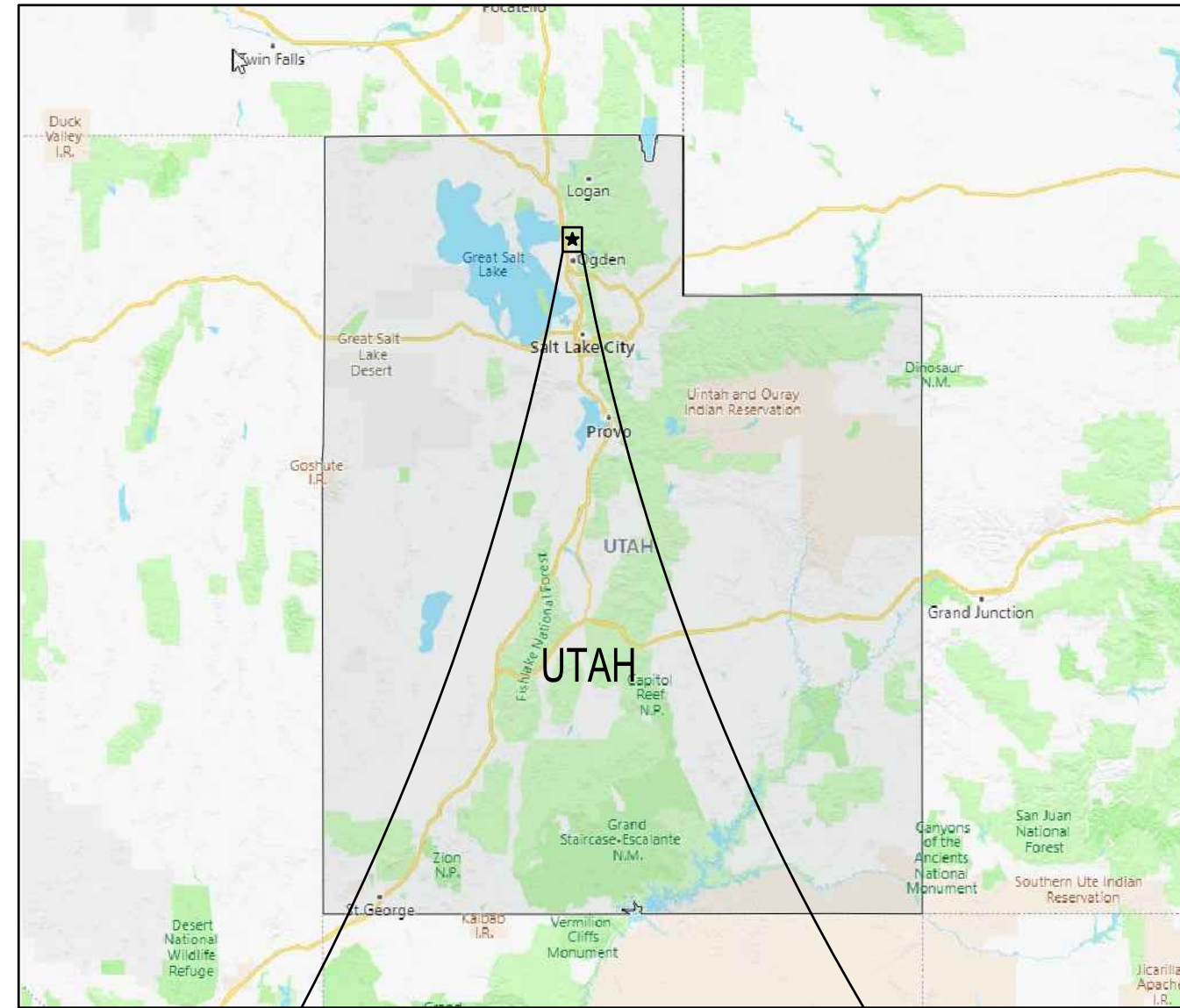


COMMERCIAL DEVELOPMENT  
FOR

# WinCo FOODS

ON-SITE CIVIL CONSTRUCTION DOCUMENTS  
OGDEN, UTAH



**OWNER / APPLICANT**

WINCO FOODS, LLC  
650 NORTH ARMSTRONG PLACE  
BOISE, IDAHO 83704  
PHONE: 208.672.2066

**ENGINEER**

SCJ ALLIANCE  
212 N TOWER AVENUE  
CENTRALIA, WA 98531  
PH: 360.669.0700  
CONTACT: BRANDON JOHNSON, PE

**SURVEYOR**

DOMINION ENGINEERING ASSOCIATES, LLC  
5684 SOUTH GREEN STREET  
MURRAY, UTAH 84123  
PH: 801.713.3000  
CONTACT: MARK GREGORY, PLS

**SITE INFORMATION**

PARCEL NUMBER: 19-182-0001  
PARCEL SIZE: ±5.04 ACRES

**SITE ADDRESS**

2423 RULON WHITE BOULEVARD  
OGDEN, UTAH 84404

**UTILITIES**

**WATER:**  
BONA VISTA WATER IMPROVEMENT DISTRICT  
PHONE: 801.621.0474

**WEBER BASIN WATER CONSERVANCY DISTRICT**  
PHONE: 801.771.1677

**SEWER:**  
CENTRAL WEBER SEWER  
PHONE: 801.731.3011

**PHONE:**  
SYRINGA NETWORKS  
PHONE: 801.462.0070

**CENTURYLINK**  
PHONE: 801.974.8130

**INTEGRA TELECOM**  
PHONE: 801.708.6157

**COMCAST**  
PHONE: 801.401.3041

**POWER:**  
ROCKY MOUNTAIN POWER  
PHONE: 503.813.6993

**CAS:**  
QUESTAR GAS COMPANY  
PHONE: 800.323.5517

**ZONING**

MANUFACTURING (M-1)

**LEGAL DESCRIPTION**

LOT 3B, WEBER INDUSTRIAL PARK - PLAT "D"  
LOT 3B, ACCORDING TO THE OFFICIAL PLAT  
THEREOF, AS RECORDED IN THE OFFICE OF THE  
WEBER COUNTY RECORDER.

**BASIS OF BEARING**

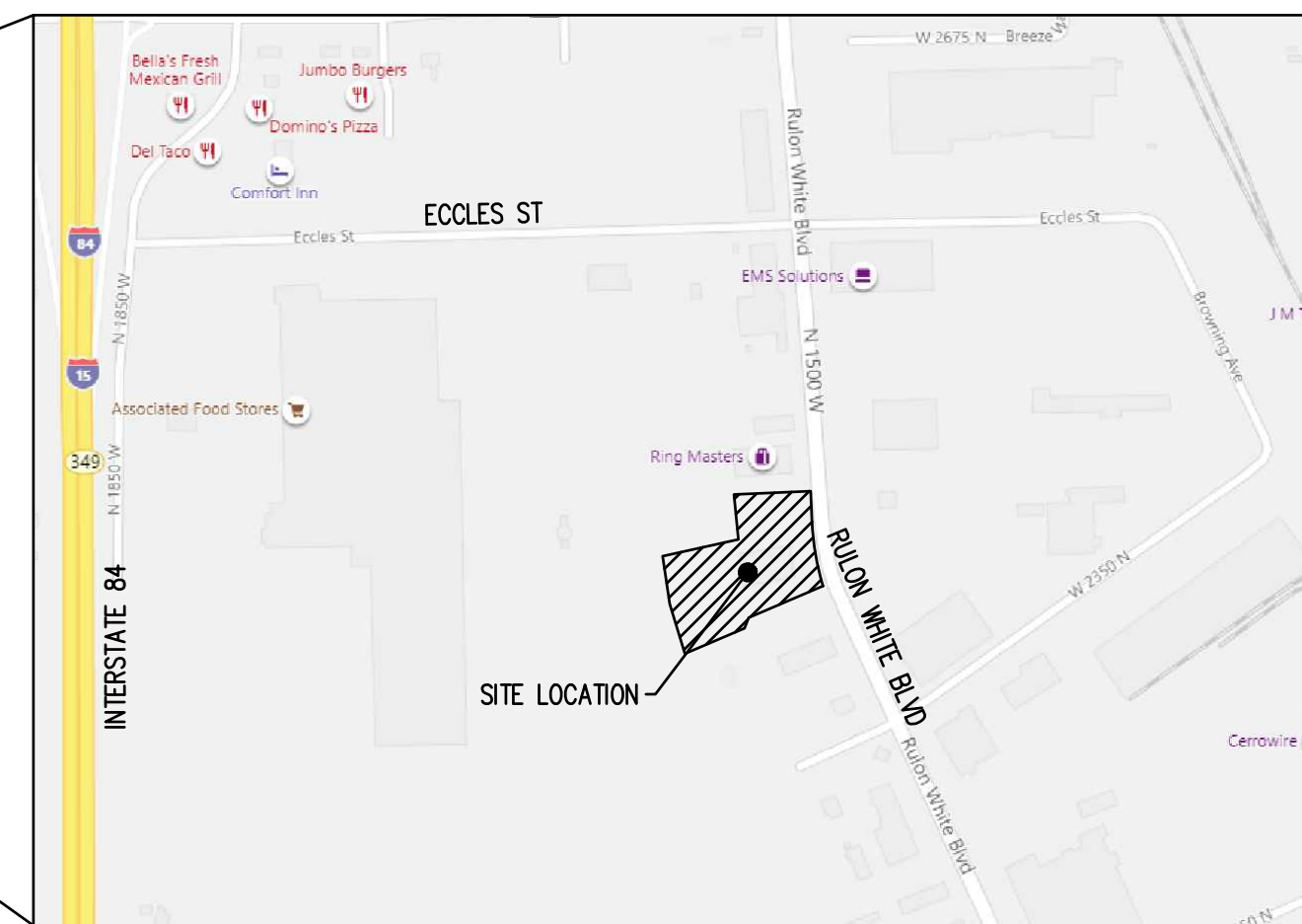
THE BASIS OF BEARING FOR THE SURVEY IS  
SOUTH 89°18'48" WEST ALONG THE NORTH LINE  
OF SAID SECTION 36.

**DATUM**

WEBER COUNTY BM WC-115 M,  
ELEVATION: 4265.07 (NAVD 88)

**SHEET INDEX**

SHEET	SHEET TITLE
CIVIL	
CV-01	COVER SHEET
GN-01	GENERAL NOTES
EX-01	ALTA SURVEY
EX-02	ALTA SURVEY
EX-03	ALTA SURVEY
EC-01	EROSION CONTROL PLAN
EC-02	EROSION CONTROL DETAILS
DM-01	DEMOLITION PLAN
SP-01	SITE PLAN
HC-01	HORIZONTAL CONTROL AND PAVING PLAN
DT-01	PAVING AND SITE DETAILS
CG-01	GRADING AND DRAINAGE PLAN
SD-01	STORM DRAINAGE PLAN
SD-02	STORM DRAINAGE DETAILS



A PORTION OF SEC. 36, T7N., R2W., SLB&M  
OGDEN, UTAH

**UPDES PERMIT NOTE**

A GENERAL PERMIT UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) STORMWATER DISCHARGE PERMIT IS REQUIRED FOR THIS PROJECT. A UPDES PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR AS PART OF THIS PROJECT PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL COMPLY WITH THE UPDES PERMIT DURING ALL PHASES OF THE PROJECT.

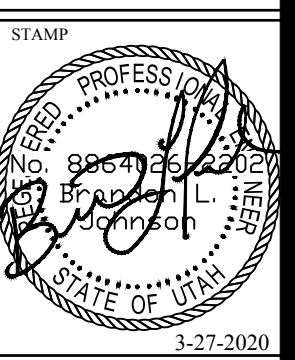
**SWPPP NOTE**

A SWPPP IS REQUIRED FOR THE WINCO FOODS #80 CROSS DOCK PROJECT. A SWPPP SHALL BE PREPARED FOR THIS PROJECT BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING AND FINALIZING THE SWPPP PER FIELD CONDITIONS. CONTRACTOR SHALL IMPLEMENT AND MAINTAIN ALL BMPs DURING AND AFTER PROJECT CONSTRUCTION.

REVISIONS

SCJ PROJECT NO.	1225.22
DRAWN	D. PHILLIPS
CHECKED	J. BRUHN
SUBMITTAL DATES	
3-25-20	
OTB DATE	

**SCJ ALLIANCE**  
CONSULTING SERVICES  
212 N TOWER AVE. CENTRALIA, WA 98531  
P. 360.669.0700  
WWW.SCJALLIANCE.COM



WINCO NO. 80 CROSS DOCK  
2423 N. RULON WHITE BLVD.  
OGDEN, UTAH

# WinCo FOODS

SHEET TITLE  
COVER SHEET

SHEET  
CV-01

**SCJ ALLIANCE - GENERAL CONSTRUCTION NOTES:**

- ALL WORK, WORKMANSHIP AND MATERIALS FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE FOLLOWING MANUAL(S) AND DOCUMENT(S):  
TERRACON GEOTECHNICAL ENGINEERING REPORT (JUNE 21, 2016)  
  
TERRACON GEOTECHNICAL ENGINEERING REPORT ADDENDUM (JUNE 23, 2017) AND REVISIONS THERETO (REVISION 1: JULY 18, 2017 AND REVISION 2: SEPTEMBER 27, 2017)  
  
WEBER COUNTY, PUBLIC WORKS STANDARDS AND TECHNICAL SPECIFICATIONS,  
<http://www.webercountyutah.gov/Engineering/documents/PublicWorksStandardsandSpecifications.pdf>  
  
UTAH CHAPTER, AMERICAN PUBLIC WORKS ASSOCIATION MANUAL OF STANDARD PLANS, 2017 EDITION  
[HTTP://UTAHAPWA.NET/](http://UTAHAPWA.NET/)  
  
UTAH DEPARTMENT OF TRANSPORTATION, 2017 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (JANUARY 1, 2017)  
<http://www.udot.utah.gov/main/uconowner.g?n=31730316757114651>  
  
UTAH DEPARTMENT OF TRANSPORTATION, 2017 STANDARD DRAWINGS FOR ROAD AND BRIDGE CONSTRUCTION (JANUARY 1, 2017),  
<http://www.udot.utah.gov/main/uconowner.g?n=31730514811123516>
  - ALL GOVERNMENTAL SAFETY REGULATIONS SHALL BE STRICTLY ADHERED TO INCLUDING OSHA.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DULY NOTIFY WEBER COUNTY IN ADVANCE OF THE COMMENCEMENT OF ANY AUTHORIZED WORK AND TO SCHEDULE REQUIRED INSPECTIONS. ANY REQUIRED INSPECTION TEST WILL BE PERFORMED AT THE CONTRACTOR'S EXPENSE.
  - THE APPROVAL OF THESE PLANS BY WEBER COUNTY DOES NOT RELIEVE THE CONTRACTOR OR DEVELOPER OF THE RESPONSIBILITY TO COMPLY WITH THE REQUIREMENTS OF OTHER GOVERNING AGENCIES.
- CAUTION – NOTICE TO CONTRACTOR**
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE PROJECT SURVEY AND OTHER RECORDS OF UTILITIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL 811 48 HOURS PRIOR TO PLANNED EXCAVATIONS.
  - THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE EXISTING CONDITIONS SHOWN IN THIS PLAN SET ARE BASED UPON COMPILED SURVEY DATA. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED WORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE.
  - EXISTING UTILITIES ARE SHOWN FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY EXACT LOCATION, DIAMETER, LENGTH, CONDITION, PIPE TYPE, SLOPE AND VERTICAL AND HORIZONTAL ALIGNMENT OF THE PROPOSED POINTS OF CONNECTION PRIOR TO CONNECTION AND REPORT ANY DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
  - PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL, STATE, AND FEDERAL APPROVALS AND PERMITS.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE A COPY OF THE APPROVED PLANS, SPECIFICATIONS, AND CONTRACT DOCUMENTS AT THE CONSTRUCTION SITE AT ALL TIMES.
  - CONSTRUCTION SIGNING AND TRAFFIC CONTROL SHALL BE PER THE CURRENT COPY OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
  - ALL VEHICLES AND EQUIPMENT SHALL BE KEPT WITHIN THE WORK AREAS ESTABLISHED FOR THAT WORK SHIFT UNLESS TRAVELING TO OR FROM THE SITE. UNDER NO CIRCUMSTANCES SHALL VEHICLES BE PARKED OR EQUIPMENT BE STORED OUTSIDE OF THESE AREAS.
  - OTHER CONSTRUCTION PROJECTS MAY OCCUR NEAR THE PROJECT SITE AND MAY BE IN PROGRESS CONCURRENTLY WITH THE PROJECT. THE CONTRACTOR SHALL COOPERATE AS NECESSARY AND NOT INTERFERE OR HINDER THE PROGRESS OR COMPLETION OF WORK BEING PERFORMED BY OTHER CONTRACTORS.
  - THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING ALL MATERIALS, LABOR, AND EQUIPMENT NECESSARY TO COMPLETE THE WORK SHOWN ON THESE DRAWINGS AND TO OBTAIN ACCEPTANCE BY WEBER COUNTY AND THE PROJECT OWNER.
  - ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL "PRE CONSTRUCTION" STATE OR BETTER.
  - DRIVEWAY ACCESS AND UTILITY SERVICE TO EXISTING HOMES AND BUSINESSES SHALL BE MAINTAINED AT ALL TIMES.
  - CONTRACTOR SHALL HIRE AN ARBORIST TO INSPECT ALL EXISTING TREES AND PROVIDE A REPORT ON RECOMMENDATIONS FOR PRUNING OR REMOVAL. CONTRACTOR SHALL PRUNE OR REMOVE TREES PER ARBORIST'S REPORT. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
  - GROUNDWATER WAS OBSERVED ONSITE, SEE GEOTECHNICAL ENGINEERING REPORT SECTION 3.2 AND AMENDMENTS.

**TYPICAL ABBREVIATIONS**

&	AND	FDC	FIRE DEPARTMENT CONNECTION	S	SOUTH OR SLOPE
∅	ANGLE	FDN	FOUNDATION	SCHED	SCHEDULE
±	APPROXIMATELY	FF	FINISH FLOOR	SD, SDMH	STORM DRAIN, STORM DRAIN MANHOLE
⊕	AT	FG	FINISHED GRADE	SE	SOUTHEAST
⊕	CENTERLINE	FH	FIRE HYDRANT	SECT	SECTION(S)
°	DEGREE	FIN	FINISH(ED)	SHT	SHEET
=	EQUALS	FL	FIRE LINE/FLANGE	SP	SPRINKLER
'	FOOT	FT	FOOT/FEET	SQ	SQUARE
>	GREATER THAN			SQ FT	SQUARE FEET
"	INCH			SQ IN	SQUARE INCH
#	NUMBER	G	GAS	SS	SANITARY SEWER
%	PERCENT	GALV	GALVANIZED	SSMH	SANITARY SEWER MANHOLE
		GRND	GROUND	ST	STREET
AC	ASPHALTIC CONCRETE	GV	GATE VALVE	STA	STATION
ADD'L	ADDITIONAL			STD	STANDARD
ADJT	ADJACENT	HH	HANDHOLE	STRUCT	STRUCTURE(E, AL)
AFF	ABOVE FINISH FLOOR	HORIZ	HORIZONTAL	SW	SOUTHWEST
AP	ANGLE POINT	HT	HEIGHT	SYS	SYSTEM
APPROX	APPROXIMATE				
ARCH	ARCHITECT	IE	INVERT ELEVATION	T	TELEPHONE OR TELEPHONE VAULT
ATB	ASPHALT TREATED BASE COURSE	IN	INCH	TBD	TO BE DETERMINED
AVE	AVENUE			TBM	TEMPORARY BENCH MARK
				TC	TOP OF CURB ELEVATION
BCR	BEGIN CURB RETURN	JB, J-BOX	JUNCTION BOX	TELE	TELEPHONE
BFV	BUTTERFLY VALVE	JT	JOINT TRENCH	TEMP	TEMPORARY
BGS	BELOW GROUND SURFACE	KV	KILOVOLTS	TOW	TOP OF WALL
BLK	BLOCK(S)	kW	KILOWATT	TP, T/P	TOP OF PIPE
BLDG	BUILDING	KWH	KILOWATT HOURS	TYP	TYPICAL
BM	BENCHMARK	MAX	MAXIMUM	UDG	UNDERGROUND
BVC	BEGIN VERTICAL CURB	MFR	MANUFACTURER	VAP	VERTICAL ANGLE POINT
		MH	MANHOLE	VC	VERTICAL CURVE
C	CONDUIT	MIN	MINIMUM, MINUTE	VERT	VERTICAL
CB	CATCH BASIN	MISC	MISCELLANEOUS	VOL	VOLUME
CF	CUBIC FEET	MON	MONUMENT IN CASE		
CIRC	CIRCUIT, CIRCULA(R), TION			W	WEST, WIDTH, WIDE OR WATER
CIP	CAST-IN-PLACE	N	NORTH, NORTHING	W/	WITH
CIP MON	CAST-IN-PLACE MONUMENT	N/A	NOT APPLICABLE	W/O	WITHOUT
CJ	CENTER JOINT	NE	NORTHEAST	WM	WATER MAIN
⊕	CENTER LINE	NEMA	NATIONAL ELECTRICAL MANUFACTURES ASSOCIATION	WV	WATER VALVE
CL	CROWNLINE				
CLR	CLEAR	NIC	NOT IN CONTRACT		
CO	CLEANOUT	NO, No	NUMBER	XFMR	TRANSFORMER
COMM	COMMUNICATION	NTS	NOT TO SCALE		
COMPT	COMPACTED	NW	NORTHWEST		
CONC	CONCRETE				
CONST	CONSTRUCT	OC, oc	ON CENTER		
CONT	CONTINU(E, ED, OUS, ATION)	OD	OUTSIDE DIAMETER		
COORD	COORDINATE	OSHA	OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION		
CULV	CULVERT				
CU YD	CUBIC YARD				
		P	POWER, POWER VAULT		
D/W	DRIVEWAY	PC	POINT OF CURVATURE		
DEF	DEFLECTION	PCC	POINT OF COMPOUND CURVE		
DEG	DEGREE	PED	PEDESTAL		
DEMO	DEMOLISH/DEMOLITION	PI	POINT OF INTERSECTION		
DIA	DIAMETER	ℙ	PROPERTY LINE		
DIM	DIMENSION(S)	POC	POINT OF CONNECTION		
DIP	DUCTILE IRON PIPE	PP	POWER POLE		
DR	DRIVE	PRC	POINT OF REVERSE CURVATURE		
DWG(S)	DRAWING(S)	PROP	PROPERTY		
		PSI	POUNDS PER SQUARE INCH		
E	EAST OR ELECTRICAL	PT	POINT OF TANGENCY		
EA	EACH	PVC	POINT OF VERTICAL CURVE		
ECR	END CURB RETURN	PVI	POINT OF VERTICAL INTERSECTION		
EHH	ELECTRICAL HANDHOLE	PVT	POINT OF VERTICAL TANGENT		
EL, ELEV	ELEVATION	PVMT	PAVEMENT		
ELEC	ELECTRIC(AL)	PWR	POWER		
ENGR	ENGINEER	QTY	QUANTITY		
EOP	EDGE OF PAVEMENT	R	RADIUS		
EQ	EQUAL(LY)	RD	ROAD, ROADWAY		
EQUIP	EQUIPMENT	REF	REFERENCE		
ESMT	EASEMENT	REINF	REINFORC(E, ED, ING, MENT)		
EVC	END VERTICAL CURVE	REQ'D	REQUIRED		
EX, EXIST	EXISTING	REV	REVISION		
EXP	EXPANSION	RIM	STRUCTURE RIM ELEVATION		
		RT	RIGHT		
		R/W, ROW	RIGHT OF WAY		

REVISIONS

NO.	DATE	DESCRIPTION

SCJ PROJECT NO. 1225.22  
DRAWN D. PHILLIPS  
CHECKED J. BRUHN  
SUBMITTAL DATES 3-25-20  
OTB DATE

**SCJ ALLIANCE**  
CONSULTING SERVICES  
212 N TOWER AVE. CENTRALIA, WA 98531  
P. 360.427.1509  
S. ALLIANCE.COM

WINCO NO. 80 CROSS DOCK  
2423 N. RULON WHITE BLVD.  
OGDEN, UTAH

**WinGo**  
**FOODS**

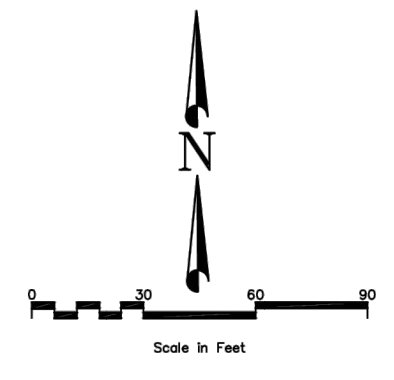
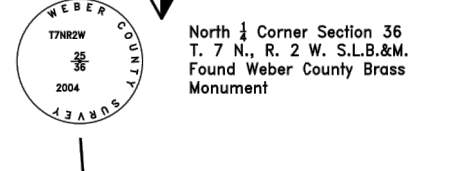
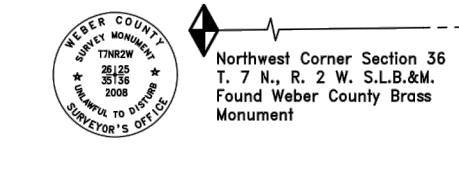
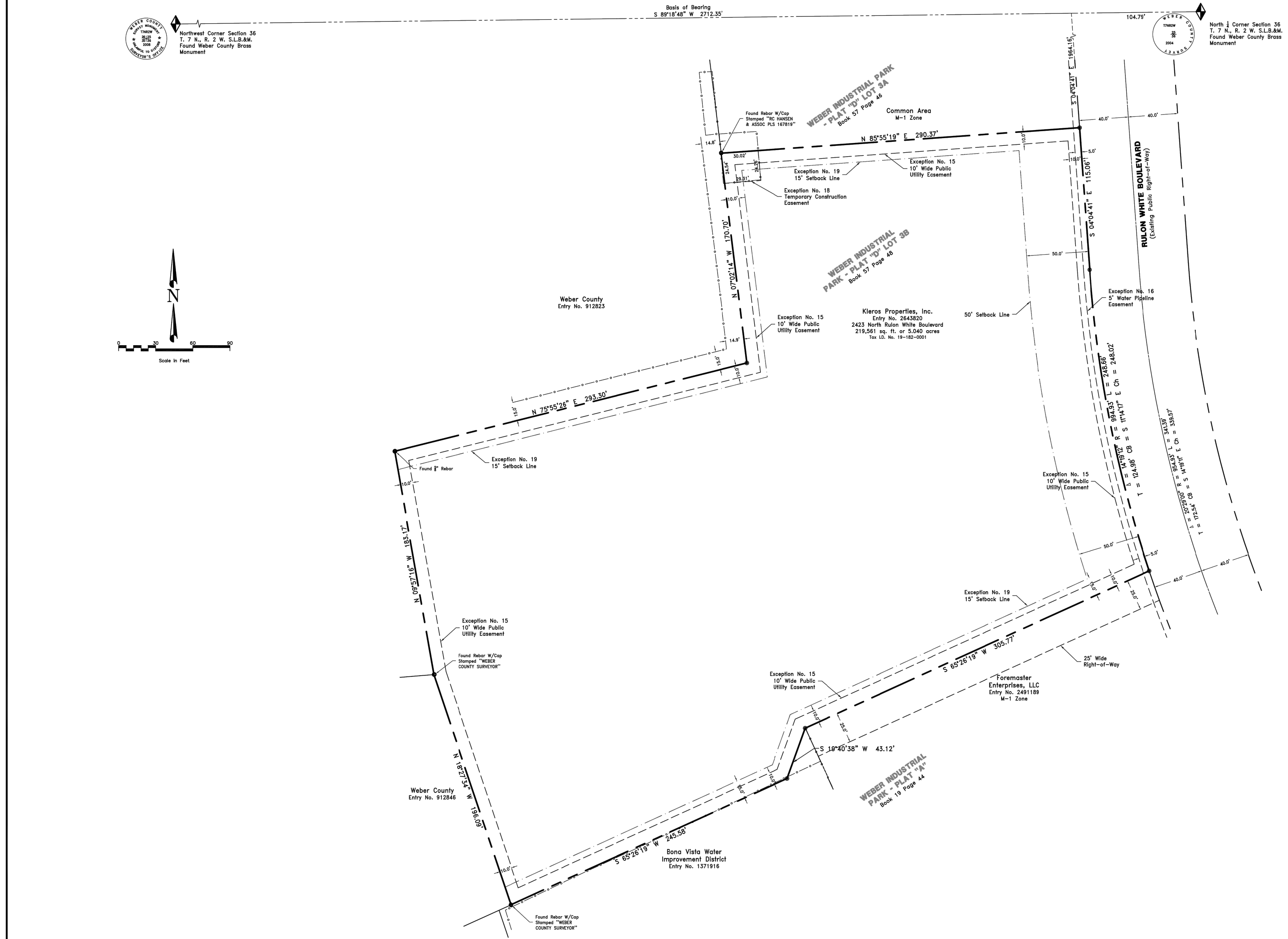
SHEET TITLE  
GENERAL NOTES  
SHEET  
**GN-01**

**BASIS OF BEARING:**  
THE BASIS OF BEARING FOR THE SURVEY IS SOUTH 89°18'48" WEST ALONG THE NORTH LINE OF SAID SECTION 36.  
**BENCHMARK:**  
WEBER COUNTY BM WC-115 M,  
ELEVATION: 4265.07 (NAVD 88)

ALTA/NSPS Land Title Survey  
For

WinCo Foods, LLC

Weber Industrial Park - Plat "D" Situated in a Portion of the North Half of Section 36,  
Township 7 North, Range 2 West, Salt Lake Base & Meridian  
Weber County, Utah  
2016



**BOUNDARY DESCRIPTION:**  
Lot 3B, Weber Industrial Park - Plat "D" LOT 3B, according to the official plat thereof, as recorded in the office of the Weber County Recorder.

**ZONING:**  
The subject property is located in an M-1, Manufacturing Zone. M-1 Zones have the following bulk restrictions:

- Minimum yard setbacks
- a. Front: 50 feet
  - b. Side: none
  - c. Rear: none

Main building height

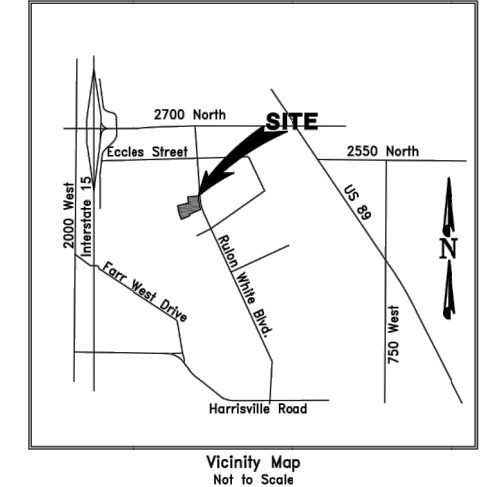
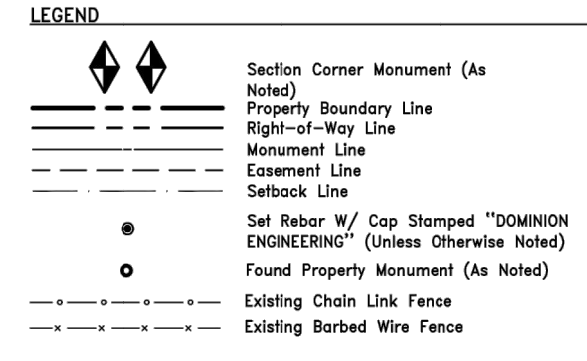
- a. Minimum one story
- b. Maximum none

Lot coverage: Not over 80% of lot area by buildings.

The Protective Covenants recorded April 13, 1973 as Entry No. 581240 in Book 1021 of Page 675 of the Weber County records require the following restrictions:

1. Front Yards. Buildings shall not be closer than 50 feet to the street property line.
  2. Side Yards. Buildings shall not be nearer than 15 feet from the side property line.
  3. Rear Yards. No rear yard restrictions.
  4. No building shall be closer than 40' to any other building on an adjacent site.
  5. No more than 50% of the site area shall be covered by building.
- At least one-half of the surface of the required setback area from the streets shall be maintained in lawns and landscaping.
- Parking restrictions are as follows:
1. One parking space every vehicle used in conducting the business, plus one parking space for every 1.3 employees working on the highest shift plus sufficient visitor parking.
  2. One square foot of parking area for each square foot of building area. If this requires more land area than required under Item 1, then only that amount of area need a paved to meet the requirements of Item 1.
  3. Spaces for visitor parking may be provided in the front of buildings provided that the parking area is not closer than 20 feet to the street curb line, and that the area between the street and the parking area is attractively landscaped and the parking area is restricted for visitor parking only.

**FLOOD ZONE:**  
The subject property is located in a Zone Designation of X, areas determined to be outside of the 0.2% annual chance of flood by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 0200C, with a date of identification of December 16, 2005, for Community No. 49057C, in Weber County, State of Utah, which is the current Flood Insurance Rate Map for the community in which the subject property is situated. (NAVD83).



DRAWN	DOM 6/16	CHECKED	DOM 6/16
DESIGNED	DOM 6/16	DATE	DOM
APPROVED	DOM 6/16	DATE	DOM
		PROJECT ENGINEER	
		PROJECT MANAGER	

**WINCO FOODS, LLC**  
**WEBER COUNTY, UTAH**

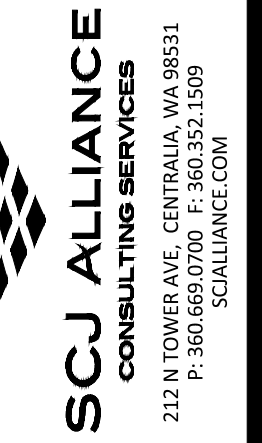


**IN THE NORTH 1/2 SECTION 36, T7N, R2W, SLB&M**  
**ALTA/NSPS LAND TITLE SURVEY**

PROJECT NO.	2644-01
SHEET NO.	1 of 3
FILE NAME	Lot 3B ALTA
SCALE	1"=30'

REVISIONS

SCJ PROJECT NO.	1225.22
DRAWN	
CHECKED	
SUBMITTAL DATES	
3-25-20	
OTB DATE	



FOR REFERENCE ONLY

WINCO NO. 80 CROSS DOCK  
2423 N. RULON WHITE BLVD.  
OGDEN, UTAH



SHEET TITLE  
ALTA SURVEY

SHEET  
EX-01

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 Plot Date: 6/16/2016 10:08:54 AM

ALTA/NSPS Land Title Survey

For WinCo Foods, LLC

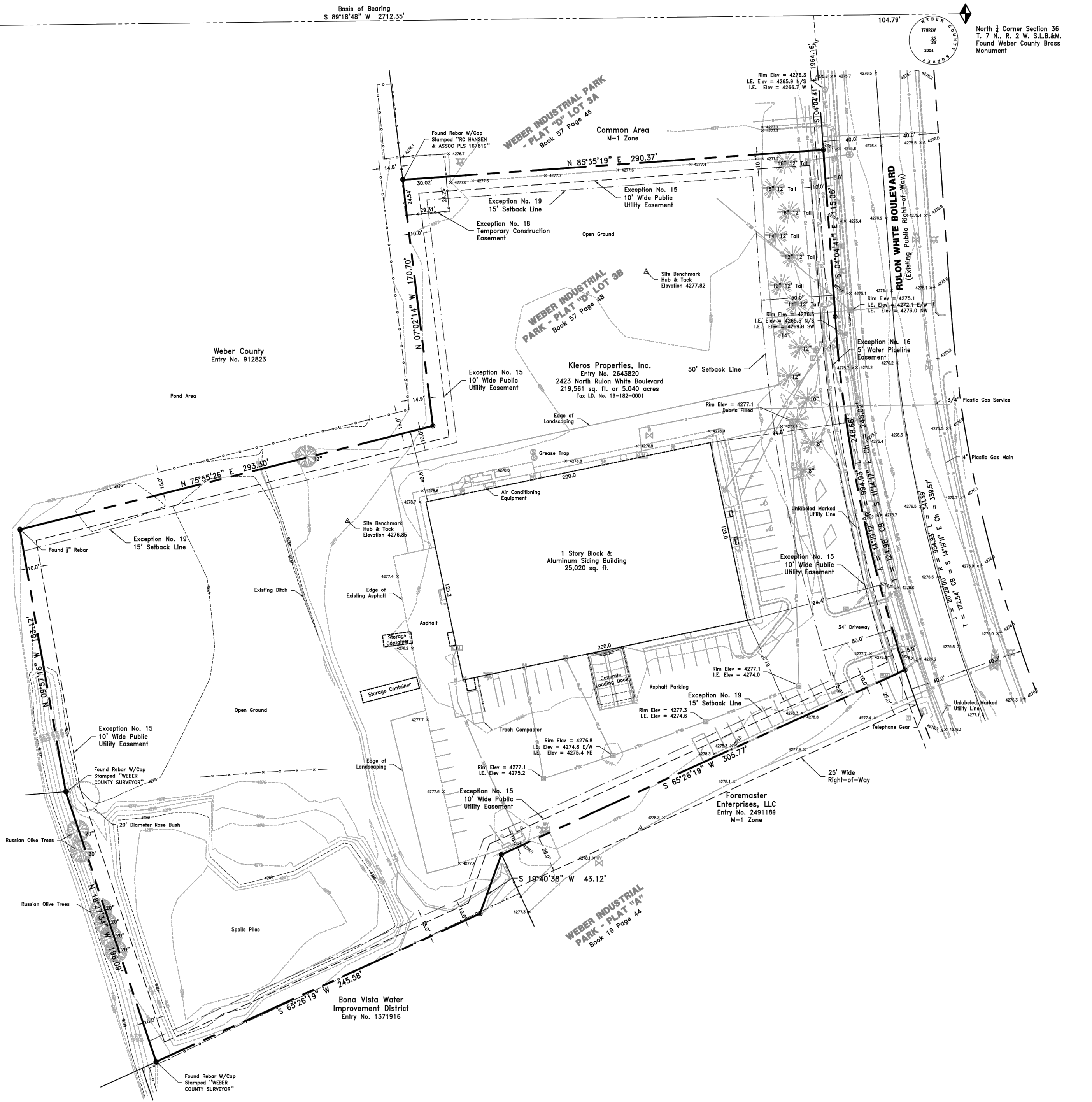
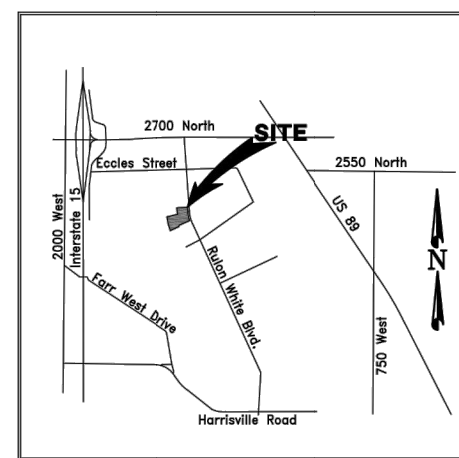
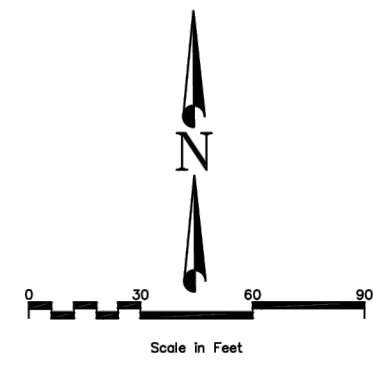
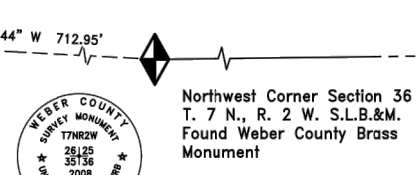
Weber Industrial Park - Plat "D" Situated in a Portion of the North Half of Section 36, Township 7 North, Range 2 West, Salt Lake Base & Meridian Weber County, Utah 2016



UTILITIES CONTACT INFORMATION:

Sewer	Central Weber Sewer Improvement District 801-731-3011
Water	Bona Vista Water Improvement District Brody Hansen 801-621-0474 ext. 206
Storm Drain	Weber County Stormwater Management 801-599-8374
Communications	Syringo Networks Andy Garcia agarcia@syringtonetworks.net 801-462-0070 CenturyLink Arlene Denney arlene.denney@centurylink.com 801-974-8130 Integra Telecom Shauna Jones shauna.jones@integratелеcom.com 801-708-8157 Comcast Paul Cobble pcobble@comcast.com 801-401-3041 Power Rocky Mountain Power Joel Simmon gladep@rmpcorp.com 505-813-6995 Gas Questar Gas Co. SL Mapping Dept. John.Stipes@questar.com 801-324-3765 UDOT Region 1 Wes Eggleston jeggleston@utah.gov 801-620-1632 Utah Environmental Response & Remediation Paul Zahn pzahn@utah.gov 801-536-4181 Cardno T&E Elaine Ritchie 1142 West 2320 South Suite A West Valley City, Utah 84119 801-256-5800

BENCHMARK:  
Weber County BM WC-115 M  
Elevation 4225.07 (NAVD 83)



LEGEND

	Section Corner Monument (As Noted)
	Property Boundary Line
	Right-of-Way Line
	Monument Cap
	Easement Line
	Setback Line
	Set Rebar W/Cap Stamped "DOMINION ENGINEERING" (Unless Otherwise Noted)
	Found Property Monument (As Noted)
	Edge of Existing Improvements (As Noted)
	Chain Link Fence
	Existing Barbed Wire Fence
	Existing Water Line
	Existing Sewer Line
	Existing Storm Drain Line
	Existing Fiber Optic Line
	Existing Gas Line
	Existing Overhead Electric Line
	Existing Electric Meter, Box, Utility Pole, Guy
	Existing Water Man Hole, Valve, Fire Hydrant, Meter
	Existing Storm Drain Man Hole, Catch Basin, Roof Drain, Cleanout
	Existing Sewer Man Hole
	Existing Mail Box
	Existing Deciduous, Conifer Tree

DRAWN	DOM 6/16	CHECKED	DOM 6/16
DESIGNED	DOM 6/16	DATE	DATE
APPROVED	DOM 6/16	DATE	DATE

**WINCO FOODS, LLC**  
WEBER COUNTY, UTAH



**IN THE NORTH 1/2 SECTION 36, T7N, R2W, SLB&M**  
**ALTA/NSPS LAND TITLE SURVEY**

PROJECT NO.	2644-01
SHEET NO.	2 of 3
NO.	REVISIONS
BY	DATE
FILE NAME:	SCALE: 1"=30'

REVISIONS

SCJ PROJECT NO. 1225.22

DRAWN

CHECKED

SUBMITTAL DATES

3-25-20

OTB DATE

FOR REFERENCE ONLY

WINCO NO. 80 CROSS DOCK  
2423 N. RULON WHITE BLVD.  
OGDEN, UTAH

**WinCo FOODS**

SHEET TITLE  
ALTA SURVEY

SHEET  
EX-02

SCJ ALLIANCE CONSULTING SERVICES  
212 N TOWER AVE, CENTRAUT, WA 98531  
P. 360.272.1509  
S. 360.272.1509

M:\27\_2020\_4\_09\_CD\m - User\scj\scj\winco\_foods\_expansion\l\_cadd\1225.22\_EX-02.dwg  
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**ALTA/NSPS Land Title Survey**  
**For**  
**WinCo Foods, LLC**  
 Weber Industrial Park – Plat "D" Situated in a Portion of the North Half of Section 36,  
 Township 7 North, Range 2 West, Salt Lake Base & Meridian  
 Weber County, Utah  
 2016

**SURVEYOR'S CERTIFICATE:**

To: WinCo Foods, LLC, Kleros Properties, Inc., a Utah Corporation, Integrated Title Insurance Services, LLC and First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(b), 7(a), 8, 9, 10(a), 11(b), 13, 14, 16, 17, 18, 19, 20(a) and 21 of Table A thereof. The field work was completed on May 18, 2016.

**BOUNDARY DESCRIPTION**  
 Lot 3B, Weber Industrial Park – Plat "D" LOT 3B, according to the official plat thereof, as recorded in the office of the Weber County Recorder.

Date: June 30, 2016

Mark N Gregory  
 P.L.S. No 334576



**NARRATIVE:**

The purpose of this survey is to retrace Weber Industrial Park – Plat "D" Lot 3B in order to perform an ALTA/NSPS Land Title Survey on said Lot 3B. The Weber County monuments found marking the Northwest and North Quarter Corners of Section 36, Township 7 North, Range 2 West, Salt Lake Base and Meridian are used to control the location of said property.

**BASIS OF BEARING:**

The basis of bearing for this survey is South 89°18'48" West along the north line of said Section 36.

**SITE BENCHMARK:**

Weber County BM WC-115 M, Elevation 4265.07 (NAVD 88)

**SURVEYOR'S NOTES:**

There are 44 regular and 2 disabled parking spaces located on the subject property.

There is no evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork for this survey.

There are no known proposed changes in street right of way lines.

No field delineation of wetlands conducted by a qualified specialist was provided by the client and no markers were observed in the process of conducting the fieldwork for this survey.

**SCHEDULE B – EXCEPTIONS:**

Integrated Title Insurance Services, LLC Order No. 67434 dated April 29, 2016.

**Exception No. 11:** Notice of Adoption of a Final Redevelopment Plan for the Weber County Industrial Park Project Area No. 3 dated December 23, 1996 recorded December 24, 1996 as Entry No. 1448771 in Book 1840 at Page 2130 of official records.  
 Survey findings: The subject property is located within the boundary of the Redevelopment Plan cited in this exception and is subject to the terms contained therein.

**Exception No. 12:** A Resolution No. 27-2012 of the Board of County Commissioners of Weber County, Utah, confirming the tax to be levied for municipal services provided to the unincorporated area of Weber County recorded December 13, 2012 as Entry No. 2610456 of official records.  
 Survey findings: The subject property is located within the unincorporated part of Weber County and is subject to the terms of the resolution cited in this exception.

**Exception No. 13:** An Ordinance 2013-8 of Weber County vacating a public utility easement on Lot 3B of Weber Industrial Park Plat "D" recorded April 11, 2013 as Entry No. 2629545 of official records.  
 Survey findings: The ordinance cited in this exception vacated a public utility easement that was originally located across the central portion of the subject property.

**Exception No. 14:** Notice of Creation from the Northern Utah Environmental Resource Agency ("NUERA"), dated October 28, 2014 recorded January 20, 2015 as Entry No. 2718461 of official records.  
 Survey findings: The subject property is located within Weber County and is subject to the terms of the notice cited in this exception.

**Exception No. 15:** Easements, including those for installation and maintenance of utilities and drainage facilities, are reserved as shown on the recorded plat of said Subdivision, Notes and Restrictions as recited on the recorded plat. Subdivision Plat Change Affidavit for Weber Industrial Park – Plat "D" Lot 3B recorded March 04, 2003 as Entry No. 1918090 in Book 2327 at Page 1402 of official records.  
 Survey findings: A 10 foot wide public utility easement exists along all of the boundary lines of the subject property and is shown hereon.

**Exception No. 16:** An easement over, across or through the land for transmitting and distributing water and incidental purposes, as granted to Weber Box Elder Conservation District by Instrument recorded February 10, 1988 as Entry No. 1037877 in Book 1534 at Page 238 of official records.  
 Survey findings: A 5 foot wide easement exists along the east line of the subject property and is shown hereon.

**Exception No. 17:** Reserving a 20 foot right of way for ingress and egress to the pond area (which is to be disclosed at a later date) as disclosed by Special Warranty Deed recorded September 25, 1995 as Entry No. 1365309 in Book 1773 at Page 659 of official records.  
 Survey findings: The location of the 20 foot wide right-of-way cited in this exception is not described and cannot be plotted.

**Exception No. 18:** Temporary Easement Agreement by and between B&R Development, L.L.C. and Gullo Properties, L.C. recorded October 27, 2003 as Entry No. 1986607 of official records.  
 Survey findings: The temporary easement cited in this exception is located in the northwesterly portion of the subject property and is shown hereon. This easement may have expired.

**Exception No. 19:** Protective Covenants recorded April 13, 1975 as Entry No. 591240 in Book 1021 at Page 675. Amendment to said Covenants recorded December 13, 1978 as Entry No. 761418 in Book 1278 at Page 224. Amendment to said Covenants recorded April 05, 1979 as Entry No. 772567 in Book 1295 at Page 688. Amendment to said Covenants recorded January 11, 1984 as Entry No. 89248 in Book 1439 at Page 314. Covenant and Restriction to Run with the Land recorded September 26, 1995 as Entry No. 1365644 in Book 1773 at Page 1388 of official records. Any and all amendments and/or supplements thereto.  
 Survey findings: The covenants cited in this exception create the following restrictions:

1. Front Yards. Buildings shall not be nearer than 50 feet to the street property line.
2. Side Yards. Buildings shall not be nearer than 15 feet from the side property line.
3. Rear Yards. No rear yard restrictions.
4. No building shall be closer than 40' to any other building on an adjacent site.
5. No more than 50% of the site area shall be covered by building.

At least one-half of the surface of the required setback area from the streets shall be maintained in lawns and landscaping.

Parking restrictions are as follows:

1. One parking space every vehicle used in conducting the business, plus one parking space for every 1.5 employees working on the highest shift plus sufficient visitor parking.
2. One square foot of parking area for each square foot of building area. If this requires more land area than required under item 1, then only that amount of area need e paved to meet the requirements of item 1.
3. Spaces for visitor parking may be provided in the front of buildings provided that the parking area is not closer than 20 feet to the street curb line, and that the area between the street and the parking area is attractively landscaped and the parking area is restricted for visitor parking only.

**Exception No. 20:** Deed of Trust and Assignment of Rents and Leases recorded July 02, 2013 as Entry No. 2643821.  
 Survey findings: The subject property is subject to the terms of the Deed of Trust cited in this exception.

**Exception No. 21:** An unrecorded Lease executed by Kleros Properties, Inc., as Lessor, and Harmony Concepts, Inc., as Lessee, as disclosed by Subordination, Affirmation and Estoppel Agreement recorded July 02, 2013 as Entry No. 2643822 of official records. Subordination, Affirmation and Estoppel Agreement wherein Harmony Concepts, Inc. subordinates its leasehold interest in the land pursuant to a Lease, dated August 31, 2012, to that certain Deed of Trust shown herein as Exception No. 21.  
 Survey findings: The subject property is subject to the terms of the Agreement cited in this exception.

**Exception No. 22:** Deed Of Trust With Assignment of Rents recorded July 02, 2013 as Entry No. 2643823.  
 Survey findings: The subject property is subject to the terms of the Deed of Trust cited in this exception.

**Exception No. 23:** Trust Deed, Security Agreement, Assignment of Leases and Rents and Fixture Filing recorded October 30, 2015 as Entry No. 2763368.  
 Survey findings: The subject property is subject to the terms of the Trust Deed cited in this exception.

**Exception No. 24:** A Notice of Mechanic's Lien dated March 22, 2016 filed by All Clean, Inc., a Utah corporation, doing business as The Flood Co. in the Amount of \$1,030.82 recorded March 30, 2016 as Entry No. 2785649 of official records.  
 Survey findings: The issues cited in this exception are not matters of survey.

**Exception No. 25:** The rights of any tenants, lessees, their creditors, and other parties claiming by, through, or under said tenants, pursuant to any leases, rental agreements, occupancy agreements, and/or assignments thereof.  
 Survey findings: The issues cited in this exception are not matters of survey.

REVISIONS

SCJ PROJECT NO.  
1225.22

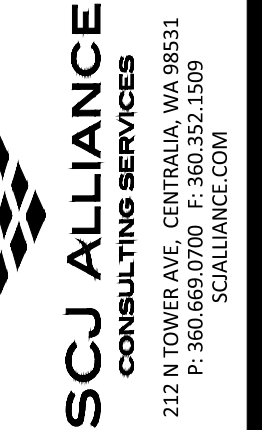
DRAWN

CHECKED

SUBMITTAL DATES

3-25-20

OTB DATE



STAMP

FOR  
REFERENCE  
ONLY

WINCO NO. 80 CROSS DOCK  
 2423 N. RULON WHITE BLVD.  
 OGDEN, UTAH



SHEET TITLE

ALTA SURVEY

SHEET

EX-03

P:\WINCO Lot3B\_Ogden\_2644\SURVEY\Map\Lot\_3B\_ALTA.dwg

Mar 27 2020 4:08:15pm - User: jacob.burke - N:\PROJECTS\1225 WINCO FOODS, LLC\122522 WINCO FOODS OGDEN, UT CROSS DOCK EXPANSION\CAD\122522\_EX-03.dwg

DRAWN	DOM 6/16	CHECKED	DOM 6/16
DESIGNED	DOM 6/16	DATE	DATE
APPROVED	DOM 6/16	DATE	DATE

<b>WINCO FOODS, LLC</b>
<b>WEBER COUNTY, UTAH</b>

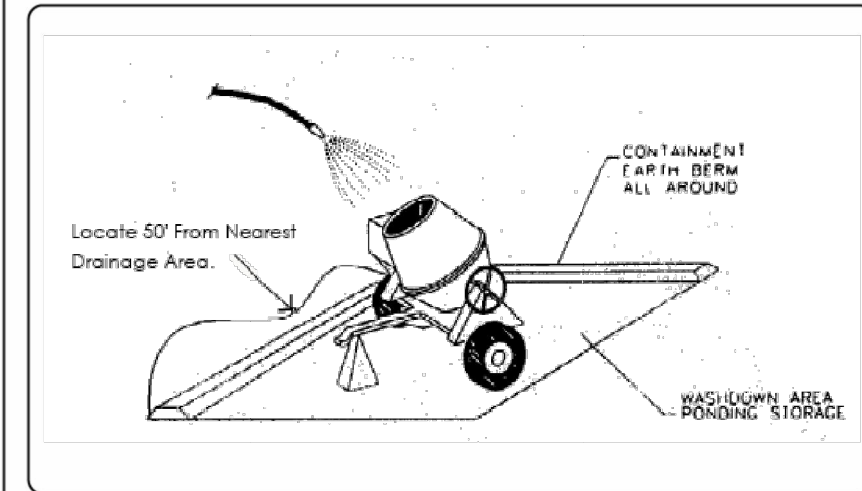
**DOMINION**  
 Engineering Associates, L.C.  
 5684 South Green Street  
 Murray, Utah 84123 801-713-3000

<b>IN THE NORTH 1/2 SECTION 36, T7N, R2W, SLB&amp;M</b>	
<b>ALTA/NSPS LAND TITLE SURVEY</b>	

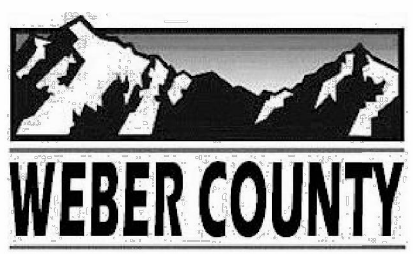
PROJECT NO.	2644-01
SHEET NO.	3 of 3
NO.	REVISIONS
BY	DATE
FILE NAME:	SCALE:
Lot 3B ALTA	N/A



**BMP: Concrete Waste Management CWM**



- OBJECTIVES**
- Housekeeping Practices
  - Contain Waste
  - Minimize Disturbed Areas
  - Stabilize Disturbed Areas
  - Protect Slopes/Channels
  - Control Site Perimeter
  - Control Internal Erosion



**DESCRIPTION:**  
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

- APPLICATIONS:**  
► This technique is applicable to all types of sites.

- INSTALLATION/APPLICATION CRITERIA:**
- Store dry and wet materials under cover, away from drainage areas.
  - Avoid mixing excess amounts of fresh concrete or cement on-site.
  - Perform washout of concrete trucks off-site or in designated areas only.
  - Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
  - Do not allow excess concrete to be dumped on-site, except in designated areas.
  - When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area. (See Earth Berm Barrier information sheet.)
  - Train employees and subcontractors in proper concrete waste management.

- LIMITATIONS:**  
► Off-site washout of concrete wastes may not always be possible.

- MAINTENANCE:**  
► Inspect subcontractors to ensure that concrete wastes are being properly managed.  
► If using a temporary pit, dispose hardened concrete on a regular basis.

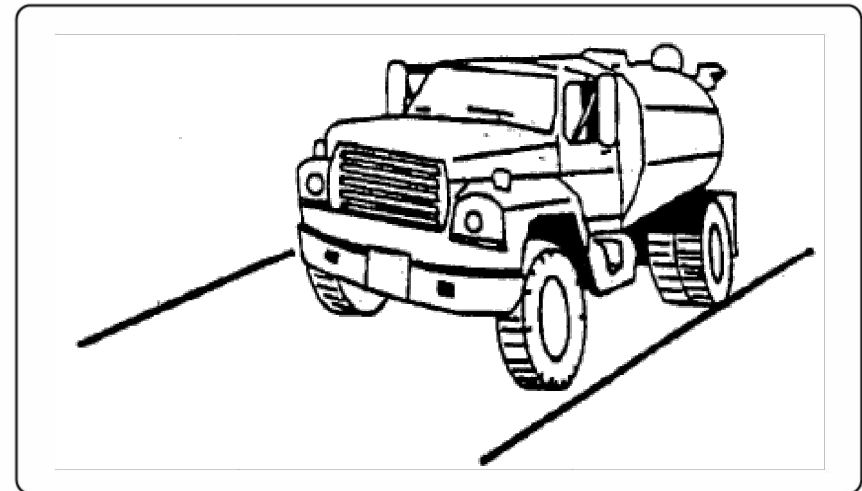
- TARGETED POLLUTANTS**
- Sediment
  - Nutrients
  - Toxic Materials
  - Oil & Grease
  - Floatable Materials
  - Other Construction Waste

- IMPLEMENTATION REQUIREMENTS**
- Capital Costs
  - O&M Costs
  - Maintenance
  - Training

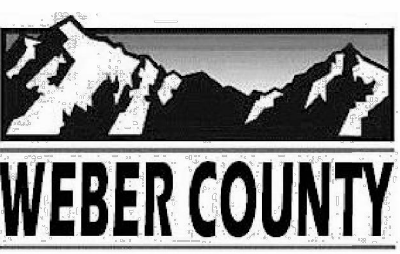
- High Impact**  
 Medium Impact  
 Low or Unknown Impact

- High**  
 Medium  
 Low

**BMP: Dust Control DC**



- OBJECTIVES**
- Housekeeping Practices
  - Contain Waste
  - Minimize Disturbed Areas
  - Stabilize Disturbed Areas
  - Protect Slopes/Channels
  - Control Site Perimeter
  - Control Internal Erosion



**DESCRIPTION:**  
Dust control measures are used to stabilize soil from wind erosion, and reduce dust by construction activities.

- APPLICATION:**  
► Dust control is useful in any process area, loading and unloading area, material handling areas, and transfer areas where dust is generated. Street sweeping is limited to areas that are paved.

- INSTALLATION/APPLICATION CRITERIA:**
- Mechanical dust collection systems are designed according to the size of dust particles and the amount of air to be processed. Manufacturers' recommendations should be followed for installation (as well as the design of the equipment).
  - Two kinds of street sweepers are common: brush and vacuum. Vacuum sweepers are more efficient and work best when the area is dry.
  - Mechanical equipment should be operated according to the manufacturers' recommendations and should be inspected regularly.

- LIMITATIONS:**  
► Is generally more expensive than manual systems.  
► May be impossible to maintain by plant personnel (the more elaborate equipment).  
► Is labor and equipment intensive and may not be effective for all pollutants (street sweepers).

- MAINTENANCE:**  
► If water sprayers are used, dust-contaminated waters should be collected and taken for treatment. Areas will probably need to be sprayed to keep dust from spreading.

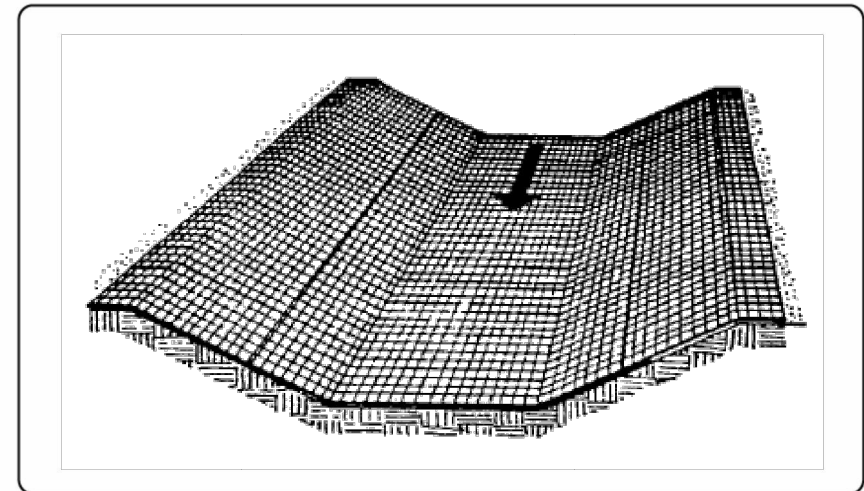
- TARGETED POLLUTANTS**
- Sediment
  - Nutrients
  - Toxic Materials
  - Oil & Grease
  - Floatable Materials
  - Other Waste

- High Impact**  
 Medium Impact  
 Low or Unknown Impact

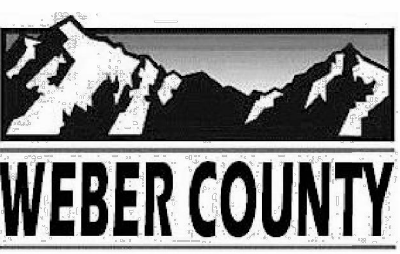
- Capital Costs**  
 O&M Costs  
 Maintenance  
 Training

- High**  
 Medium  
 Low

**BMP: Erosion Control Blankets ECB**



- OBJECTIVES**
- Housekeeping Practices
  - Contain Waste
  - Minimize Disturbed Areas
  - Stabilize Disturbed Areas
  - Protect Slopes/Channels
  - Control Site Perimeter
  - Control Internal Erosion



**DESCRIPTION:**  
► Erosion control blankets are used in place of mulch on areas of high velocity runoff and/or steep grade, to aid in controlling erosion on critical areas by protecting young vegetation.

- APPLICATIONS:**  
► Where vegetation is likely to grow too slowly to provide adequate cover.  
► In areas subject to high winds where mulch would not be effective.

- INSTALLATION/APPLICATION CRITERIA:**
- Install erosion control blankets parallel to the direction of the slope.
  - In ditches, apply in direction of the flow.
  - Place erosion control blankets loosely on soil - do not stretch.
  - Ends of blankets should be buried no less than six inches deep.
  - Staple the edges of the blanket at least every three feet.

- LIMITATIONS:**  
► Not recommended in areas which are still under construction.

- MAINTENANCE:**  
► Check for erosion and undermining periodically, particularly after rainstorms.  
► Repair dislocations or failures immediately.  
► If washouts occur, reinstall after repairing slope damage.  
► Monitor until permanently stabilized.

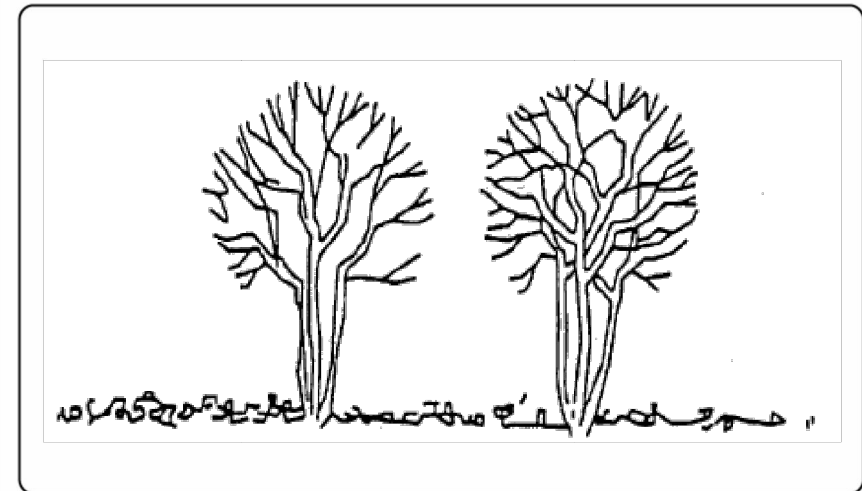
- TARGETED POLLUTANTS**
- Sediment
  - Nutrients
  - Toxic Materials
  - Oil & Grease
  - Floatable Materials
  - Other Waste

- High Impact**  
 Medium Impact  
 Low or Unknown Impact

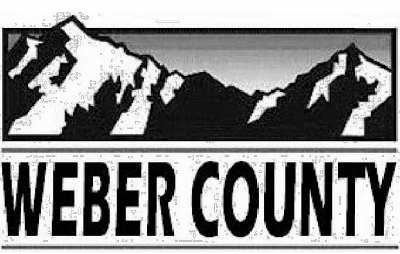
- Capital Costs**  
 O&M Costs  
 Maintenance  
 Training

- High**  
 Medium  
 Low

**BMP: Preservation of Existing Vegetation PEV**



- OBJECTIVES**
- Housekeeping Practices
  - Contain Waste
  - Minimize Disturbed Areas
  - Stabilize Disturbed Areas
  - Protect Slopes/Channels
  - Control Site Perimeter
  - Control Internal Erosion



**DESCRIPTION:**  
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs and/or grasses that serve as erosion controls.

- APPLICATIONS:**  
► This technique is applicable to all types of sites. Areas where preserving vegetation can be particularly beneficial are floodplains, wetlands, stream banks, steep slopes, and other areas where erosion controls would be difficult to establish, install, or maintain.

- INSTALLATION/APPLICATION CRITERIA:**
- Clearly mark, flag or fence vegetation or areas where vegetation should be preserved.
  - Prepare landscaping plans which include as much existing vegetation as possible and state proper care during and after construction.
  - Define and protect with berms, fencing, signs, etc. a setback area from vegetation to be preserved.
  - Propose landscaping plans which do not include plant species that compete with the existing vegetation.
  - Do not locate construction traffic routes, spoil piles, etc. where significant adverse impact on existing vegetation may occur.

- LIMITATIONS:**  
► Requires forward planning by the owner/developer, contractor and design staff.  
► For sites with diverse topography, it is often difficult and expensive to save existing trees while grading the site satisfactorily for the planned development.  
► May not be cost effective with high land costs.

- MAINTENANCE:**  
► Inspection and maintenance requirements for protection of vegetation are low.  
► Maintenance of native trees or vegetation should conform to landscape plan specifications.

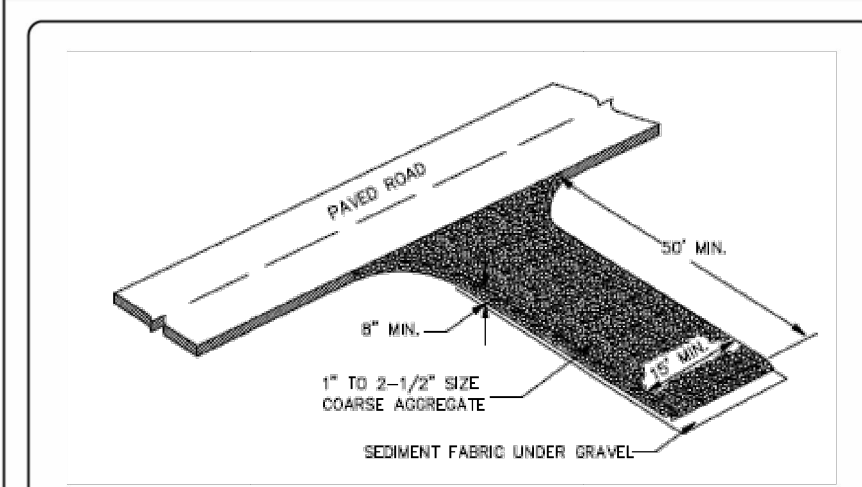
- TARGETED POLLUTANTS**
- Sediment
  - Nutrients
  - Toxic Materials
  - Oil & Grease
  - Floatable Materials
  - Other Waste

- High Impact**  
 Medium Impact  
 Low or Unknown Impact

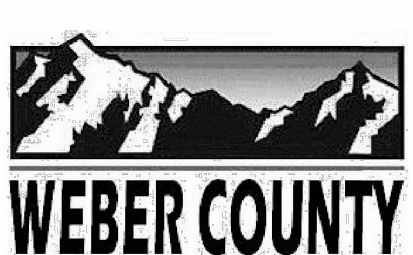
- Capital Costs**  
 O&M Costs  
 Maintenance  
 Training

- High**  
 Medium  
 Low

**BMP: Stabilized Construction Entrance SCE**



- OBJECTIVES**
- Housekeeping Practices
  - Contain Waste
  - Minimize Disturbed Areas
  - Stabilize Disturbed Areas
  - Protect Slopes/Channels
  - Control Site Perimeter
  - Control Internal Erosion



**DESCRIPTION:**  
A stabilized pad of crushed stone located where construction traffic enters or leaves the site from or to paved surface.

- APPLICATIONS:**  
► At any point of ingress or egress at a construction site where adjacent traveled way is paved. Generally applies to sites over 2 acres unless special conditions exist.

- INSTALLATION/APPLICATION CRITERIA:**
- Clear and grub area and grade to provide maximum slope of 2%.
  - Compact subgrade and place filter fabric if desired (recommended for entrances to remain for more than 3 months).
  - Place coarse aggregate, 1 to 2-1/2 inches in size, to a minimum depth of 8 inches.

- LIMITATIONS:**  
► Requires periodic top dressing with additional stones.  
► Should be used in conjunction with street sweeping on adjacent public right-of-way.

- MAINTENANCE:**  
► Inspect daily for loss of gravel or sediment buildup.  
► Inspect adjacent roadway for sediment deposit and clean by sweeping or shoveling.  
► Repair entrance and replace gravel as required to maintain control in good working condition.  
► Expand stabilized area as required to accommodate traffic and prevent erosion at driveways.

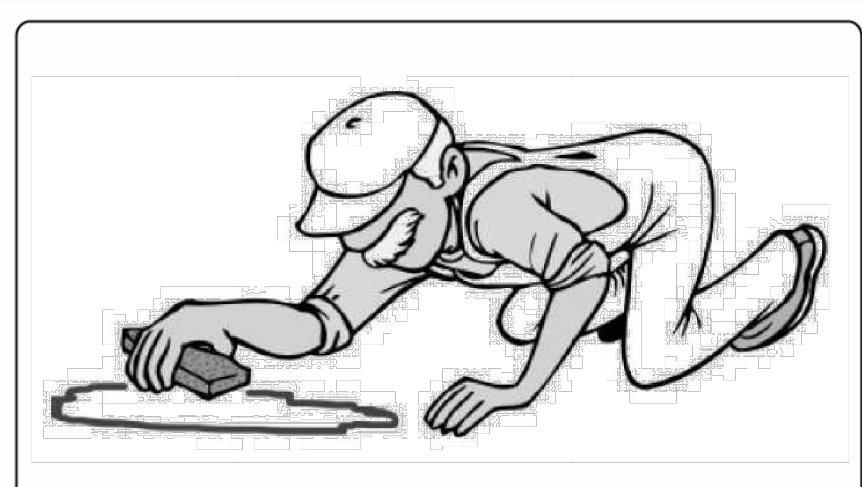
- TARGETED POLLUTANTS**
- Sediment
  - Nutrients
  - Toxic Materials
  - Oil & Grease
  - Floatable Materials
  - Other Waste

- High Impact**  
 Medium Impact  
 Low or Unknown Impact

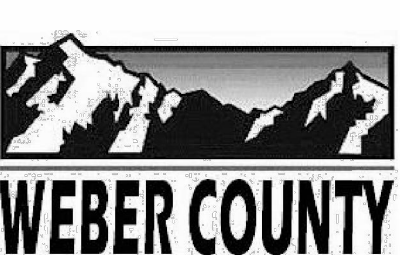
- Capital Costs**  
 O&M Costs  
 Maintenance  
 Training

- High**  
 Medium  
 Low

**BMP: Spill Clean-Up SCU**



- OBJECTIVES**
- Housekeeping Practices
  - Contain Waste
  - Minimize Disturbed Areas
  - Stabilize Disturbed Areas
  - Protect Slopes/Channels
  - Control Site Perimeter
  - Control Internal Erosion



**DESCRIPTION:**  
Practices to clean-up leakage/spillage of on-site materials that may be harmful to receiving waters.

- APPLICATION:**  
► All sites

- GENERAL:**
- Store controlled materials within a storage area.
  - Educate personnel on prevention and clean-up techniques.
  - Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response.
  - Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

- METHODS:**
- Clean-up spills/leaks immediately and remediate cause.
  - Use as little water as possible. NEVER HOSE DOWN OR BURY SPILL CONTAMINATED MATERIAL.
  - Use rags or absorbent material for clean-up. Excavate contaminated soils. Dispose of clean-up material and soil as hazardous waste.
  - Document all spills with date, location, substance, volume, actions taken and other pertinent data.
  - Contact local Fire Department and State Division of Environmental Response and Remediation (Phone #536-4100) for any spill of reportable quantity.

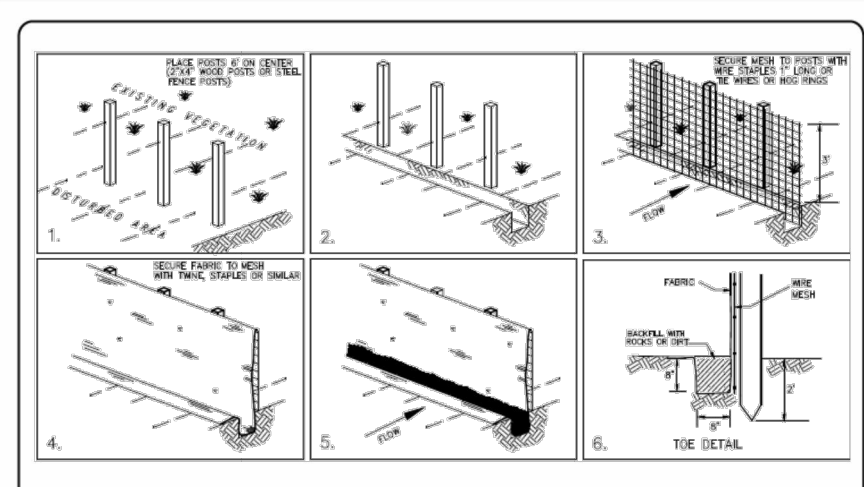
- TARGETED POLLUTANTS**
- Sediment
  - Nutrients
  - Toxic Materials
  - Oil & Grease
  - Floatable Materials
  - Other Construction Waste

- High Impact**  
 Medium Impact  
 Low or Unknown Impact

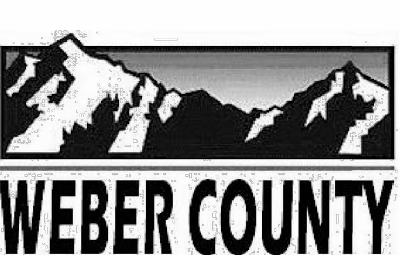
- Capital Costs**  
 O&M Costs  
 Maintenance  
 Training

- High**  
 Medium  
 Low

**BMP: Silt Fence SF**



- OBJECTIVES**
- Housekeeping Practices
  - Contain Waste
  - Minimize Disturbed Areas
  - Stabilize Disturbed Areas
  - Protect Slopes/Channels
  - Control Site Perimeter
  - Control Internal Erosion



**DESCRIPTION:**  
► A temporary sediment barrier consisting of entrenched filter fabric stretched across and secured to supporting posts.

- APPLICATION:**
- Perimeter control: place barrier at downgradient limits of disturbance
  - Sediment barrier: place barrier at toe of slope or soil stockpile
  - Protection of existing waterways: place barrier at top of stream bank
  - Inlet protection: place fence surrounding catchbasins

- INSTALLATION/APPLICATION CRITERIA:**
- Place posts 6 feet apart on center along contour (or use preassembled unit) and drive 2 feet minimum into ground. Excavate an anchor trench immediately upgradient of posts.
  - Secure wire mesh (14 gauge min. With 6 inch openings) to upslope side of posts. Attach with heavy duty 1 inch long wire staples, tie wires or hog rings.
  - Cut fabric to required width, unroll along length of barrier and drape over barrier. Secure fabric to mesh with twine, staples, or similar, with trailing edge extending into anchor trench.
  - Backfill trench over filter fabric to anchor.

- LIMITATIONS:**
- Recommended maximum drainage area of 0.5 acre per 100 feet of fence
  - Recommended maximum upgradient slope length of 150 feet
  - Recommended maximum uphill grade of 2:1 (50%)
  - Recommended maximum flow rate of 0.5 cfs
  - Ponding should not be allowed behind fence

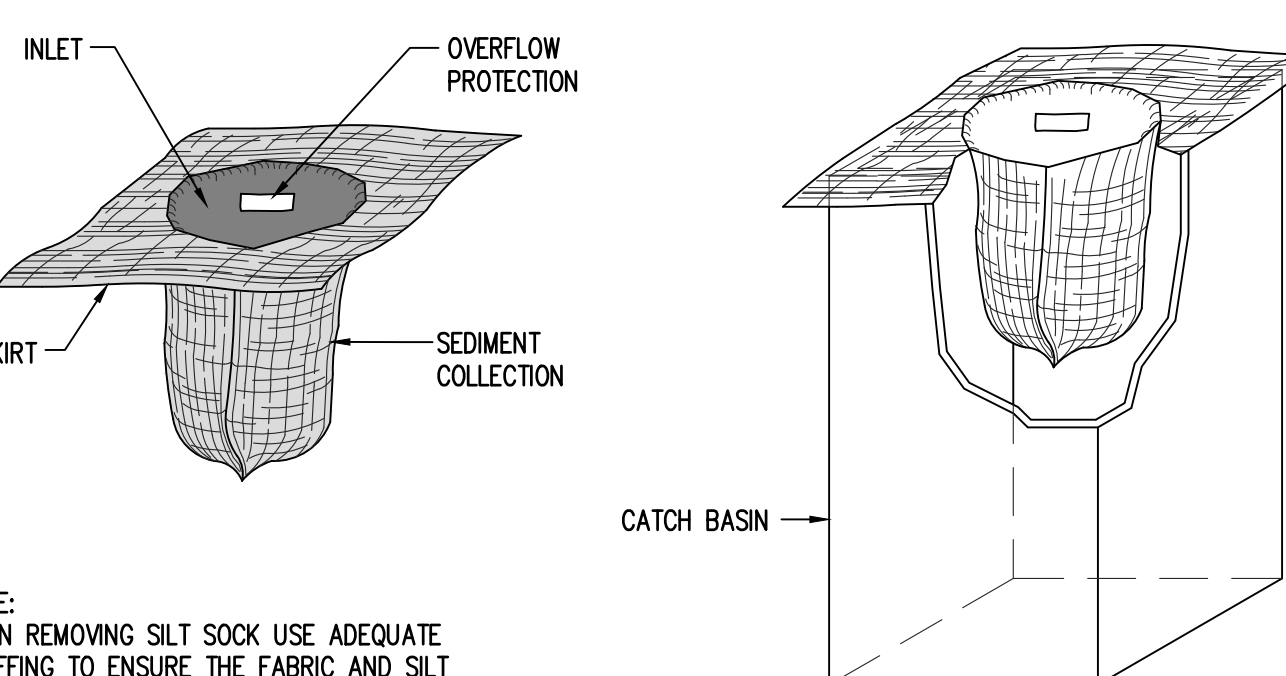
- MAINTENANCE:**
- Inspect immediately after any rainfall and at least daily during prolonged rainfall.
  - Look for runoff bypassing ends of barriers or undercutting barriers.
  - Repair or replace damaged areas of the barrier and remove accumulated sediment.
  - Reanchor fence as necessary to prevent shortcutting.
  - Remove accumulated sediment when it reaches 1/2 the height of the fence.

- TARGETED POLLUTANTS**
- Sediment
  - Nutrients
  - Toxic Materials
  - Oil & Grease
  - Floatable Materials
  - Other Waste

- High Impact**  
 Medium Impact  
 Low or Unknown Impact

- Capital Costs**  
 O&M Costs  
 Maintenance  
 Training

- High**  
 Medium  
 Low



**NOTE:**  
WHEN REMOVING SILT SOCK USE ADEQUATE STAFFING TO ENSURE THE FABRIC AND SILT DOES NOT FALL INTO THE CATCH BASIN.

**INLET PROTECTION DETAIL**  
NTS

REVISIONS

SCJ PROJECT NO. 1225.22  
DRAWN D. PHILLIPS  
CHECKED J. BRUHN  
SUBMITTAL DATES 3-25-20  
OTB DATE

SCJ ALLIANCE CONSULTING SERVICES  
212 N TOWER AVE. CENTRALIA, WA 98531  
P. 360.737.1509  
F. 360.737.1508  
WWW.SCAJALLEN.COM

WINCO NO. 80 CROSS DOCK  
2423 N. RULON WHITE BLVD.  
OGDEN, UTAH

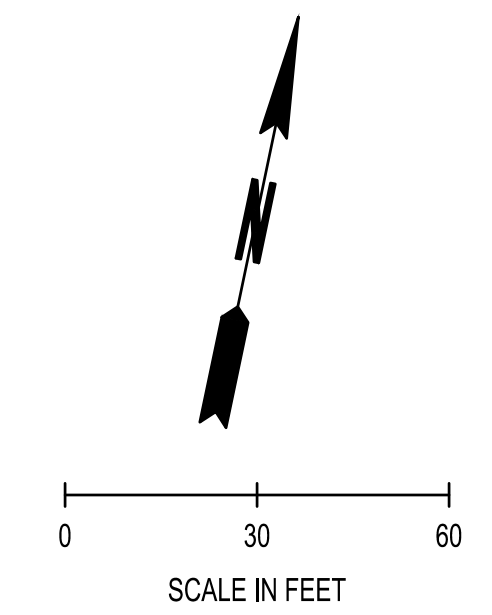
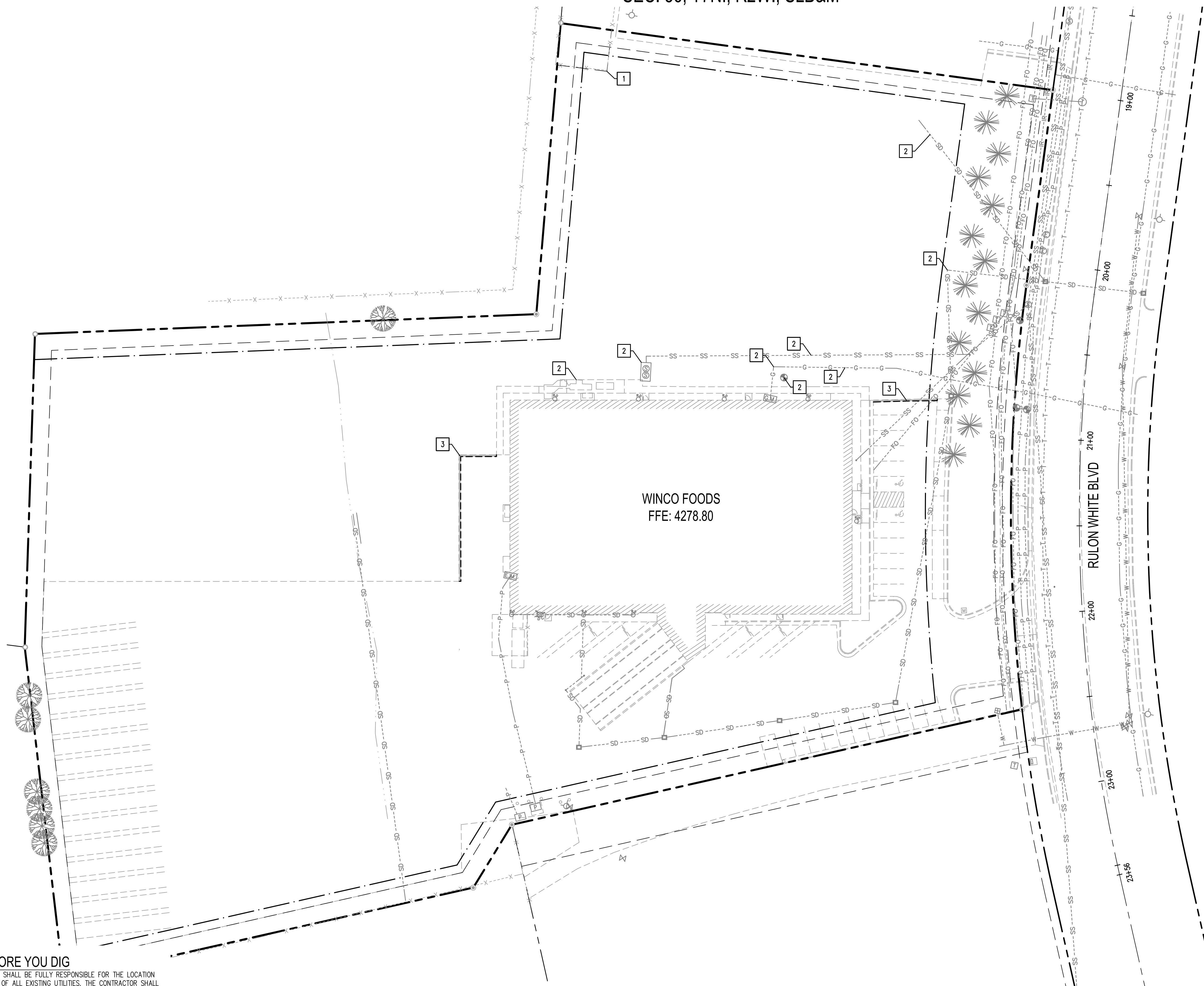
WinGo FOODS

SHEET TITLE  
EROSION CONTROL DETAILS

SHEET  
EC-02

User: bruce.brahm  
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 Date: 03/27/2020 1:09:35 PM  
 Plot: 1225.22\_EC-02.DWG

SEC. 36, T7N., R2W., SLB&M



LEGEND

- SAWCUT
- EXISTING ASPHALT PAVEMENT AND BASE TO BE REMOVED
- SD --- SD --- SD --- EXISTING STORM LINE
- SS --- SS --- SS --- EXISTING SEWER LINE
- G --- G --- G --- EXISTING GAS LINE
- ⊕ EXISTING WATER METER
- ⊙ EXISTING FIRE HYDRANT
- ⊕ EXISTING IRRIGATION METER
- ⊠ EXISTING TELEPHONE JUNCTION BOX
- ⊠ EXISTING DRAINAGE BOX
- ⊙ EXISTING TREE TO REMAIN

GENERAL DEMOLITION NOTES:

1. EXISTING INFRASTRUCTURE IS SHOWN TO THE EXTENT OF ENGINEER'S KNOWLEDGE. CONTRACTOR SHALL FIELD VERIFY AND CONFIRM SCOPE OF DEMOLITION PRIOR TO BID.
2. AWARDED CONTRACTOR WILL BE PROVIDED AUTOCAD FILE TO LOCATE AND STAKE DEMO LIMITS.
3. SEE GEOTECHNICAL ENGINEERING REPORT FROM TERRACON (JUNE 21, 2016) BORING LOG NO. 6, 7, AND 8 FOR DEPTH OF EXISTING ASPHALT.

# DEMOLITION NOTES:

1. PROTECT EXISTING FENCE
2. PROTECT EXISTING INFRASTRUCTURE AND EQUIPMENT. CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE, AND DEPTH OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
3. MINIMUM REMOVAL LIMIT SHOWN. CONTRACTOR SHALL SAWCUT, REMOVE EXISTING PAVEMENT AND BASE, REPAIR WITH HEAVY DUTY ASPHALT PAVEMENT SECTION, AND RESTRIPE ANY AREAS OF EXISTING ASPHALT PAVEMENT DAMAGED DURING CONSTRUCTION AS INCIDENTAL WORK.

BASIS OF BEARING:

THE BASIS OF BEARING FOR THE SURVEY IS SOUTH 89°18'48" WEST ALONG THE NORTH LINE OF SAID SECTION 36.

BENCHMARK:

WEBER COUNTY BM WC-115 M, ELEVATION: 4265.07 (NAVD 88)

M:\27\_2020\_1\_08\_14\1 - User\jessica.b... Winco Foods Ogden, UT Cross Dock Expansion\CARD\1225.22\_DM-01.DWG  
 N:\PROJECTS\1225 WINCO FOODS LLC\122522 Winco Foods Ogden, UT Cross Dock Expansion\1225.22\_DM-01.DWG

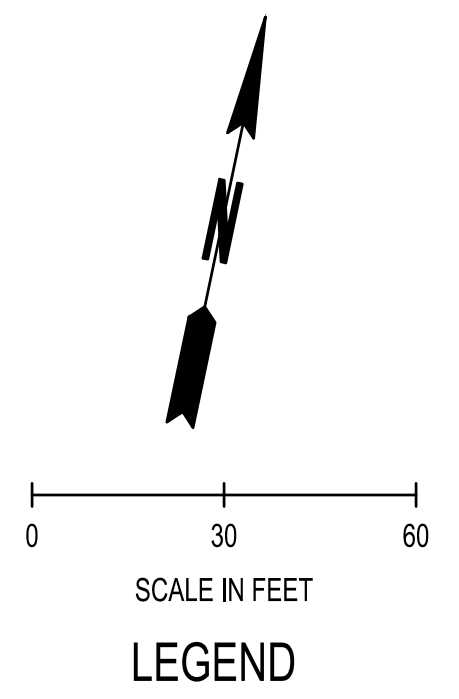
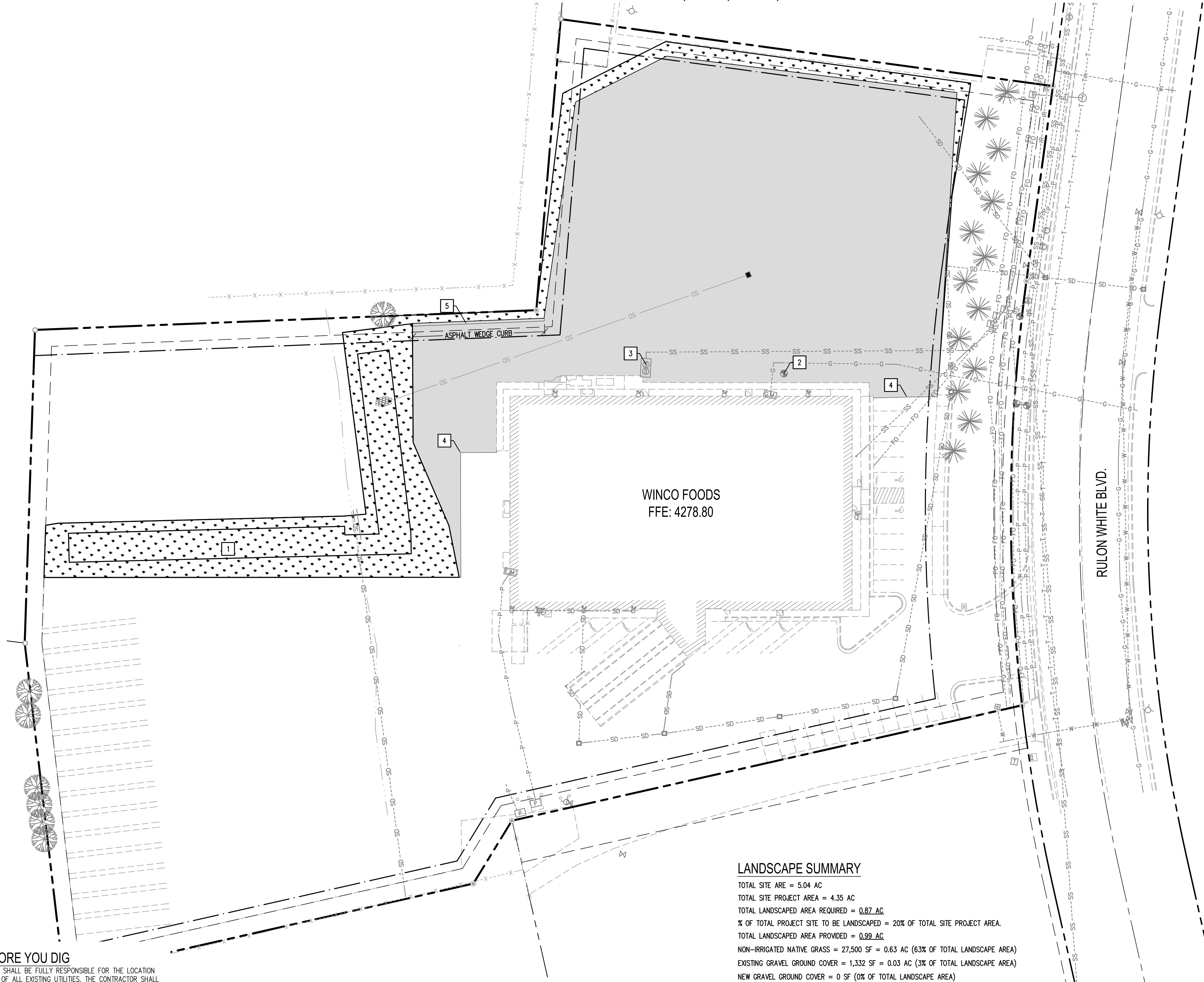
CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 OR (801) 208-2100 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

REVISIONS	
SCJ PROJECT NO. 1225.22 DRAWN D. PHILLIPS CHECKED J. BRUHN SUBMITTAL DATES 3-25-20 OTB DATE	
SCJ ALLIANCE CONSULTING SERVICES 212 N TOWER AVE, CENTRALIA, WA 98531 P. 360.767.1509 S. ALLIANCE.COM	
STAMP 3-27-2020	
WINCO NO. 80 CROSS DOCK 2423 N. RULON WHITE BLVD. OGDEN, UTAH	
WinCo FOODS	
SHEET TITLE	
DEMOLITION PLAN	
SHEET	
DM-01	



SEC. 36, T7N., R2W., SLB&M



- LEGEND**
- PROPERTY LINE
  - EXISTING BUILDING
  - NON-IRRIGATED NATIVE GRASS
  - HEAVY DUTY ASPHALT PAVEMENT, SEE DT-01
  - EDGE OF PAVEMENT

**GENERAL NOTES:**

1. SEE HC SHEETS FOR DIMENSIONS
2. GENERAL CONTRACTOR SHALL PROVIDE SECURE STORAGE AND STAGING AREA PER SPECIFICATION SECTION 015000 TEMPORARY FACILITIES. COORDINATE LOCATION WITH WINCO'S CONSTRUCTION MANAGER AND SITE CONTRACTOR IF REQUIRED.
3. IF CERTAIN SITE WORK IMPROVEMENTS ARE COMPLETE, GENERAL CONTRACTOR SHALL PROTECT ALL COMPLETED GRADING, UTILITIES AND FINISH SURFACES FROM DAMAGE DURING BUILDING CONSTRUCTION.
4. GENERAL CONTRACTOR SHALL PROCURE ALL PERMITS AND PAY ALL APPROPRIATE FEES FOR CONSTRUCTION OF THE PROJECT. ALL WORK SHALL CONFORM TO CITY, COUNTY, AND STATE AUTHORITIES HAVING JURISDICTION.
5. PRIOR TO BIDDING, CONTRACTOR SHALL BECOME FAMILIAR WITH ALL SITE CONDITIONS THAT AFFECT CONSTRUCTION.
6. DETENTION POND AND DISTURBED AREAS SHALL BE PLANTED WITH NATIVE GRASS THAT WILL NOT REQUIRE PERMANENT IRRIGATION FOR VIABILITY.
7. THE CONTRACTOR SHALL PROTECT ALL EXISTING LANDSCAPING AND IRRIGATION TO REMAIN FROM DAMAGE DURING PROJECT CONSTRUCTION.
8. PRIOR TO BIDDING, CONTRACTOR SHALL BECOME FAMILIAR WITH ALL SITE CONDITIONS THAT AFFECT LANDSCAPING, INCLUDING EXISTING IRRIGATION SYSTEM AND ASSOCIATED CONTROLS.
9. THE CONTRACTOR SHALL MODIFY THE EXISTING IRRIGATION SYSTEM COMPONENTS AND ASSOCIATED CONTROLS TO EFFICIENTLY SERVE THE EXISTING IRRIGATED LANDSCAPING (TURF & TREES) TO REMAIN. USE NEW/REPLACEMENT COMPONENTS TO MATCH EXISTING SYSTEM.
10. IT IS THE INTENT OF THIS LANDSCAPE PLAN TO MINIMIZE WATER USE, AND TO INTRODUCE WHERE INDICATED NATIVE GRASS THAT DOES NOT REQUIRE IRRIGATION BEYOND TEMPORARY IRRIGATION NEEDED TO ESTABLISH VIABILITY.
11. SOD ALL AREAS OF EXISTING IRRIGATED TURF TO REMAIN THAT HAS BEEN DISTURBED BY CONSTRUCTION ACTIVITY. MATCH EXISTING TURF SPECIES. NEW SOD SHALL BE LAID WITHIN 24 HOURS FROM TIME OF HARVEST

**# CONSTRUCTION NOTES:**

1. STORMWATER DETENTION FACILITY, SEE CG-01
2. REMOVE EXISTING IRRIGATION CONTROL BOX. INSTALL H-20 LOAD RATED IRRIGATION CONTROL BOX. IRRIGATION CONTROL BOX SHALL BE SIZED BY CONTRACTOR. ADJUST IRRIGATION CONTROL BOX TO GRADE.
3. CONTRACTOR SHALL VERIFY GREASE INTERCEPTOR IS H-20 LOAD RATED. NOTIFY ENGINEER IF GREASE INTERCEPTOR IS NOT H-20 LOAD RATED.
4. MINIMUM PAVEMENT LIMIT SHOWN. CONTRACTOR SHALL SAWCUT, REMOVE EXISTING PAVEMENT AND BASE, REPAIR WITH HEAVY DUTY ASPHALT PAVEMENT SECTION, AND RESTRIPE ANY AREAS OF EXISTING ASPHALT PAVEMENT DAMAGED DURING CONSTRUCTION AS INCIDENTAL WORK.
5. ASPHALT WEDGE CURB, SEE DT-01

**LANDSCAPE SUMMARY**

TOTAL SITE ARE = 5.04 AC  
 TOTAL SITE PROJECT AREA = 4.35 AC  
 TOTAL LANDSCAPED AREA REQUIRED = 0.87 AC  
 % OF TOTAL PROJECT SITE TO BE LANDSCAPED = 20% OF TOTAL SITE PROJECT AREA.  
 TOTAL LANDSCAPED AREA PROVIDED = 0.99 AC  
 NON-IRRIGATED NATIVE GRASS = 27,500 SF = 0.63 AC (63% OF TOTAL LANDSCAPE AREA)  
 EXISTING GRAVEL GROUND COVER = 1,332 SF = 0.03 AC (3% OF TOTAL LANDSCAPE AREA)  
 NEW GRAVEL GROUND COVER = 0 SF (0% OF TOTAL LANDSCAPE AREA)  
 EXISTING IRRIGATED GRASS TURF = 14,480 SF = 0.33 AC (33% OF TOTAL LANDSCAPE AREA)

**CALL BEFORE YOU DIG**

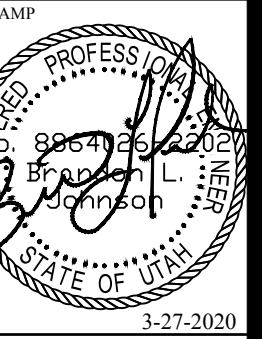
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User: hscs.bch; Winco Foods Ogden, UT CROSS DOCK EXPANSION, L\_CADD\1225.22\_SP-01.DWG  
 PROJECTS\1225 WINCO FOODS LLC\1225.22

REVISIONS

SCJ PROJECT NO.	1225.22
DRAWN	D. PHILLIPS
CHECKED	J. BRUHN
SUBMITTAL DATES	3-25-20
OTB DATE	

**SCJ ALLIANCE**  
 CONSULTING SERVICES  
 212 N TOWER AVE, CENTRALIA, WA 98531  
 P. 360.827.1509  
 SCJALLIANCE.COM



WINCO NO. 80 CROSS DOCK  
 2423 N. RULON WHITE BLVD.  
 OGDEN, UTAH

**WinCo**  
**FOODS**

SHEET TITLE  
 SITE PLAN  
 SHEET  
 SP-01

**BASIS OF BEARING:**

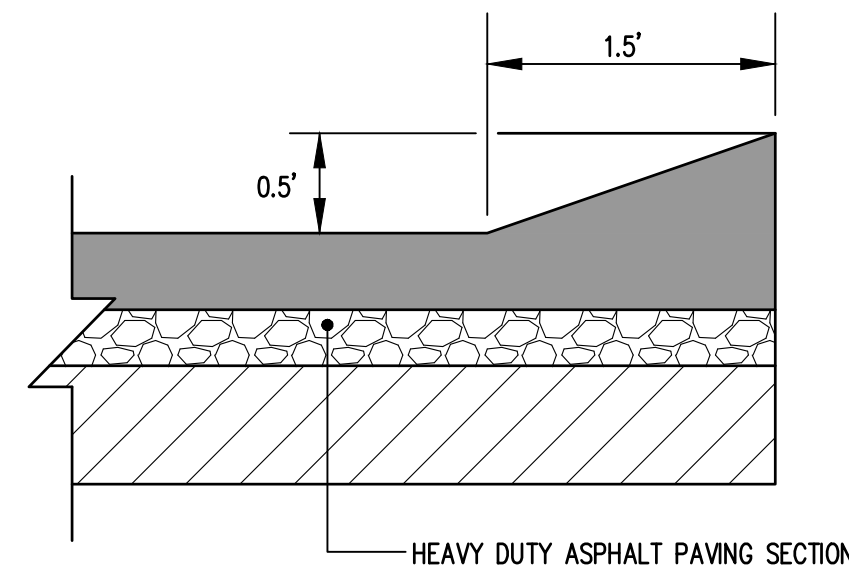
THE BASIS OF BEARING FOR THE SURVEY IS SOUTH 89°18'48" WEST ALONG THE NORTH LINE OF SAID SECTION 36.

**BENCHMARK:**

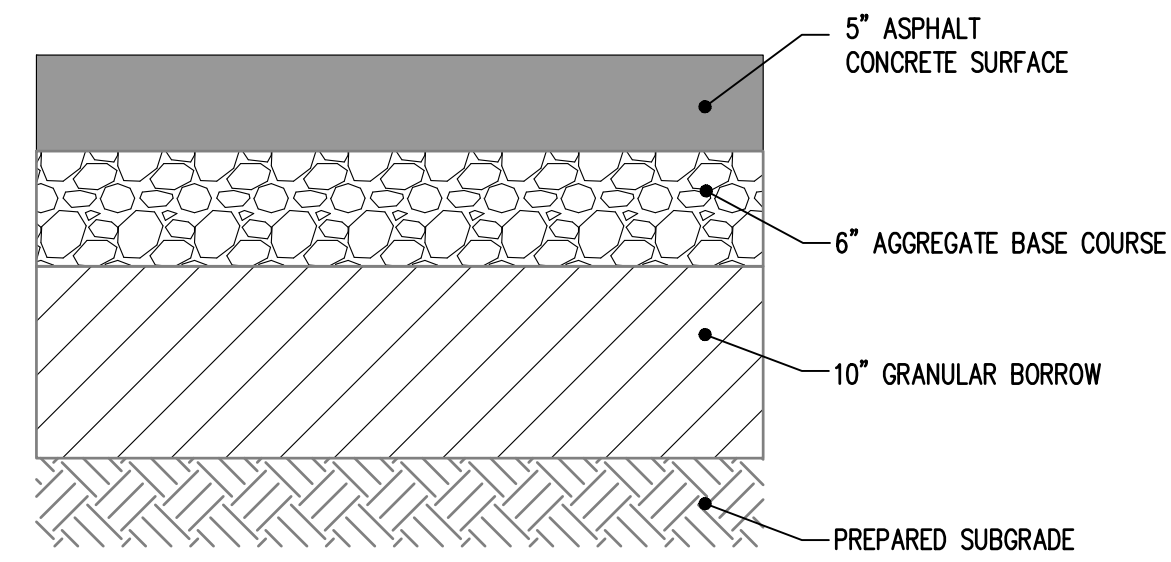
WEBER COUNTY BM WC-115 M,  
 ELEVATION: 4265.07 (NAVD 88)



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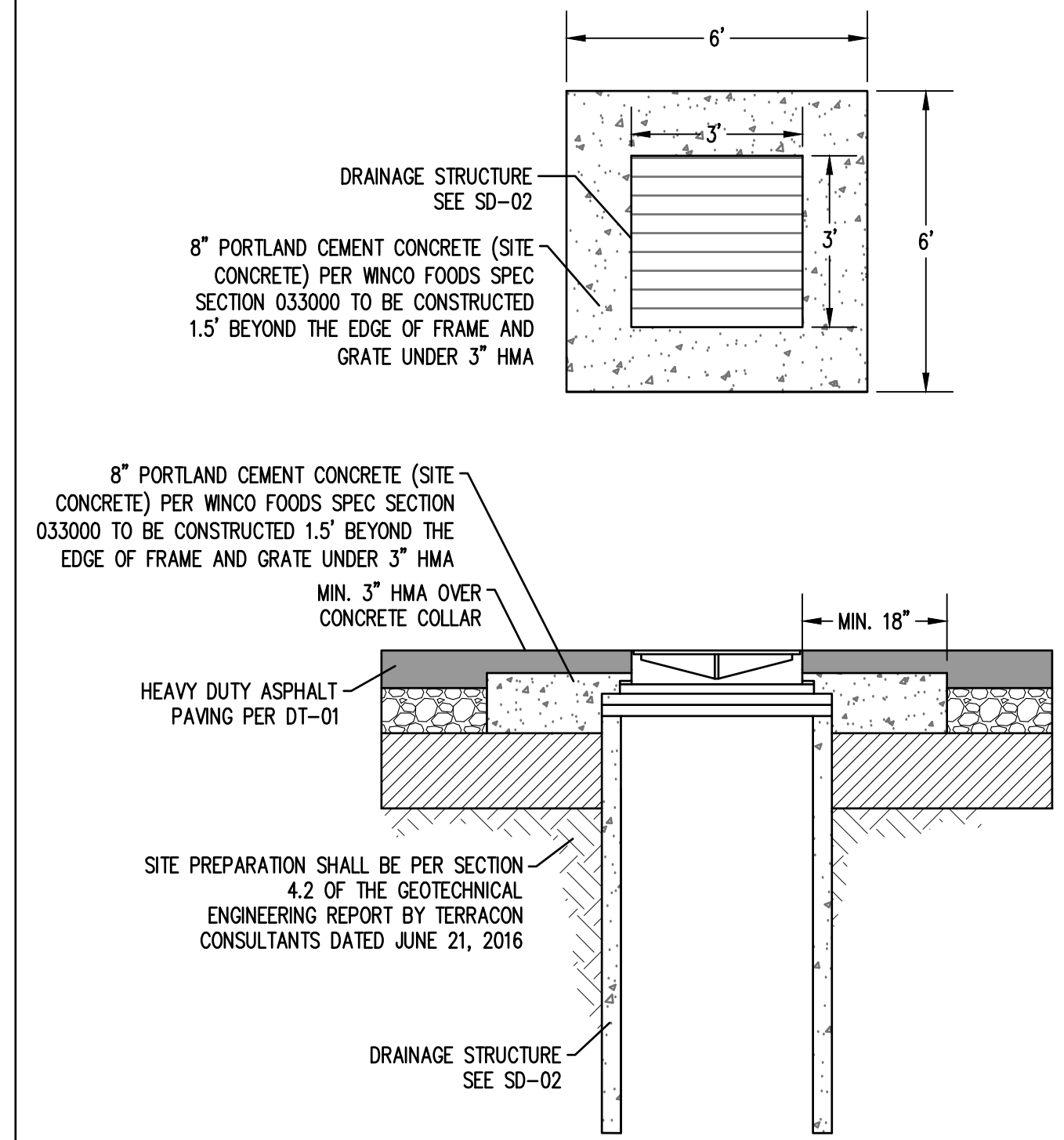


**ASPHALT WEDGE CURB**  
NTS



- NOTES:**
1. ALL WORK SHALL BE COMPLETED PER THE GEOTECHNICAL ENGINEERING REPORT BY TERRACON CONSULTANTS DATED JUNE 21, 2016 AND UTAH DEPARTMENT OF TRANSPORTATION (UDOT) 2017 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  2. ALL EARTHWORK SHALL BE PER SECTION 4.2 OF THE GEOTECHNICAL ENGINEERING REPORT BY TERRACON CONSULTANTS DATED JUNE 21, 2016.
  3. ASPHALT CONCRETE: THE ASPHALT CEMENT BINDER SHALL CONFORM TO UDOT 2017 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SPECIFICATION SECTION 02745 FOR PG 64-28, PERFORMANCE GRADED ASPHALT BINDER WITH AGGREGATE MEETING THE GRADATION REQUIREMENTS FOR 3/4" PRESENTED IN UDOT SPECIFICATION SECTION 02741. ASPHALT CONCRETE SHALL BE PLACED AND COMPACTED PER UDOT SPECIFICATION SECTION 02741.
  4. AGGREGATE BASE COURSE: AGGREGATE BASE COURSE SHALL CONFORM TO GRADATION SPECIFICATIONS PRESENTED IN UDOT SPECIFICATIONS SECTION 02721 UNTREATED BASE COURSE, TYPE 1 PLACEMENT. AGGREGATE BASE SHALL MEET THE CLASS A REQUIREMENTS IN TABLE 1. AGGREGATE BASE COURSE SHALL BE PLACED AND COMPACTED PER UDOT SPECIFICATION SECTION 02721.
  5. GRANULAR BORROW: GRANULAR BORROW SHALL CONFORM TO UDOT SPECIFICATIONS SECTION 02056.
  6. COMPACTION: UNLESS NOTED OTHERWISE, COMPACTION SHALL BE PER SECTION 4.2 OF THE GEOTECHNICAL ENGINEERING REPORT BY TERRACON CONSULTANTS DATED JUNE 21, 2016.

**HEAVY DUTY ASPHALT PAVING**  
NTS



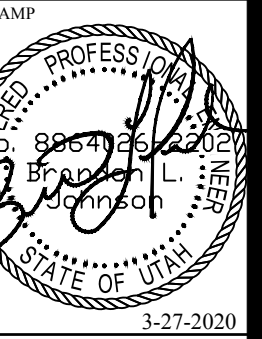
- NOTES:**
1. COMPACTION SHALL BE PER SECTION 4.2 OF THE GEOTECHNICAL REPORT BY TERRACON CONSULTANTS DATED JUNE 21, 2016

**CONCRETE COLLAR IN ASPHALT**  
NTS

REVISIONS

SCJ PROJECT NO.	1225.22
DRAWN	D. PHILLIPS
CHECKED	J. BRUHN
SUBMITTAL DATES	3-25-20
OTB DATE	

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 SCJALLIANCE.COM



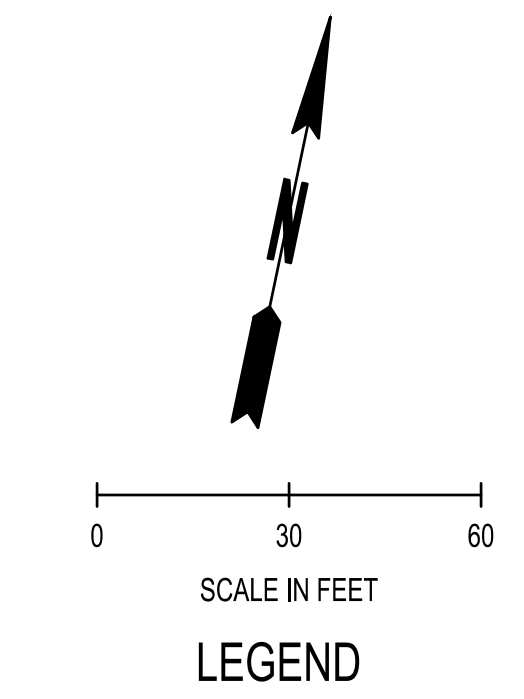
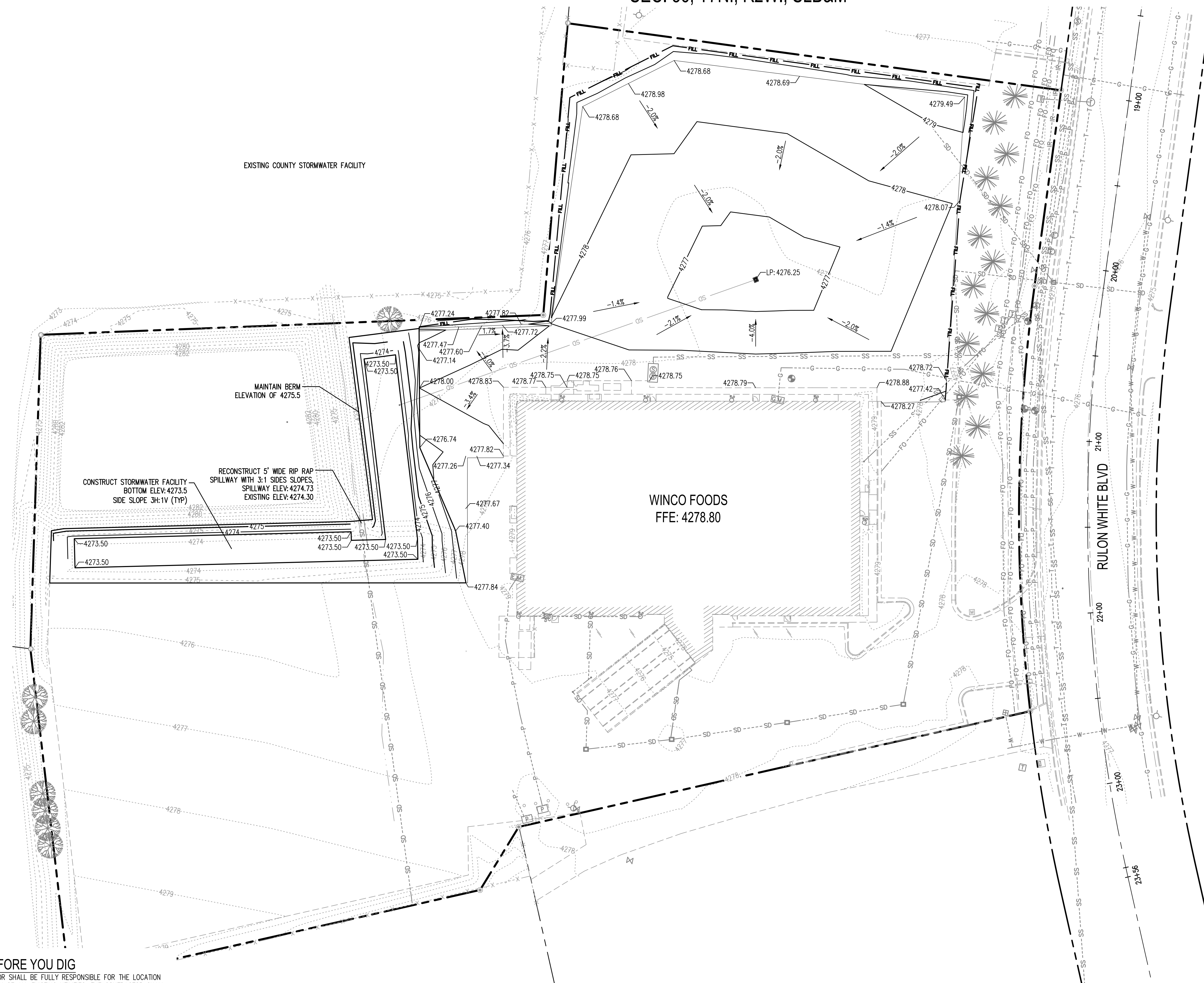
WINCO NO. 80 CROSS DOCK  
 2423 N. RULON WHITE BLVD.  
 OGDEN, UTAH



SHEET TITLE  
 PAVING AND  
 SITE DETAILS

SHEET  
 DT-01

SEC. 36, T7N., R2W., SLB&M



**LEGEND**

---XX---	EXISTING CONTOURS (MAJOR/MINOR)
---XX---	PROPOSED CONTOURS (MAJOR/MINOR)
XXX.XX	SPOT ELEVATION
LP:XXX.XX	LOW POINT
XX	SLOPE LABEL

- GRADING NOTES:**
1. SEE "SD" SHEETS FOR STORM WATER INLET, PIPE, AND DETENTION SYSTEM DETAILS.
  2. CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE AWAY FROM BUILDING AT ALL TIMES.
  3. EXISTING CONTOURS ARE BASED ON TOPOGRAPHIC SURVEY BY DOMINION ENGINEERING ASSOCIATES, LLC DATED 6/16.
  4. SPOT ELEVATIONS REPRESENT FINISHED GRADE UNLESS OTHERWISE NOTED.
  5. ALL LANDSCAPE AREAS SHALL BE STABILIZED.
  6. ALL SITE PREPARATION SHALL BE PER SECTION 4.2 OF THE GEOTECHNICAL ENGINEERING REPORT BY TERRACON CONSULTANTS DATED JUNE 21, 2016.

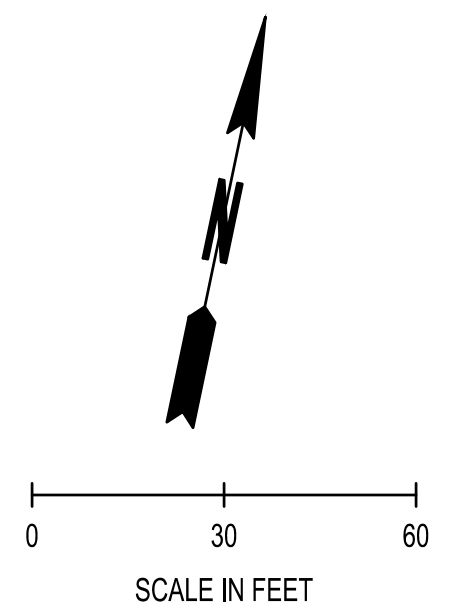
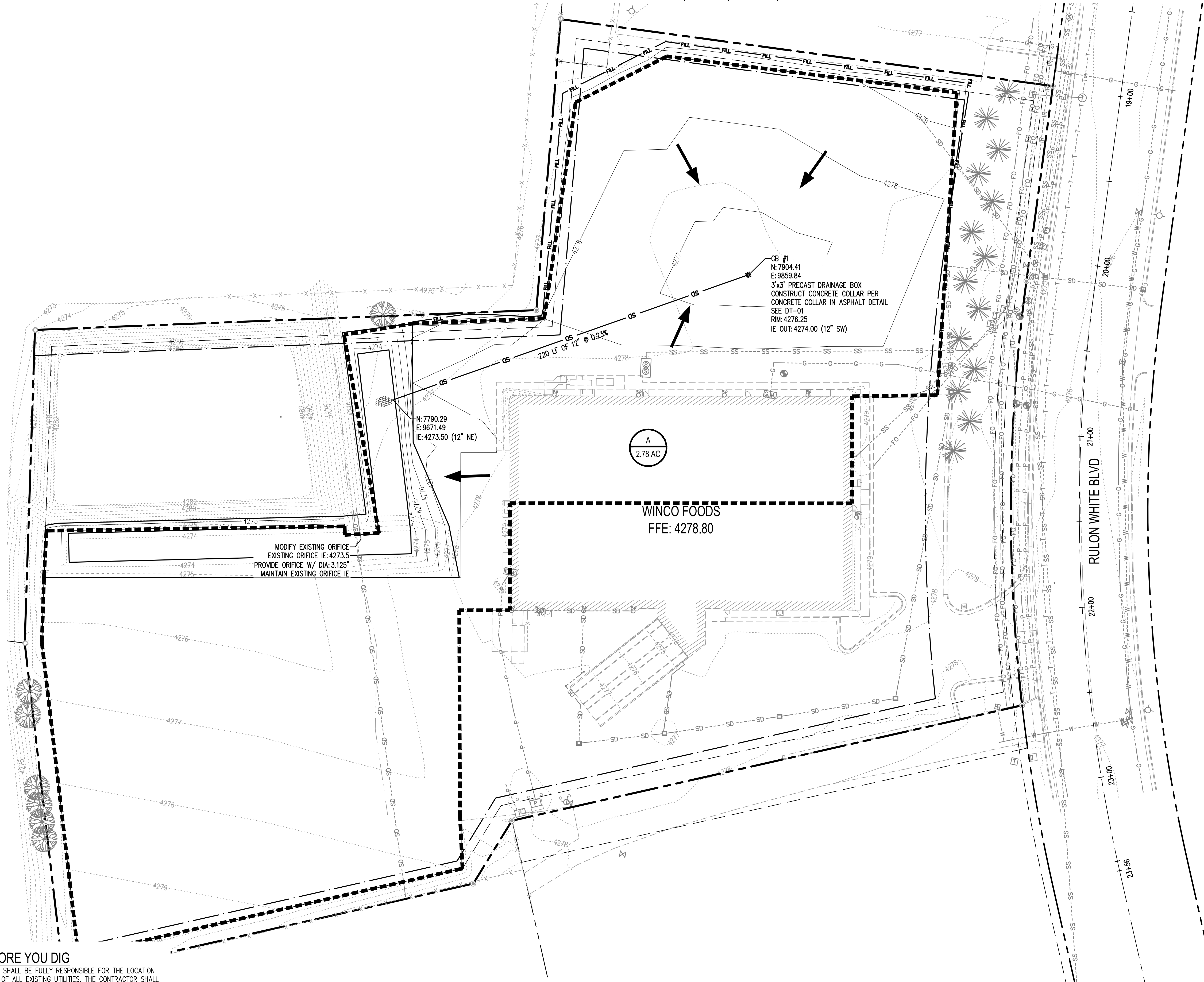
**BASIS OF BEARING:**  
 THE BASIS OF BEARING FOR THE SURVEY IS SOUTH 89°18'48" WEST ALONG THE NORTH LINE OF SAID SECTION 36.  
**BENCHMARK:**  
 WEBER COUNTY BM WC-115 M,  
 ELEVATION: 4265.07 (NAVD 88)

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 PROJECTS\1225 WINCO FOODS\_LIC\1225.22

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REVISIONS
SCJ PROJECT NO: 1225.22 DRAWN: D. PHILLIPS CHECKED: J. BRUHN SUBMITTAL DATES: 3-25-20 OTB DATE:
<b>SCJ ALLIANCE</b> CONSULTING SERVICES 212 N TOWER AVE, CENTRALIA, WA 98531 P. 360.272.1509 S.CJALLIANCE.COM
WINCO NO. 80 CROSS DOCK 2423 N. RULON WHITE BLVD. OGDEN, UTAH
WinCo FOODS
SHEET TITLE GRADING AND DRAINAGE PLAN SHEET CG-01

SEC. 36, T7N., R2W., SLB&M



- LEGEND**
- PROPERTY LINE
  - 3'x3' PRECAST CONCRETE DRAINAGE BOX PER UDOT ST. DWG CB12 WITH 3'x3' GRATE AND FRAME (H-20 LOADING)
  - 10'x5'x1' DEEP QUARRY SPALLS PAD OVER MIRAFL 140 FILTER FABRIC, OVERLAP 12" MIN., TOP OF QUARRY SPALLS TO MATCH FINISHED GRADE ELEVATION
  - DRAINAGE AREA
  - FLOW DIRECTION
  - DRAINAGE BASIN AREA

- GENERAL NOTES:**
1. STORM SEWER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 1.6 OF THE WEBER COUNTY PUBLIC WORKS STANDARDS AND TECHNICAL SPECIFICATIONS.
  2. EXCAVATION AND BACKFILL FOR PIPELINES SHALL BE PER SECTION 1.5 OF THE WEBER COUNTY PUBLIC WORKS STANDARDS AND TECHNICAL SPECIFICATIONS.
  3. SEE PROFILE ON SD-02 FOR STORM STRUCTURE TYPE AND SIZE.
  4. CONTRACTOR SHALL PROTECT ROOTS OF EXISTING TREES DURING CONSTRUCTION TO THE MAXIMUM EXTENTS FEASIBLE.

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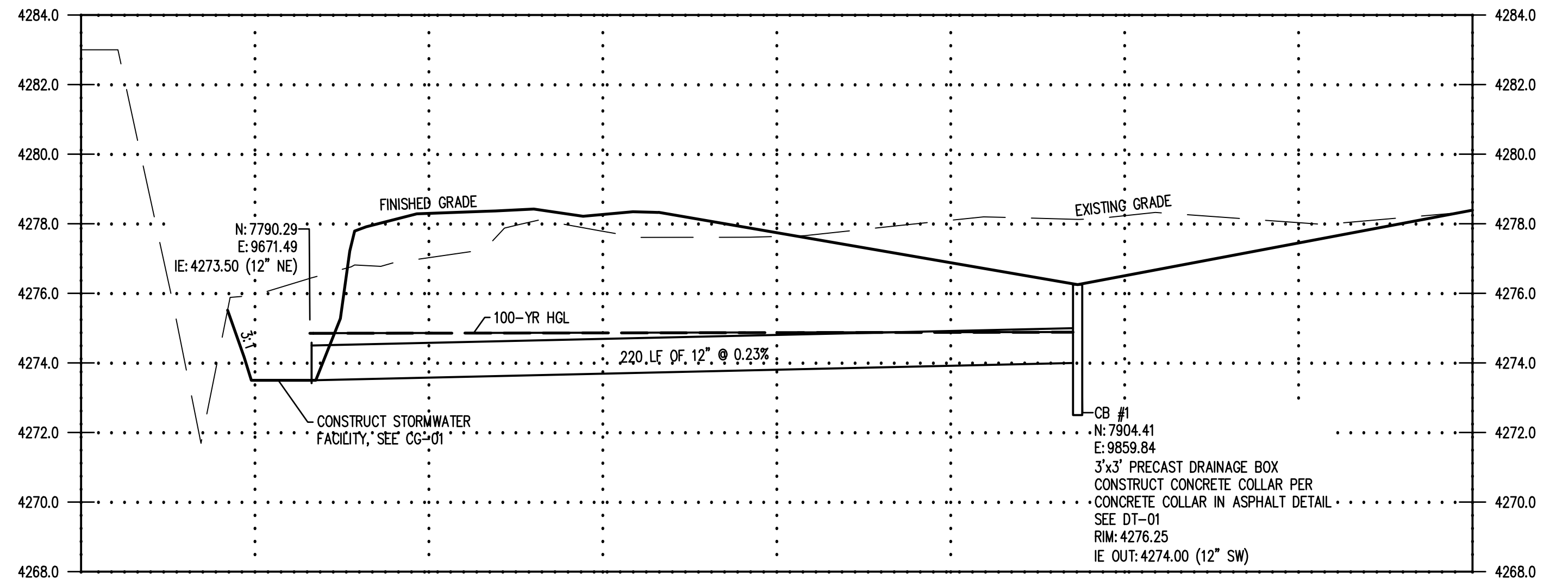
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WEBER COUNTY BM WC-115 M,  
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 WINCO FOODS OGDEN, UT CROSS DOCK EXPANSION

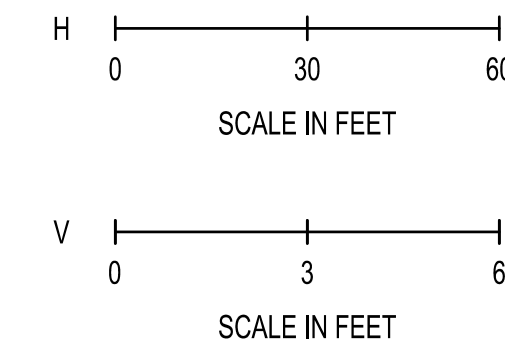
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 <b>SCJ ALLIANCE</b> CONSULTING SERVICES 212 N TOWER AVE, CENTRALIA, WA 98531 P. 360.747.1509 S@ALLIANCE.CO
 3-27-2020
WINCO NO. 80 CROSS DOCK 2423 N. RULON WHITE BLVD. OGDEN, UTAH
WinCo FOODS
SHEET TITLE STORM DRAINAGE PLAN
SHEET SD-01

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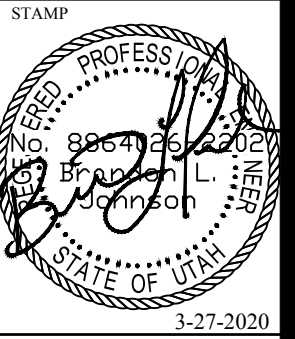
STORM PROFILE 1



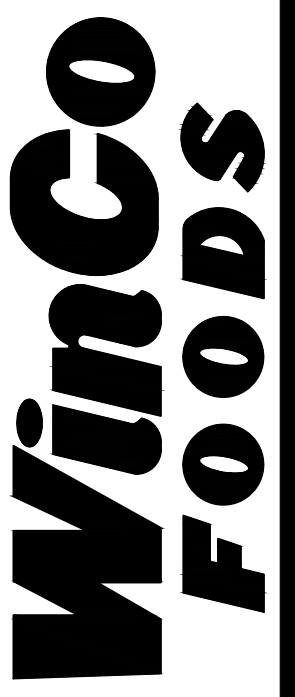
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WINCO NO. 80 CROSS DOCK  
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 OGDEN, UTAH



SHEET TITLE  
 STORM  
 DRAINAGE  
 DETAILS

SHEET  
 SD-02