

Weber County Design Review Application

Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted / Completed	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use) DR2013-01
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Property Owner Contact Information

Name of Property Owner(s) Weber County Corporation		Mailing Address of Property Owner(s) Parks and Recreation 1181 N. Fairground Drive Ogden, UT 84404	
Phone 801-399-8224	Fax 801-399-8241		
Email Address (required) kchristiansen@co.weber.ut.us		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	

Authorized Representative Contact Information

Name of Person Authorized to Represent the Property Owner(s) Kevin Christiansen		Mailing Address of Authorized Person Same	
Phone 801-399-8224	Fax 801-399-8241		
Email Address Same		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	

Property Information

Project Name Restroom at NFP/Mustang Flats	Current Zoning F-40	Total Acreage 160 ±
Approximate Address 2150 E. 5950 N. Liberty, UT	Land Serial Number(s) 160010004	

Proposed Use
Restroom Facility for Park Users

Project Narrative

Construct a restroom facility at Mustang Flats in North Fork Park, a county owned and operated Wilderness Campground. The restrooms will have separate men's and women's facilities. Each will be ADA compliant, and will be equipped with a toilet and a handwashing sink. The restrooms set well within Park boundaries. The restrooms have been designed to match existing restroom facilities at NFP.

Property Owner Affidavit

I (We), Jan M. Zogmaister and Kerry W. Gibson, depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge.

[Signature]
(Property Owner)

Jan M. Zogmaister
(Property Owner)

Subscribed and sworn to me this 8 day of February, 2013.



Michelle Karol Halacy (Notary)

Authorized Representative Affidavit

I (We), Jan M. Zogmaister and Kerry W. Gibson, the owner(s) of the real property described in the attached application, do authorized as my (our) representative(s), Kevin Christiansen, to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the County considering this application and to act in all respects as our agent in matters pertaining to the attached application.

[Signature]
(Property Owner)

Jan M. Zogmaister
(Property Owner)

Dated this 8 day of February, 2013, personally appeared before me Michelle Karol Halacy, the signer(s) of the Representative Authorization Affidavit who duly acknowledged to me that they executed the same.



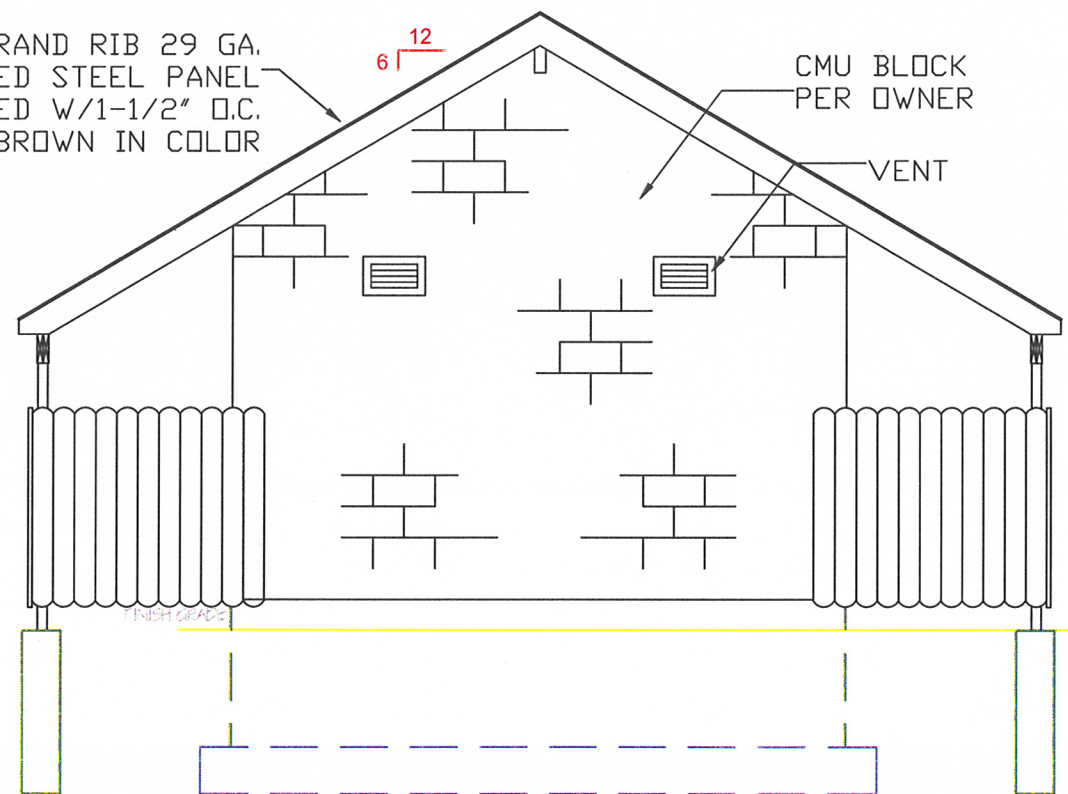
Michelle Karol Halacy (Notary)





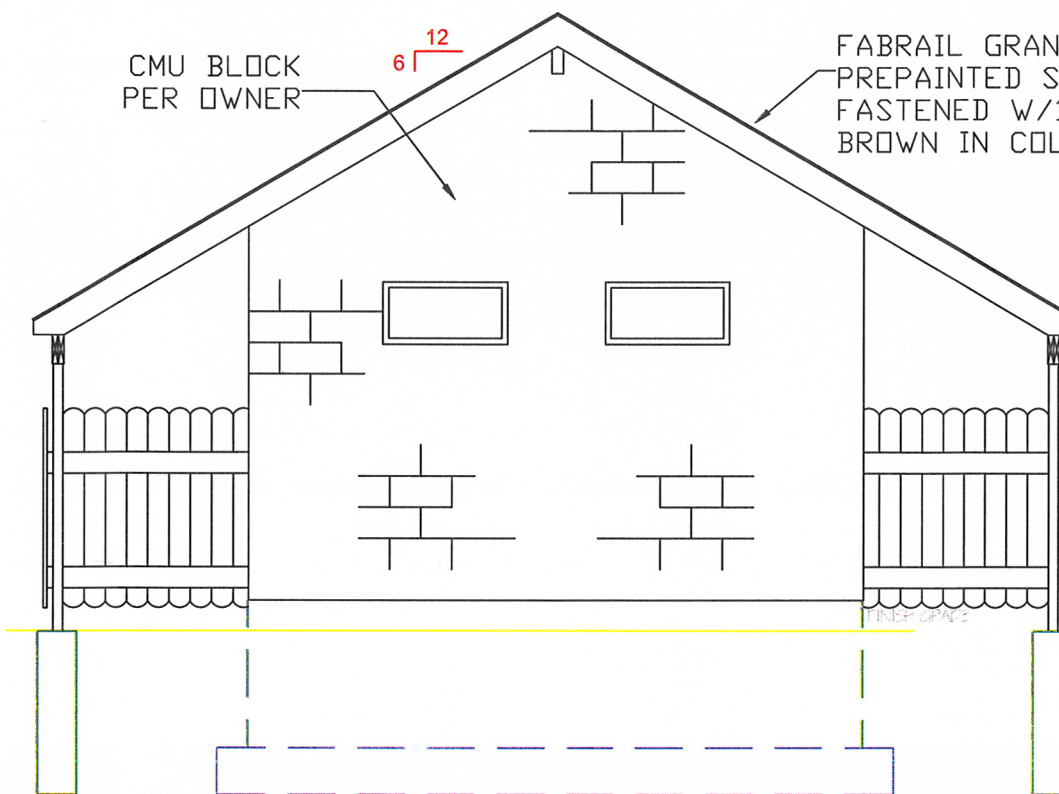


FABRAIL GRAND RIB 29 GA.
PREPAINTED STEEL PANEL
FASTENED W/1-1/2" O.C.
BROWN IN COLOR



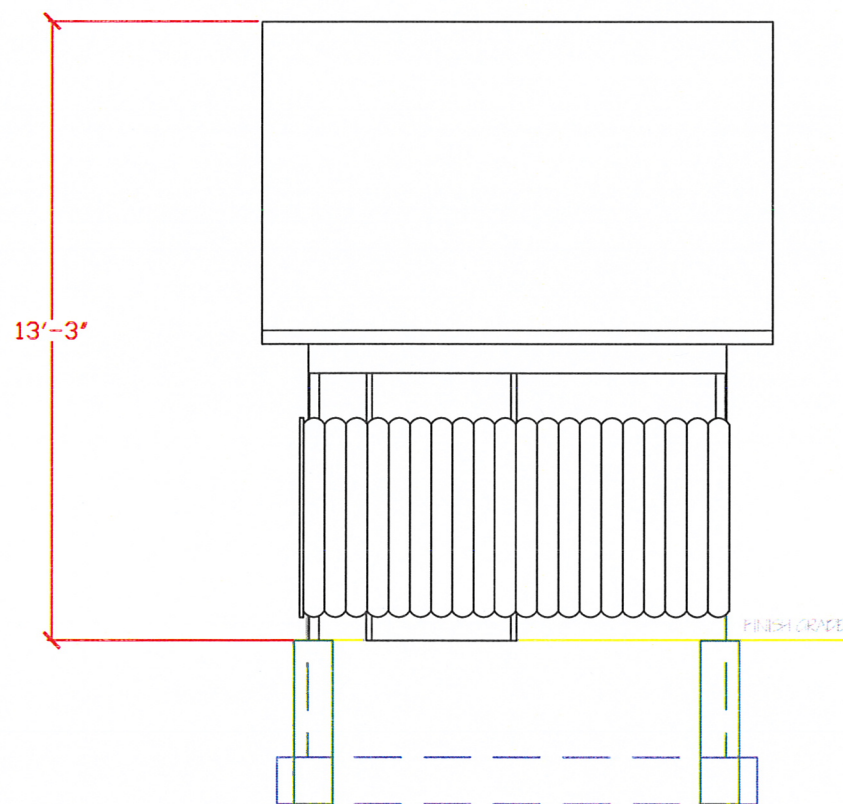
REAR ELEVATION

CMU BLOCK
PER OWNER

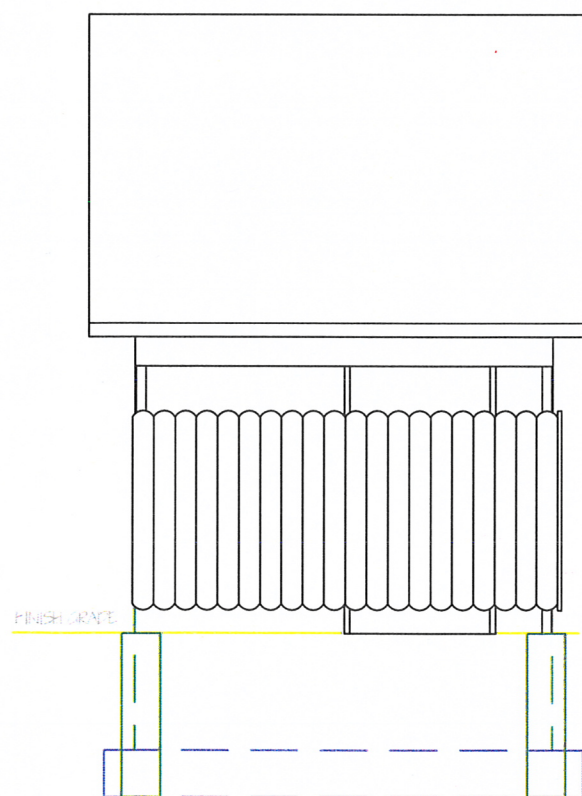


FRONT ELEVATION

FABRAIL GRAND RIB 29 GA.
PREPAINTED STEEL PANEL
FASTENED W/1-1/2" O.C.
BROWN IN COLOR



RIGHT ELEVATION



LEFT ELEVATION

COMMENTS

ALL WORK IS TO BE CONSISTENT WITH THE BEST BUILDING PRACTICES AND CONFORM TO ALL BUILDING CODE REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.

WEBER COUNTY
C/O JIM CARTER
801-399-8491

SCALE
1/4"=1'

Prepared By: Weber County Engineering
2388 Washington Blvd. Suite 210
Ogden, Utah
801-399-8374

NEW RESTROOM
AT NORTH FORK PARK

WEBER COUNTY NORTH FORK PARK
1181 NORTH FAIRGROUNDS DR.
OGDEN, UTAH

DRAWING DATE:
October 29, 2012
REVISION DATE:

SHEET
OF
1
5

COMMENTS

ALL WORK IS TO BE CONSISTENT WITH THE BEST BUILDING PRACTICES AND CONFORM TO ALL BUILDING CODE REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.

PLUMBING FIXTURES AND HARDWARE TO MEET ALL ADA REQUIREMENTS. REFER TO CHAPTER 6 PLUMBING ELEMENTS AND FACILITIES, FIGURES 604.5.1, 604.5.2, 606.3. REFERENCE CHAPTER 6 FOR ALL OTHER REQUIREMENTS.

NOTE:

1. ALL DIMENSIONS ARE TO THE ROUGH WALLS.
2. ALL INTERIOR WALLS DRAWN 8.5" WIDE UNLESS NOTED OTHERWISE
3. ALL EXTERIOR WALLS DRAWN 8.5" WIDE UNLESS NOTED OTHERWISE
4. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY MUST BE TREATED OR FOUNDATION GRADE REDWOOD.
5. ALL INTERIOR WALLS TO REMAIN UNFINISHED CMU BLOCK.
6. IF THRESHOLDS AT DOORWAYS ARE INSTALLED SEE NOTE ON SHEET 7.
7. REFER TO REACH RANGES SEE NOTE ON SHEET 9. PLACEMENT OF ELEC.
8. FLOOR DRAINS TO CONFORM TO ASME A112.3.1, ASME A112.6.3 OR CSA B79 TO MEET REQUIREMENTS OF SELF PRIMING P-TRAP.
9. PLUMBING FIXTURES AND HARDWARE TO MEET ALL ADA REQUIREMENTS. REFER TO CHAPTER 6 PLUMBING ELEMENTS AND FACILITIES, FIGURES 604.5.1, 604.5.2, 606.3. REFERENCE CHAPTER 6 FOR ALL OTHER REQUIREMENTS.

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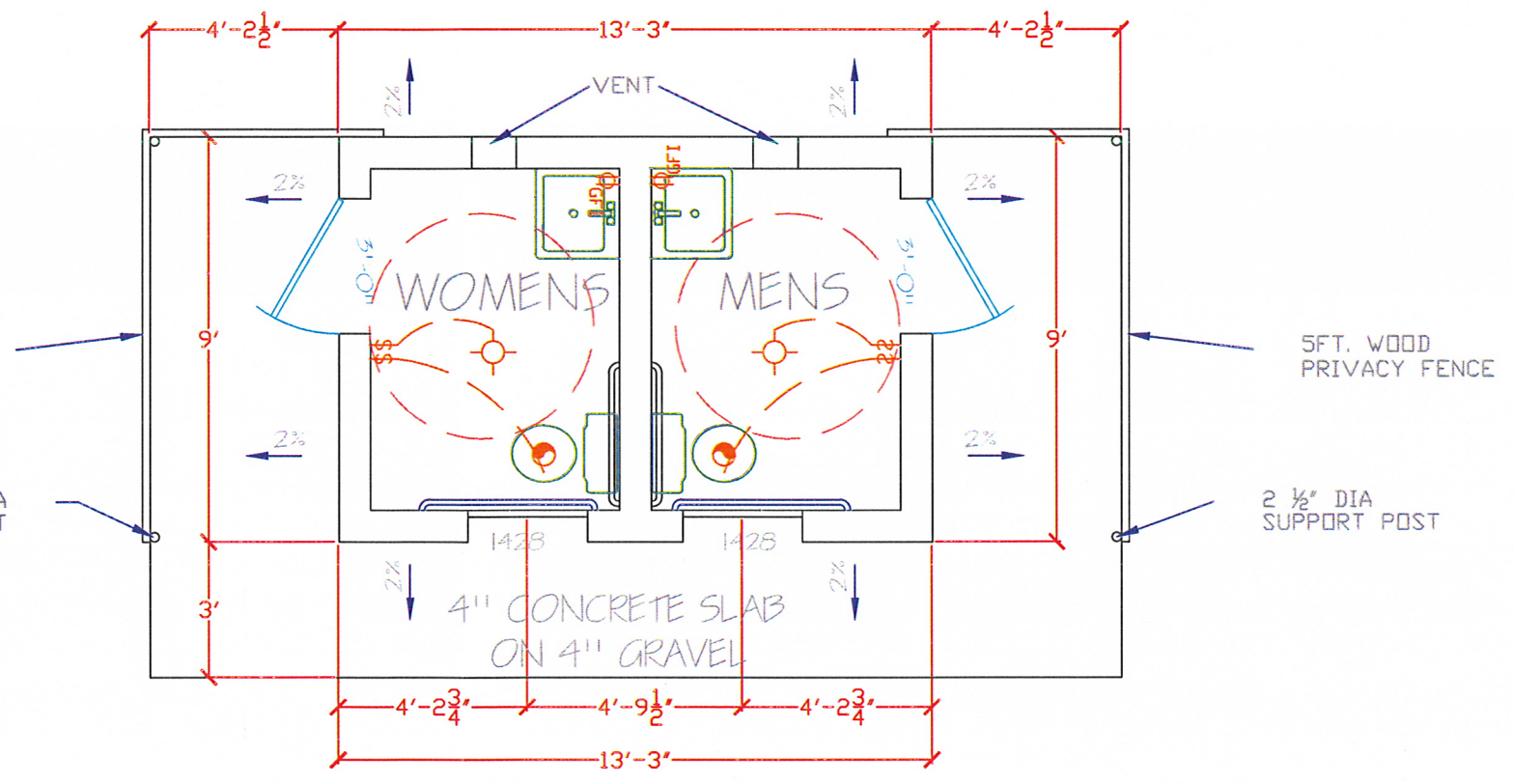
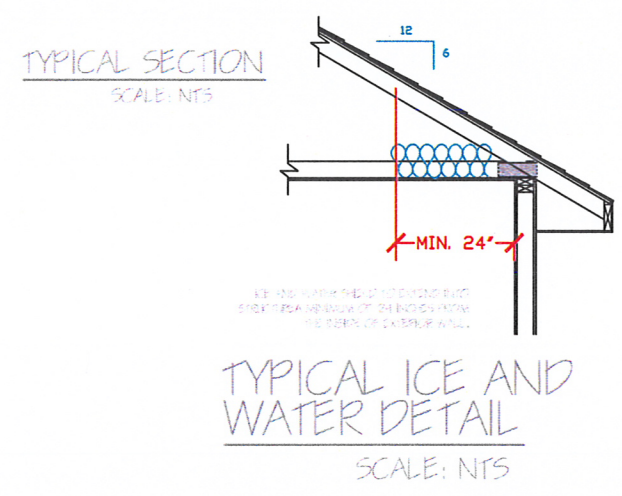
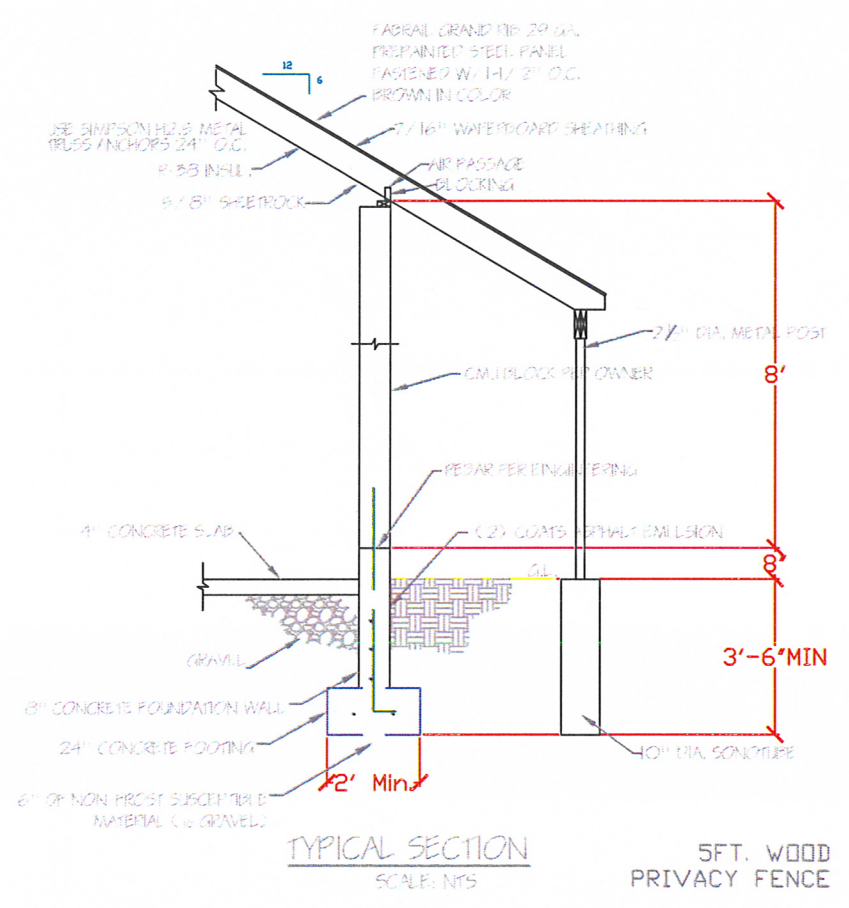
Prepared By: Weber County Engineering
2800 Washington Blvd. Suite 200
Ogden, Utah
801-399-0374

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AT NORTH FORK PARK

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C/O JIM CARTER
801-399-8491

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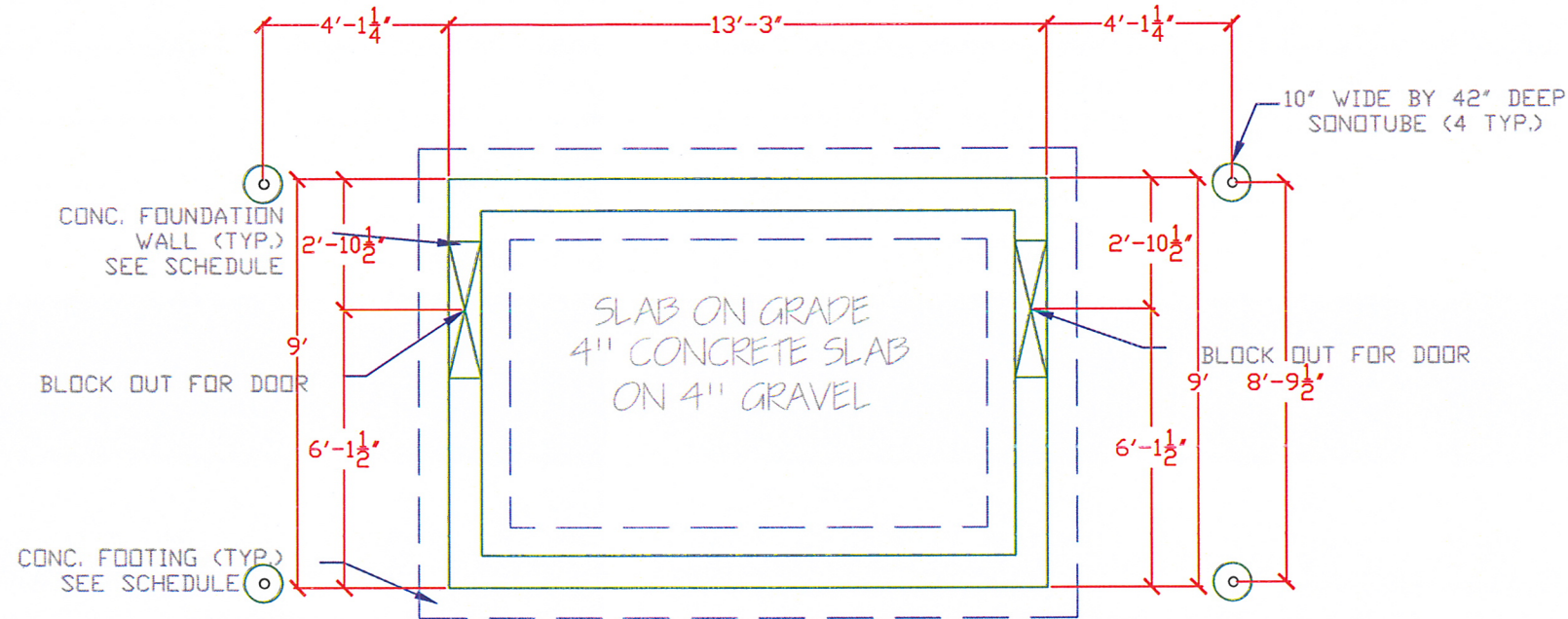
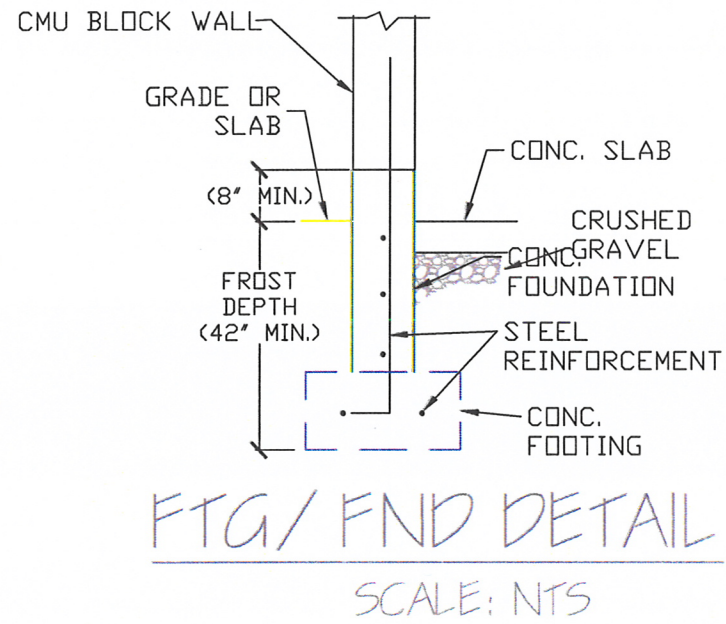
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FOOTING/FOUNDATION PLAN

COMMENTS

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SCALE
1/4" = 1'

Prepared By: Weber County Engineering
238 Washington Blvd. Suite 240
Ogden, Utah
800-397-5374

NEW RESTROOM
AT NORTH FORK PARK

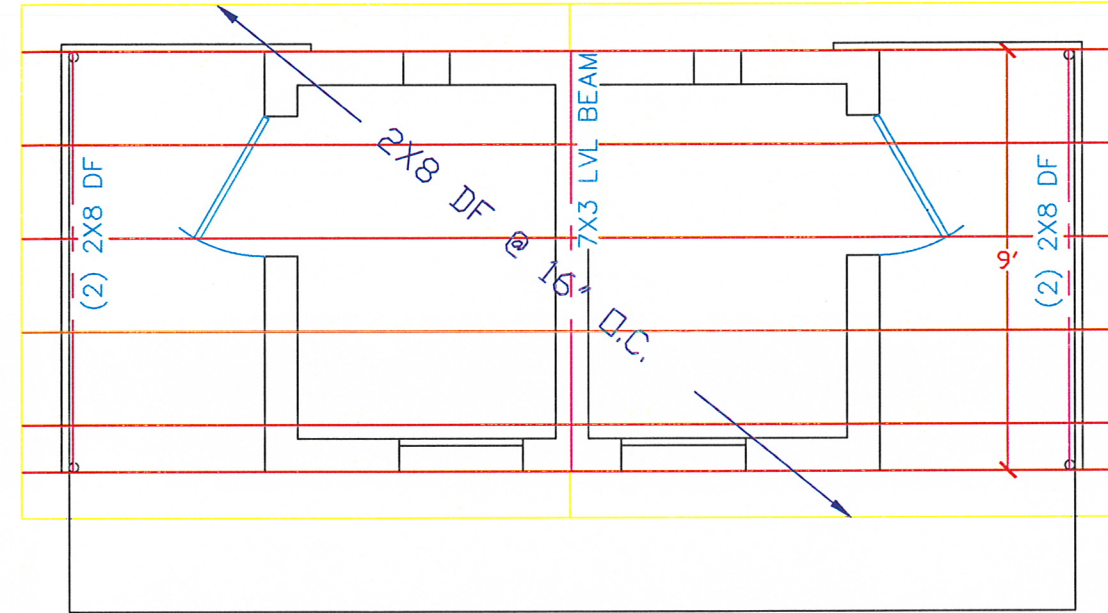
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ATTIC VENTILATION

1. Net free ventilation area shall not be less than 1/300th provided that at least 50% of the area is provided by ventilators located in upper portion of space to be ventilated.
2. Any other space to be vented by soffit system.



NOTES:

1. 2x8 DF @ 24" O.C. TRUSS
- TRUSSES TO BEAR ON BEAMS SHOWN
3. 6:12 PITCH

ROOF FRAMING PLAN

NOTES:

THRESHOLDS
IF PROVIDED THRESHOLDS AT DOORWAYS SHALL BE 1/2" MAX IN HEIGHT.

DOOR HARDWARE
HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 5/4" MIN. AND 48" MAX. ABOVE THE FLOOR.

DOOR CLOSERS
DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEG. THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEG. SHALL BE 5 SECONDS MIN.

SPRING HINGES
DOOR SPRING HINGES SHALL BE ADJUSTED SO THAT FROM THE OPEN POSITION OF 90 DEG. THE DOOR SHALL MOVE TO THE CLOSED POSITION IN 1.5 SECONDS MIN.

DOOR OPENING FORCE
FIRE DOORS SHALL HAVE THE MIN. OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY. THE FORCE FOR PUSHING OR PULLING OPEN DOORS OTHER THAN THE FIRE DOORS SHALL BE AS FOLLOWS:

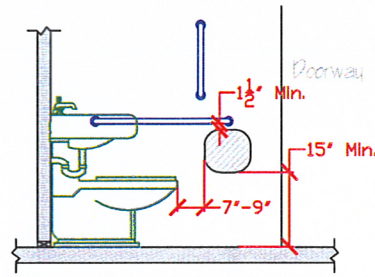
- 1- INTERIOR HINGED DOOR: 5.0 POUNDS MAX.
 - 2- SLIDING OR HOLDING DOOR: 5.0 POUNDS MAX.
- THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DIMENSIONAL OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION.

DOOR SURFACE
DOOR SURFACE WITHIN 10" OF THE FLOOR, MEASURED VERTICALLY, SHALL BE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN SUCH SURFACE SHALL BE WITHIN 1/8" OF THE SAME PLANE AS THE OTHER. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED.

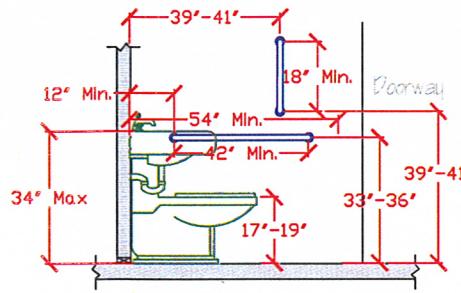
GRAB BARS
CIRCULAR GRAB BARS SHALL BE 1 1/4" MIN. AND 2" MAX. NONCIRCULAR GRAB BARS SHALL BE 2" MIN. AND A PERIMETER DIMENSION OF 4" AND 4.5" MAX.
THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1 1/2". THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS BELOW AND AT THE ENDS OF THE GRAB BAR SHALL BE 1 1/2" MIN. THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS ABOVE THE GRAB BAR SHALL BE 12" MIN.
GRAB BARS, AND ANY WALL OR OTHER SURFACE ADJACENT TO GRAB BARS SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS. EDGES SHALL BE ROUNDED. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
GRAB BARS SHALL BE INSTALLED IN ANY MANNER THAT PROVIDES A GRIPPING SURFACE AT THE LOCATIONS SPECIFIED IN THE STANDARD AND DOES NOT OBSTRUCT THE CLEAR FLOOR SPACE.
ALLOWABLE STRESSES SHALL NOT BE EXCEEDED FOR MATERIALS USED WHERE A VERTICAL OR HORIZONTAL FORCE OF 250 POUNDS IS APPLIED AT ANY POINT ON THE GRAB BAR, FASTENER MOUNTING DEVICE, OR SUPPORTING STRUCTURE.

REACH RANGES
FORWARD REACH
WHEN A FORWARD REACH IS UNOBSTRUCTED, THE HIGH FORWARD REACH SHALL BE 48" MAX. AND THE LOW FORWARD REACH SHALL BE 15" MIN. ABOVE THE FLOOR. WHERE A HIGH FORWARD REACH IS OVER AN OBSTRUCTION, THE CLEAR FLOOR SPACE SHALL EXTEND BENEATH THE ELEMENT FOR A DISTANCE NOT LESS THAN THE REQUIRED REACH DEPTH OVER THE OBSTRUCTION. THE HIGH FORWARD REACH SHALL BE 48" MAX WHERE THE REACH DEPTH EXCEEDS 20". THIS HIGH FORWARD REACH SHALL BE 34" MAX. AND THE REACH DEPTH SHALL BE 25".

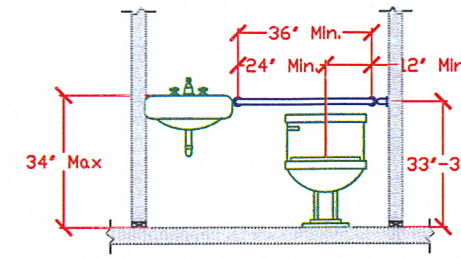
SIDE REACH
WHERE A CLEAR FLOOR SPACE ALLOWS A PARALLEL APPROACH TO AN ELEMENT AND THE SIDE REACH IS UNOBSTRUCTED, THE HIGH SIDE REACH SHALL BE 48" MAX. AND THE LOW SIDE REACH SHALL BE 15" MIN ABOVE THE FLOOR.
WHERE A CLEAR FLOOR SPACE ALLOWS A PARALLEL APPROACH TO AN OBJECT AND THE HIGH SIDE REACH IS OVER AN OBSTRUCTION, THE HEIGHT OF THE OBSTRUCTION SHALL BE 34" MAX. AND THE DEPTH OF THE OBSTRUCTION SHALL BE 24" MAX. THE HIGH SIDE REACH SHALL BE 48" MAX. FOR A REACH DEPTH OF 10" MAX. WHERE THE REACH DEPTH EXCEEDS 10" THE HIGH SIDE REACH SHALL BE 48" MAX. FOR A REACH DEPTH OF 24" MAX.



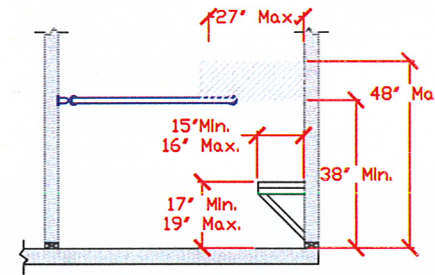
DISPENSER LOCATION BELOW GRAB BAR DETAIL
NTS



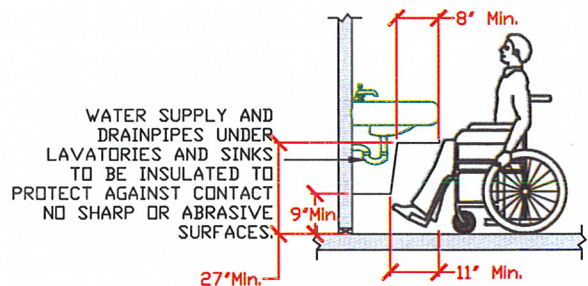
SIDE WALL GRAB BAR FOR WATER CLOSET DETAIL
NTS



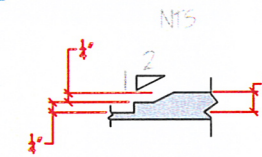
REAR WALL GRAB BAR FOR WATER CLOSET DETAIL
NTS



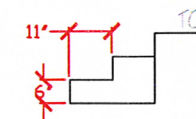
SHOWER CONTROL, HANDSHOWER LOCATION AND SEAT DETAIL
NTS



CLEARANCE ELEVATION DETAIL
NTS



BEVELED CHANGES IN LEVEL DETAIL
NTS



STAIR CONSTRUCTION CROSS SECTION DETAIL
NTS

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FLOOR SPANS TO CONFORM TO ASME A12.5.1, ASME A12.6.3 OR CSA B79 TO MEET REQUIREMENTS OF SELF-PRIMING PUMP.

COMMENTS

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SCALE
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