

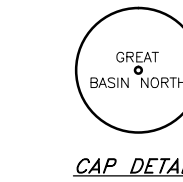
North View Holdings LLC Subdivision

A part of the Southeast 1/4 of Section 25, T7N, R2W, SLB&M, U.S. Survey

Weber County, Utah

May 2013

LEGEND



CAP DETAIL

A 5/8"Ø rebar 24" long with plastic cap (see detail above) was set at all property corners as shown.

● Set 5/8"Ø Rebar (24" long) & Cap w/Fencepost

◆ Found Section corner

◇ Not found Section corner

OWNER'S DEDICATION
We, the undersigned owners of the herein described tract of land, do hereby set apart and subdivide the same into lots and streets as shown hereon and name said tract North View Holdings LLC Subdivision and do hereby; and do also dedicate, to public use all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares, and also grant and dedicate a perpetual right and easement over, upon and under the lands designated hereon as public utility and drainage easements the same to be used for the installation, maintenance and operation of public utility service lines, storm drainage facilities, irrigation canals or for the perpetual preservation of water channels in their natural state whichever is applicable as may be authorized by the governing authority, with no buildings or structures being erected within such easements, and also grant and dedicate an easement over, upon and under the lands designated hereon as a 10' wide storm drainage easement to the owners, assigns and heirs of the M&M Storage LLC Property, the same to be used for the installation, maintenance and operation of storm drainage facilities, as may be authorized by said owners, assigns and heirs.
Signed this _____ day of _____, 2013.

North View Holdings LLC

Paul Mackley, Trustee

SURVEYOR'S CERTIFICATE

I, Mark Babbitt, do hereby certify that I am a Registered Professional Land Surveyor in the State of Utah, and that I hold Certificate No. 166484 in accordance with Title 58 Chapter 22, Professional Engineers and Land Surveyors Licensing Act. I also do hereby certify that the North View Holdings LLC Subdivision in Weber County, Utah has been correctly drawn to the designated scale and is a true and correct representation of the following description of lands included in said subdivision, based on data compiled from records in the Weber County Recorder's Office, and of a survey made on the ground in accordance with Section 17-23-17. Monuments have been set as shown on this drawing.

I also certify that all the lots within the North View Holdings LLC Subdivision meet all applicable statutes and ordinance requirements of Weber County Zoning regarding measurements.
Signed this _____ day of _____, 2013.

166484

License No.

Mark Babbitt

BOUNDARY DESCRIPTION

A part of the Southeast quarter of Section 25, Township 7 North, Range 2 West, Salt Lake Base and Meridian, U.S. Survey:

Beginning at a point on the North Boundary Line of Mountain View Landing Commercial Subdivision which is 1002.13 feet North 89°34'13" West and 797.04 feet Due North from the Southeast corner of said Section 25 and running thence North 0°25'47" East 156.38 feet; thence North 89°54'29" East 398.63 feet to the West right of way line of U.S. Highway 89, 91 & 30; thence along said West right of way line the following two (2) courses: Southeasterly along the arc of a 11519.20 foot radius curve to the left a distance of 48.30 feet (Central Angle equals 0°14'25" and Long Cord bears South 30°32'19" East 48.30 feet), South 33°53'37" East 138.07 feet to the North Boundary Line of Mountain View Landing Commercial Center PUD in Weber County Utah; thence South 89°54'29" West 501.34 feet along said North Boundary and the north boundary of said Mountain View Landing Commercial Subdivision to the point of beginning.
Contains 1.611 Acres

ACKNOWLEDGMENT

State of Utah } ss
County of _____

On the _____ day of _____, 2013, personally appeared before me, the undersigned Notary Public, the signers of the above Owner's Dedication, three, in number, who duly acknowledged to me they signed it freely and voluntarily and for the purposes therein mentioned.

Residing At: _____ A Notary Public commissioned in Utah

Commission Expires: _____ Print Name

NARRATIVE:

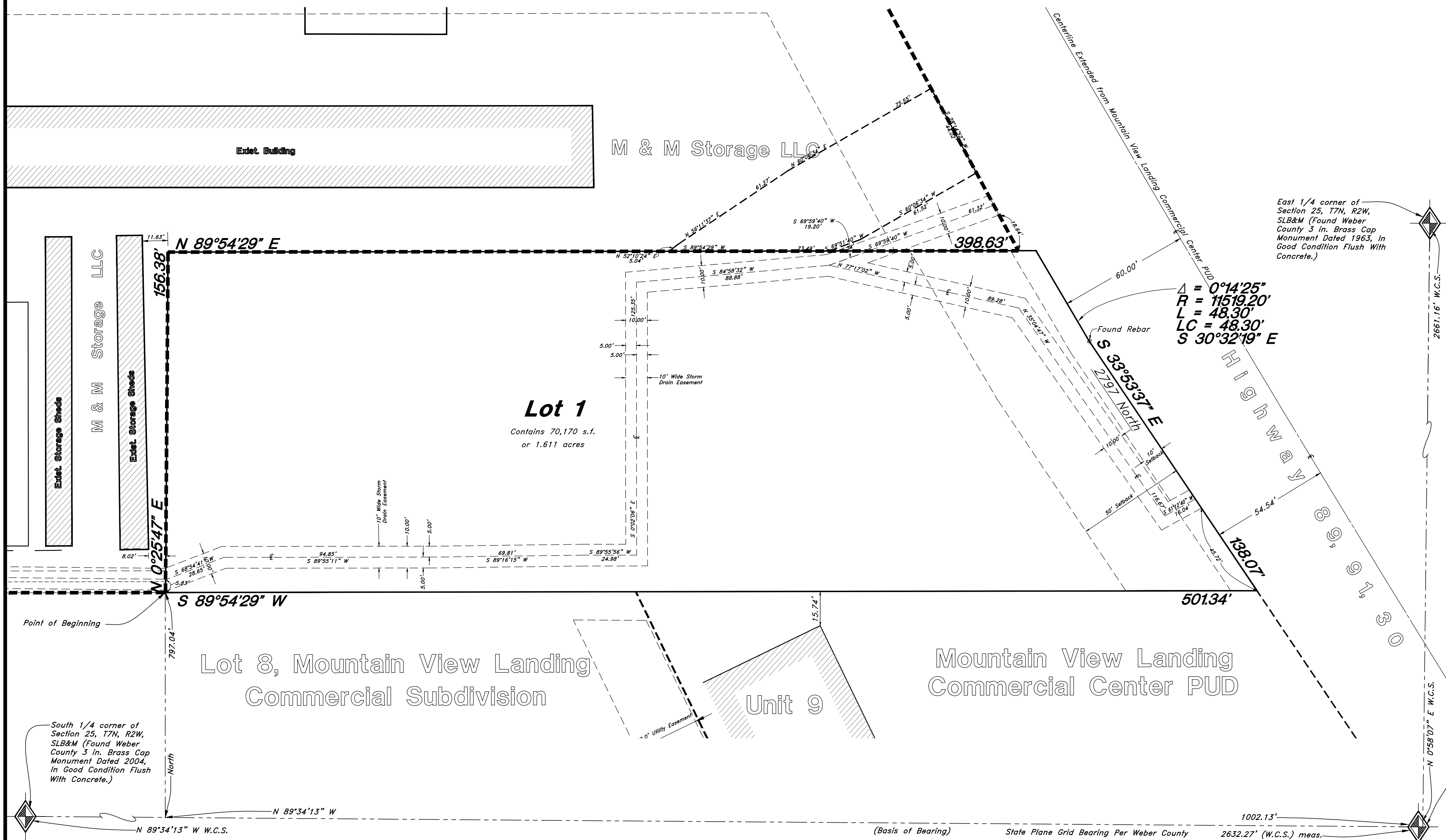
This plat was requested by Mr. Paul Mackley for the purpose of subdividing this property into (1) lot.

Brass Cap Monuments were found at the East 1/4 corner, the Southeast corner and the South 1/4 corner of Section 25, T7N, R2W, SLB&M, U.S. Survey.

A rebar with no cap was found at the P.C. along the East property line. Its location was checked and used as the P.C. of the property line.

A line bearing N 89°34'13" W between the Southeast corner and the South 1/4 corner was used as the basis of bearings. Property corners were set as shown on this subdivision plat.

Developer: Paul Mackley
Mailing Address:
1650 North Mountain Road
North Ogden, UT 84404



WEBER COUNTY ENGINEER

I hereby certify that the required public improvement standards and drawings for this subdivision conform with County standards and the amount of the financial guarantee is sufficient for the installation of these improvements.
Signed this _____ day of _____, 2013.

Signature

WEBER COUNTY COMMISSION ACCEPTANCE

This is to certify that this subdivision plat, the dedication of streets and other public ways and financial guarantee of public improvements associated with this subdivision, thereon are hereby approved and accepted by the Commissioners of Weber County, Utah this _____ day of _____, 2013.

Attest _____
Chair, Weber County Commission

WEBER COUNTY ATTORNEY

I have examined the financial guarantee and other documents associated with this subdivision plat and in my opinion they conform with the County Ordinance applicable thereto and now in force and effect.
Signed this _____ day of _____, 2013.

Signature

WEBER COUNTY SURVEYOR

I hereby certify that the Weber County Surveyor's Office has reviewed this plat for mathematical correctness, section corner data, and for harmony with the lines and monuments on record in the County offices. The approval of this plat by the Weber County Surveyor does not relieve the Licensed Land Surveyor who executed this plat from the responsibilities and/or liabilities associated therewith.
Signed this _____ day of _____, 2013.

Signature

WEBER COUNTY PLANNING COMMISSION APPROVAL

This is to certify that this subdivision plat was duly approved by the Weber County Planning Commission on the _____ day of _____, 2013.

Signature

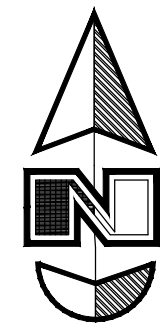
WEBER-MORGAN HEALTH DEPARTMENT

I hereby certify that the soils, percolation rates, and site conditions for this subdivision have been investigated by this office and are approved for on-site wastewater disposal systems.
Signed this _____ day of _____, 2013.

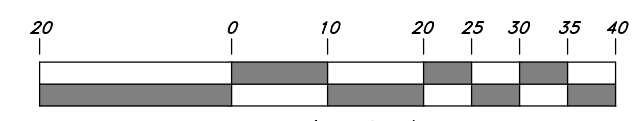
Signature

GREAT BASIN ENGINEERING NORTH
CONSULTING ENGINEERS AND SURVEYORS
5746 South 1475 East - Suite 200
Ogden, Utah 84403
P.O. Box 150048, Ogden, Utah 84415
Ogden (801)394-4515 Salt Lake City (801)521-0222 Fax (801)392-7544

WEBER COUNTY RECORDER
ENTRY NO. _____ FEE PAID _____
RECORDED _____ FILED FOR RECORD AND _____ AT _____
RECORDS, PAGE _____ OF OFFICIAL RECORDS, PAGE _____ RECORDED FOR _____
WEBER COUNTY RECORDER
BY: _____ DEPUTY



Scale: 1" = 20'



General Site Notes:

1. Stalls designated as handicap will require a painted handicap symbol. (See Details)
2. Fire lane markings and signs to be installed as directed by the Fire Marshall.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. See Horizontal Control plan for coordinates, radiuses and detailed dimensions of site improvements.
5. Building sidewalks, ramps, and bollards are building contractor responsible items. See architectural plans.
6. All dimensions are to back of curb unless otherwise noted.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
 The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

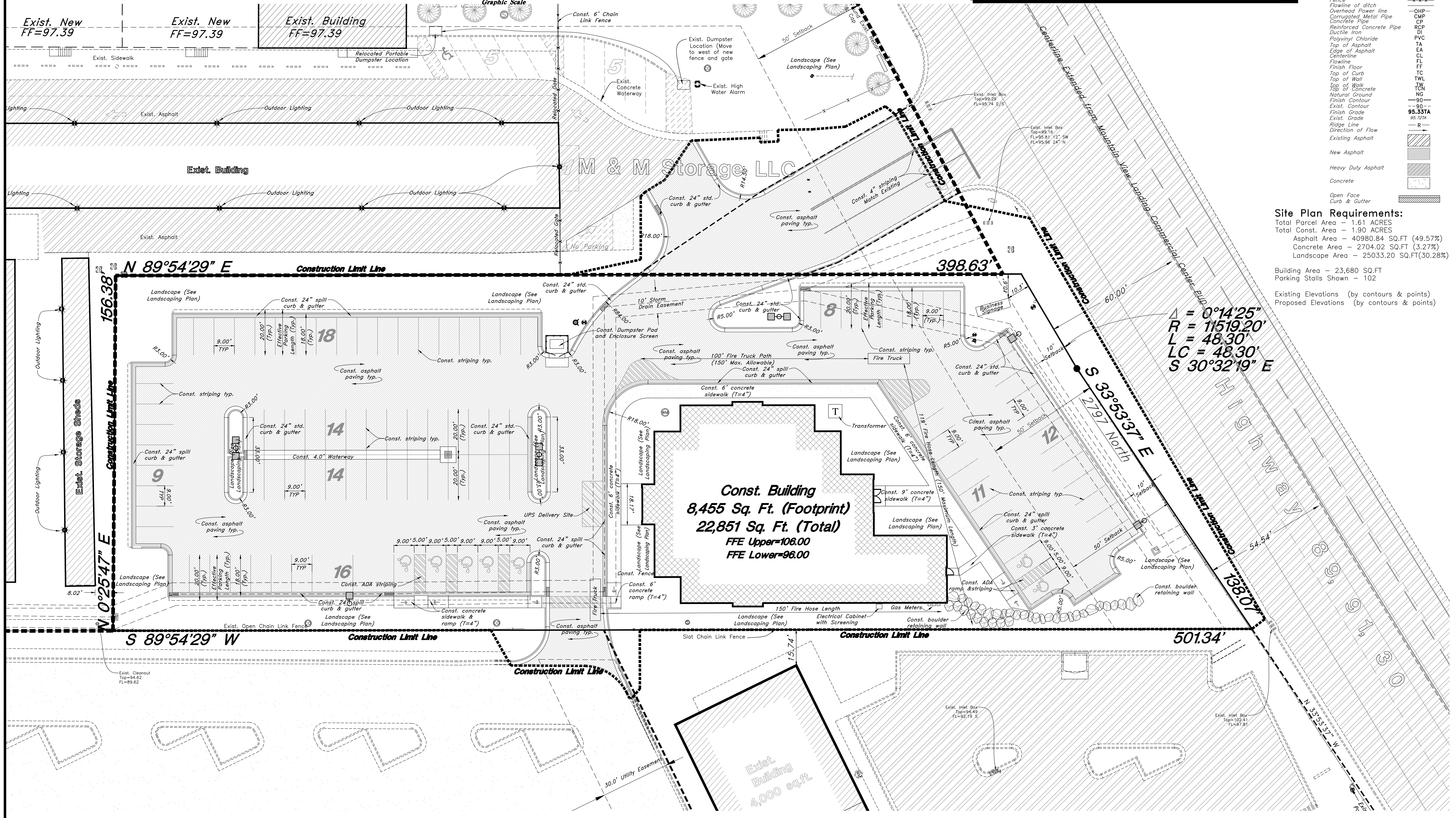
Legend

- (Note: All items may not appear on drawing)
- San. Sewer Manhole
 - Water Manhole
 - Storm Drain Manhole
 - Electrical Manhole
 - Catch Basin
 - Exist. Fire Hydrant
 - Fire Hydrant
 - Exist. Water Valve
 - Water Valve
 - Sanitary Sewer
 - Culinary Sewer
 - Gas Line
 - Irrigation Line
 - Storm Drain
 - Telephone Line
 - Secondary Waterline
 - Power Line
 - Fire Line
 - Land Drain
 - Power pole
 - Power pole w/guy
 - Light Pole
 - Fence
 - Flowline of ditch
 - Overhead Power line
 - Corrugated Metal Pipe
 - Concrete Pipe
 - Reinforced Concrete Pipe
 - Ductile Iron
 - Polyvinyl Chloride
 - Top of Asphalt
 - Edge of Asphalt
 - Centerline
 - Flowline
 - Finish Floor
 - Top of Curb
 - Top of Wall
 - Top of Concrete
 - Natural Ground
 - Finish Contour
 - Exist. Contour
 - Finish Grade
 - Exist. Grade
 - Ridge Line
 - Direction of Flow
 - Existing Asphalt
 - New Asphalt
 - Heavy Duty Asphalt
 - Concrete
 - Open Face
 - Curb & Gutter

Site Plan Requirements:
 Total Parcel Area - 1.61 ACRES
 Total Const. Area - 1.90 ACRES
 Asphalt Area - 40980.84 SQ.FT (49.57%)
 Concrete Area - 2704.02 SQ.FT (3.27%)
 Landscape Area - 25033.20 SQ.FT(30.28%)

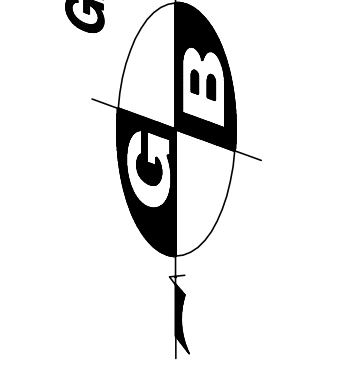
Building Area - 23,680 SQ.FT
 Parking Stalls Shown - 102

Existing Elevations (by contours & points)
 Proposed Elevations (by contours & points)



$\Delta = 0^{\circ}14'25''$
 $R = 11519.20'$
 $L = 48.30'$
 $LC = 48.30'$
 $S = 30^{\circ}32'19'' E$

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Site Plan
North View Holdings LLC
 2797 North Highway 89
 Ogden, Utah 84414

01 Feb, 2013
 SHEET NO.
CS1.01
 08N222

General Grading Notes:

- All work shall be in accordance with the City Public Works Standard.
- Cut slopes shall be no steeper than 2 horizontal to 1 vertical.
- Fill slopes shall be no steeper than 2 horizontal to 1 vertical.
- Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by the geotechnical engineer.
- Areas to receive fill shall be properly prepared and approved by the City inspector and geotechnical Engineer prior to placing fill.
- Fills shall be benched into competent material as per specifications and geotechnical report.
- All trench backfill shall be tested and certified by the site geotechnical engineer per the grading code.
- A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
- The final compaction report and certification from the geotechnical engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
- Dust shall be controlled by watering.
- The location and protection of all utilities is the responsibility of the permittee.
- Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading project.
- All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Clearing is to be done to the satisfaction of the city engineer.
- The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
- The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
- Aggregate base shall be compacted per the geotechnical report prepared for the project.
- Elevations shown on this plan are finish grades. Rough grades are the subgrades of the improvements shown herein.

- As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
 - Erosion Control: Protect all inlet boxes, catch basins, etc. with straw bales or other approved method to strain the storm water during construction. Protect surrounding properties and streets from site runoff with sandbags and earth berms.
- Curb and Gutter Construction Notes:**
- Open face gutter shall be constructed where drainage is directed away from curb.
 - Open face gutter locations are indicated by shading and notes on site and grading plan.
 - It is the responsibility of the surveyor to adjust top of curb grades at the line construction staking.
 - Refer to the typical details for a standard and open face curb and gutter for dimensions.
 - Transitions between open face and standard curb and gutter are to be smooth. Hand form these areas if necessary.

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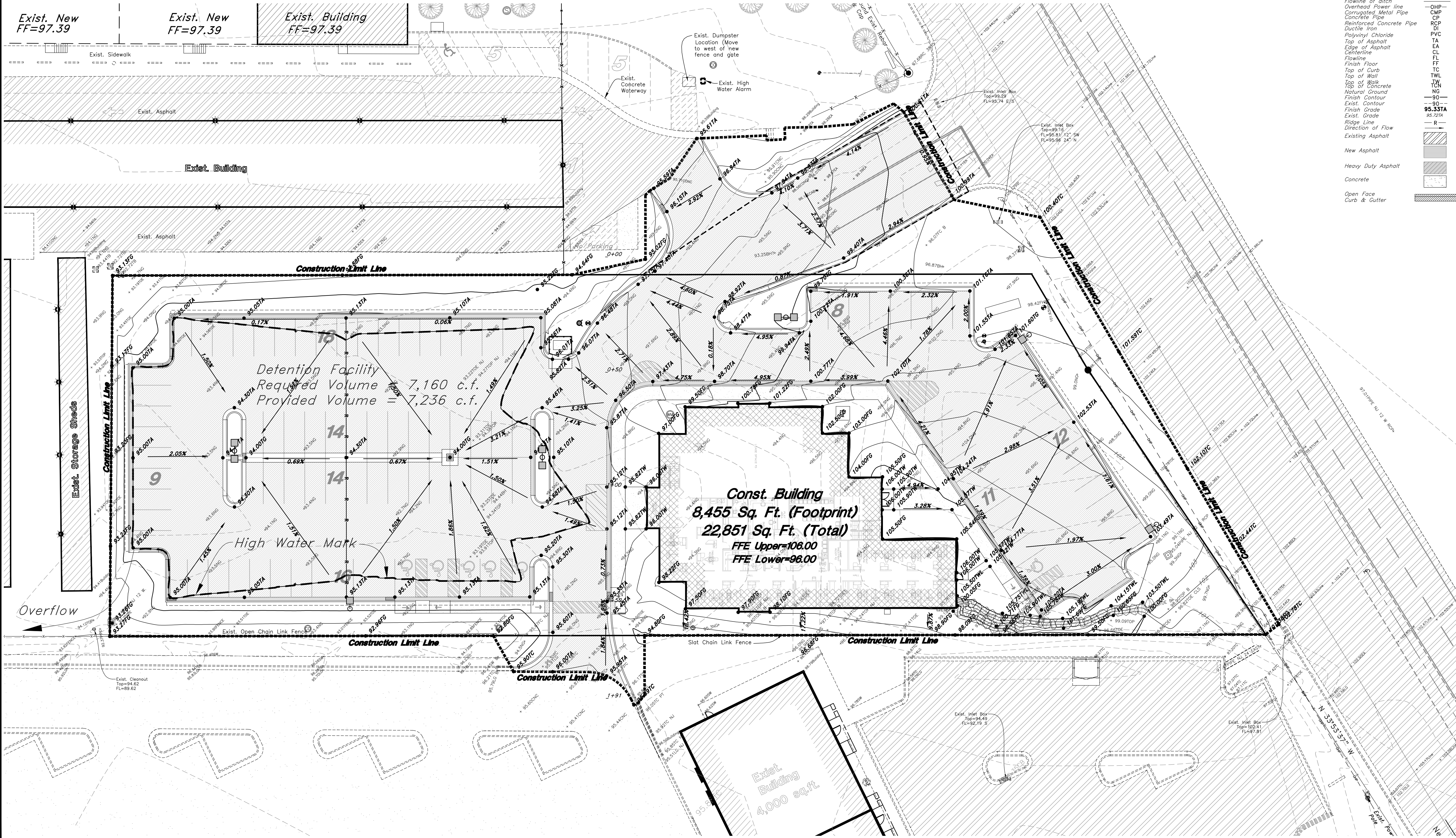
ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

Legend
(Note: All items may not appear on drawing)

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- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Concrete
- Natural Ground
- Finish Contour
- Exist. Contour
- Finish Grade
- Exist. Grade
- Ridge Line
- Direction of Flow
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Concrete
- Open Face Curb & Gutter

Scale: 1" = 20'

Graphic Scale



GREAT BASIN ENGINEERING NORTH
CONSULTING ENGINEERS AND ARCHITECTS
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Ogden, Utah 84403
P.O. Box 130048, Ogden, Utah 84415
Ogden (801)394-4915 Salt Lake City (801)351-0222 Fax (801)392-7544

Grading & Drainage Plan

North View Holdings LLC
2797 North Highway 89
Ogden, Utah 84414

01 Feb, 2013
SHEET NO.
CG1.01
08N222S4

General Utility Notes:

1. Coordinate all utility connections to building with plumbing plans and building contractor.
2. Verify depth and location of all existing utilities prior to constructing any new utility lines.
3. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
4. All catch basin and inlet box grates are to be bicycle proof.
5. All inlet boxes located in curb and gutter are to be placed parallel to the curb and gutter and set under the frame and grate. Improperly placed boxes will be removed and replaced at no additional cost to the owner. Precast or cast in place boxes are acceptable.
6. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
7. Gas lines, telephone lines, and cable TV lines are not a part of these plans unless otherwise noted.
8. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
9. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible to construct any vertical adjustments necessary to clear sewer, storm drain or other utilities as necessary including valve boxes and hydrant spools to proper grade.
10. Field verify all existing and/or proposed Roof Drain/Roof Drain down spout connections to Storm Water System with Civil, Plumbing & Architectural plans. Notify Engineer of any discrepancies.

Utility Piping Materials:

All piping to be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Laterals

1. 3/4" to 1" diameter pipe - copper tubing ASTM B, Type K, Soft Temper
2. 2" to 3" diameter pipe - CTS Poly ASTM ?
3. 4" diameter and above - AWWA Class 200 pipe, SDR21 Class 200 PVC pipe.

Water Main Lines and Fire Lines

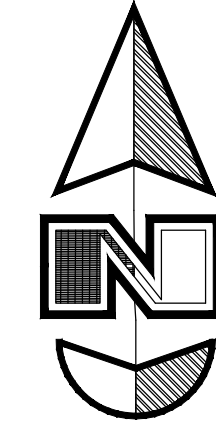
1. Pipe material as shown on utility plan view or to meet city standards. Culinary water lines and fire line to building sprinkling system- AWWA Class 200 SDR21 PVC pipe. Fire line to fire hydrants and pressure irrigation lines- AWWA C-900 DR18 PVC- (purple) pipe.

Sanitary Sewer Lines

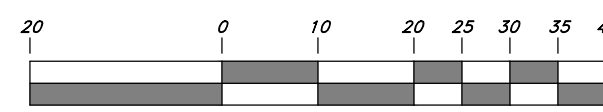
1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D 3034, Type PSM, SDR 35

Storm Drain Lines

1. 10" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35, (Private).
2. 12" to 21" pipes - Concrete Pipe, ASTM C14, Class III up to 13' of cover. For greater than 13' feet of cover, use reinforced concrete pipe and classes listed below.
3. 24" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III up to 13' of cover, Class IV for 13' to 21' of cover, Class V for 21' to 32' of cover, and Special Design for cover greater than 32 feet.



Scale: 1" = 20'



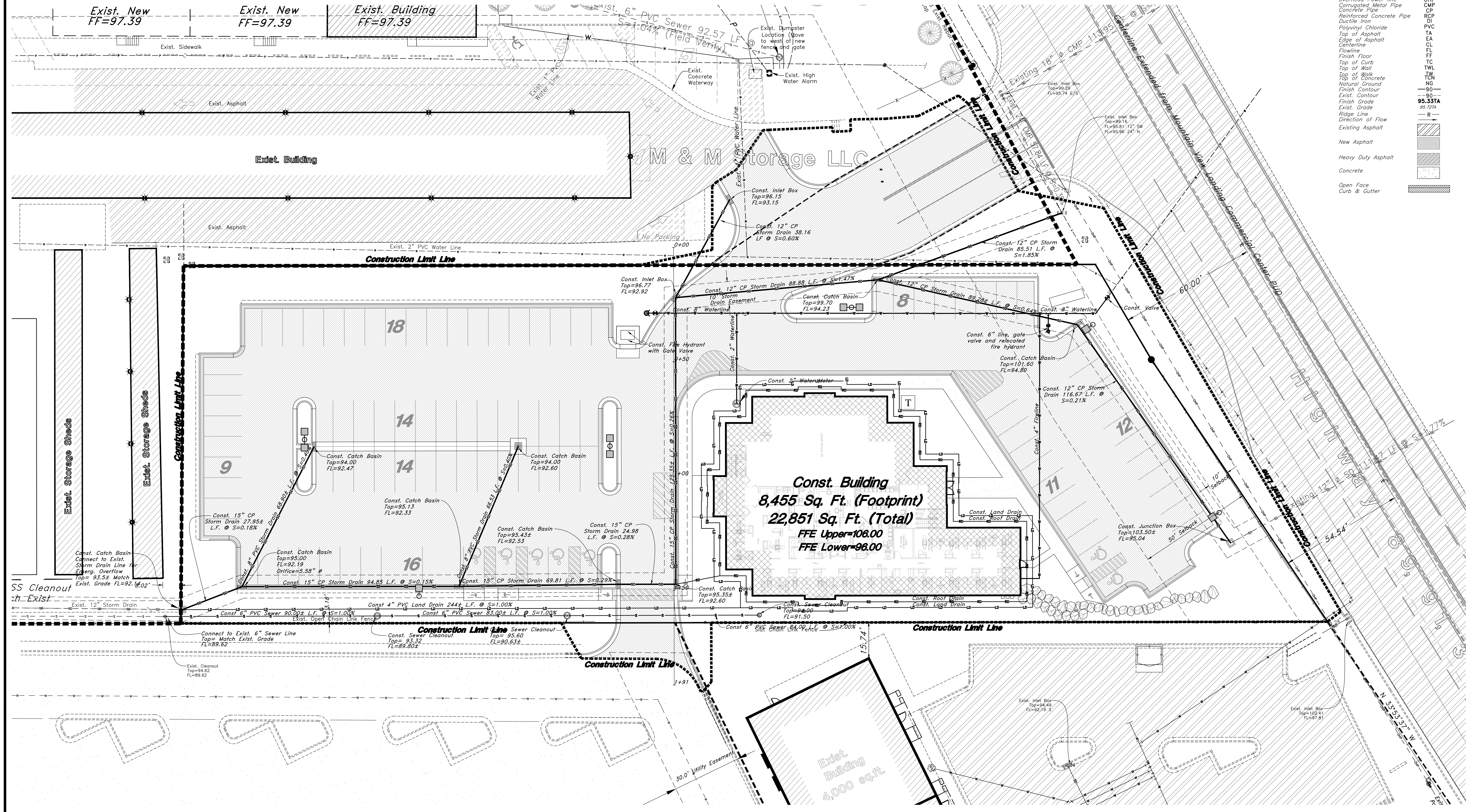
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ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

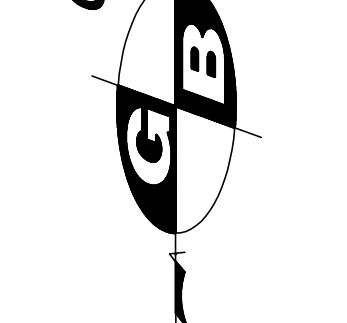
Legend

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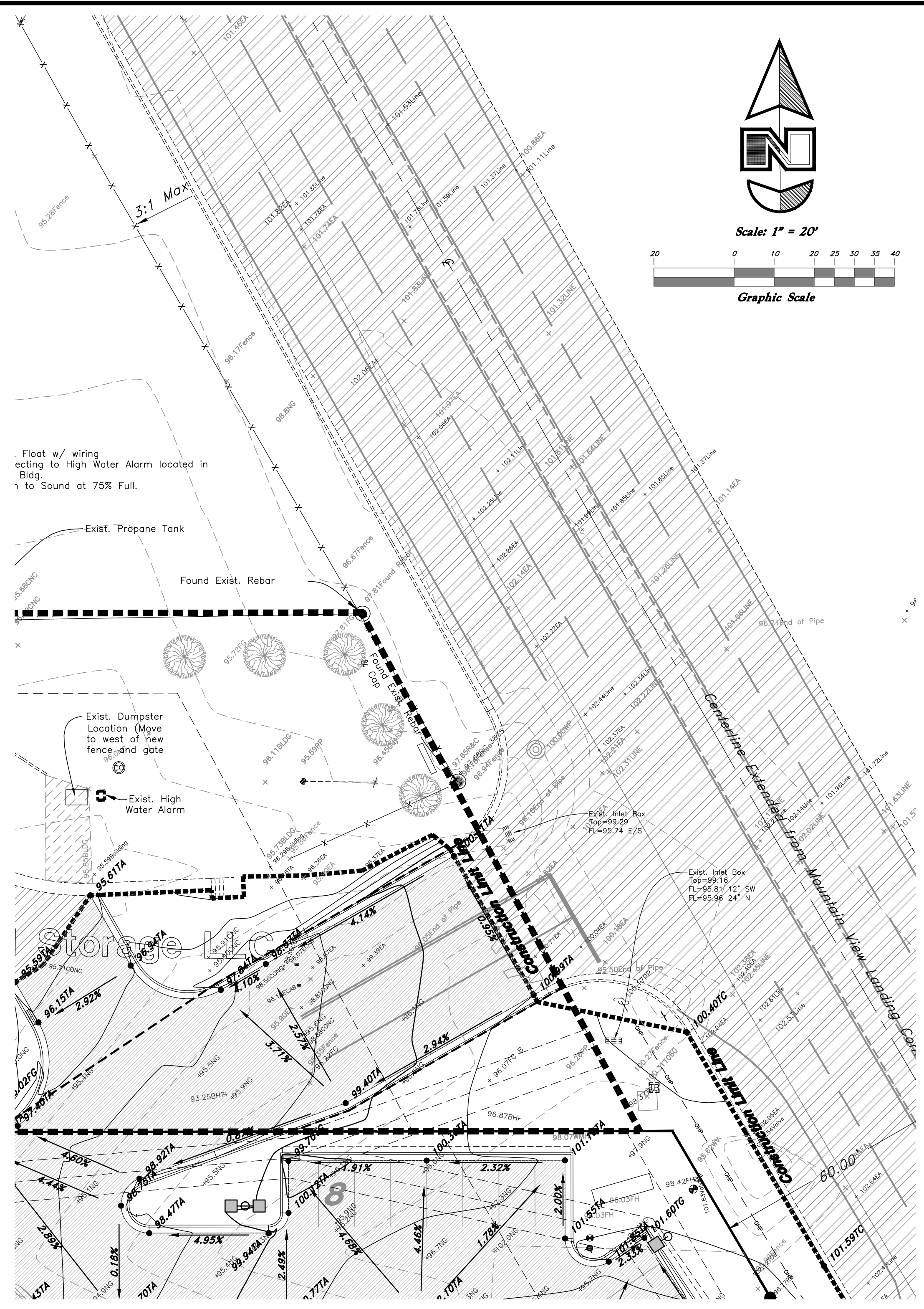
GREAT BASIN ENGINEERING NORTH
CONSULTING ENGINEERS AND ARCHITECTS
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Ogden, Utah 84403
P.O. Box 130048, Ogden, Utah 84415
Ogden (801)394-4315 Salt Lake City (801)351-0222 Fax (801)392-7544



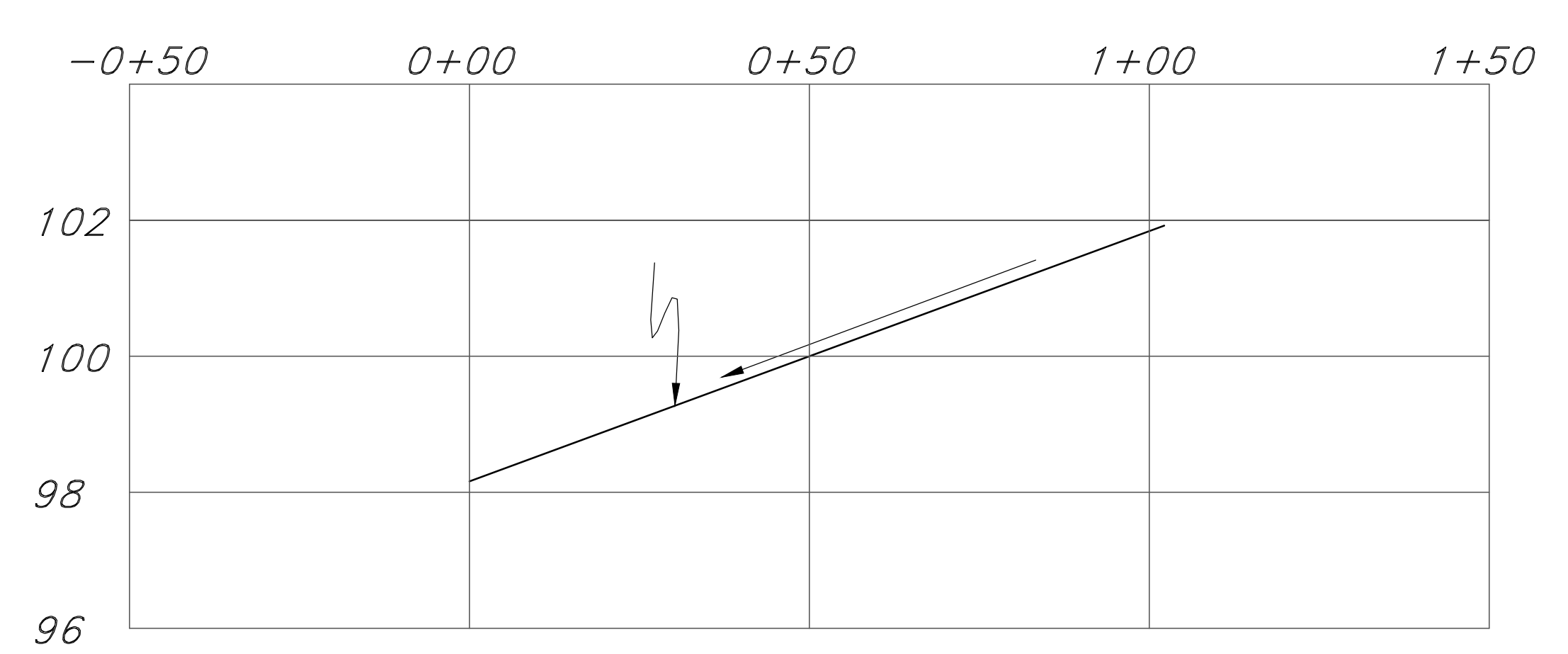
Utility Plan
North View Holdings LLC
2797 North Highway 89
Ogden, Utah 84414

01 Mar, 2013
SHEET NO.
CU1.01

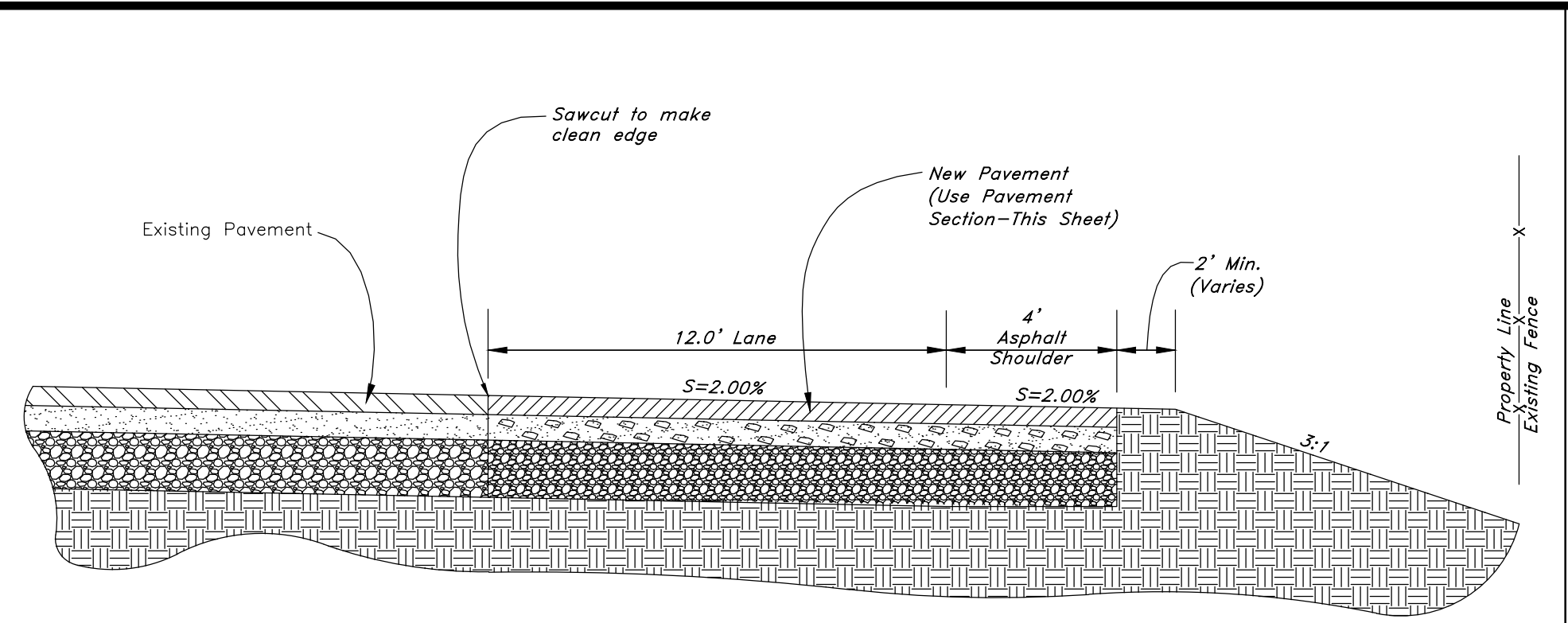
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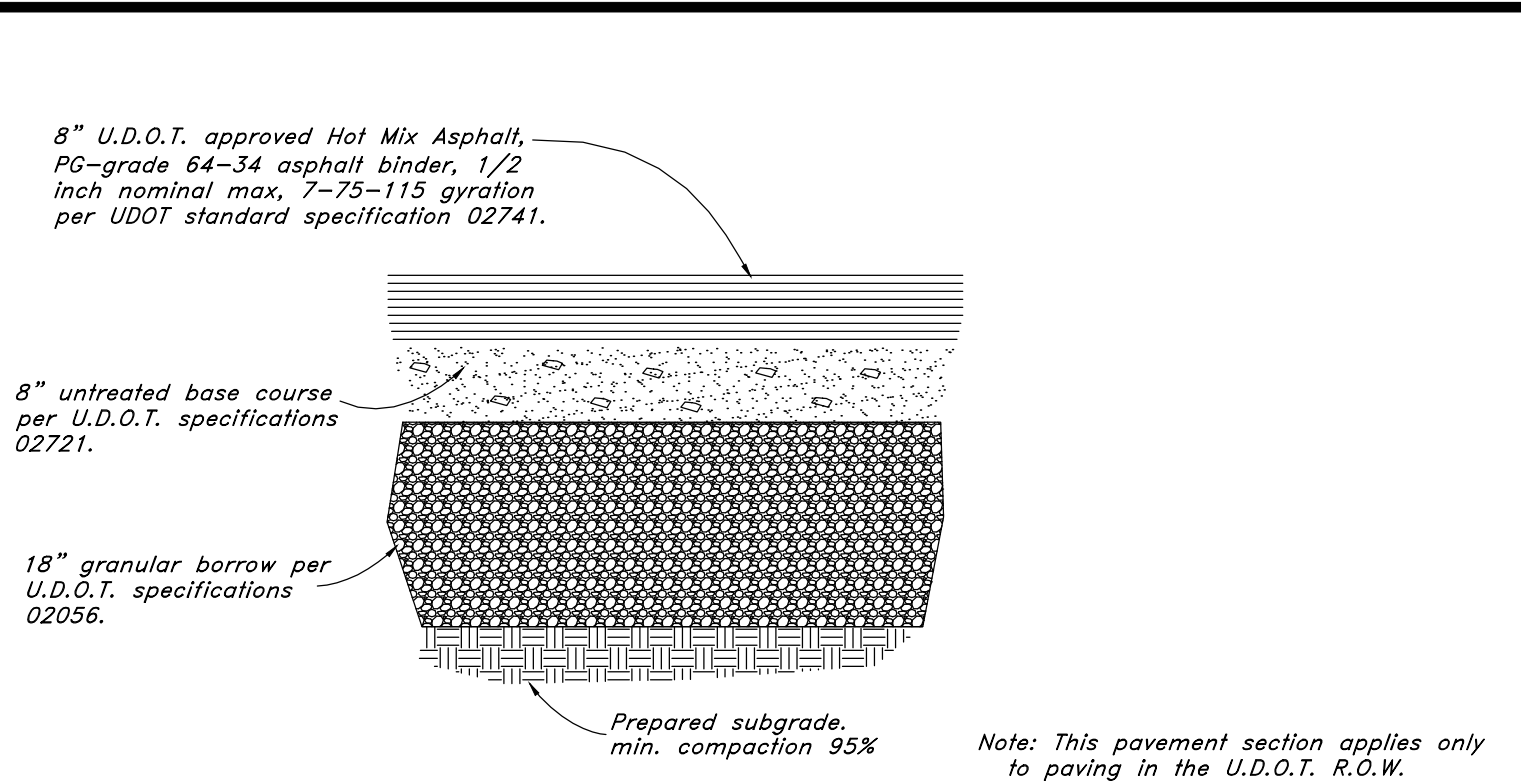
Plan



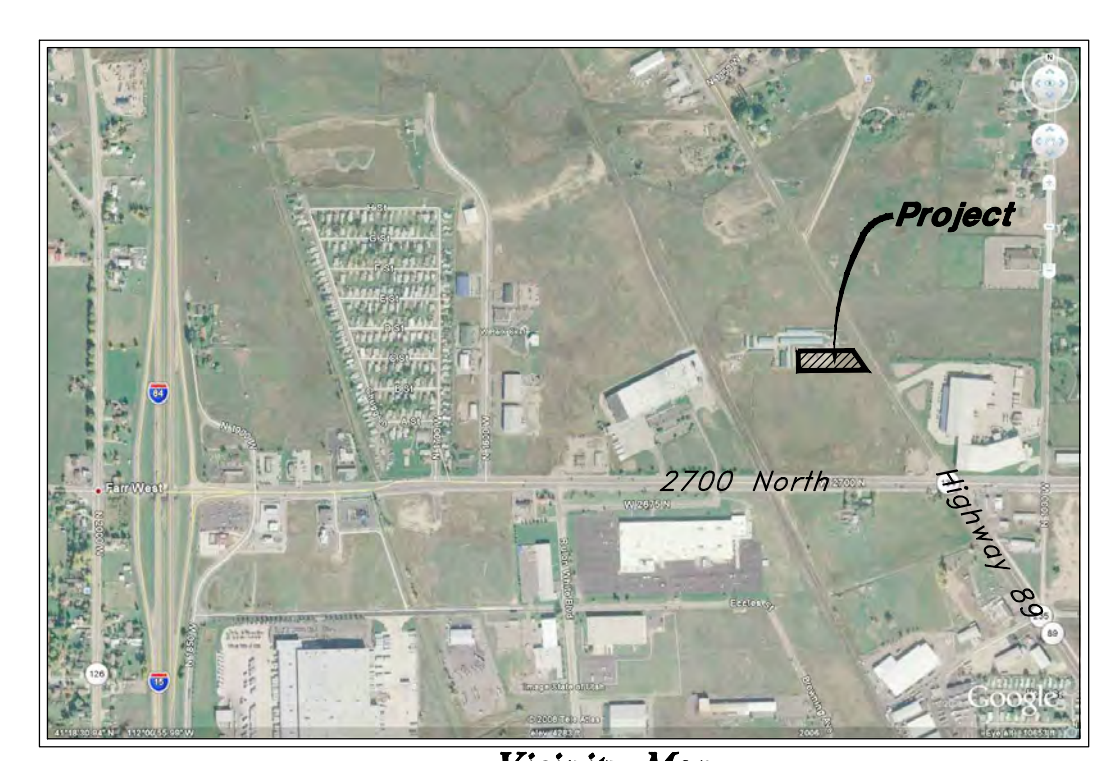
Access Profile



1 Typical Cross Section Highway 89 Right-of-way
Not to Scale

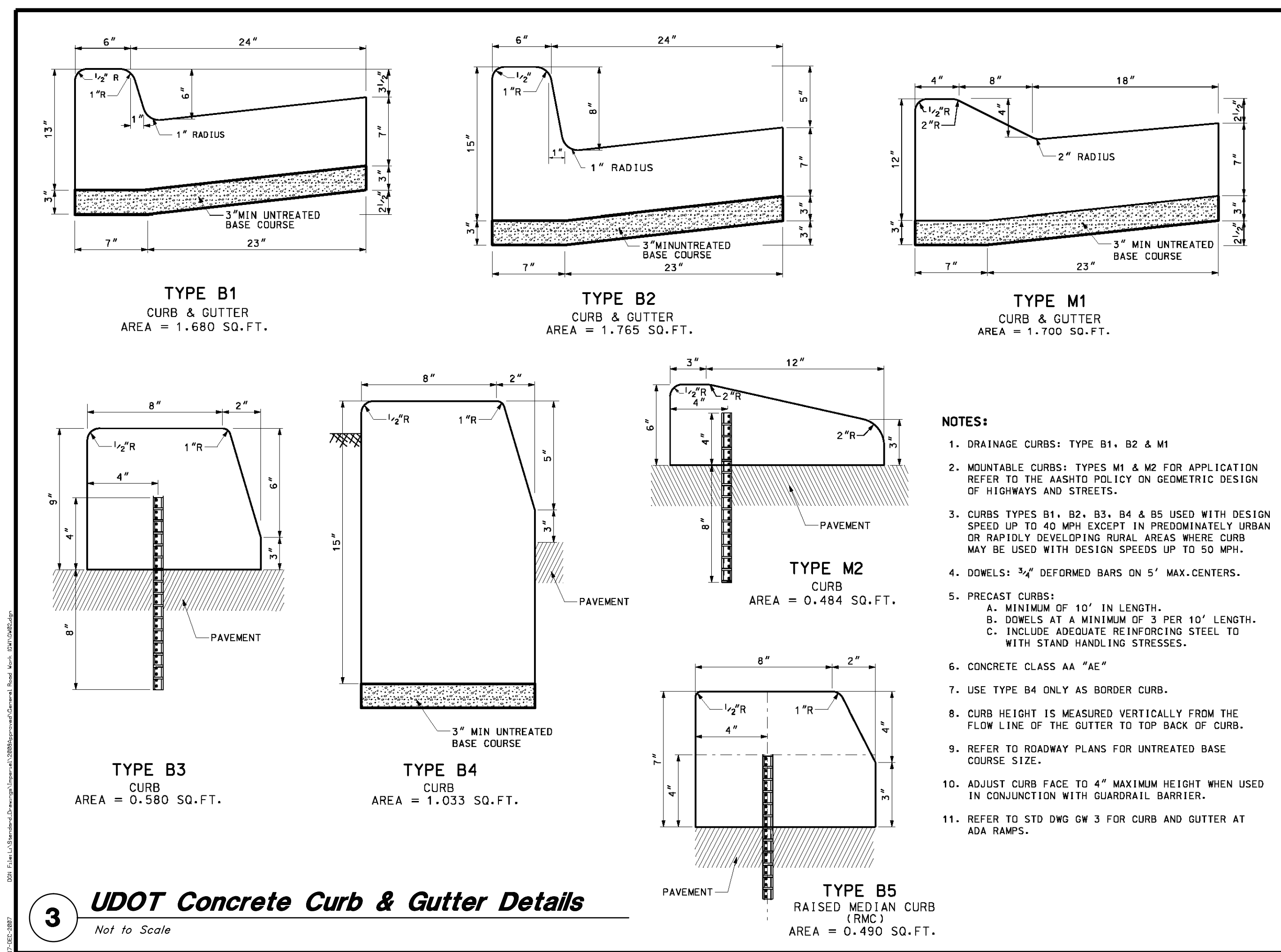


2 Typical Bituminous Pavement Section Highway 89 Right-of-way
Not to Scale



Vicinity Map
N.T.S.

General Notes:
1. All construction within the UDOT Right-of-Way shall conform to the most current UDOT standard drawings and specifications, found at udot.utah.gov/go/2012standards.
2. Sawcut is to be offset from the existing edge of asphalt pavement by 1 foot.

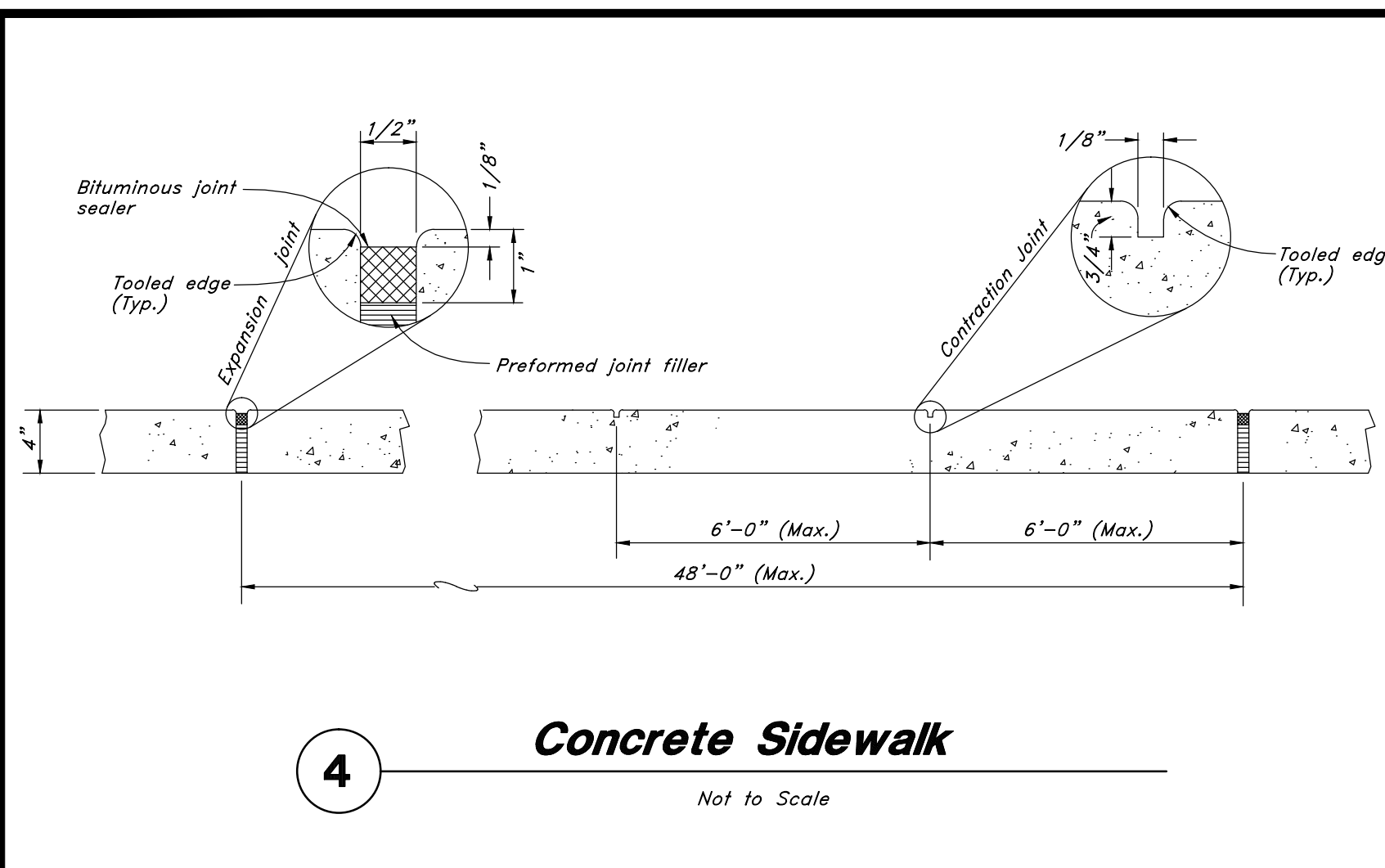


3 UDOT Concrete Curb & Gutter Details
Not to Scale

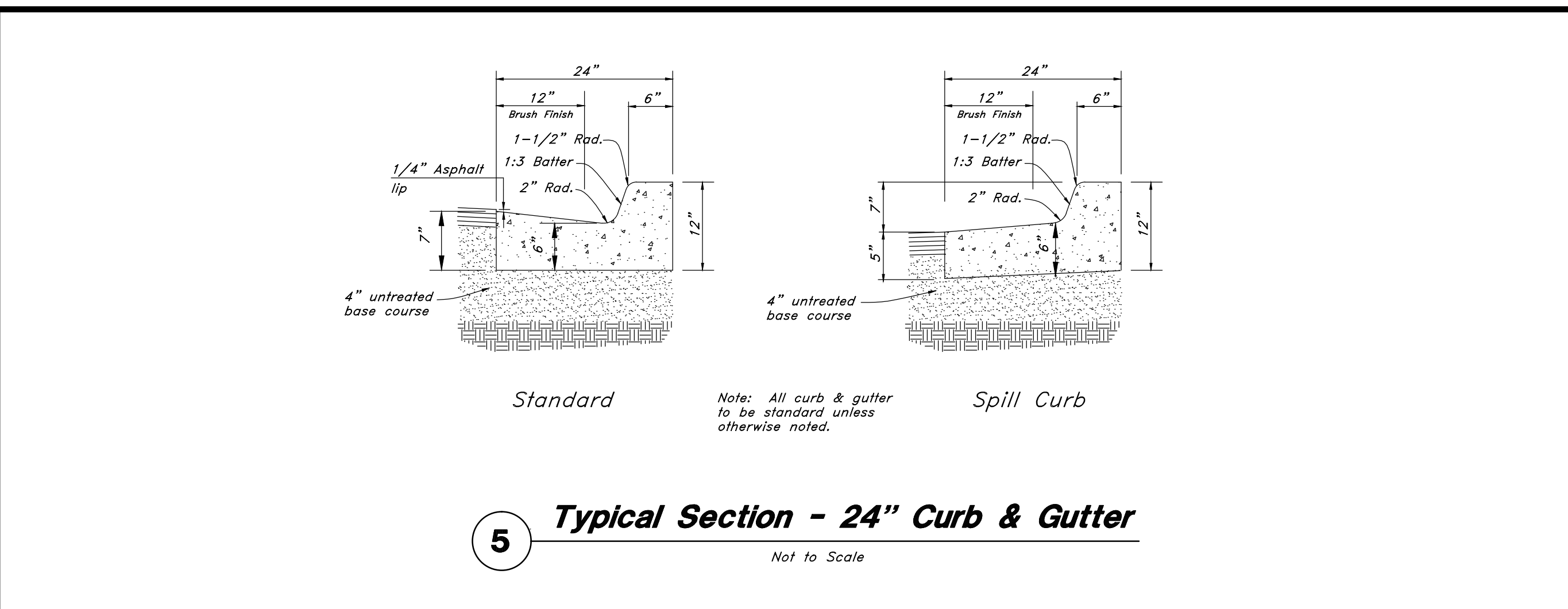
- NOTES:**
1. DRAINAGE CURBS: TYPES B1, B2 & M1
 2. MOUNTABLE CURBS: TYPES M1 & M2 FOR APPLICATION REFER TO THE ASHOTO POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS.
 3. CURBS TYPES B1, B2, B3, B4 & B5 USED WITH DESIGN SPEED UP TO 40 MPH EXCEPT IN PREDOMINATELY URBAN OR RAPIDLY DEVELOPING RURAL AREAS WHERE CURB MAY BE USED WITH DESIGN SPEEDS UP TO 50 MPH.
 4. DOWELS: 3/4" DEFORMED BARS ON 5' MAX. CENTERS.
 5. PRECAST CURBS:
 - A. MINIMUM OF 10' IN LENGTH.
 - B. DOWELS AT A MINIMUM OF 3 PER 10' LENGTH.
 - C. INCLUDE ADEQUATE REINFORCING STEEL TO WITH STAND HANDLING STRESSES.
 6. CONCRETE CLASS AA "AE"
 7. USE TYPE B4 ONLY AS BORDER CURB.
 8. CURB HEIGHT IS MEASURED VERTICALLY FROM THE FLOW LINE OF THE GUTTER TO TOP BACK OF CURB.
 9. REFER TO ROADWAY PLANS FOR UNTREATED BASE COURSE SIZE.
 10. ADJUST CURB FACE TO 4" MAXIMUM HEIGHT WHEN USED IN CONJUNCTION WITH GUARDRAIL BARRIER.
 11. REFER TO STD DWG GW 3 FOR CURB AND GUTTER AT ADA RAMP.

UDOT DEPARTMENT OF TRANSPORTATION STANDARD DRAWINGS FOR ROAD AND BRIDGE CONSTRUCTION RECOMMENDED FOR UTILITY USE APPROVED: [Signature] CHECKED: [Signature] DESIGNED: [Signature] DRAWN: [Signature]	
CONCRETE CURB AND GUTTER	
STD DWG GW 2	SHEET NO. CD5.01

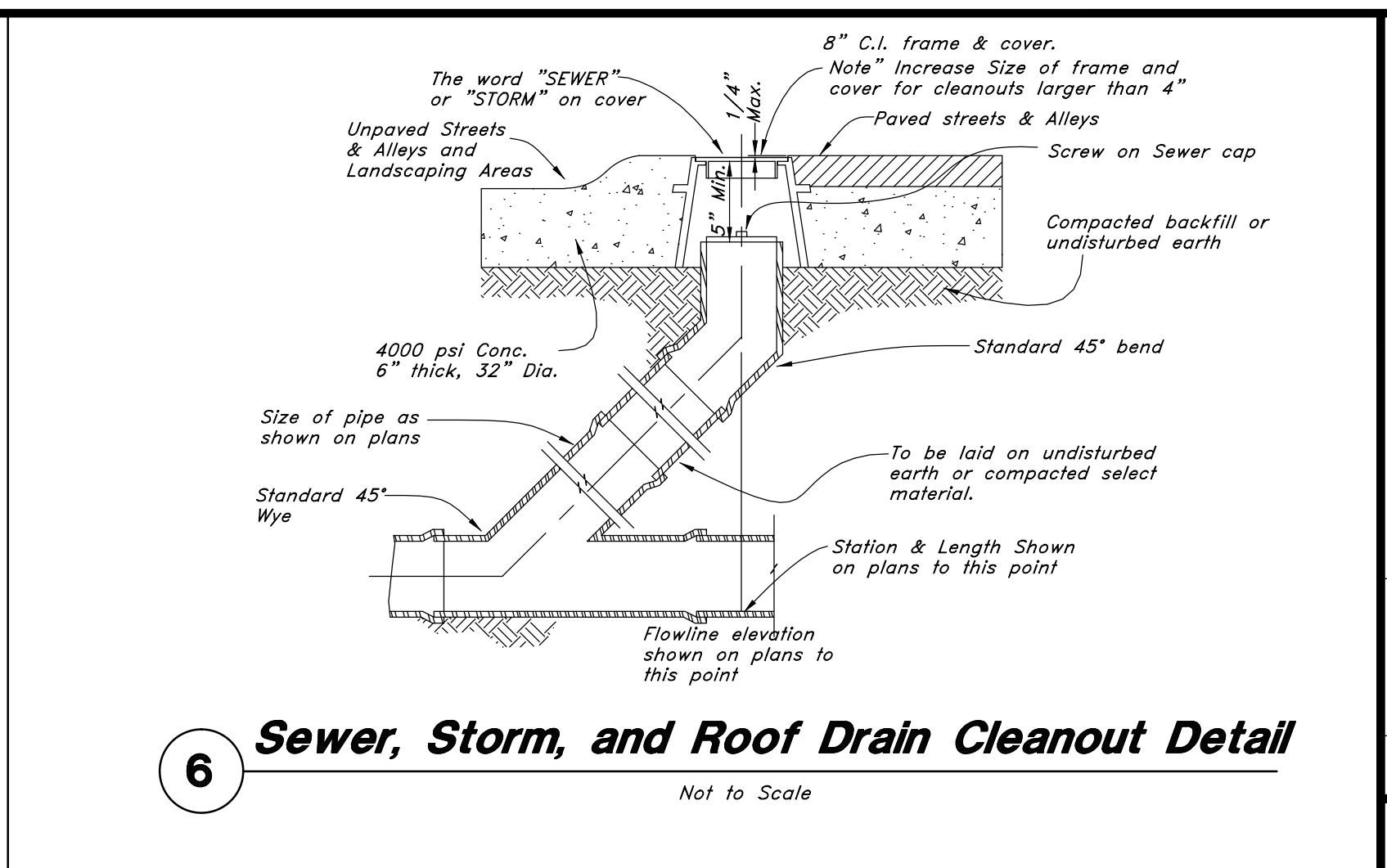
UDOT Details North View Holdings LLC 2797 North Highway 89 Ogden, Utah 84414	
01 Feb, 2013 SHEET NO. CD5.01	
GREAT BASIN ENGINEERING NORTH <small>CONSULTING ENGINEERS AND SURVEYORS</small> 5746 South 1475 East - Suite 200 Ogden, Utah 84403 P.O. Box 130048, Ogden, Utah 84415 Ogden (801)394-4315 Salt Lake City (801)351-0222 Fax (801)392-7544	REF. DATE DESCRIPTION



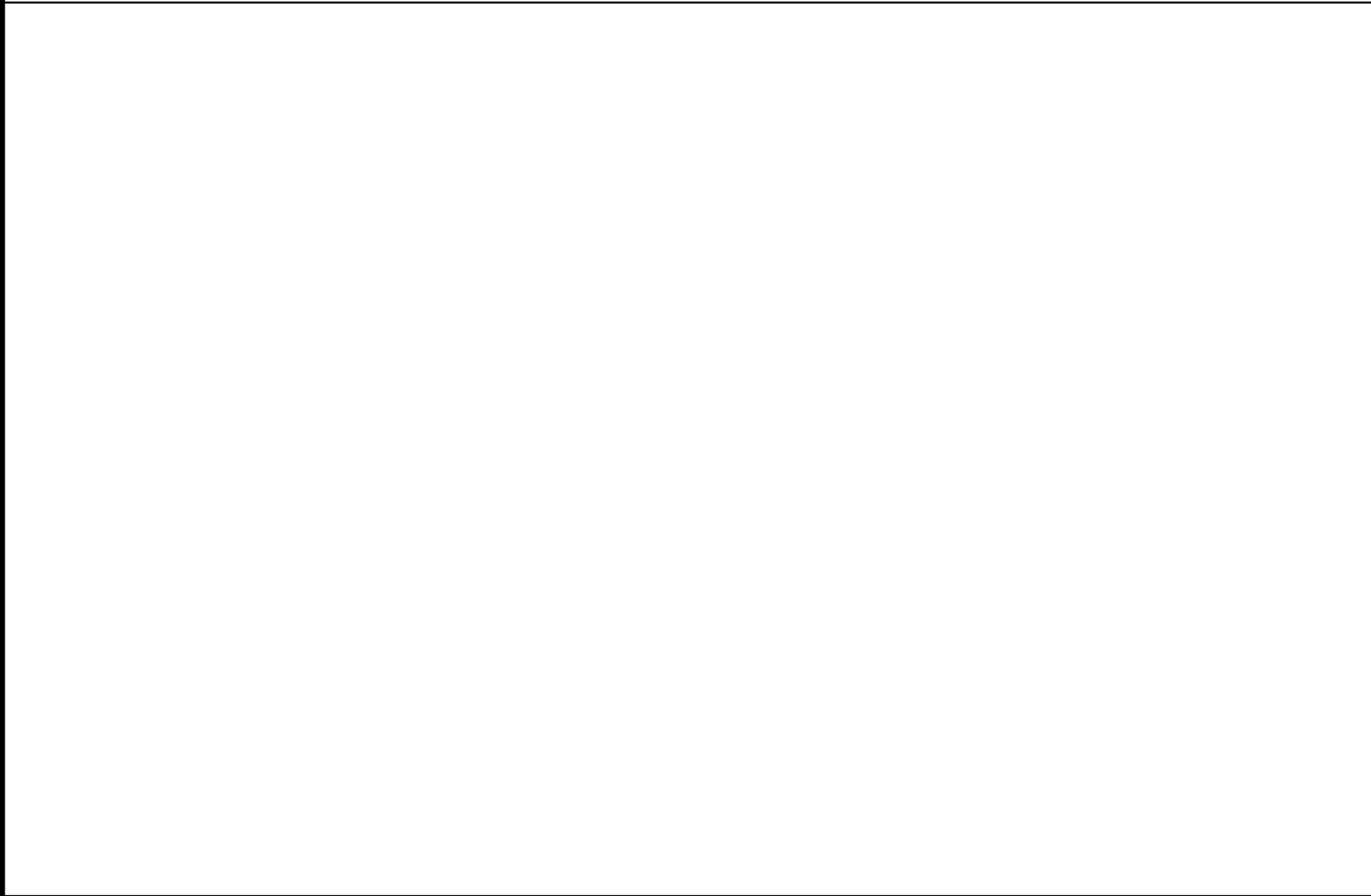
4 Concrete Sidewalk
Not to Scale



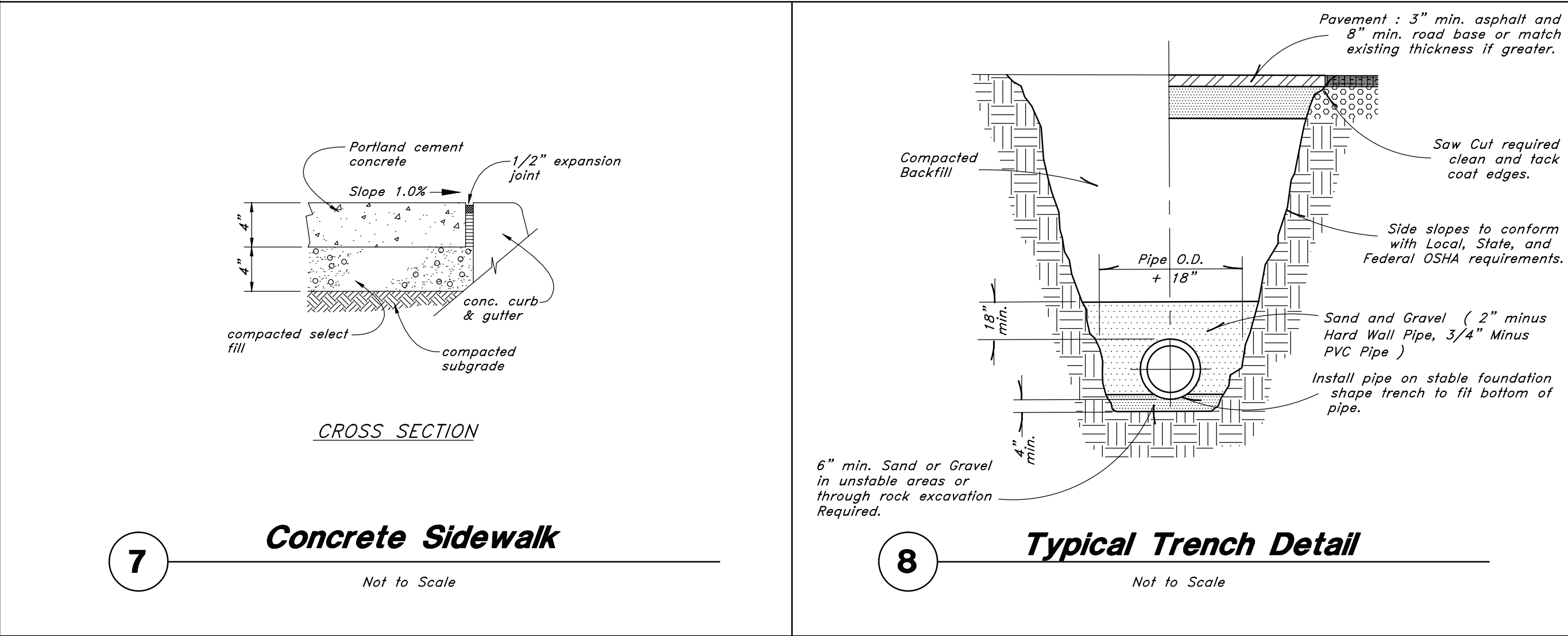
5 Typical Section - 24" Curb & Gutter
Not to Scale



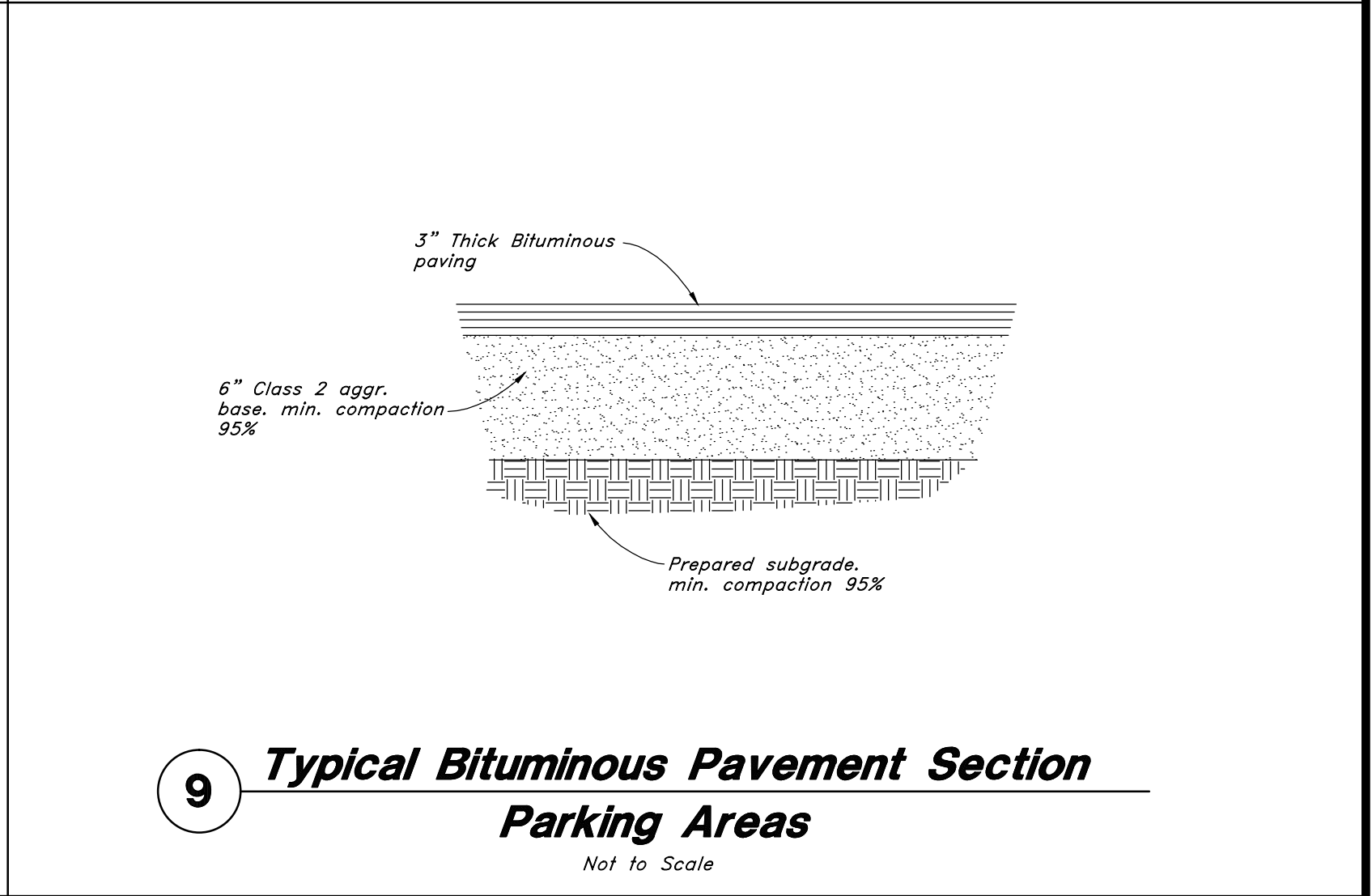
6 Sewer, Storm, and Roof Drain Cleanout Detail
Not to Scale



7 Concrete Sidewalk
Not to Scale



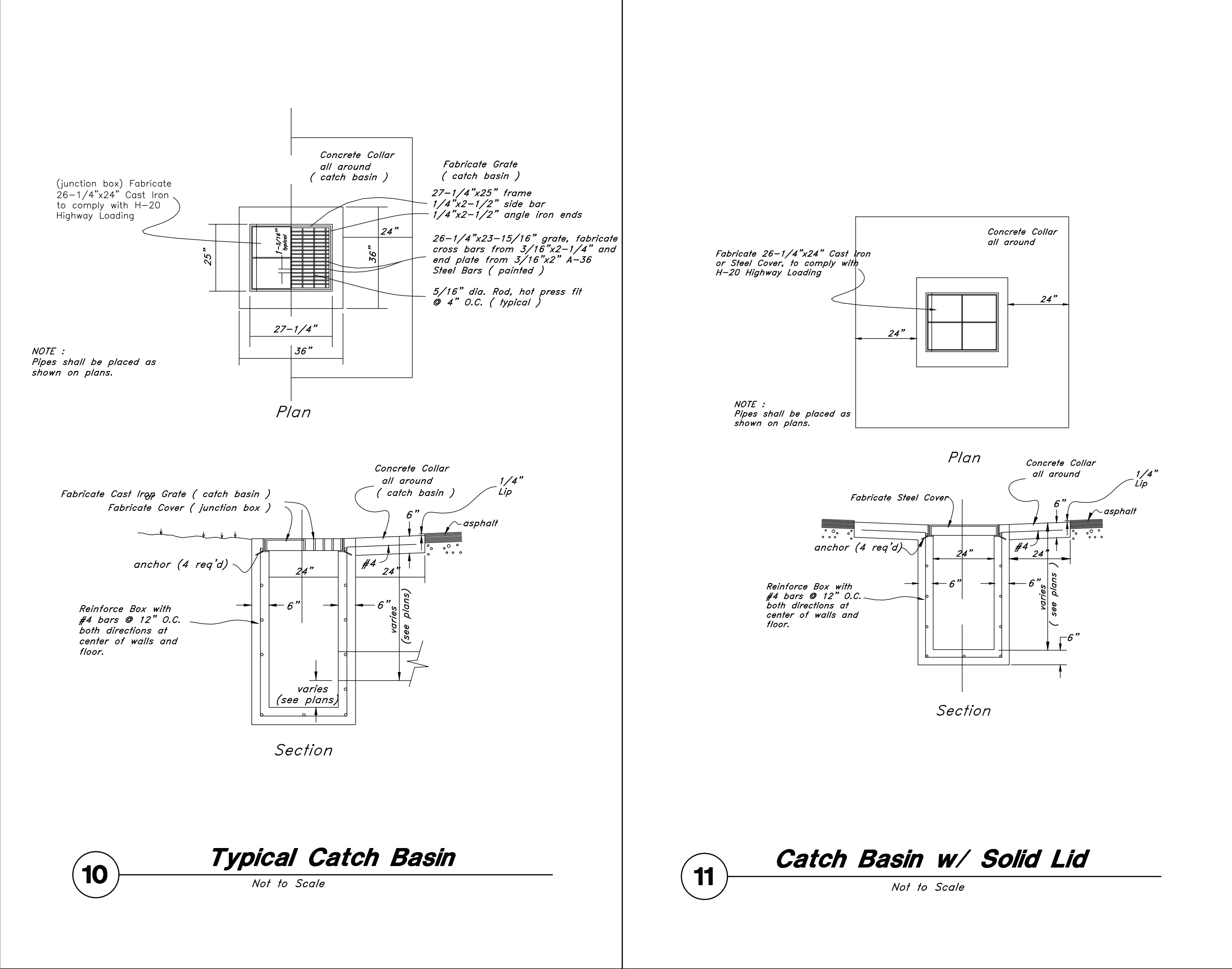
8 Typical Trench Detail
Not to Scale



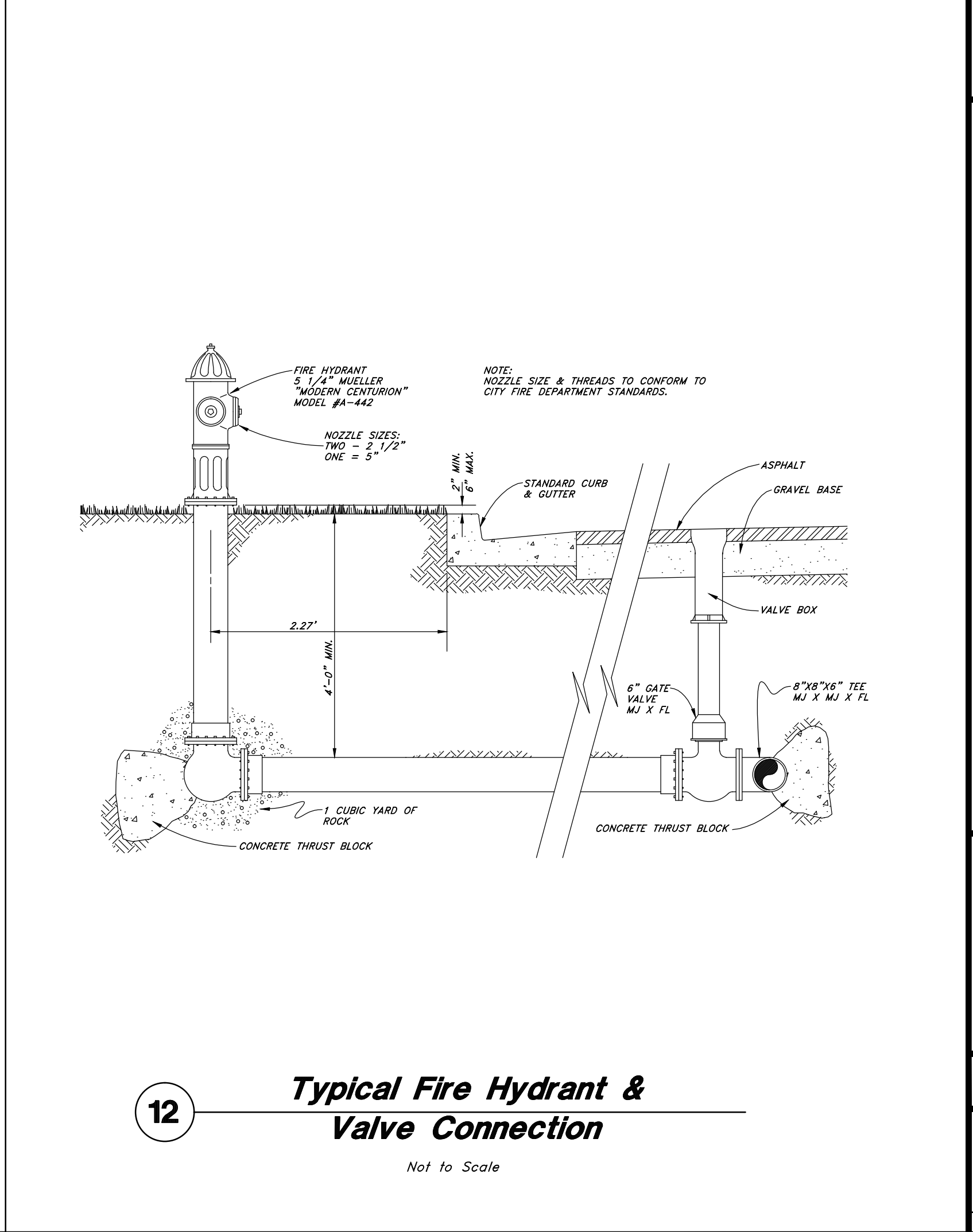
9 Typical Bituminous Pavement Section Parking Areas
Not to Scale



10 Typical Catch Basin
Not to Scale



11 Catch Basin w/ Solid Lid
Not to Scale

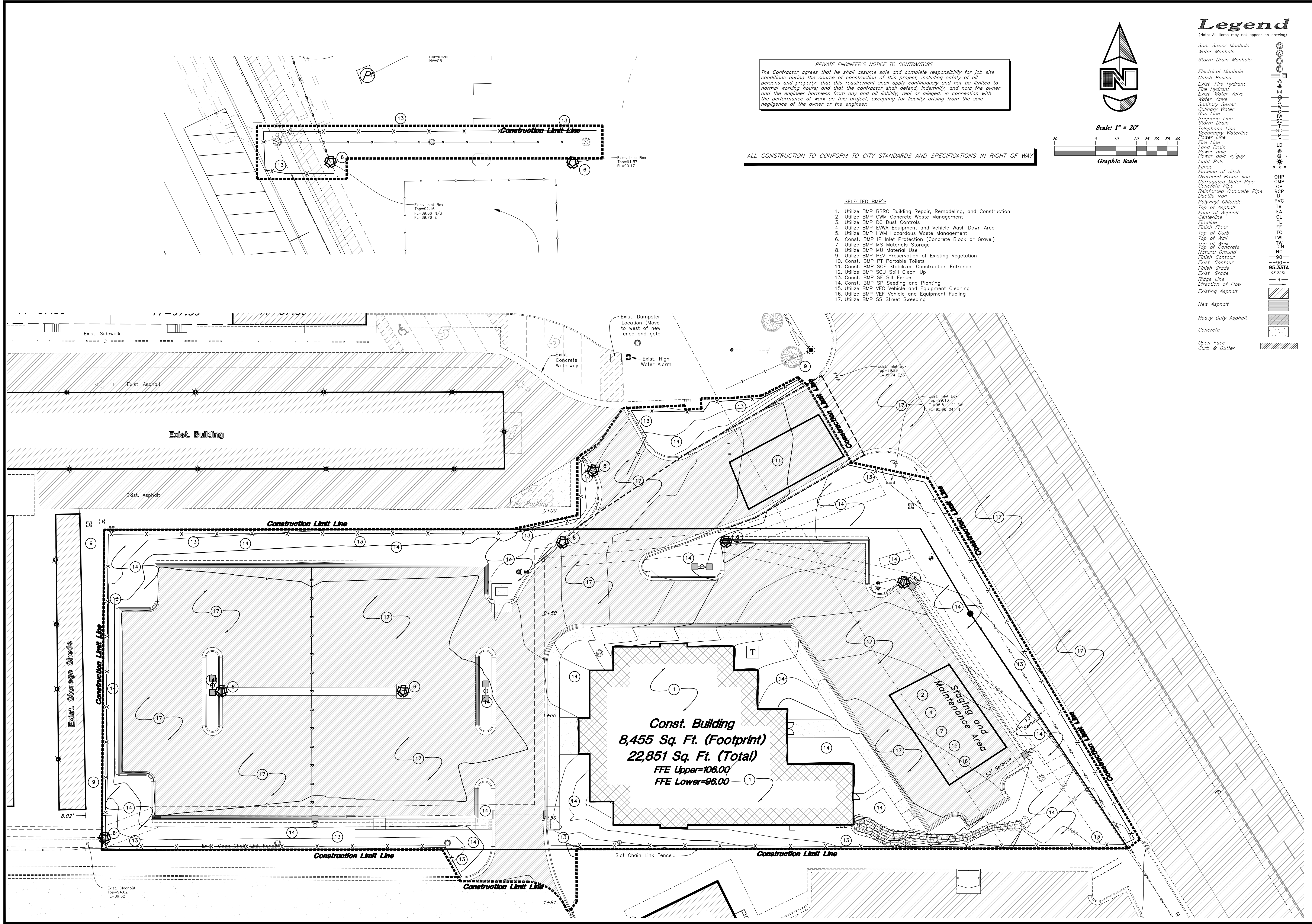


12 Typical Fire Hydrant & Valve Connection
Not to Scale

GREAT BASIN ENGINEERING NORTH
CONSULTING ENGINEERS AND ARCHITECTS
5746 South 1475 East - Suite 200
Ogden, Utah 84403
P.O. Box 130048, Ogden, Utah 84415
Ogden (801)394-4915 Salt Lake City (801)351-0222 Fax (801)392-7544

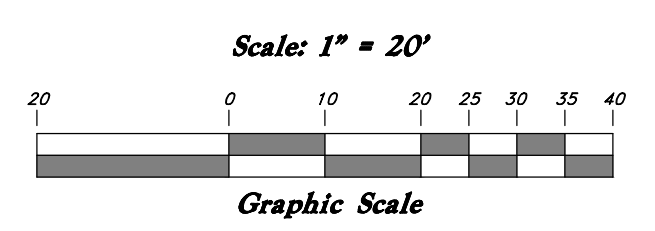
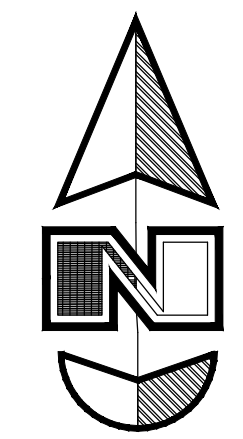
Details
North View Holdings LLC
2797 North Highway 89
Ogden, Utah 84401

01 Feb, 2013
SHEET NO.
CD5.02
OBN222



PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
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ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY



SELECTED BMP'S

1. Utilize BMP BRRC Building Repair, Remodeling, and Construction
2. Utilize BMP CWM Concrete Waste Management
3. Utilize BMP DC Dust Controls
4. Utilize BMP EVWA Equipment and Vehicle Wash Down Area
5. Utilize BMP HWM Hazardous Waste Management
6. Const. BMP IP Inlet Protection (Concrete Block or Gravel)
7. Utilize BMP MS Materials Storage
8. Utilize BMP MU Material Use
9. Utilize BMP PEV Preservation of Existing Vegetation
10. Const. BMP PT Portable Toilets
11. Const. BMP SCE Stabilized Construction Entrance
12. Utilize BMP SCU Spill Clean-Up
13. Const. BMP SF Silt Fence
14. Const. BMP SP Seeding and Planting
15. Utilize BMP VEC Vehicle and Equipment Cleaning
16. Utilize BMP VEF Vehicle and Equipment Fueling
17. Utilize BMP SS Street Sweeping

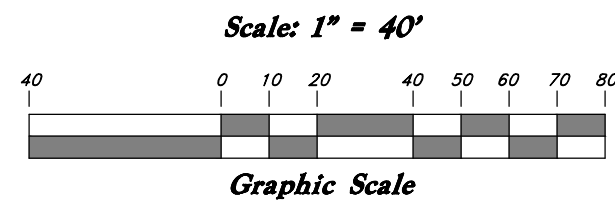
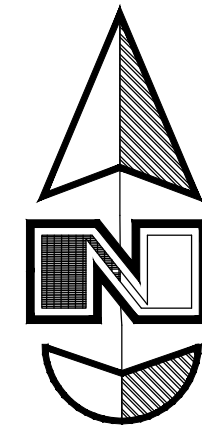
Legend

- (Note: All items may not appear on drawing)
- San. Sewer Manhole
 - Water Manhole
 - Storm Drain Manhole
 - Electrical Manhole
 - Catch Basin
 - Exist. Fire Hydrant
 - Fire Hydrant
 - Exist. Water Valve
 - Water Valve
 - Sanitary Sewer
 - Culinary Water
 - Gas Line
 - Irrigation Line
 - Storm Drain
 - Telephone Line
 - Secondary Waterline
 - Power Line
 - Fire Line
 - Land Drain
 - Power pole
 - Power pole w/guy
 - Light Pole
 - Fence
 - Flowline of ditch
 - Overhead Power line
 - Corrugated Metal Pipe
 - Concrete Pipe
 - Reinforced Concrete Pipe
 - Ductile Iron
 - Polyvinyl Chloride
 - Top of Asphalt
 - Edge of Asphalt
 - Centerline
 - Flowline
 - Finish Floor
 - Top of Curb
 - Top of Wall
 - Top of Concrete
 - Natural Ground
 - Finish Contour
 - Exist. Contour
 - Finish Grade
 - Exist. Grade
 - Ridge Line
 - Direction of Flow
 - Existing Asphalt
 - New Asphalt
 - Heavy Duty Asphalt
 - Concrete
 - Open Face
 - Curb & Gutter

GREAT BASIN ENGINEERING NORTH
 CONSULTING ENGINEERS AND ARCHITECTS
 5746 South 1475 East - Suite 200
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 Ogden (801)394-4915 Salt Lake City (801)551-0222 Fax (801)392-7544

Storm Water Pollution Prevention Plan
North View Holdings LLC
 2797 North Highway 89
 Ogden, Utah 84401

01 Feb, 2013
 SHEET NO.
CW1.01
 08N222S4



PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

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ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

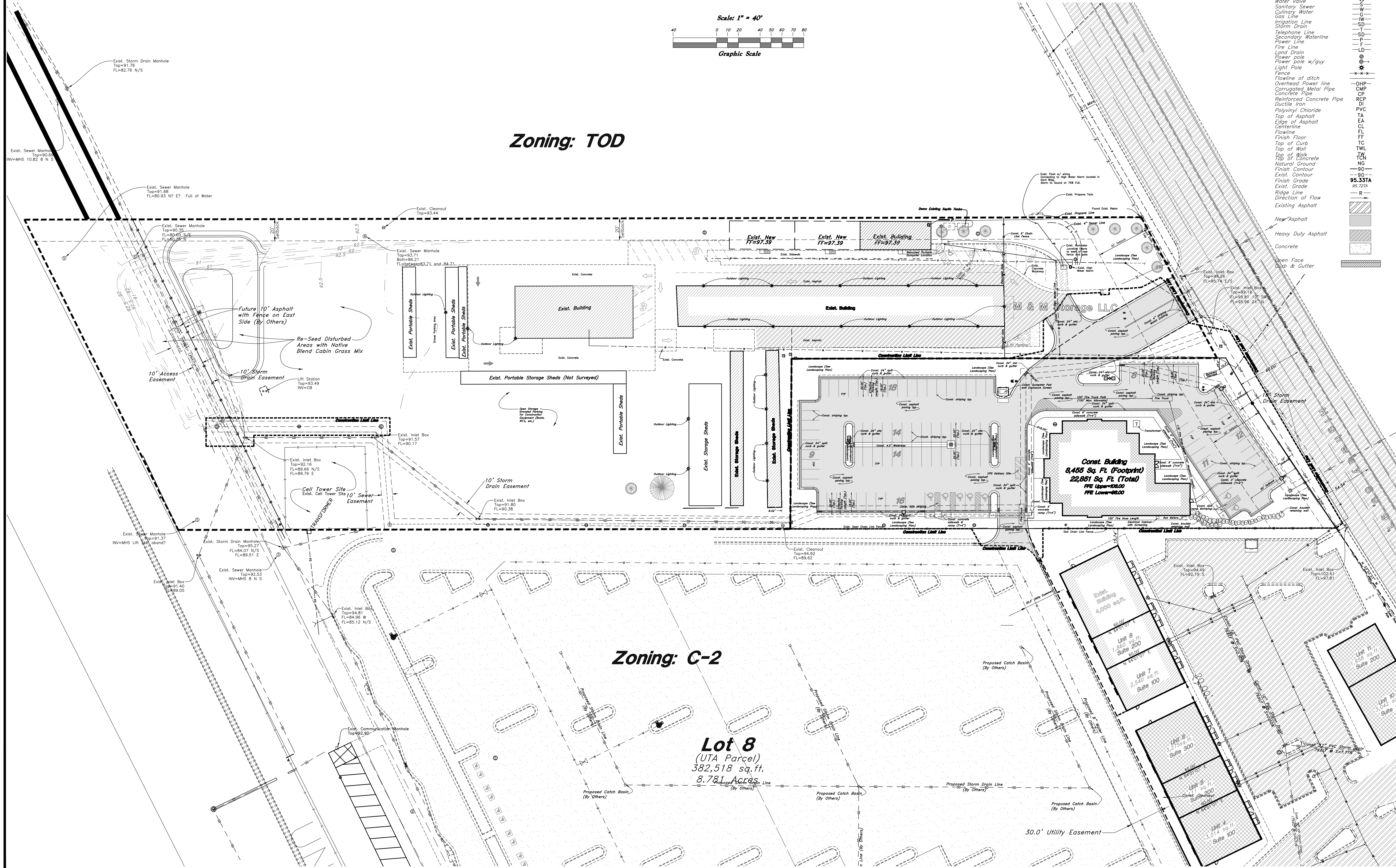
Legend

- (Note: All items may not appear on drawing)
- San. Sewer Manhole
 - Water Manhole
 - Storm Drain Manhole
 - Electrical Manhole
 - Catch Basin
 - Exist. Fire Hydrant
 - Exist. Water Valve
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 - Irrigation Line
 - Storm Drain
 - Telephone Line
 - Secondary Waterline
 - Power Line
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 - Top of Asphalt
 - Edge of Asphalt
 - Centerline
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 - Top of Wall
 - Top of Walk
 - Top of Concrete
 - Natural Ground
 - Finish Contour
 - Exist. Contour
 - Finish Grade
 - Exist. Grade
 - Ridge Line
 - Direction of Flow
 - Existing Asphalt

Zoning: TOD

Zoning: C-2

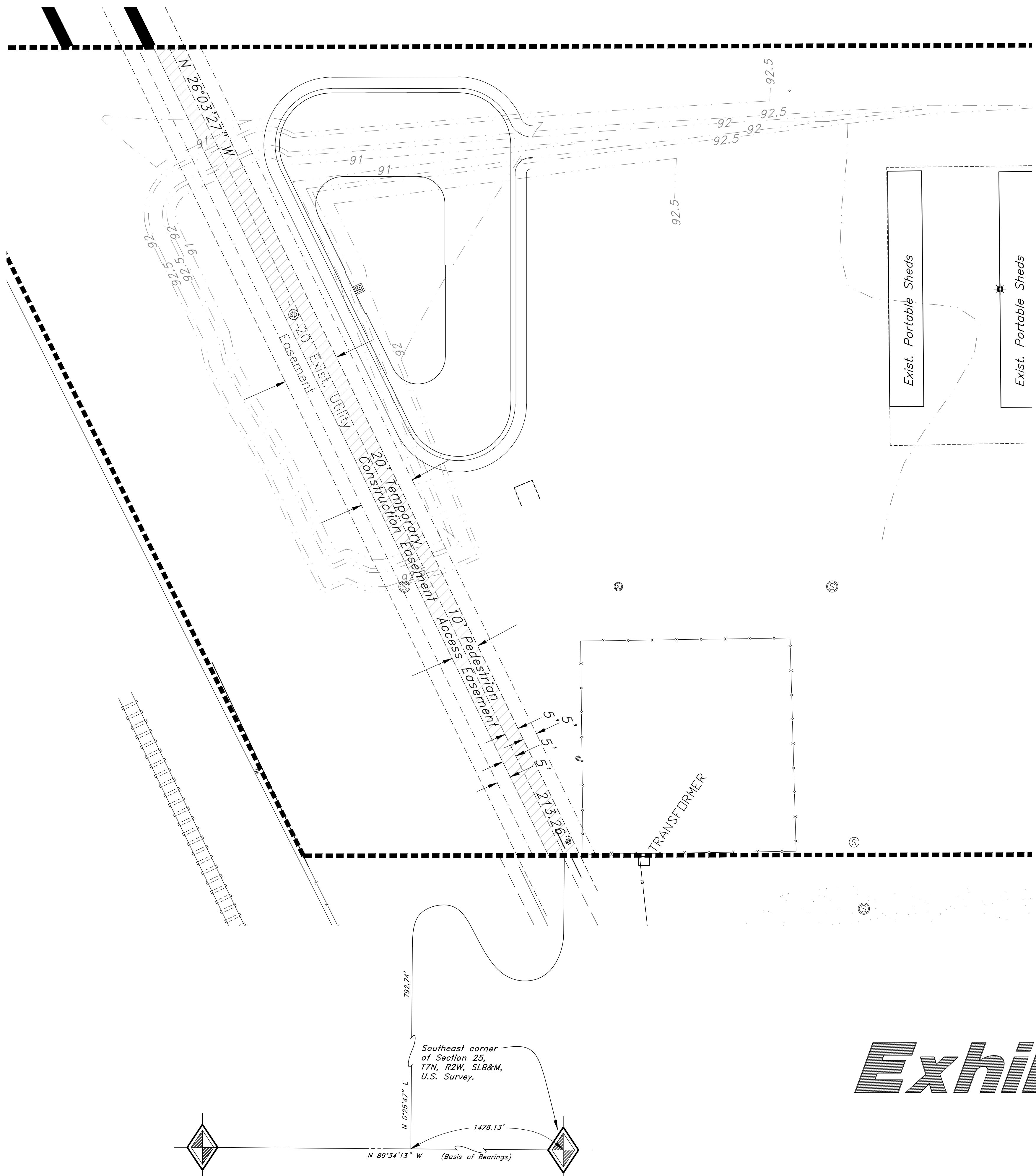
Lot 8
(UTA Parcel)
382,518 sq.ft.
8.781 Acres



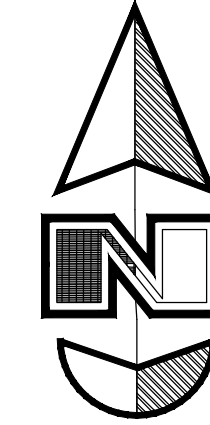
GREAT BASIN ENGINEERING NORTH
CONSULTING ENGINEERS AND ARCHITECTS
5746 South 1475 East - Suite 200
Ogden, Utah 84403
P.O. Box 130048, Ogden, Utah 84415
Ogden (801)394-4915 Salt Lake City (801)351-0222 Fax (801)392-7544

Overall Site Plan
North View Holdings LLC
2797 North Highway 89
Ogden, Utah 84401

01 Mar, 2013
SHEET NO.
Overall Site
08N222S2



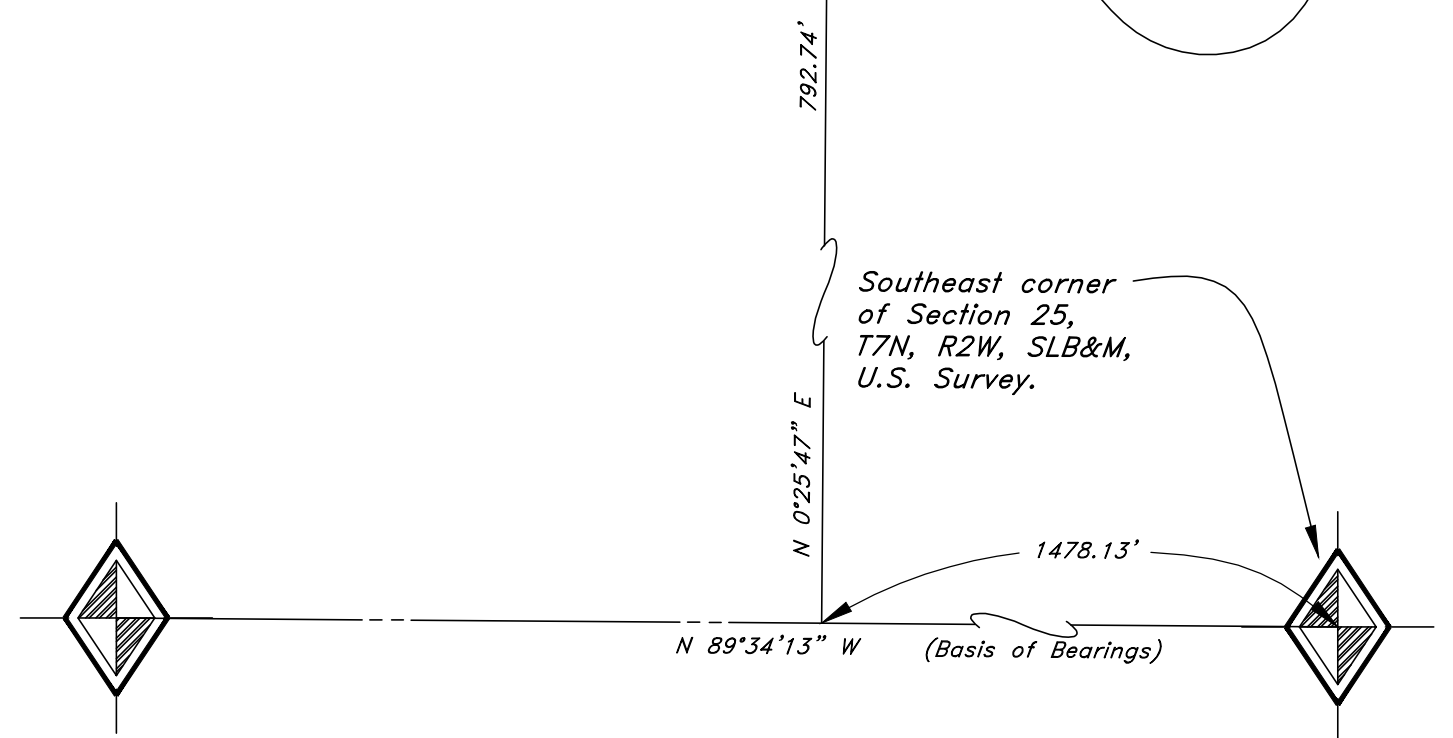
Scale: NTS



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ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

Exhibit B



REF.	DATE	DESCRIPTION

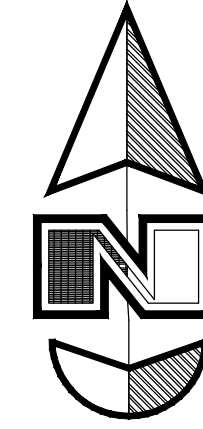
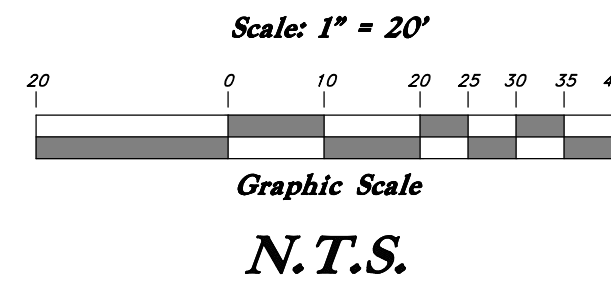
GREAT BASIN ENGINEERING NORTH
 CONSULTING ENGINEERS AND SURVEYORS
 5746 South 1475 East - Suite 200
 Ogden, Utah 84403
 P.O. Box 130046, Ogden, Utah 84415
 Ogden (801)394-4315 Salt Lake City (801)521-0222 Fax (801)392-7544



Walking Path Easement
M & M Storage
 2803 North Highway 89
 Ogden, Utah 84401

01 Feb, 2013

SHEET NO.
Ease



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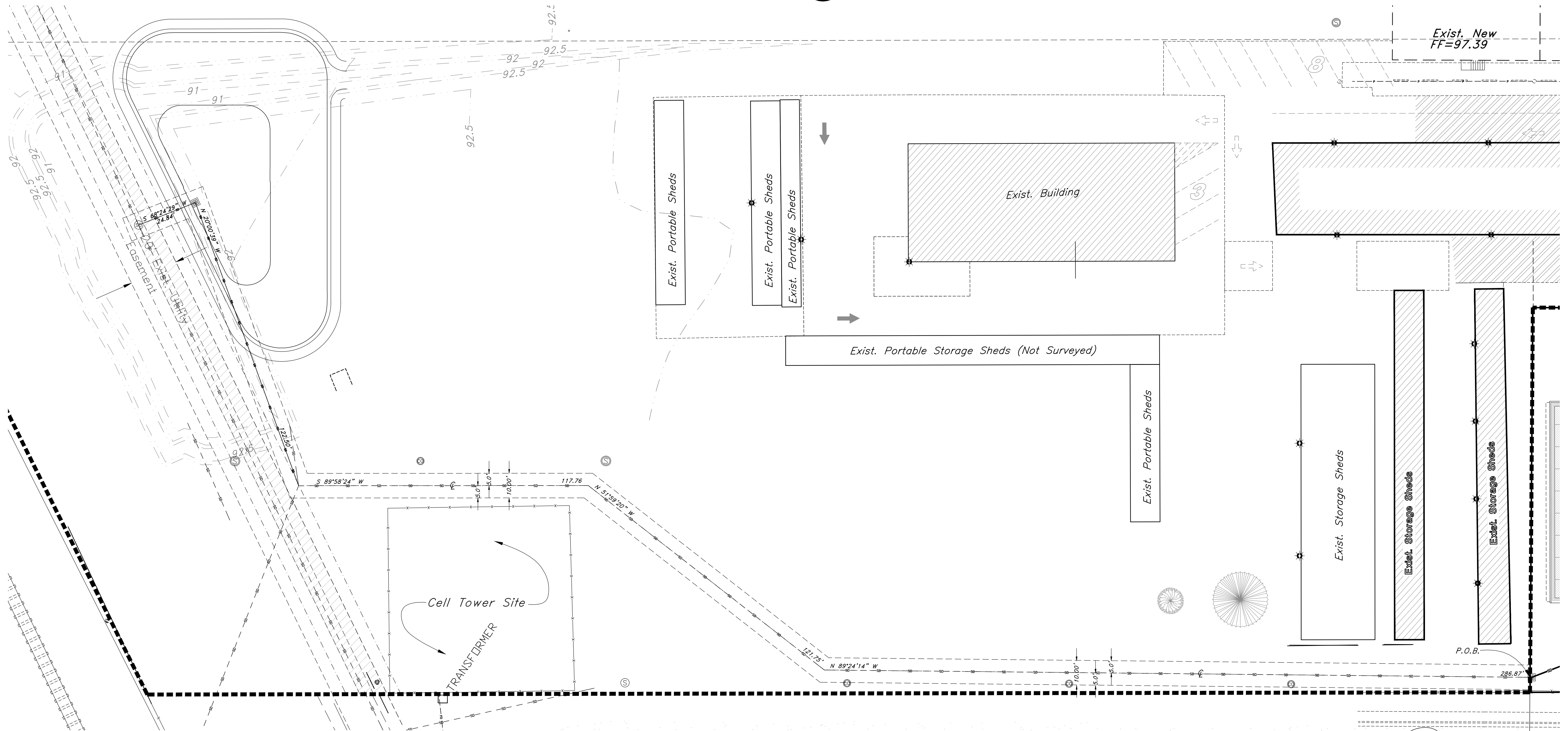
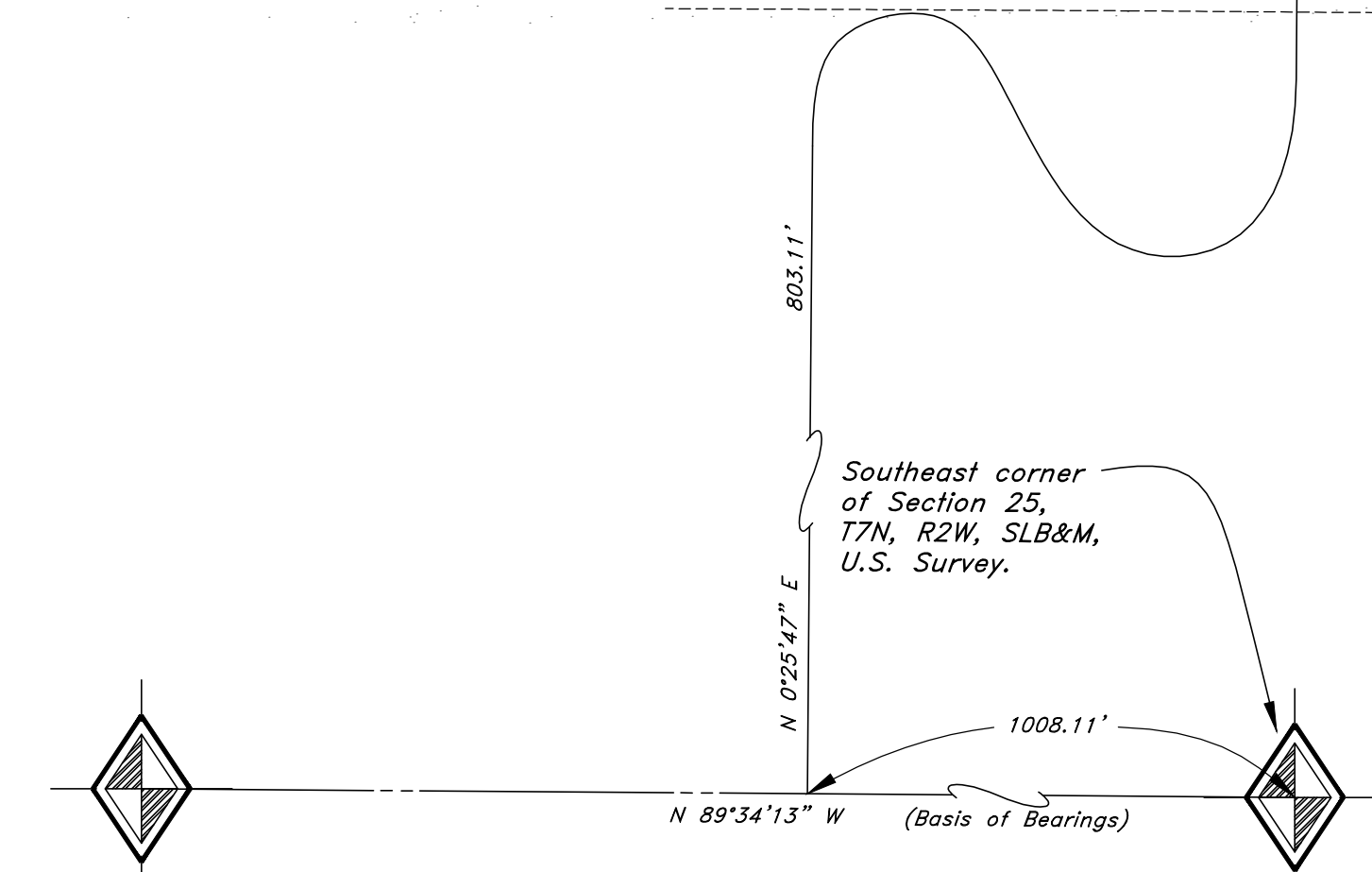


Exhibit D



<p>GREAT BASIN ENGINEERING NORTH <small>CONSULTING ENGINEERS AND SURVEYORS</small> 5746 South 1475 East - Suite 200 Ogden, Utah 84403 P.O. Box 130048, Ogden, Utah 84415 <small>Ogden (801)394-4315 Salt Lake City (801)501-0222 Fax (801)392-7544</small></p>	
<p>Storm Drain Easements</p>	<p>M & M Storage 2803 North Highway 89 Ogden, Utah 84401</p>
<p>01 Feb, 2013</p>	<p>SHEET NO. Ease</p>
<p>REF.</p>	<p>DATE</p>
<p>DESCRIPTION</p>	

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
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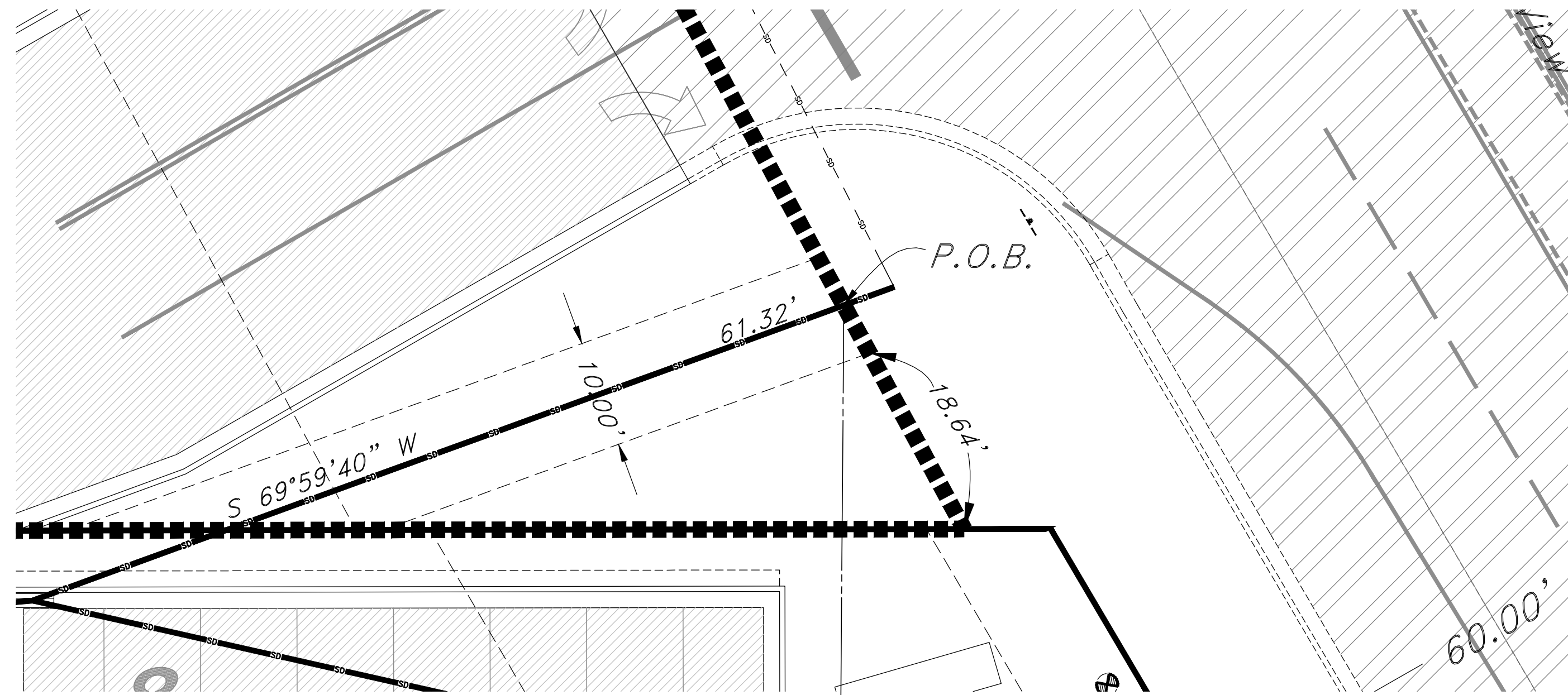
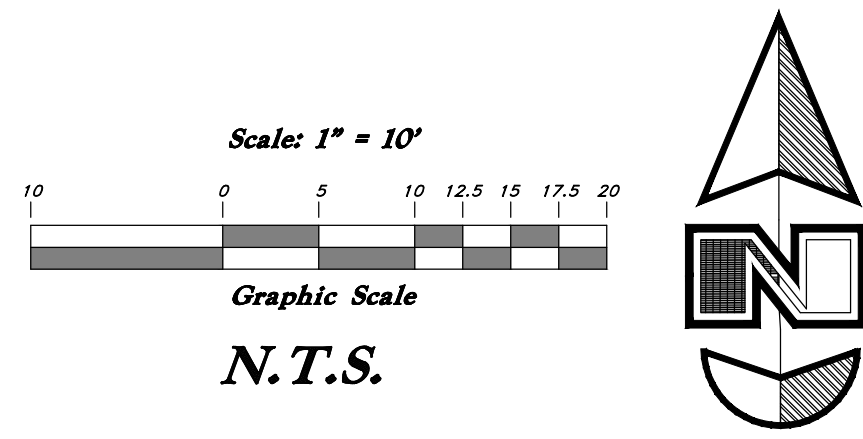
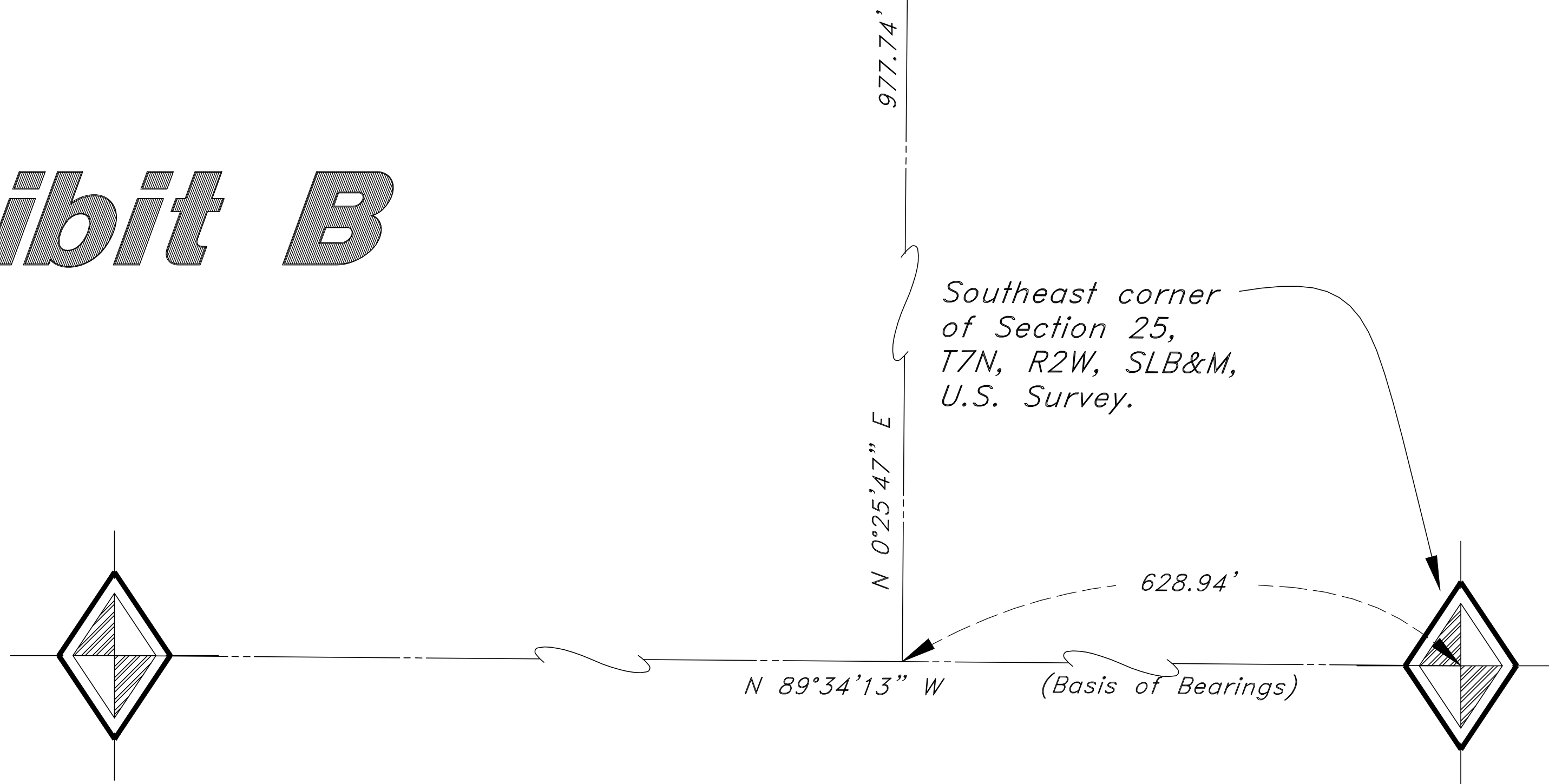


Exhibit B



REF.	DATE	DESCRIPTION

GREAT BASIN ENGINEERING NORTH
 CONSULTING ENGINEERS AND SURVEYORS
 5746 South 1475 East - Suite 200
 Ogden, Utah 84403
 P.O. Box 130046, Ogden, Utah 84415
 Ogden (801)394-4315 Salt Lake City (801)351-0222 Fax (801)392-7544

SD Easements Through M&M

M & M Storage
 2803 North Highway 89
 Ogden, Utah 84401

01 Feb, 2013

SHEET NO.
Ease

08N222S2

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
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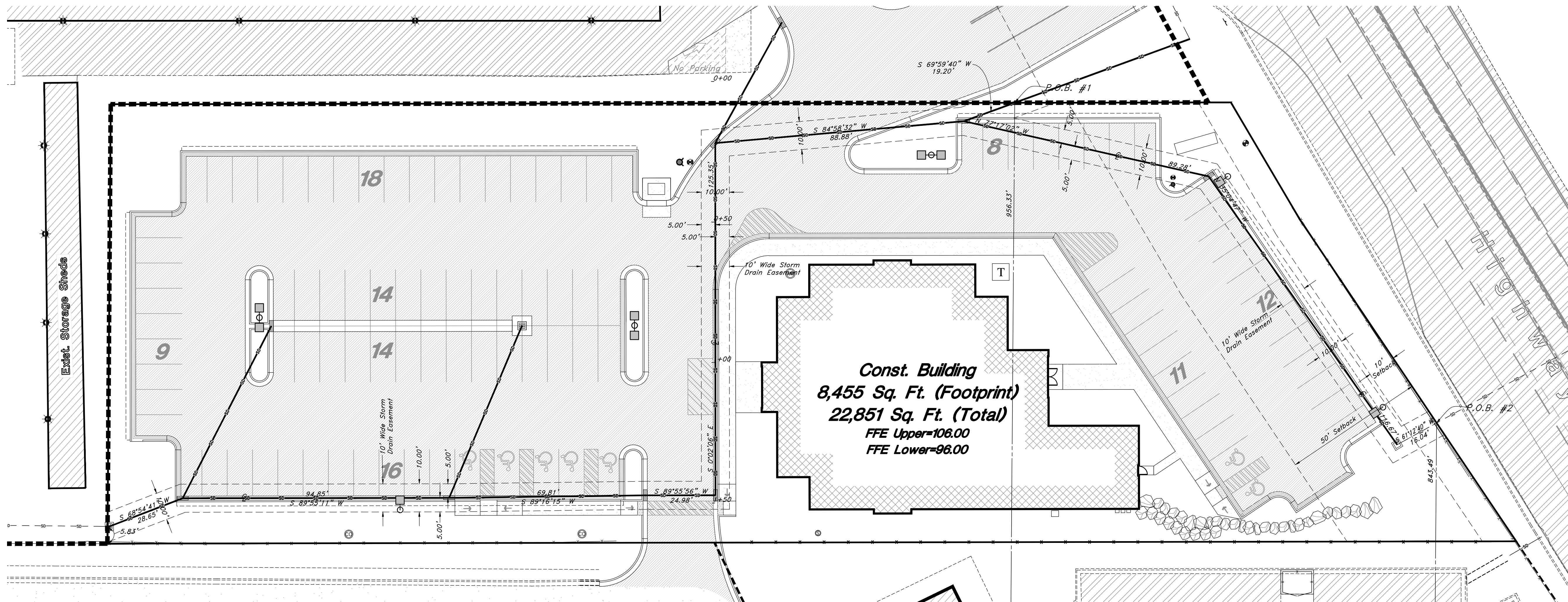
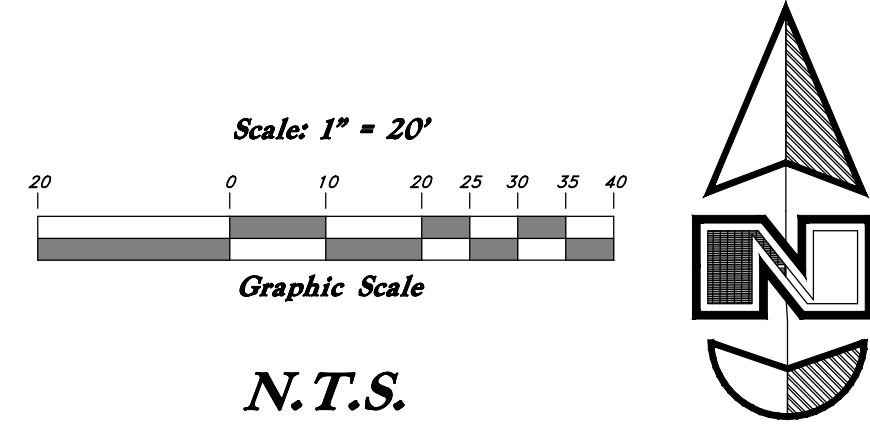
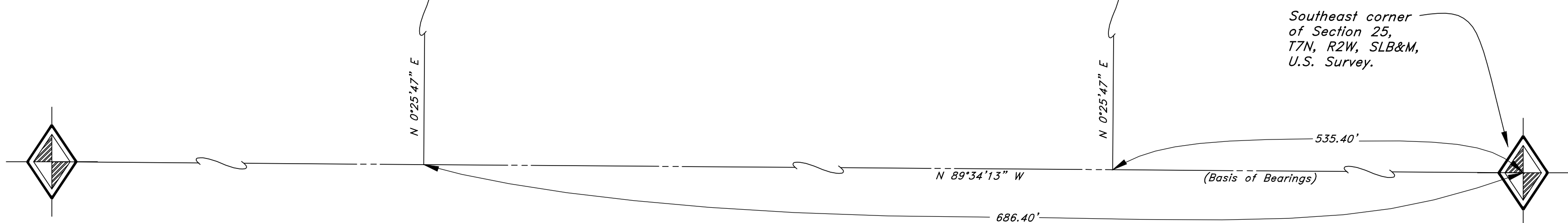


Exhibit B



GREAT BASIN ENGINEERING NORTH
 CONSULTING ENGINEERS AND ARCHITECTS
 5746 South 1475 East - Suite 200
 Ogden, Utah 84403
 P.O. Box 130048, Ogden, Utah 84415
 Ogden (801)394-4315 Salt Lake City (801)501-0222 Fax (801)392-7544

SD Easements Through N.V.H.
North View Holdings LLC
 2797 North Highway 89
 Ogden, Utah 84401

01 Feb, 2013
 SHEET NO.
Ease
 08N222S2

REF. DATE DESCRIPTION

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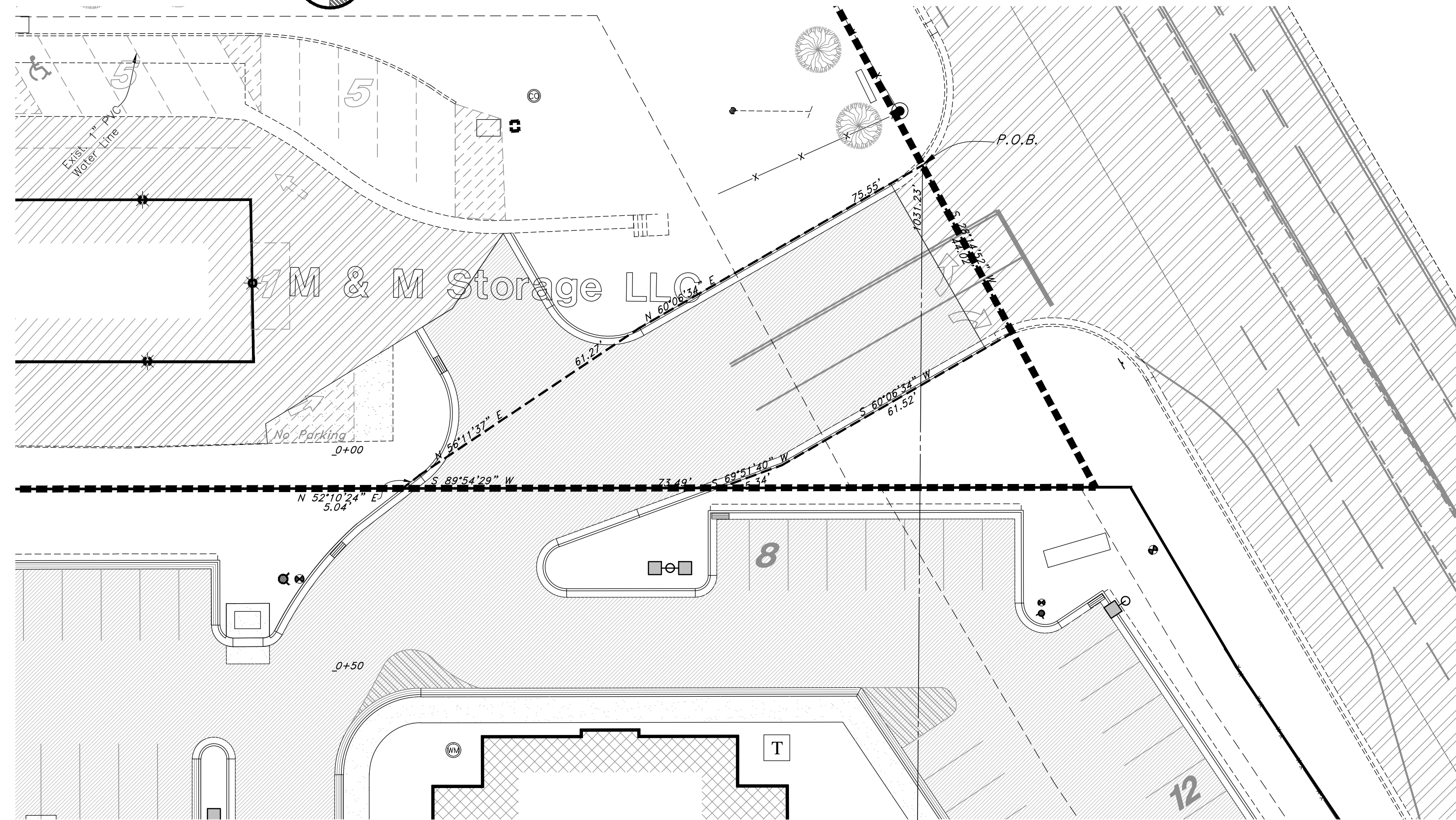
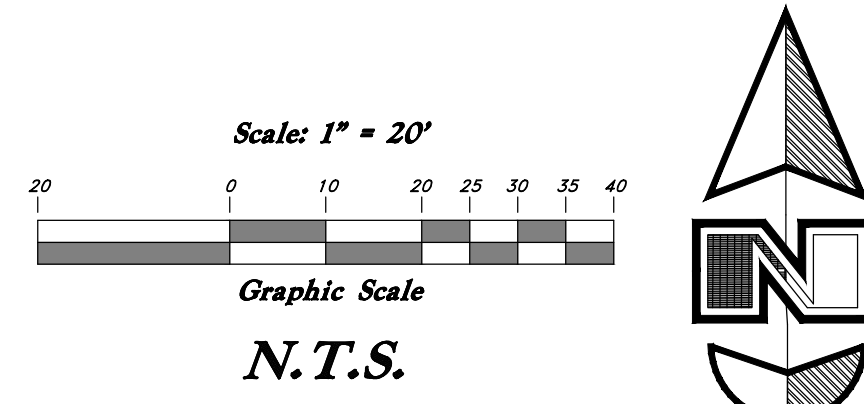
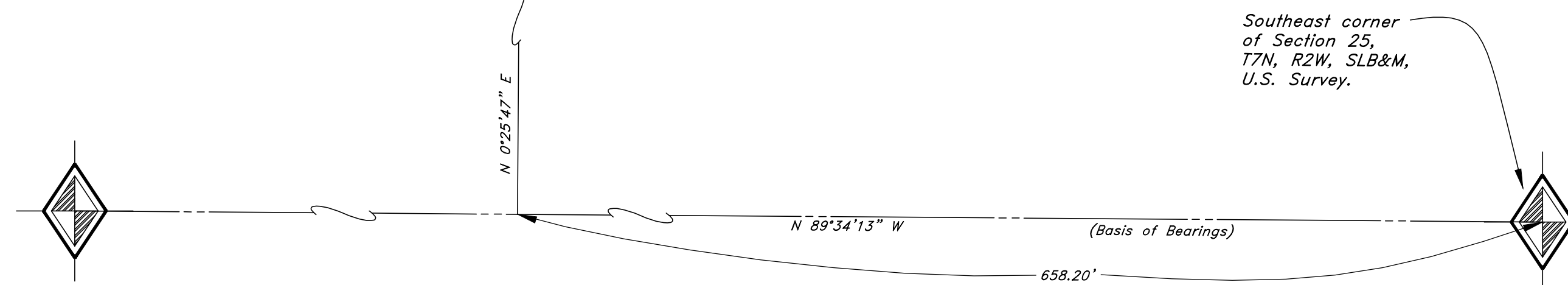


Exhibit B



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 5746 South 1475 East - Suite 200
 Ogden, Utah 84403
 P.O. Box 130046, Ogden, Utah 84415
 Ogden (801)394-4315 Salt Lake City (801)521-0222 Fax (801)392-7544

Access Easement
M & M Storage
 2803 North Highway 89
 Ogden, Utah 84401

01 Feb, 2013

SHEET NO.
Ease