gas's service area. Individual gas lines (metallic or plastic) to single outside appliance (outside lights, grilles, etc.) shall be installed a minimum of 8 inches below arade, provided such installation is approved and installed in locations not susceptible to physical damage.

Hidden Brook Estates

LEGEND

-- UGT-- Buried Telephone line - -OHT- - Overhead Telephone line -- OHP-- Overhead Power line

— — S— — Sanitary Sewer line — —W— — Culinary Water line

— —SW— — Secondary Waterline

XXX Fence Power Meter
Power Pole

Water Meter

Power Meter

Telephone Box

Sewer Manhole

Drain Manhole

Water Manhole Cleanout Box

Top of Asphalt

Edge of Asphali

Natural Ground

Telephone Pole Fire Hydrant

Flowline of Ditch

Top of Slope Cleanout Fence Flowline Drain Manhole

Spot Elevation

Contour

Asphalt

Concrete

Catch Basin

Retaining Wall

Sewer Manhole

Water Valve Catch Basin Diversion Box

Top of Curb

Building Corner Fire Hydrant

Naturál Ground

Power Pole w/guy

Deciduous Tree

Coniferous Tree

Landscaping

CAUTION NOTICE TO CONTRACTOR

utilities as shown on these plans are based on records of the various utility companies

at least 48 hours before any excavation to request exact field location of utilities. It

shall be the responsibility of the contractor to relocate all existing utilities which

conflict with the propose improvements shown on the plans.

negligence of the owner or the engineer.

and, where possible, measurements taken in the field. The information is not to be relied

on as being exact or complete. The contractor must call the appropriate utility company

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

normal working hours; and that the contractor shall defend, indemnify, and hold the owner

The Contractor agrees that he shall assume sole and complete responsibility for job site

and the engineer harmless from any and all liability, real or alleged, in connection with

the performance of work on this project, excepting for liability arising from the sole

conditions during the course of construction of this project, including safety of all persons and property: that this requirement shall apply continuously and not be limited to

The contractor is specifically cautioned that the location and/or elevation of existing

Area Reference Plat

Building Columns

Water Valve Light Pole

Sidewalk Gas line Markei

Corrugated Metal Pipe

Reinforced Concrete Pipe

Building

Lip of Gutter Service Pole

Light Pole

Power Pole

Gas Meter

Irrigation Waterline

--SD-- Storm Drain line

- -LD- - Land Drain line

———— Centerline

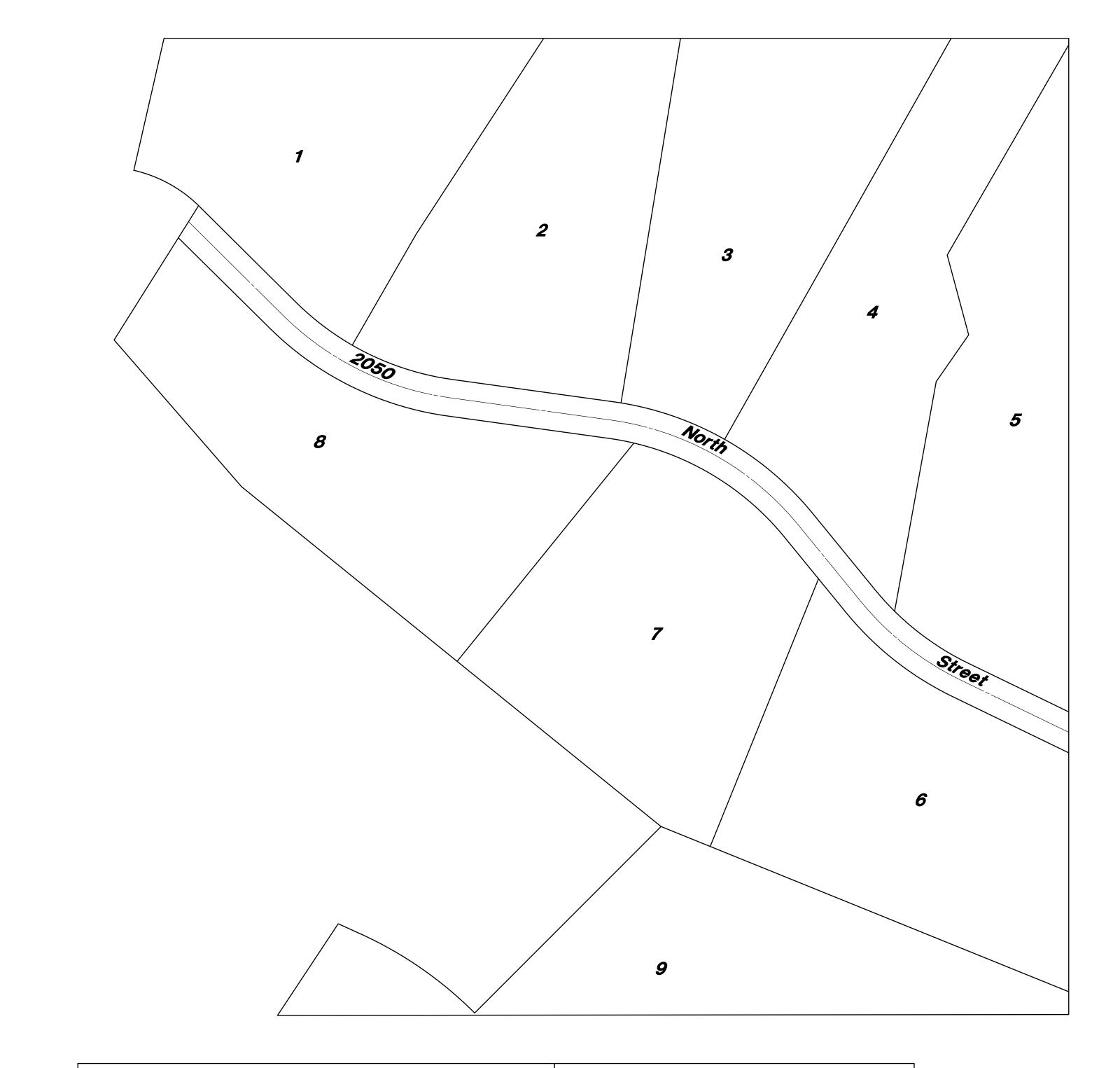
− −G− − Gas lińe

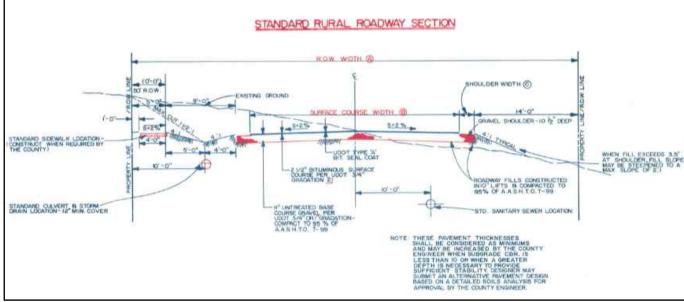
PM

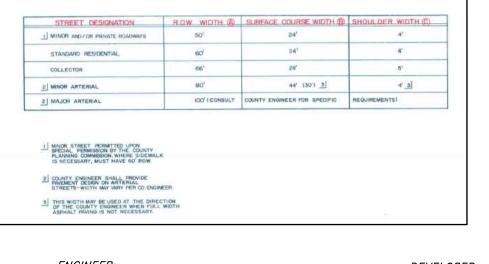
x99.00

R.C.P. CONC RWALL SMH WV

A part of the Southwest Quarter of Section 33, T7N, R1E, SLB&M, U.S. Survey Weber County, Utah February 2020







Great Basin Engineering Inc c/o Andy Hubbard 5746 South 1475 East Suite 200 Ogden, Utah 84405 (801) 394-4515

DEVELOPER: Nordic Valley Partners, LLC c/o Brandon Janis 562 South 1100 West Farmington, Utah 84025 (281) 250-4047 brandonjanis@gmail.com

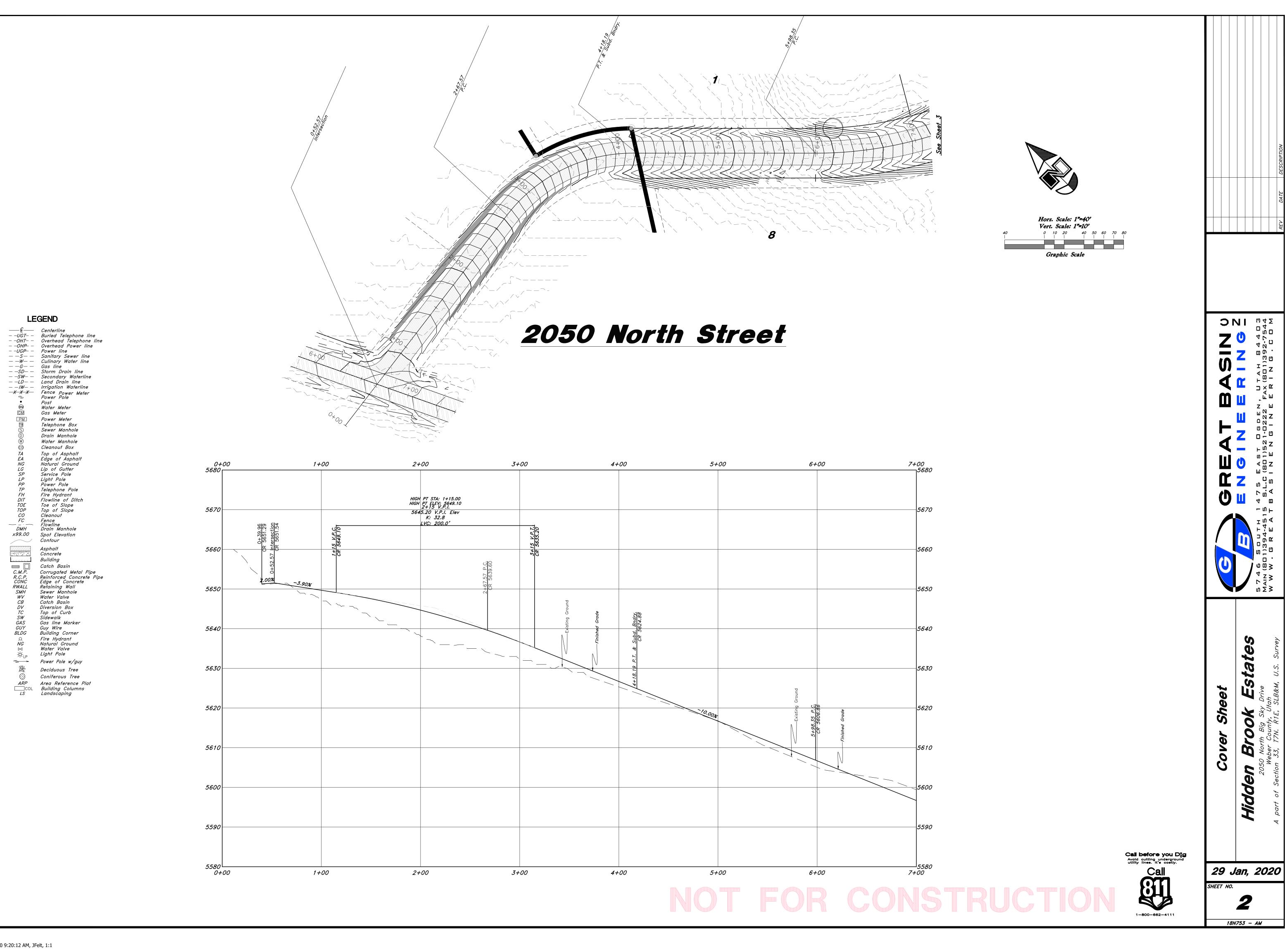
Call before you Dig Avoid cutting underground utility lines. It's costly.

W:\18N753 - Janis\Drawings\18N753 - AM.dwg, 2/3/2020 9:20:10 AM, JFelt, 1:1

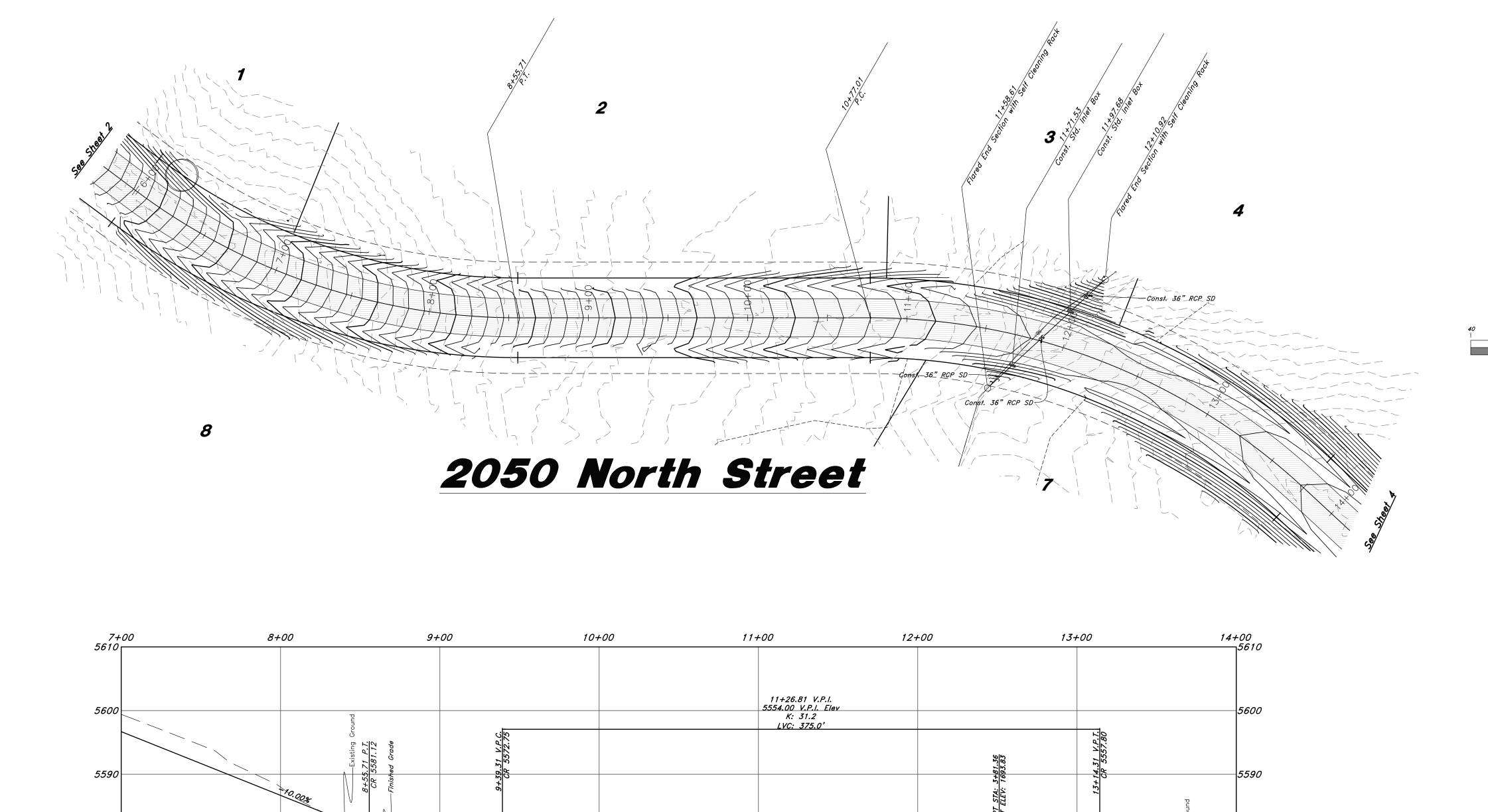
ta Ta S Ø Sh OX

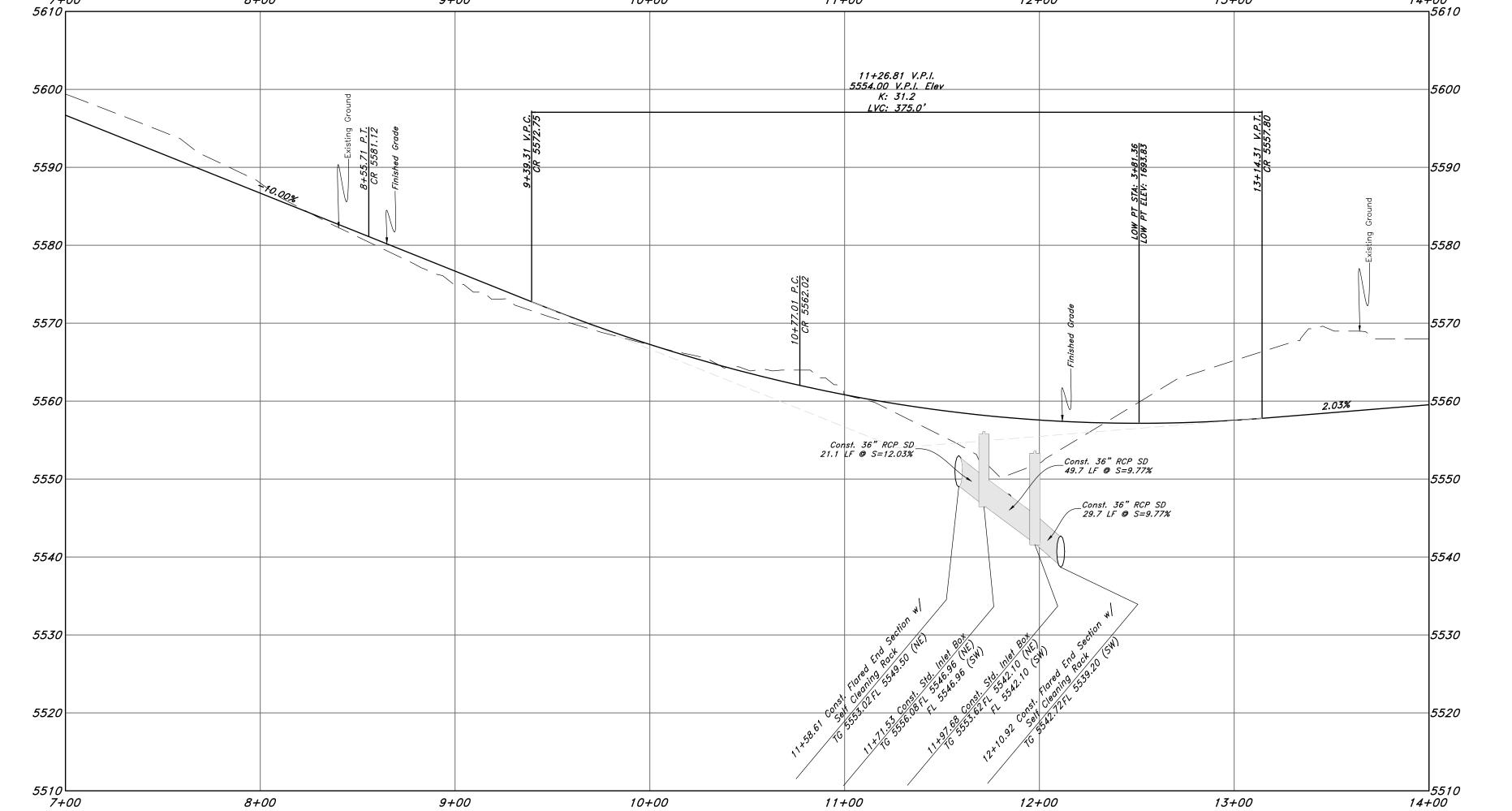
29 Jan, 2020

18N753 - AM



W:\18N753 - Janis\Drawings\18N753 - AM.dwg, 2/3/2020 9:20:12 AM, JFelt, 1:1





STRUCTION



Horz. Scale: 1"=40' Vert. Scale: 1"=10'

Graphic Scale

Sheet

OK Estates

ig Sky Drive
nty, Utah
R1E, SLB&M, U.S. Survey

lidden Brook
2050 North Big Sky
Weber County, Ut

29 Jan, 2020

SHEET NO.

3

18N753 - AM

LEGEND

Gas Meter Power Meter Telephone Box Sewer Manhole Drain Manhole

Water Manhole Cleanout Box Top of Asphalt Edge of Asphalt Natural Ground

Light Pole Power Pole Telephone Pole

Fire Hydrant
Flowline of Ditch
Toe of Slope
Top of Slope
Cleanout
Fence
Flowline
Drain Manhole
Spot Elevation

Catch Basin
Corrugated Metal Pipe
Reinforced Concrete Pipe
Edge of Concrete
Retaining Wall
Sewer Manhole
Water Valve
Catch Basin
Diversion Box
Top of Curb
Sidewalk

Asphalt Concrete Building

Sidewalk Gas line Marker Guy Wire Building Corner

Fire Hydrant Natural Ground Water Valve

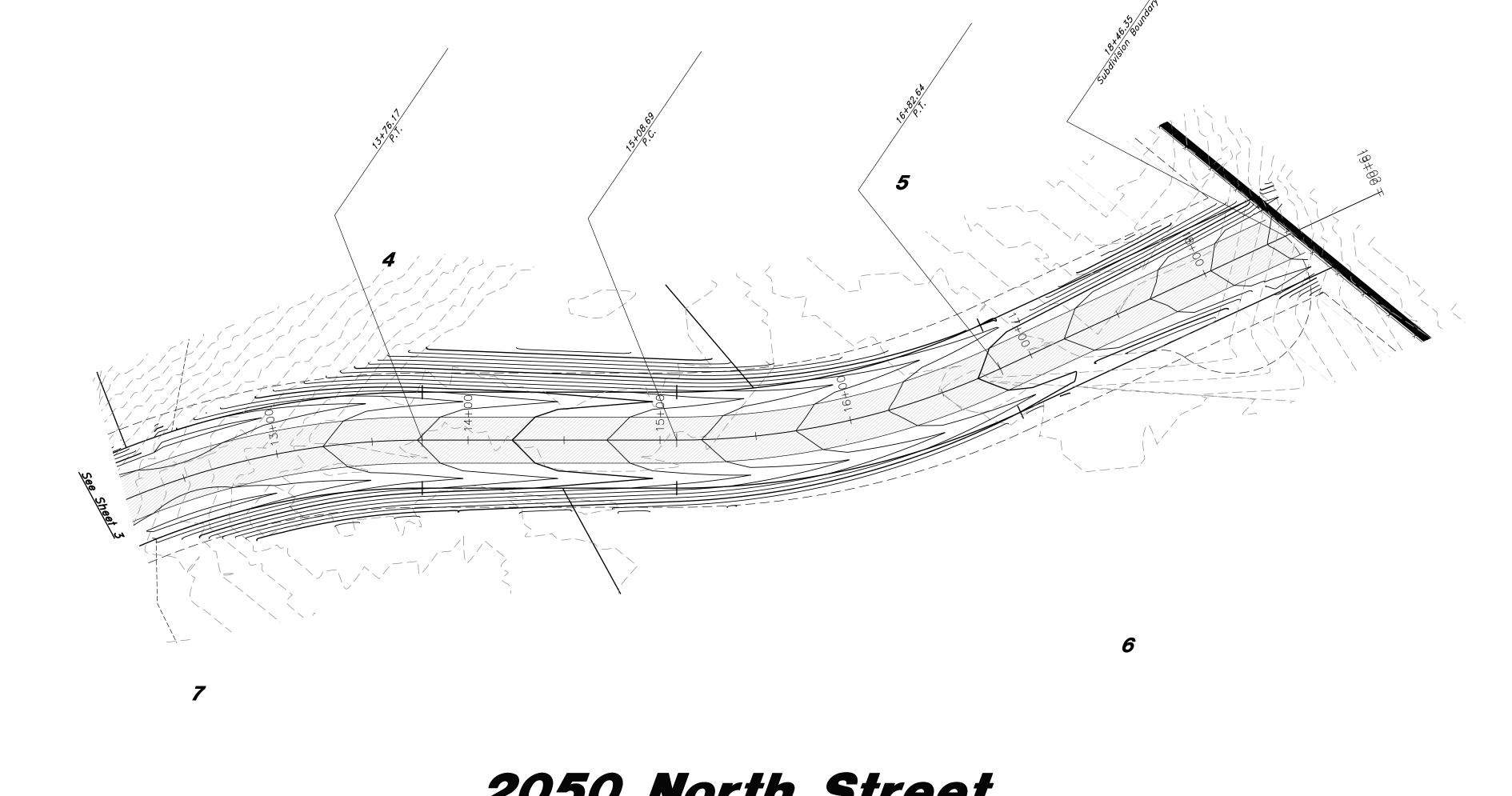
Deciduous Tree Coniferous Tree

Area Reference Plat Building Columns Landscaping

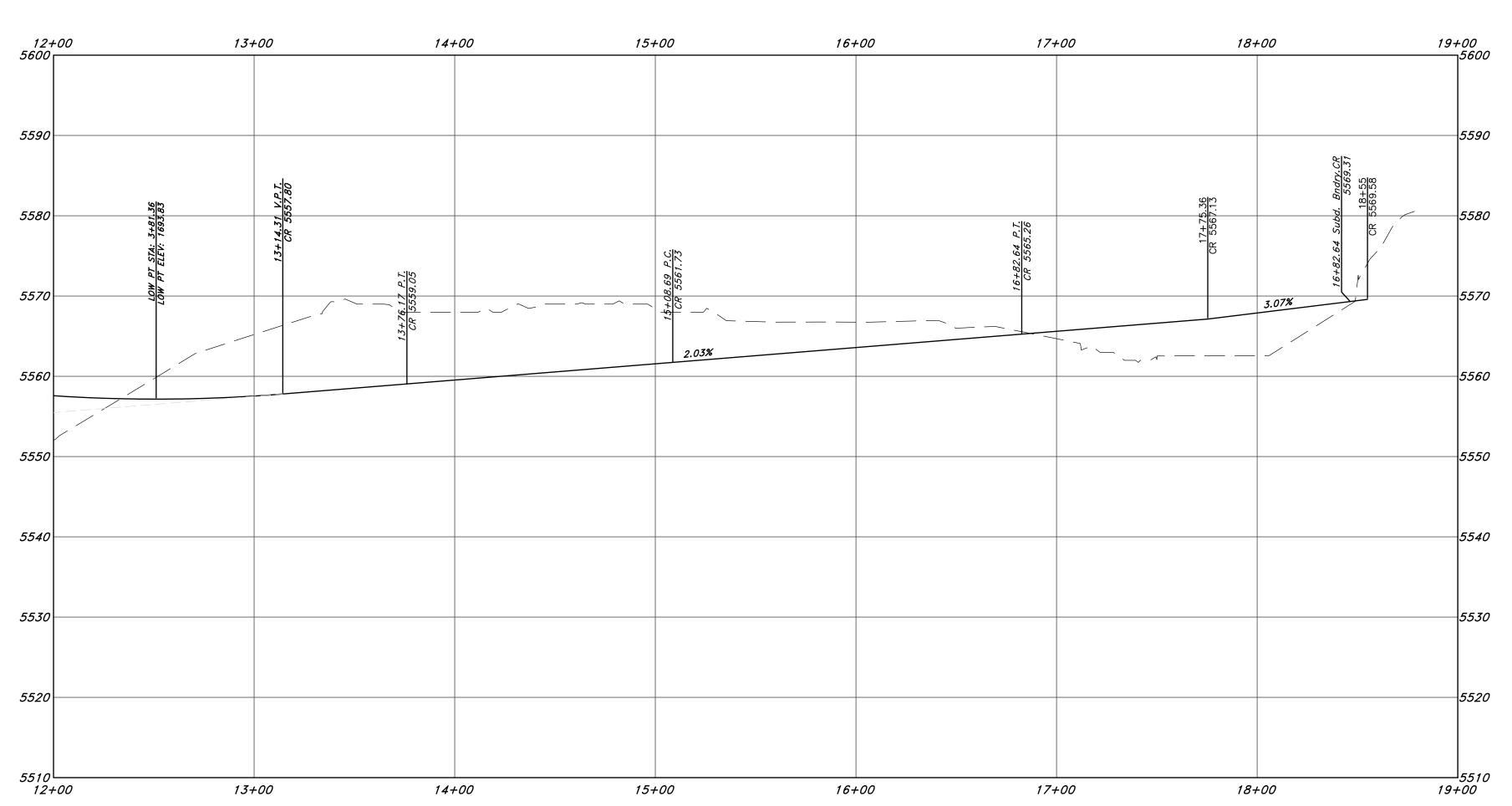
Light Pole Power Pole w/guy

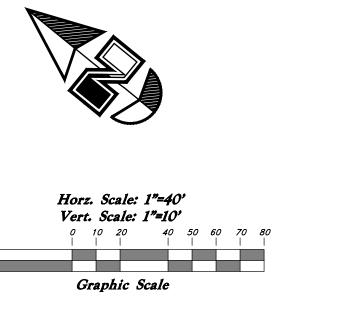
FH DIT TOE TOP CO FC DMH x99.00

C.M.P.
R.C.P.
CONC
RWALL
SMH
WV
CB
DV
TC
SW
GAS
GUY
BLDG



2050 North Street









29 Jan, 2020



LEGEND

—— ← Centerline

- -UGT- Buried Telephone line

- -OHT- Overhead Telephone line

- -OHP- Overhead Power line

- -UGP- Power line

- -S- Sanitary Sewer line

- -W- Culinary Water line

- -G- Gas line

Gas Meter Power Meter Telephone Box Sewer Manhole Drain Manhole

Water Manhole Cleanout Box Top of Asphalt Edge of Asphalt Natural Ground Lip of Gutter Service Pole

Light Pole Power Pole Telephone Pole Fire Hydrant

Fire Hydrant
Flowline of Ditch
Toe of Slope
Top of Slope
Cleanout
Fence
Flowline
Drain Manhole
Spot Elevation
Contour

Building
Catch Basin
Corrugated Metal Pipe
Reinforced Concrete Pipe
Edge of Concrete
Retaining Wall
Sewer Manhole
Water Valve
Catch Basin
Diversion Box
Top of Curb
Sidewalk

Gas line Marker

Fire Hydrant Natural Ground Water Valve

Power Pole w/guy Deciduous Tree Coniferous Tree

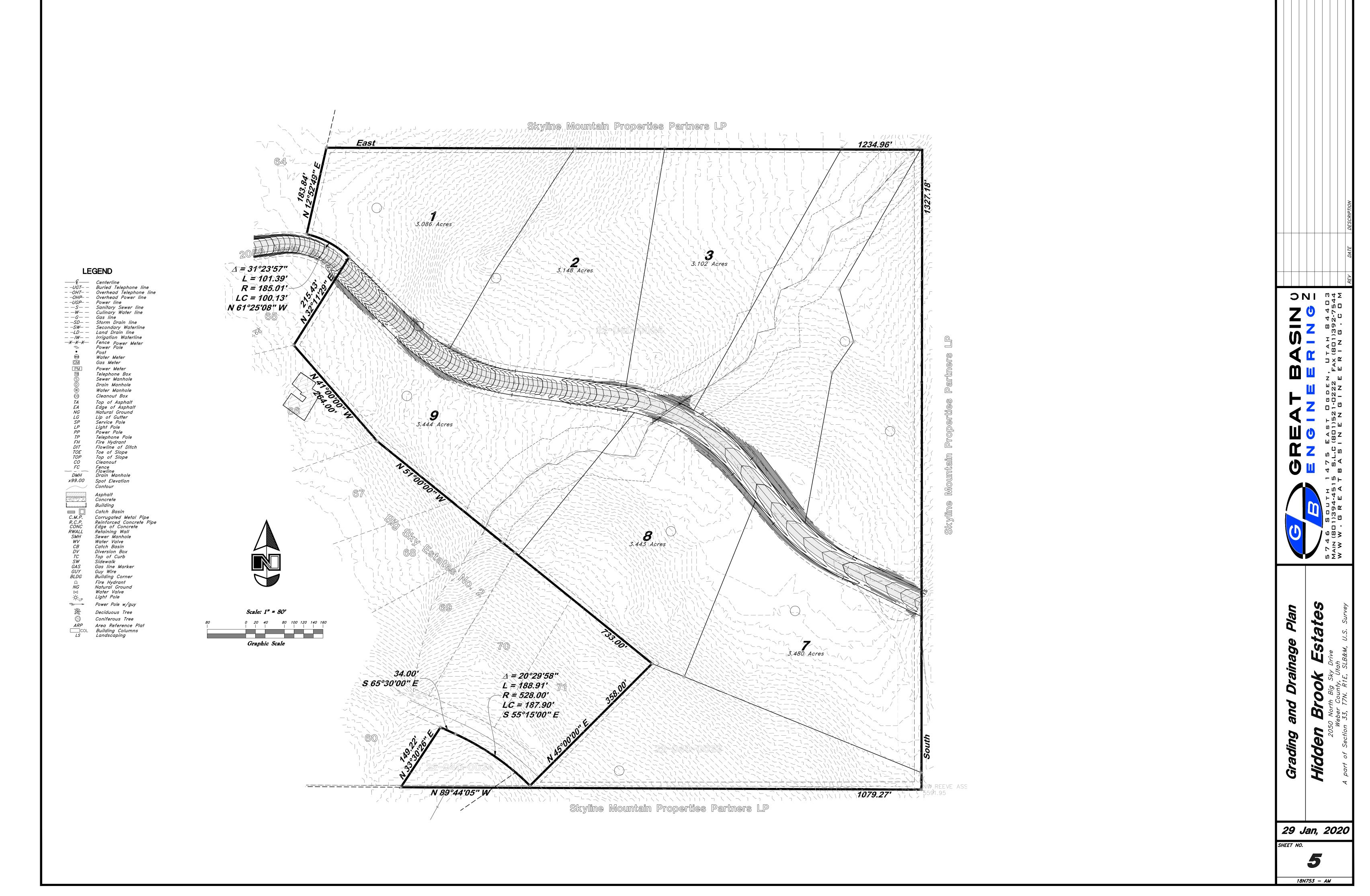
Area Reference Plat Building Columns Landscaping

Light Pole

Asphalt Concrete Building

FH DIT TOE TOP CO FC DMH x99.00

C.M.P.
R.C.P.
CONC
RWALL
SMH
WV
CB
DV
TC
SW
GAS
GUY
BLDG



W:\18N753 - Janis\Drawings\18N753 - AP.dwg, 2/3/2020 9:20:36 AM, JFelt, 1:1