

## Weber County Conditional Use Permit Application

Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted / Completed 1/28/2013	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use) <i>CUP 2013 04</i>
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### Property Owner Contact Information

Name of Property Owner(s) Great Salt Lake Minerals Corporation		Mailing Address of Property Owner(s) 765 North 10500 West Ogden, Utah 84404	
Phone 801-731-3100	Fax 801-731-4881		
Email Address (required) kernerw@compassminerals.com		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	

### Authorized Representative Contact Information

Name of Person Authorized to Represent the Property Owner(s) <i>William Kerner BRIAN LLOYD</i>		Mailing Address of Authorized Person 765 North 10500 West Ogden, Utah 84404	
Phone <i>801-305-4247</i> 801-732-3312	Fax <i>801-281-8787</i> 801-731-4881		
Email Address <i>brian@risuntech.com</i> kernerw@compassminerals.com		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	

### Property Information

Project Name Dry Salt Storage Building		Total Acreage 0.38	Current Zoning M-3
Approximate Address 765 North 10500 West Ogden, Utah 84404		Land Serial Number(s) 10032004	

Proposed Use  
Construct an 80' X 208' Dry Salt Storage Building

Project Narrative

Great Salt Lake Minerals is committed to providing our clients with the best products possible in our industry. Currently we are storing palletized bagged products out of doors exposed to the elements. It is our desire to improve this situation. Therefore we propose to construct an 80' X 208' X 37' tall Quonset type building. The building will be enclosed with a fourteen foot equipment door and a man door on each end. Pallets will be brought from the nearby salt storage warehouse by a light duty fork lift. The pallets can be staked to a height of approximately 15 feet. The building will have interior lights attached to the domed frame. For reference a similar building photo accompanies this submittal.

We expect that a current Conditional Use Permit, CUP 2009-18, can be amended to accommodate this proposed project.

**Property Owner Affidavit**

I (We), William Kerner (Site Manager) depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge.

William Kerner  
(Property Owner)

\_\_\_\_\_  
(Property Owner)

Subscribed and sworn to me this 23rd day of January, 20 13.



Jeffrey B. Matthews  
(Notary)

**Authorized Representative Affidavit**

I (We), \_\_\_\_\_, the owner(s) of the real property described in the attached application, do authorized as my (our) representative(s), \_\_\_\_\_, to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the County considering this application and to act in all respects as our agent in matters pertaining to the attached application.

\_\_\_\_\_  
(Property Owner)

\_\_\_\_\_  
(Property Owner)

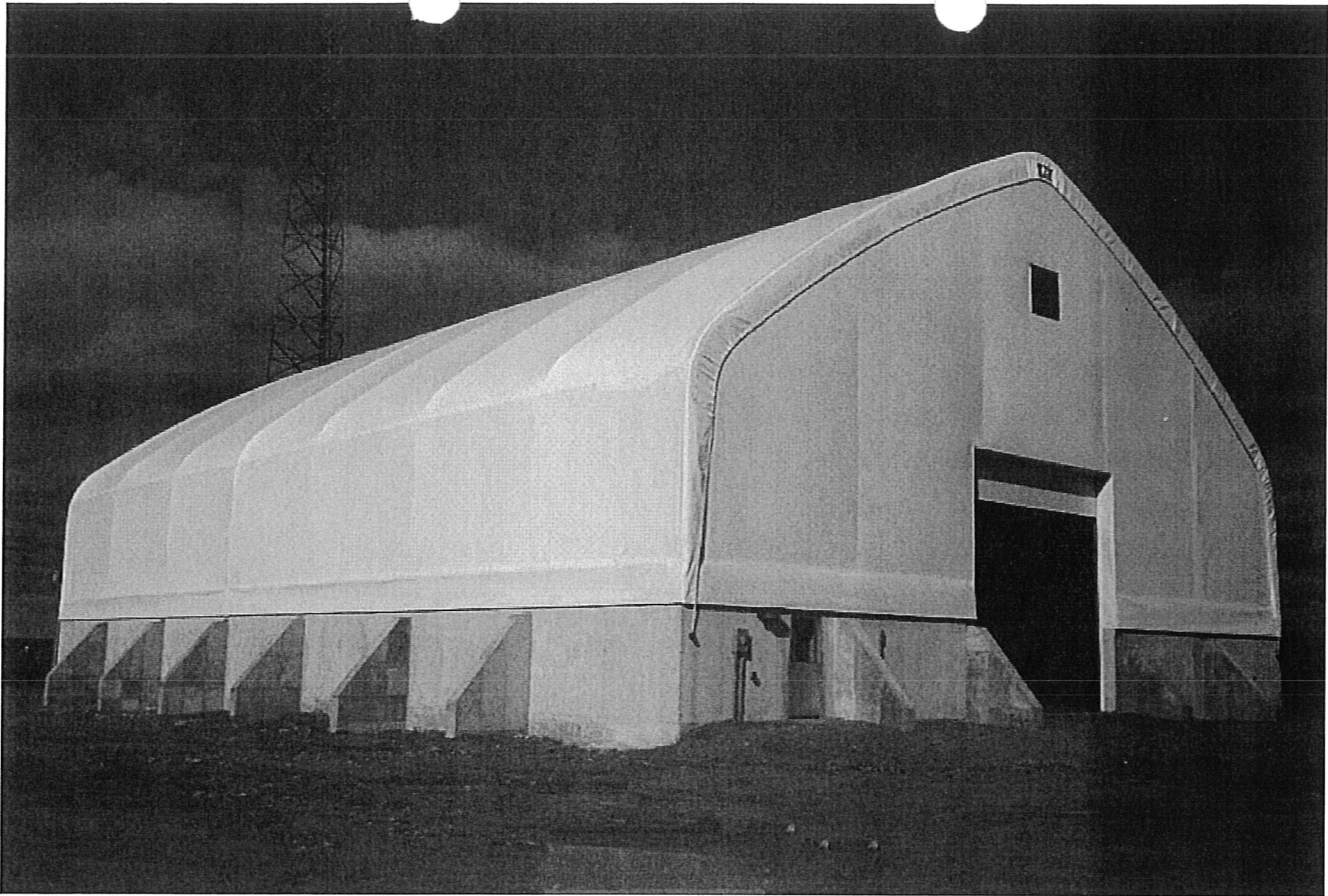
Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_, personally appeared before me \_\_\_\_\_, the signer(s) of the Representative Authorization Affidavit who duly acknowledged to me that they executed the same.

\_\_\_\_\_  
(Notary)



BUILDING PHOTO





#### Building Description:

The building will have an eighty by two hundred and eight foot footprint. The two hundred and eight foot length will be in the nearly North/South direction. The building will have an eighty foot free span from side to side. The proposed building will be a hemisphere or cabin shape geometry with vertical end walls. A fourteen foot equipment door, exhaust fan and a man door will be located in each end panel. The man force resisting system (MFRS) for the building will be structural pipe truss. The MFRS building frames will be on sixteen foot centers along the two hundred and eight foot length. The building will be approximately thirty seven foot tall, measured from grade. The exterior skin will be composed of a light colored fabric suitable for local design environmental loading. The building will be a permanent structure founded on a concrete foundation.

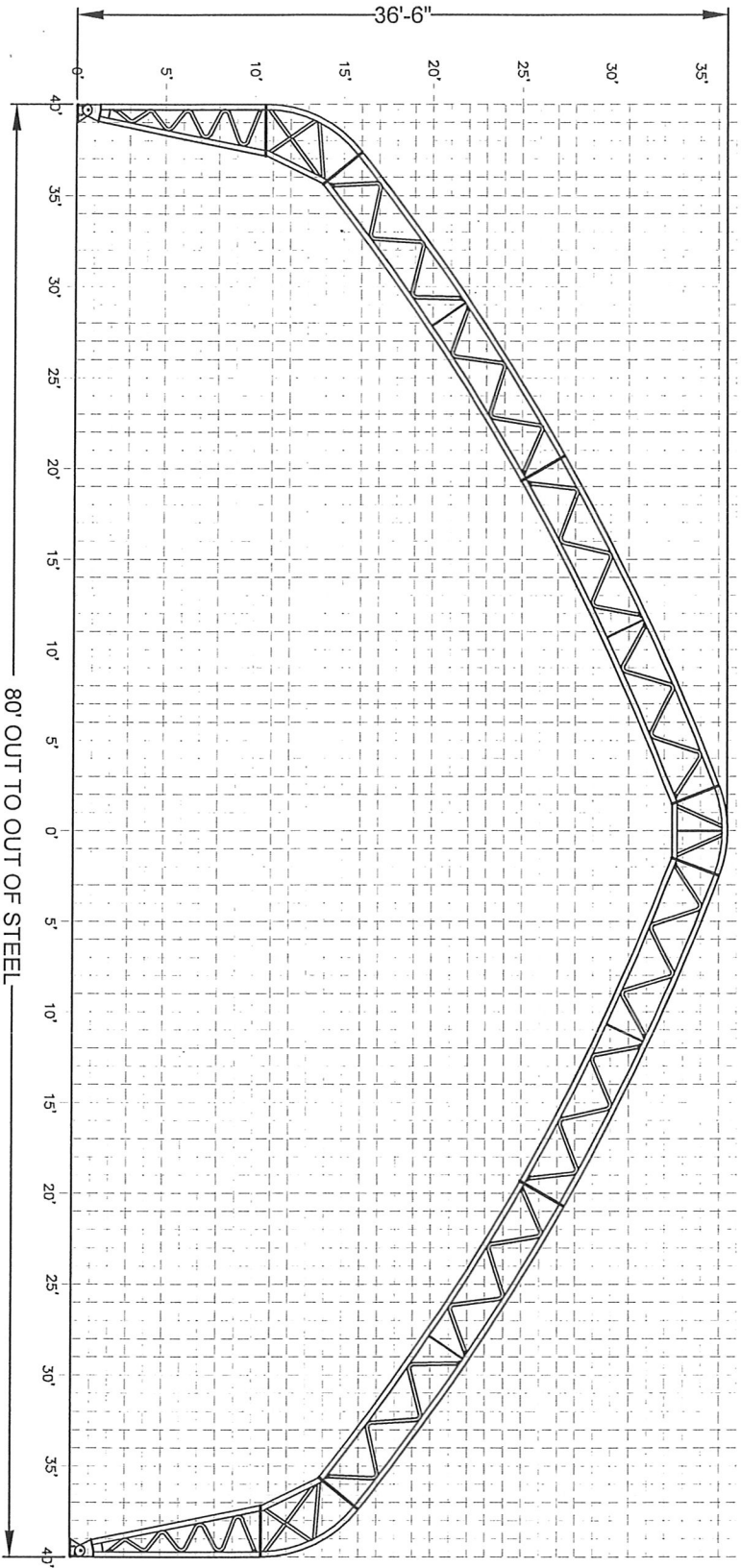


NORTH →



BUILDING LOCATION

# APEX 80'W



**80'W APEX**  
 Outside Width : 80'  
 Outside Height : 36' 6"  
 Maximum Clearance : 33' 4"



37651 Amberley Road  
 Lucknow, ON, Canada  
 PH: 1-519-528-2922  
 FAX: 1-519-528-2890

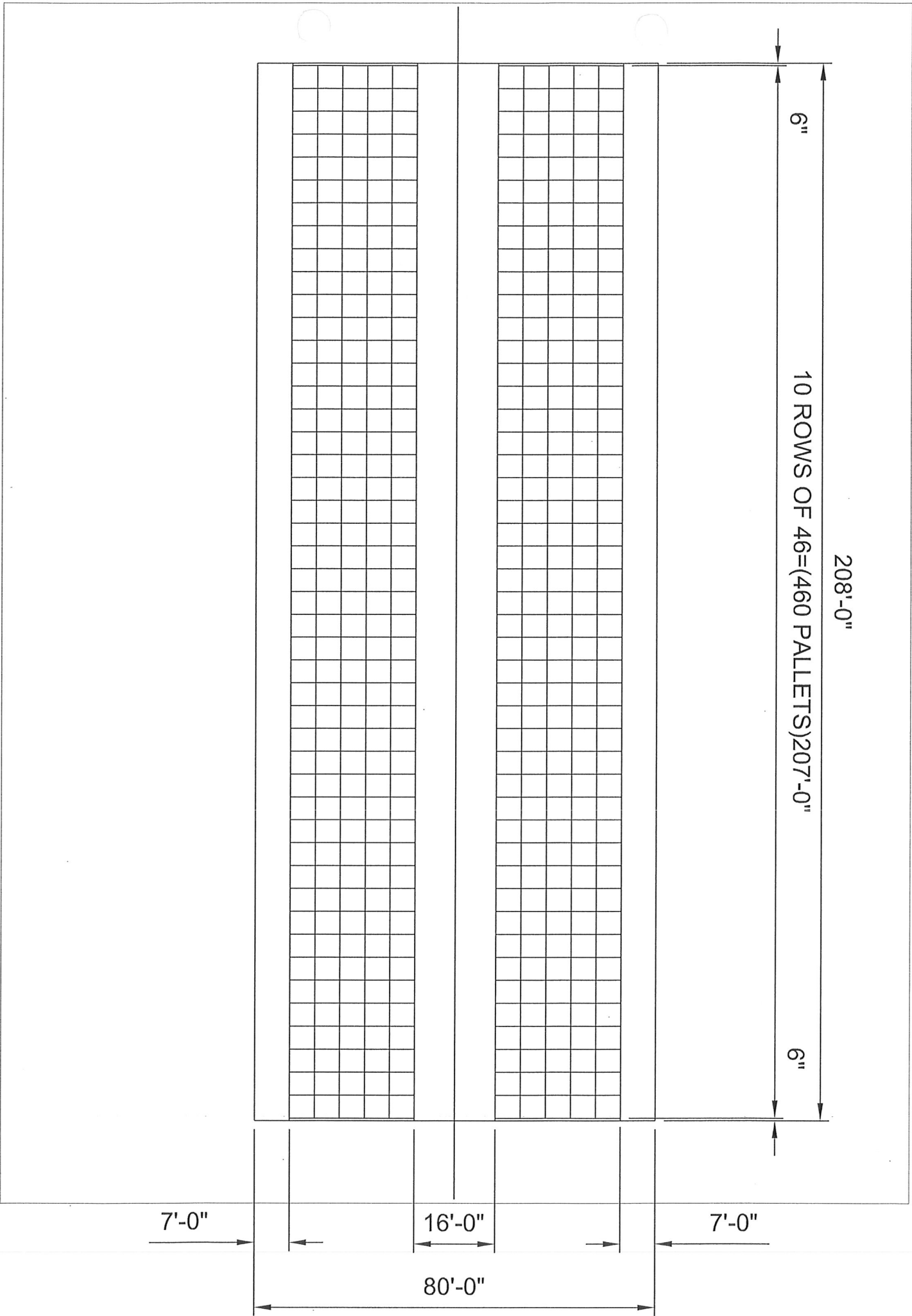
DEALER

CUSTOMER:

PROJECT:

DETAILER:	DWG REV	REVISED BY:	DESCRIPTION	DATE	NOG	ZHO
DS	1	1		19.JUL.12		
CHECKER:						
THIS DRAWING IS PROPERTY OF BRITESPAN ANY REPRODUCTION IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF BRITESPAN IS PROHIBITED. THIS DRAWING IS NOT TO SCALE UNLESS OTHERWISE NOTED.						
FILE NO:	80	WIDTH-STEEL-FAB-HSS-HSSDROP	TAB TITLE:	005	DRAWING TITLE:	APEX - 80 W PROFILE
PROJECT ID:			SO/ORDER ID:		DRAWING:	
REV:	1					





208'-0"

6"

10 ROWS OF 46=(460 PALLETS)207'-0"

6"

7'-0"

16'-0"

7'-0"

80'-0"



# BRITESPAN

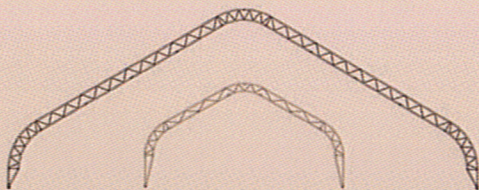
BUILDING SYSTEMS INC

## BUILDING SERIES & COMPONENTS

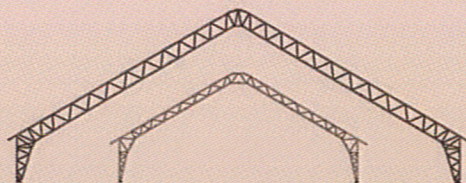
**ATLAS SERIES**  
24' - 82' Wide



**GENESIS SERIES**  
60' - 160' Wide



**EPIC SERIES**  
80' - 160' Wide



Available in the following widths:

19', 24', 30', 32', 36', 40', 42',  
50', 52', 55', 62', 65', 72' & 82'

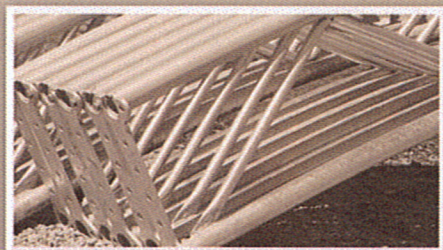
60', 70', 80', 90', 100', 110', 120',  
130', 140', 150' & 160'

80', 90', 100', 110', 120', 130',  
140', 150' & 160'

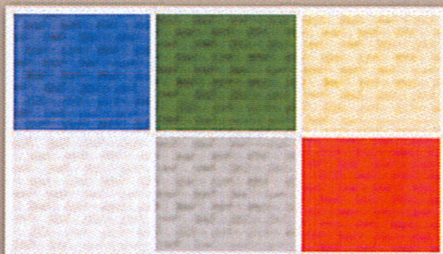
### BRITESPAN<sup>TM</sup> buildings offer:

- ✓ POST Hot Dip Galvanized Steel offers superior rust protection!
- ✓ 16 year pro rata fabric warranty
- ✓ Portable when needed to be
- ✓ Freespan space providing optimal storage space
- ✓ Natural lighting which saves you \$\$\$ on electricity
- ✓ Low maintenance which reduces operational costs
- ✓ Ideal environment for livestock
- ✓ Freespan buildings 24' - 160' wide to any length
- ✓ Rapid installations by local quality builders
- ✓ Flexible leasing options
- ✓ Can add onto existing Cover-All buildings

**Trusses** Post Hot Dip Galvanized

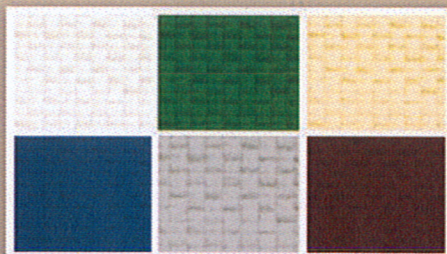


**Covers**



**Synergy\***

**Synergy FR\*** (Flame Retardant)



\* Colours may not be exactly as shown. Contact your local dealer to see fabric samples



**1.800.407.5846**  
[www.britespanbuildings.com](http://www.britespanbuildings.com)

# BRITESPAN

BUILDING SYSTEMS INC



# BRITESPAN<sup>TM</sup>

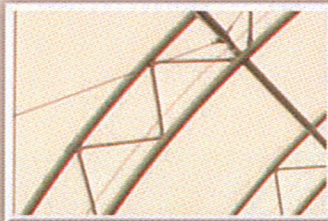
BUILDING SYSTEMS INC

## BUILDING COMPONENTS

### BRITESPAN<sup>TM</sup> Building Components

BRITESPAN Building Systems have been designed with unique components that enhance the durability and strength of the building.

18"-24" Deep Atlas Truss



Cross Cabling

Continuous Webbed Truss on Atlas Series



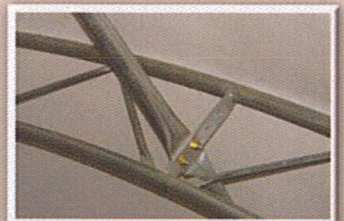
Precise Termination

Concrete Mounting Boot



Post Mount Bracket

Solid Purlin Connection



Steel Legs



### BRITESPAN<sup>TM</sup> can customize your building to suit needs

BRITESPAN Building Systems will customize your building to incorporate colors, ventilation, interior layouts, door and end wall options, foundations and space requirements to meet your needs.

Can Extend Cover-All's



Insulating



Foundations



Conventional Additions



1.800.407.5846  
www.britespanbuildings.com

BRITESPAN<sup>TM</sup>  
BUILDING SYSTEMS INC



CHAPTER 27

**AIRPORT ZONES AND HEIGHT REGULATIONS**

- 27-1. Height Limits
  - 27-2. Use Restrictions
  - 27-3. Hazard Marking and Lighting
  - 27-4. Most Restrictive Limitation Prevails
  - 27-5. Airport Master Plan Provisions
- 

**27-1. Height Limits**

Except as otherwise provided in this Ordinance, no structures or natural growth shall be erected, altered, allowed to grow, or maintained in the height limiting zones hereinafter described to a height in excess of the height specified therefore or established for such zone or any point therein. For the purpose of this regulation, the following height limits are established, by elevation in feet above mean sea level, for each of the height limiting zones in question:

Ogden Municipal Airport, Weber County

Horizontal Surface Zone	4,574 feet
Approach Surface Zone	4,424 to 4,624 feet
Transitional Surface Zone	4,424 to 4,924 feet
Conical Surface Zone	4,574 to 4,924 feet
Turning Zone	4,924 feet

Hill Air Force Base, Davis County

Horizontal Surface Zone	4,938 feet
Approach Surface Zone	4,758 to 4,988 feet
Transitional Surface Zone	4,758 to 5,288 feet
Conical Surface Zone	4,938 to 5,288 feet
Turning Zone	5,288 feet

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**27-2. Use Restrictions**

1. Notwithstanding any other provisions of this Ordinance, no use shall be made of land within any of the districts or zones listed in Chapter 2 in such a manner as to create electrical interference with radio or other electronic communication between the airport and aircraft; make it difficult for flyers to distinguish between airport lights and others; result in glare in the eyes of flyers using the airport; impair visibility in the vicinity of the airport; or otherwise endanger the landing, taking off, or maneuvering of aircraft.
  2. Notwithstanding any other provisions of this Ordinance, no places of public assembly, including, but without limitation, schools, churches, hospitals, barracks, multiple-dwellings, apartment housing, trailer camps and theaters, shall be erected or otherwise located within any of the areas established as an Approach Zone by this Ordinance for a distance of 11,000 feet from the end of the runway.
-





OFFICIAL RECEIPT

\*\*\* REPRINT \*\*\*

Date: 29-JAN-2013

Receipt Nbr: 1560

ID# 9361

Employee / Department: ANGELA - 4181 - PLANNING  
 Monies Received From: GSL  
 Template: PUBLIC WORKS  
 Description: CUP

The following amount of money has been received and allocated to the various accounts listed below:

Total Currency	\$	_____	.00
Total Coin	\$	_____	.00
Total Debit/Credit Card	\$	_____	320.00
Pre-deposit	\$	_____	.00
Total Checks	\$	_____	.00
Grand Total	\$	=====	320.00

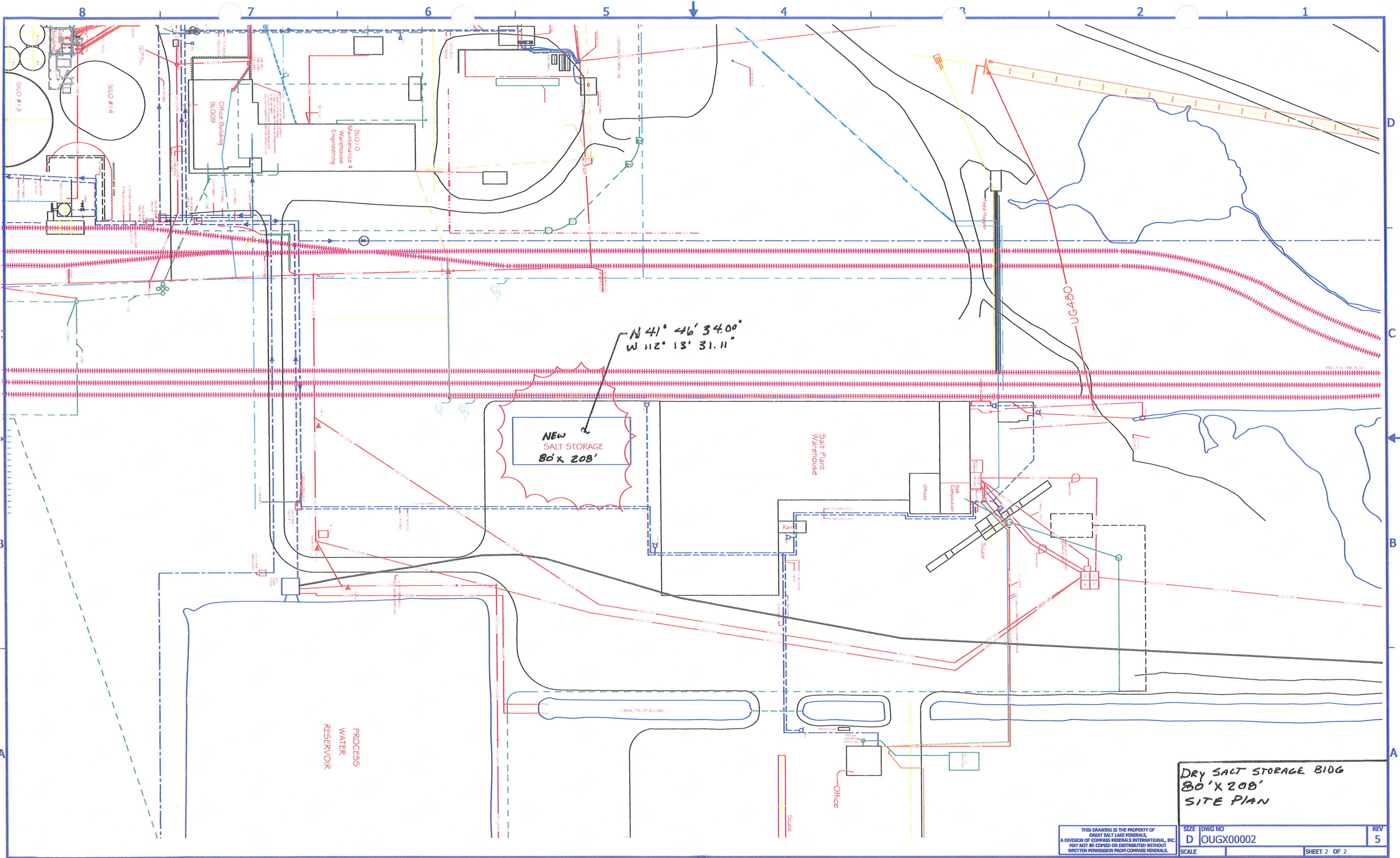
Account Number	Account Name	Comments	Total
2013-08-4181-3419-0550-000	ZONING FEES		320.00
TOTAL \$			320.00

Check Amounts

Total Checks: Total Check Amounts: \$ .00

\*\*\* SAVE THIS RECEIPT FOR YOUR RECORDS \*\*\*





NEW  
SALT STORAGE  
80' x 208'

N 41° 46' 34.00"  
W 112° 13' 31.11"

DRY SALT STORAGE BLDG  
80' X 208'  
SITE PLAN

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	D	OUGX00002	5
SCALE	SHEET 2 OF 2		