

# Weber County Stormwater Construction Activity Permit

Application submittals will be accepted by appointment only. (801) 399-8374. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted 12/20/2019	Fees (Office Use) \$450.00	Receipt Number (Office Use)	Priority Site (Office Use) <input type="radio"/> Yes <input type="radio"/> No	Permit Number (Office Use) 2019-228
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Property Owner/Authorized Representative Contact Information		Project Information	
Name of Property Owner(s)/Authorized Representative(s) Pamela Russell		Project Name Byrne, Lot 80	
Phone 435-513-0355	Fax NA	Project Address 8483 E. Spring Park, Eden, UT 84310	
Email Address pamr@myscandinavian.com			
Mailing Address of Property Owner(s)/Authorized Representative(s) 6410 N. Business Park Loop Rd. Unit E Park City, UT 84098		Estimated Project Length (mo) 12	Previous Permit No. (if applicable)
		Estimated Start Date 12/2019	Actual Start Date 12/2019

## Submittal Checklist

- The application shall include a Storm Water Pollution Prevention Plan which meets the criteria set forth in Section 33-3-4 of the county ordinances.

The applicant shall file the application on or before the following dates:

**Subdivision:** The date that the applicant submits the preliminary subdivision development plat application.

**Site Plan:** The date that the applicant submits a site plan application or amended site plan.

**Building Permit:** The date that the applicant submits a building permit application if the applicant proposes to construct a building on an existing lot or parcel.

**Land Use Permit:** The date that the applicant submits a land use permit application.

**Other:** At least two (2) weeks before the developer intends to perform any type of work not listed above that would require a Storm Water Construction Activity Permit pursuant to this Chapter.

Failure to acquire a required Storm Water Construction Activity Permit is grounds for tabling a related subdivision application, site plan application, conditional use permit application, or building permit application. It is unlawful to commence work (move dirt) on a development site before obtaining a required Storm Water Construction Activity Permit.


Note: A pre-construction meeting is required before performing any on-site earth work, unless waived by the county engineer.

## Applicant Narrative

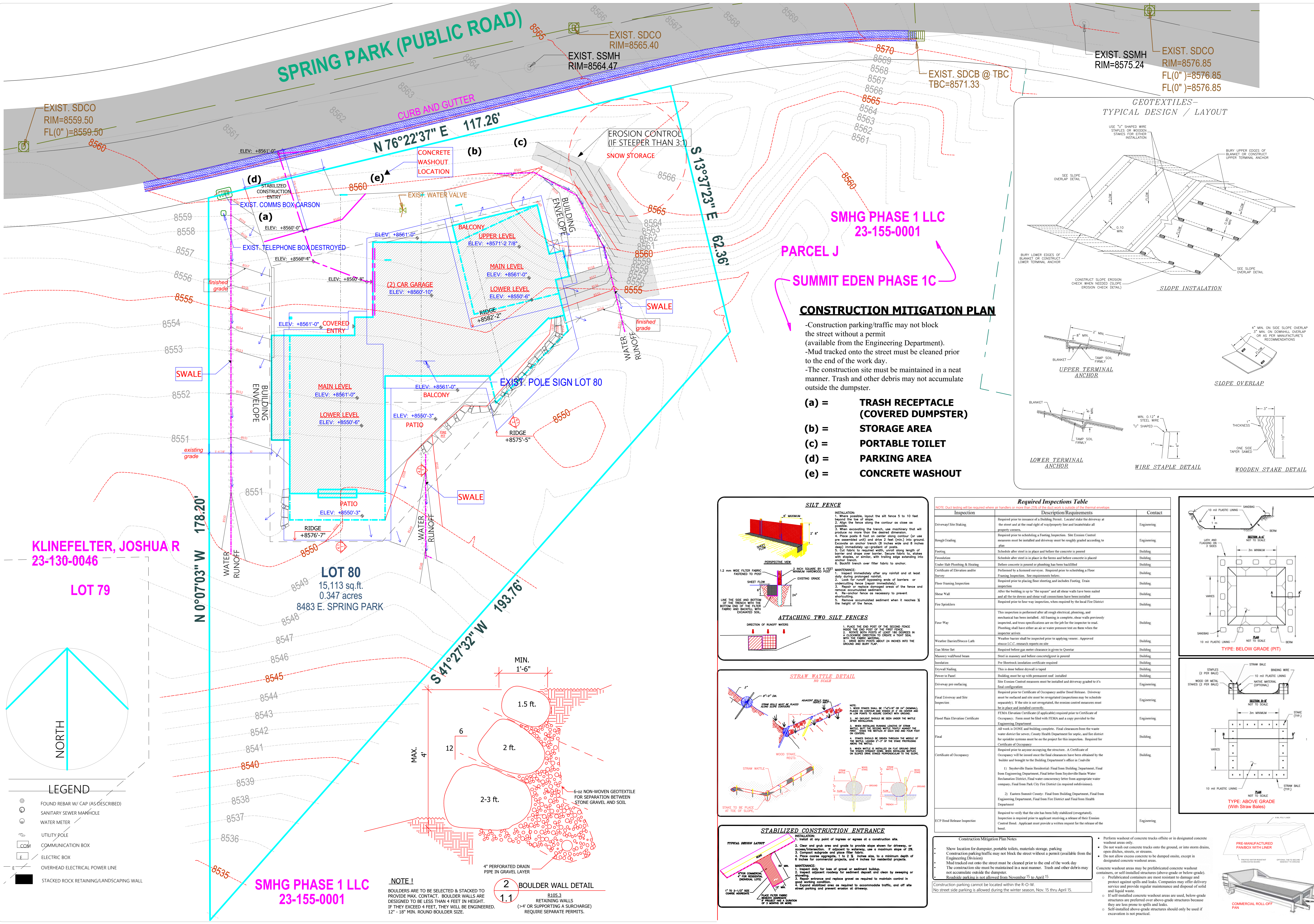
Please explain your request.

## Authorization

By signing below the Owner / Representative authorizes the county to enter the property to perform inspections.

Owner or Authorized Representative Signature Pamela Russell		Date 12/20/2019
Signature of Approval Tucker Weight		Date 12/26/2019

# SPRING PARK (PUBLIC ROAD)



**KLINFELTER, JOSHUA R**  
23-130-0046

**LOT 79**

**LOT 80**  
15,113 sq.ft.  
0.347 acres  
8483 E. SPRING PARK

**SMHG PHASE 1 LLC**  
23-155-0001

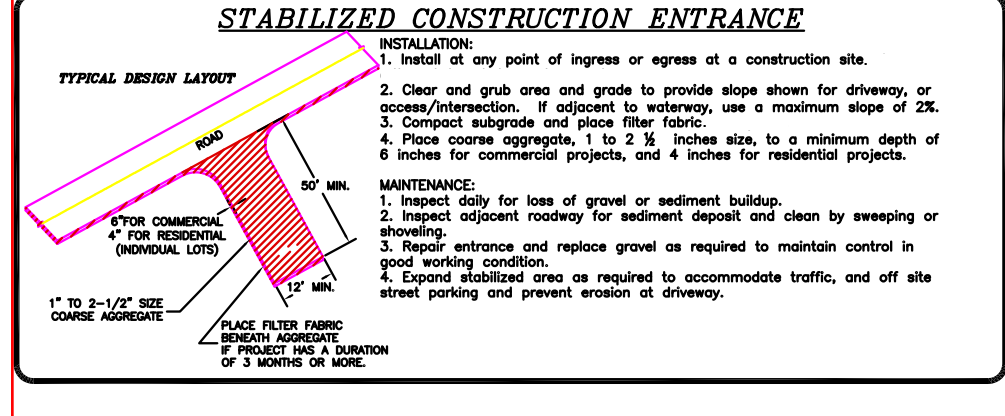
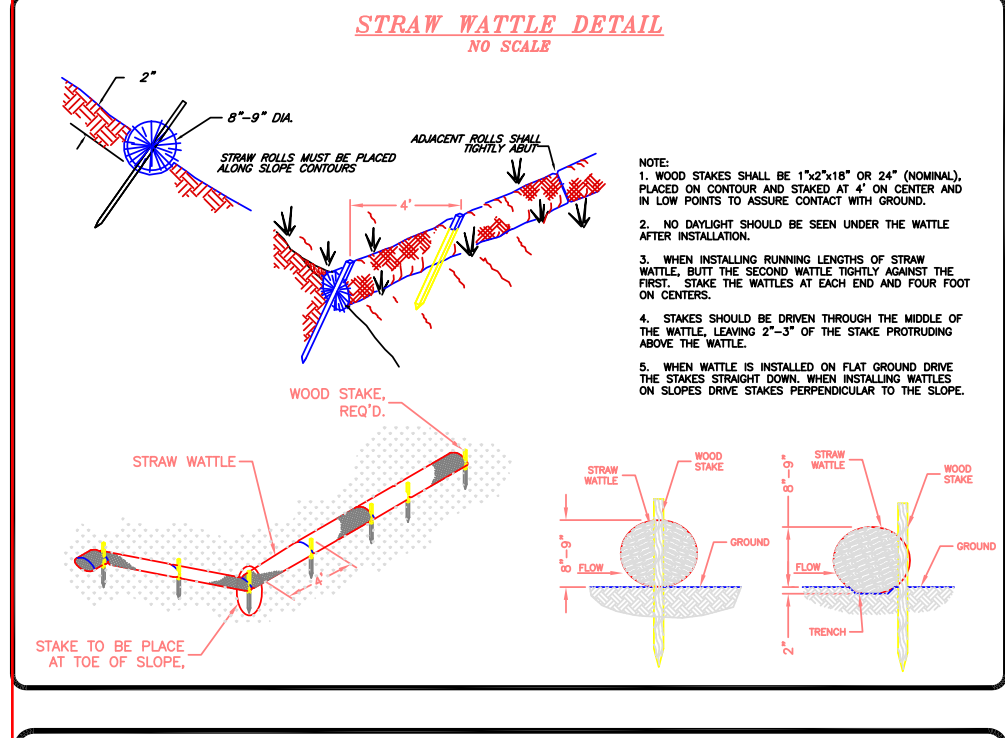
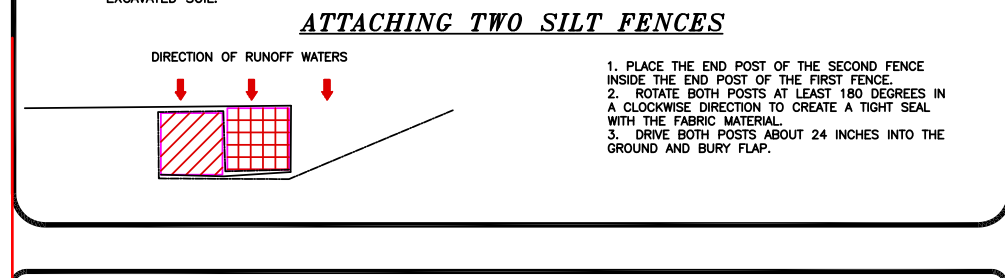
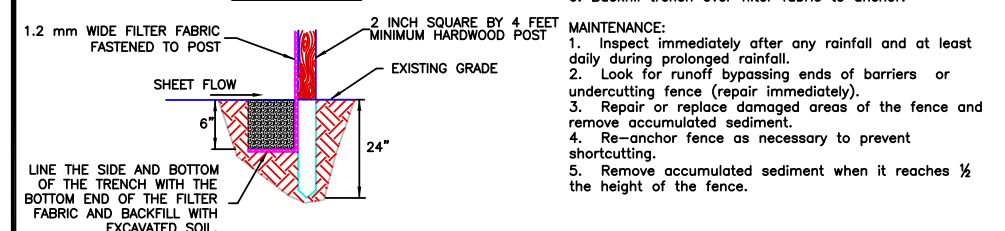
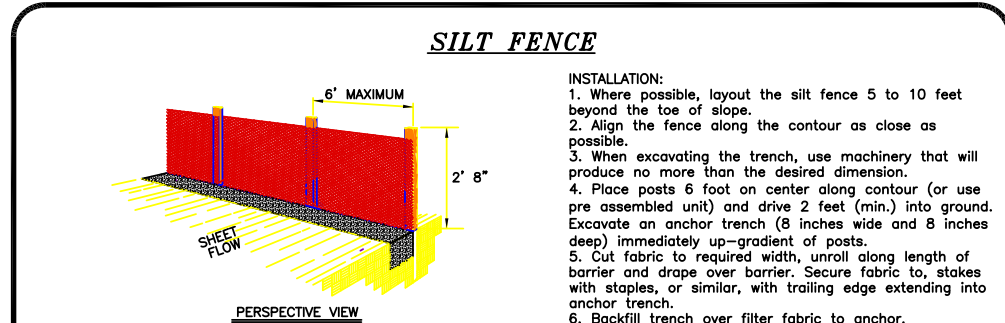
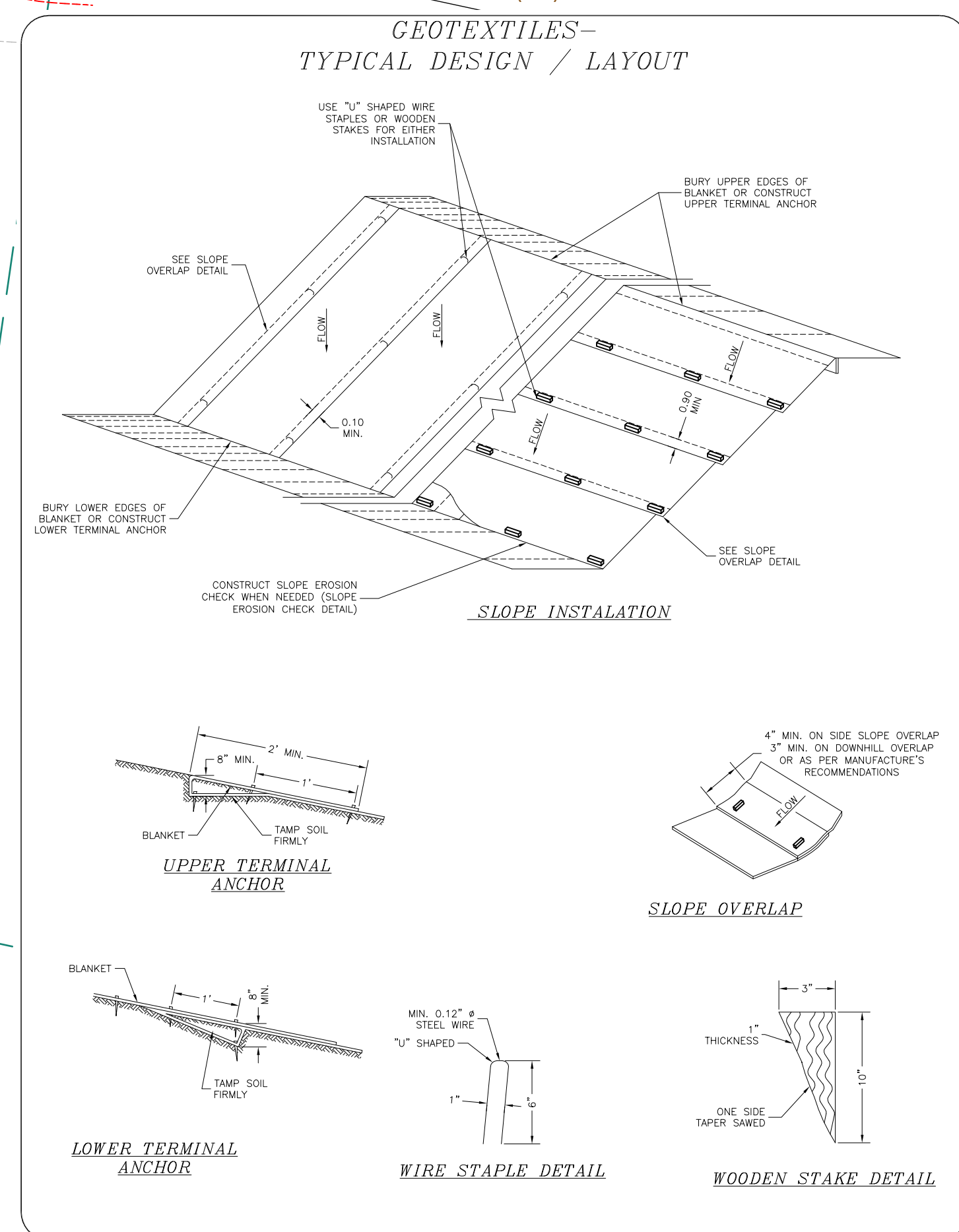
**PARCEL J**

**SUMMIT EDEN PHASE 1C**

## CONSTRUCTION MITIGATION PLAN

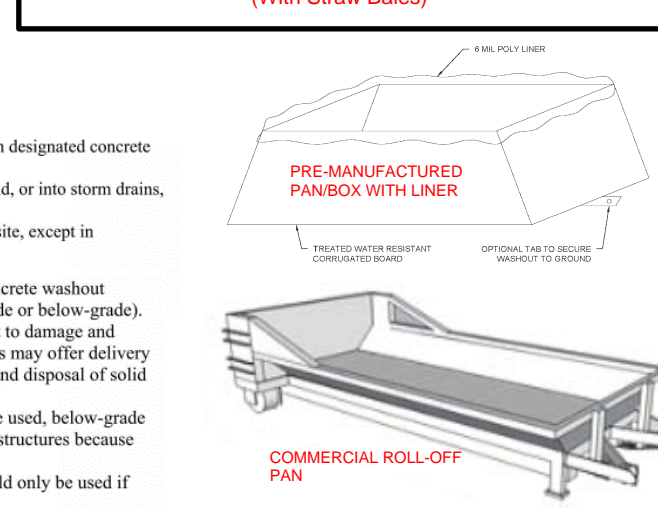
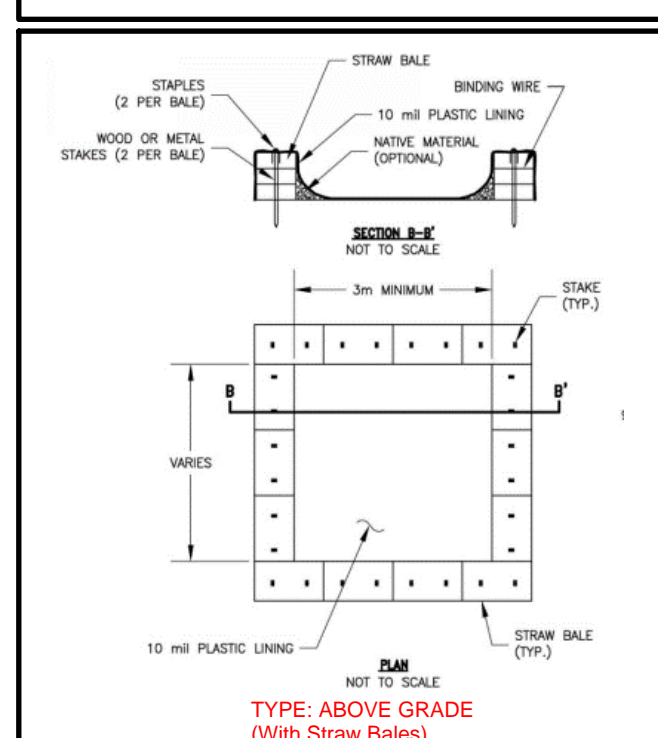
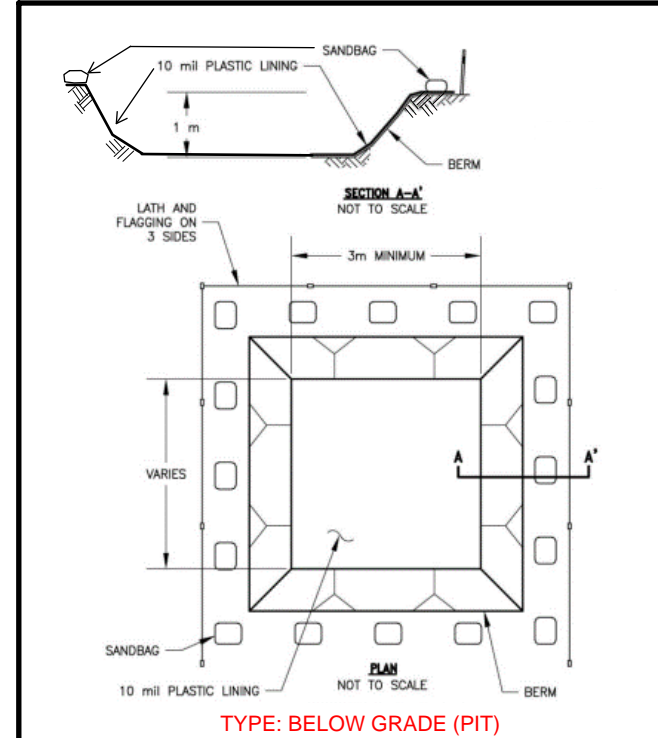
-Construction parking/traffic may not block the street without a permit (available from the Engineering Department).  
-Mud tracked onto the street must be cleaned prior to the end of the work day.  
-The construction site must be maintained in a neat manner. Trash and other debris may not accumulate outside the dumpster.

- (a) = TRASH RECEPTACLE (COVERED DUMPSTER)
- (b) = STORAGE AREA
- (c) = PORTABLE TOILET
- (d) = PARKING AREA
- (e) = CONCRETE WASHOUT



### Required Inspections Table

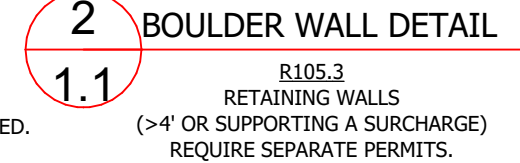
Inspection	Description/Requirements	Contact
Driveway/Site Staking	Required prior to issuance of a Building Permit. Locate stake for driveway at the street and at the road right of way/property line and locate stake at project corners.	Engineering
Rough Grading	Required prior to submittal of a Footing Inspection. Site Erosion Control measures must be installed and driveway must be roughly graded according to plan.	Engineering
Footing	Schedule after steel is in place and before the concrete is poured.	Building
Foundation	Before concrete is poured or plumbing has been backfilled.	Building
Under Slab Plumbing & Heating	Performed by a licensed surveyor. Required prior to including a Floor Framing Inspection. See requirements below.	Building
Certificate of Elevation and/or Survey	Required prior to placing floor slab/footing and footing. Drain inspections.	Building
Shower Wall	After the building is up to "the square" and all shower walls have been sealed and all the tile down and shower wall connections have been installed.	Building
Fire Sprinklers	Required prior to four way inspection, when required by the local Fire District.	Building
Four Way	This inspection is performed after all rough electrical, plumbing, and mechanical has been installed. All framing is complete, shear walls previously inspected, and final specifications are on the job for the inspector to read. Plumbing shall have either an air or water pressure test on them when the inspector arrives.	Building
Weather Barrier/Sheath Lath	Weather barrier shall be inspected prior to applying veneer. Approved since I.C.C. research reports on site.	Building
Gas Meter Set	Required before gas meter clearance is given to Quarter.	Building
Masonry walkhead beam	Steel in masonry and before concrete/brick is poured.	Building
Insulation	Pre Sheetrock insulation certificate required.	Building
Drywall Nailing	This is done before drywall is taped.	Building
Power to Panel	Building must be up with permanent roof installed.	Building
Driveway pre-finishing	Site Erosion Control measures must be installed and driveway graded to it's final configuration.	Engineering
Final Driveway and Site Inspection	Required prior to Certificate of Occupancy and/or Flood Release. Driveway must be surfaced and site must be vegetated (inspections may be schedule separately). If the site is not investigated, the erosion control measures must be in place and installed correctly.	Engineering
Flood Plain Elevation Certificate	FEMA Elevation Certificate of applicable required prior to Certificate of Occupancy. Form must be filed with FEMA and a copy provided to the Engineering Department.	Engineering
Final	All work is DONE and building complete. Final clearances from the water/water district fee waiver, County Health Department for septic, and fire district for applicable systems must be on the project for this inspection. Required for Certificate of Occupancy.	Building
Certificate of Occupancy	Required prior to anyone occupying the structure. A Certificate of Occupancy will be issued once the final clearances have been obtained by the builder and brought to the Building Department's office in Oakville.	Building
ICP Flood Release Inspection	1) Sevier/Utah Basin Residential: Final from Building Department, Final from Engineering Department, Final from Sevier Basin Water Reclamation District, Final water conveyance letter from appropriate water company, Final from Park City Fire District (in required subdivisions). 2) Eastern Summit County: Final from Building Department, Final from Engineering Department, Final from Fire District and Final from Health Department.	Engineering



- ### LEGEND
- FOUND REBAR W/ CAP (AS DESCRIBED)
  - SANITARY SEWER MANHOLE
  - WATER METER
  - UTILITY POLE
  - COMMUNICATION BOX
  - ELECTRIC BOX
  - OVERHEAD ELECTRICAL POWER LINE
  - STACKED ROCK RETAINING/LANDSCAPING WALL

**SMHG PHASE 1 LLC**  
23-155-0001

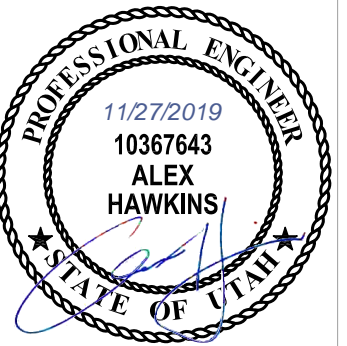
**NOTE!**  
BOULDERS ARE TO BE SELECTED & STACKED TO PROVIDE MAX. CONTACT. BOULDER WALLS ARE DESIGNED TO BE LESS THAN 4 FEET IN HEIGHT. IF THEY EXCEED 4 FEET, THEY WILL BE ENGINEERED. 12" - 18" MIN. ROUND BOULDER SIZE.



**SCANDINAVIAN**  
LLC

ARCHITECTURAL OFFICE  
Company Name: Scandinavian LLC  
Address: 6410 N. Business Park Loop Rd. Unit E  
Phone: 435-513-0355  
Fax:  
Project No:  
Cad File:  
Drawn:  
Checked:

A New Residence:  
**RYAN BYRNE**  
Summit Powder Mountain, Lot # 80  
8483 E. Spring Park, Weber County, Utah



**BUILDER**  
Company Name:  
Address:  
Park City, Utah 84098

Phone:  
Fax:

Drawing Date: 11-26-2019  
Scale: 1" = 10'-0"

**SITE PLAN**  
BUILDER/DEALER'S APPROVAL:  
Signature and Date:

1.1