



KINGSBURY
Powder Mountain, Lot # 86R

**8549 E. Spring Park,
 Weber County, Utah**

**Build by:
 Scandinavian LLC**

- DRAWING INDEX:**
- 1.0 COVER SHEET
 - 1.1 SITE PLAN
 - 2.1 UPPER LEVEL FLOOR PLAN
 - 2.2 MAIN LEVEL FLOOR PLAN
 - 2.3 LOWER LEVEL FLOOR PLAN
 - 2.5 AREA CALCULATION PLANS
 - 3.1 BUILDING ELEVATIONS
 - 4.1 BUILDING SECTION

**DEFERRED
 SUBMITTAL ITEMS**

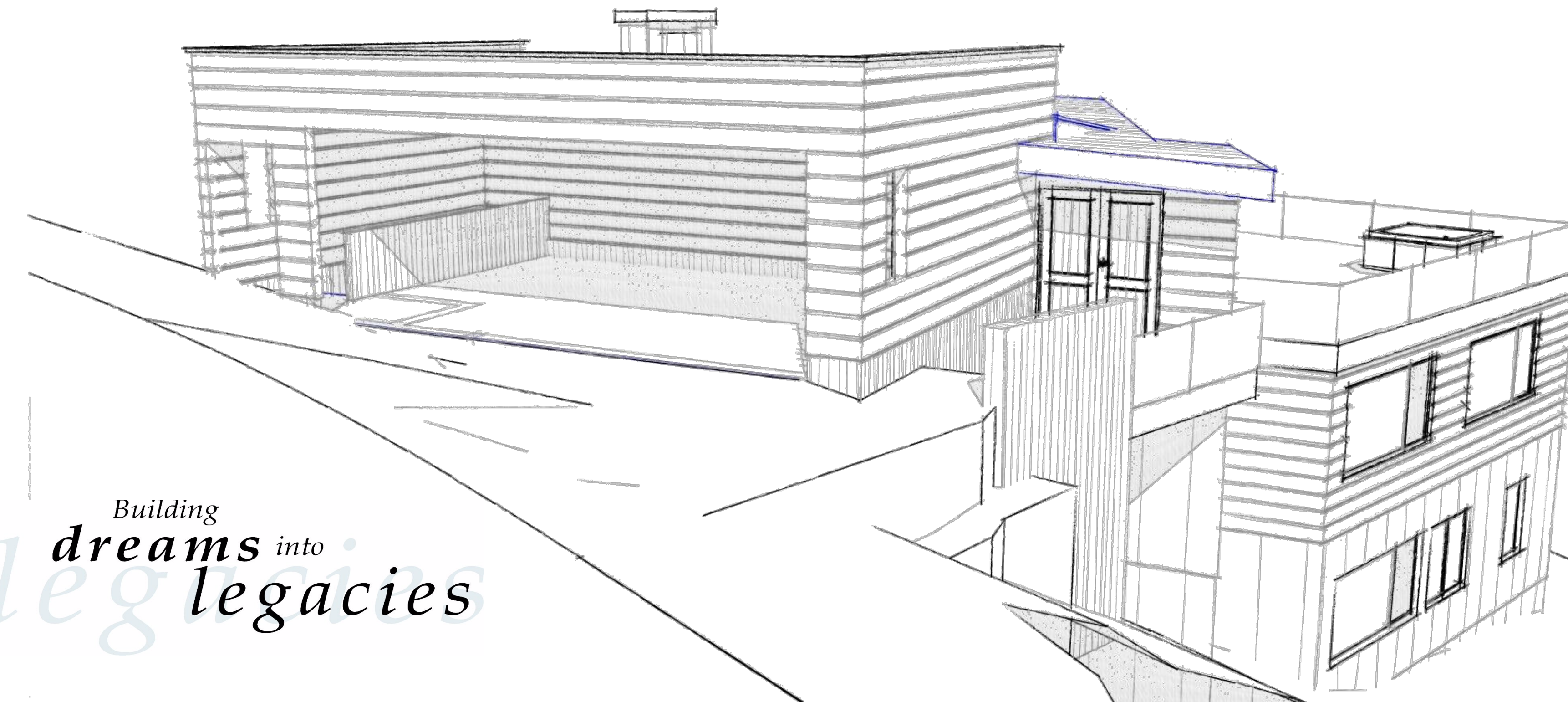
BUILDING CODES USED FOR DESIGN:
 IRC 2015 AS AMENDED BY THE STATE OF UTAH.

-FIRE SPRINKLER
 SYSTEM

-RADIANT HEATING
 SYSTEM

-FIREPLACE PRODUCT
 INFORMATION

-AIR LEAKAGE TEST AS
 PERFORMANCE METHOD
 (BLOWER DOOR TEST)
 CODE N1102.4.1.2



*Building
 dreams into
 legacies*



ARCHITECTURAL OFFICE
 Company Name: Scandinavian LLC
 Address: 6410 N. Business
 Park Loop Rd. Unit E
 Phone: 435-513-0555
 Fax:
 Project No.:
 Cad File:
 Drawn:
 Checked:

A New Residence:
BLAKE KINGSBURY
 Summit Powder Mountain, Lot # 86R
 85 49 E. Spring Park, Weber County, Utah

BUILDER
 Company Name:
 Address:
 Park City, Utah 84098
 Phone:
 Fax:

Drawing Date: 05-16-2019

Scale:

Title No:

COVER SHEET

BUILDER/DEALER'S APPROVAL:

Signature and Date:

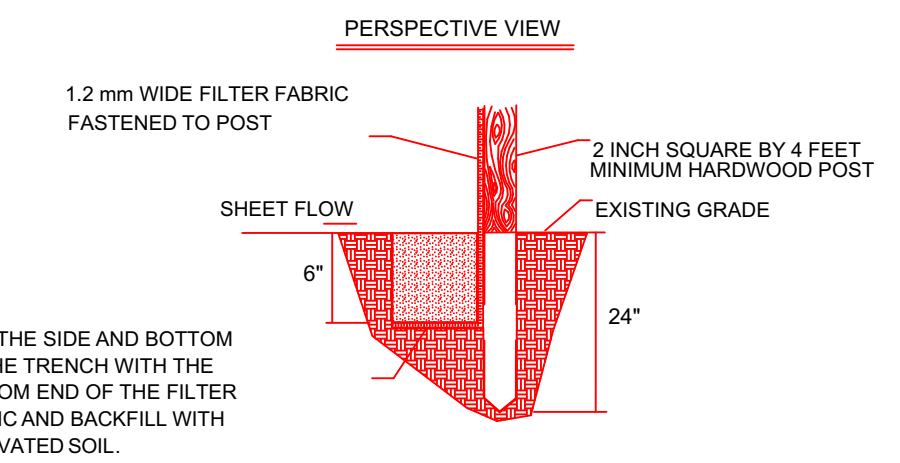
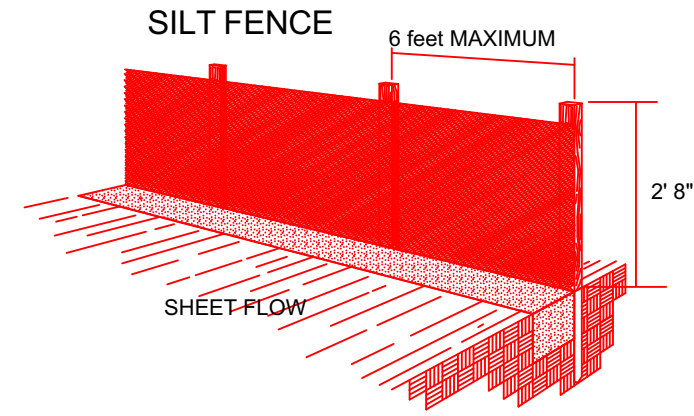
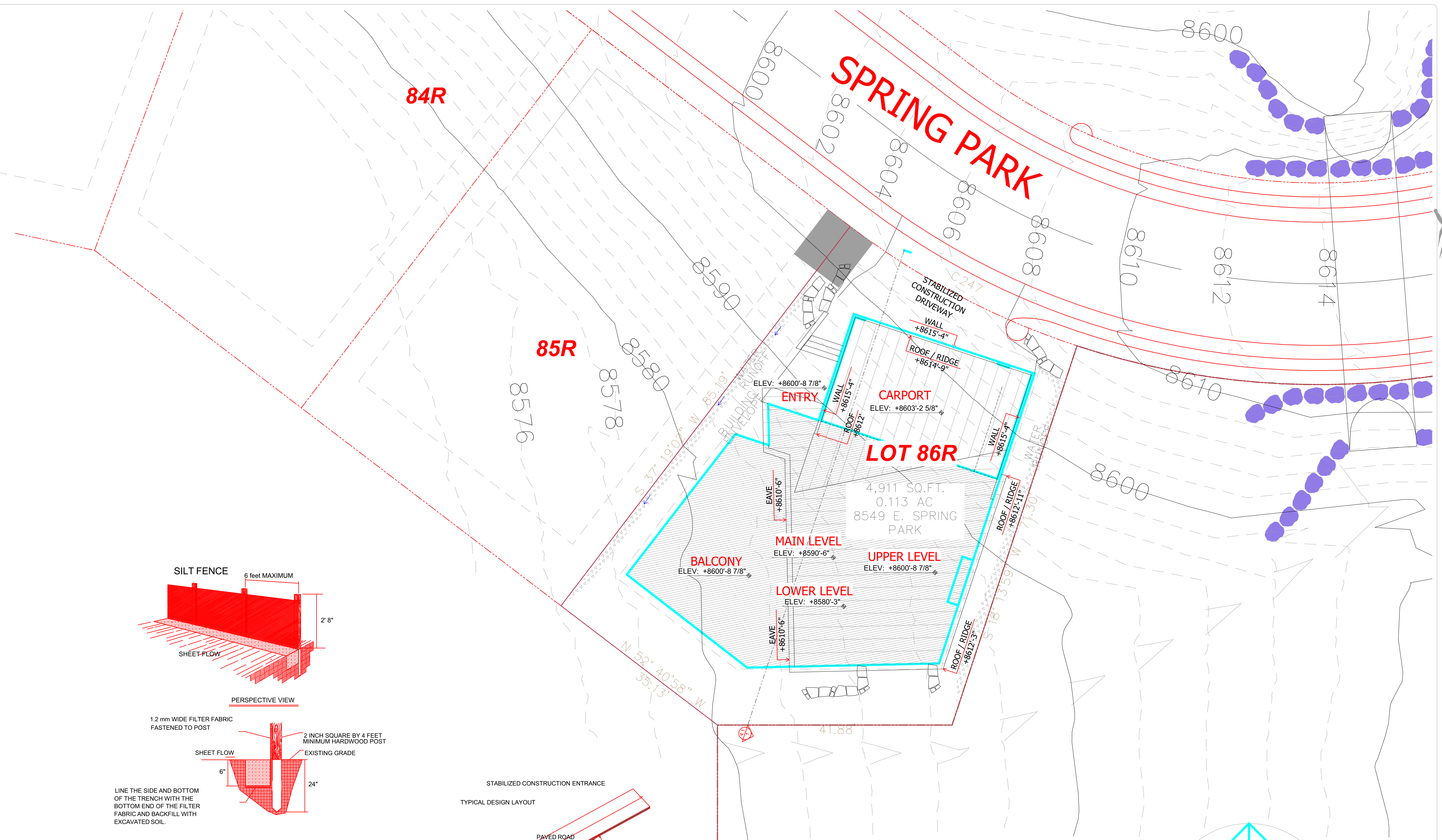


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INSPECTION	DESCRIPTION/REQUIREMENTS	CONTACT
DRIVEWAY/SITE STACKING	REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT. LOCATE/STAKE THE DRIVEWAY AT THE STREET AND AT THE ROAD RIGHT OF WAY/PROPERTY LINE AND LOCATE/STAKE ALL PROPERTY CORNERS WITH A 4 FOOT STEEL FENCE POST.	ENGINEERING
ROUGH GRADING	REQUIRED PRIOR TO SCHEDULING A FOOTING INSPECTION. SITE EROSION CONTROL MEASURES MUST BE INSTALLED AND DRIVEWAY MUST BE ROUGHLY GRADED ACCORDING TO PLAN.	ENGINEERING
FOOTING	SCHEDULE AFTER STEEL IS IN PLACE AND BEFORE THE CONCRETE IS POURED.	BUILDING
FOUNDATION	SCHEDULE AFTER STEEL IS IN PLACE IN THE FORMS AND BEFORE CONCRETE IS PLACED.	BUILDING
UNDER SLAB PLUMBING & HEATING CERTIFICATE OF ELEVATION AND/OR SURVEY	BEFORE CONCRETE IS POURED OR PLUMBING HAS BEEN BACKFILLED.	BUILDING
FLOOR FRAMING INSPECTION	PERFORMED BY A LICENCED SURVEYOR. REQUIRED PRIOR TO SCHEDULING A FLOOR FRAMING INSPECTION. SEE REQUIREMENTS BELOW.	BUILDING
SHEAR WALL	AFTER THE BUILDING IS UP TO "THE SQUARE" AND ALL SHEAR WALLS HAVE BEEN NAILED AND ALL THE TIE DOWNS AND SHEAR WALL CONNECTIONS HAVE BEEN INSTALLED.	BUILDING
FIRE SPRINKLERS	REQUIRED PRIOR TO FOUR-WAY INSPECTION, WHEN REQUIRED BY THE LOCAL FIRE DISTRICT.	BUILDING
FOUR-WAY	THIS INSPECTION IS PERFORMED AFTER ALL ROUGH ELECTRICAL, PLUMBING, AND MECHANICAL HAS BEEN INSTALLED. ALL FRAMING IS COMPLETE, SHEAR WALLS PREVIOUSLY INSPECTED, AND TRUSS SPECIFICATIONS ARE ON THE JOB FOR THE INSPECTOR TO READ. PLUMBING SHALL HAVE EITHER AN AIR OR WATER PRESSURE TEST ON THEM WHEN THE INSPECTOR ARRIVES.	BUILDING
WEATHER BARRIER/STUCCO LATH	WEATHER BARRIER SHALL BE INSPECTED PRIOR TO APPLYING VENER. APPROVED STUCCO I.C.C. RESEARCH REPORTS ON SITE.	BUILDING

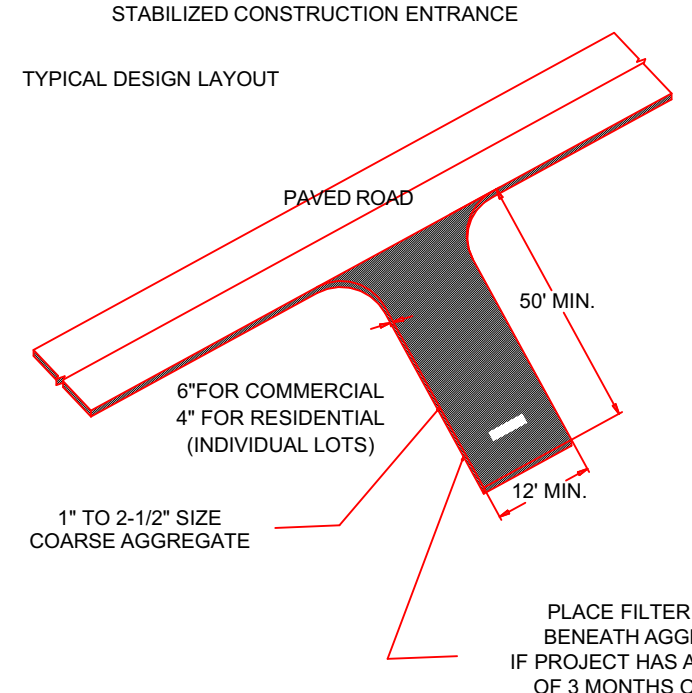
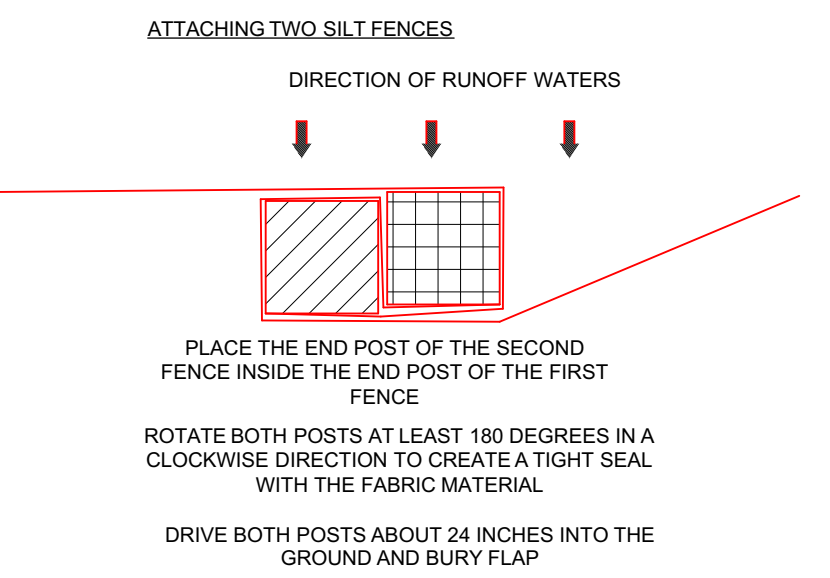
INSPECTION	DESCRIPTION/REQUIREMENTS	CONTACT
GAS METER SET	REQUIRED BEFORE GAS METER CLEARANCE IS GIVEN TO QUESTAR.	BUILDING
MASONRY WALL/BOND BEAM INSULATION	STEEL IN MASONRY AND BEFORE CONCRETE/GROUT IS POURED. PRE SHEETROCK INSULATION CERTIFICATE REQUIRED.	BUILDING
DRYWALL NAILING	THIS IS DONE BEFORE DRYWALL IS TAPED.	BUILDING
POWER TO PANEL	AFTER DRYWALL INSPECTION HAS PASSED AND PERMANENT ROOF INSTALLED.	BUILDING
DRIVEWAY PRE-SURFACING	SITE EROSION CONTROL MEASURES MUST BE INSTALLED AND DRIVEWAY GRADED TO ITS FINAL CONFIGURATION.	ENGINEERING
FINAL DRIVEWAY AND SITE INSPECTION	REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY AND/OR BOND RELEASE. DRIVEWAY MUST BE SURFACED AND SITE MUST BE REVEGETATED (INSPECTIONS MAY BE SCHEDULE SEPARATELY).	ENGINEERING
FLOOD PLAIN ELEVATION CERTIFICATE	FEMA ELEVATION CERTIFICATE (IF APPLICABLE) REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY. FORM MUST BE FILED WITH FEMA AND A COPY PROVIDED TO THE ENGINEERING DEPARTMENT.	ENGINEERING
FINAL	ALL WORK IS DONE AND BUILDING COMPLETE. FINAL CLEARANCES FROM THE WASTE WATER DISTRICT FOR SEWER, COUNTY HEALTH DEPARTMENT FOR SEPTIC, AND FIRE DISTRICT FOR SPRINKLER SYSTEMS MUST BE ON THE PROJECT FOR THIS INSPECTION. REQUIRED FOR CERTIFICATE OF OCCUPANCY.	BUILDING
CERTIFICATE OF OCCUPANCY	REQUIRED PRIOR TO ANYONE OCCUPYING THE STRUCTURE. A CERTIFICATE OF OCCUPANCY WILL BE ISSUED ONCE THE FINAL CLEARANCES HAVE BEEN OBTAINED BY THE BUILDER AND BROUGHT TO THE BUILDING DEPARTMENT'S OFFICE IN COALVILLE. 1) SNYDERVILLE BASIN RESIDENTIAL: FINAL FROM BUILDING DEPARTMENT, FINAL FROM ENGINEERING DEPARTMENT, FINAL LETTER FROM SNYDERVILLE BASIN WATER RECLAMATION DISTRICT, FINAL WATER CONCURRENCY LETTER FROM APPROPRIATE WATER COMPANY, FINAL FROM PARK CITY FIRE DISTRICT (IN REQUIRED SUBDIVISIONS). 2) EASTERN SUMMIT COUNTY: FINAL FROM BUILDING DEPARTMENT, FINAL FROM ENGINEERING DEPARTMENT, FINAL FROM FIRE DISTRICT AND FINAL FROM HEALTH DEPARTMENT.	BUILDING

R105.31
>4" RETAINING WALLS, SWIMMING POOLS, SOLAR AND GEO-THERMAL HEATING SYSTEMS, AND PHOTO-VOLTAIC AND WIND GENERATED ELECTRICAL SYSTEMS REQUIRE SEPARATE PERMITS. SEPARATE PLANS, SPECIFICATIONS, AND APPLICATIONS ARE TO BE SUBMITTED AND REVIEWED PRIOR TO ISSUANCE OF THESE PERMITS.



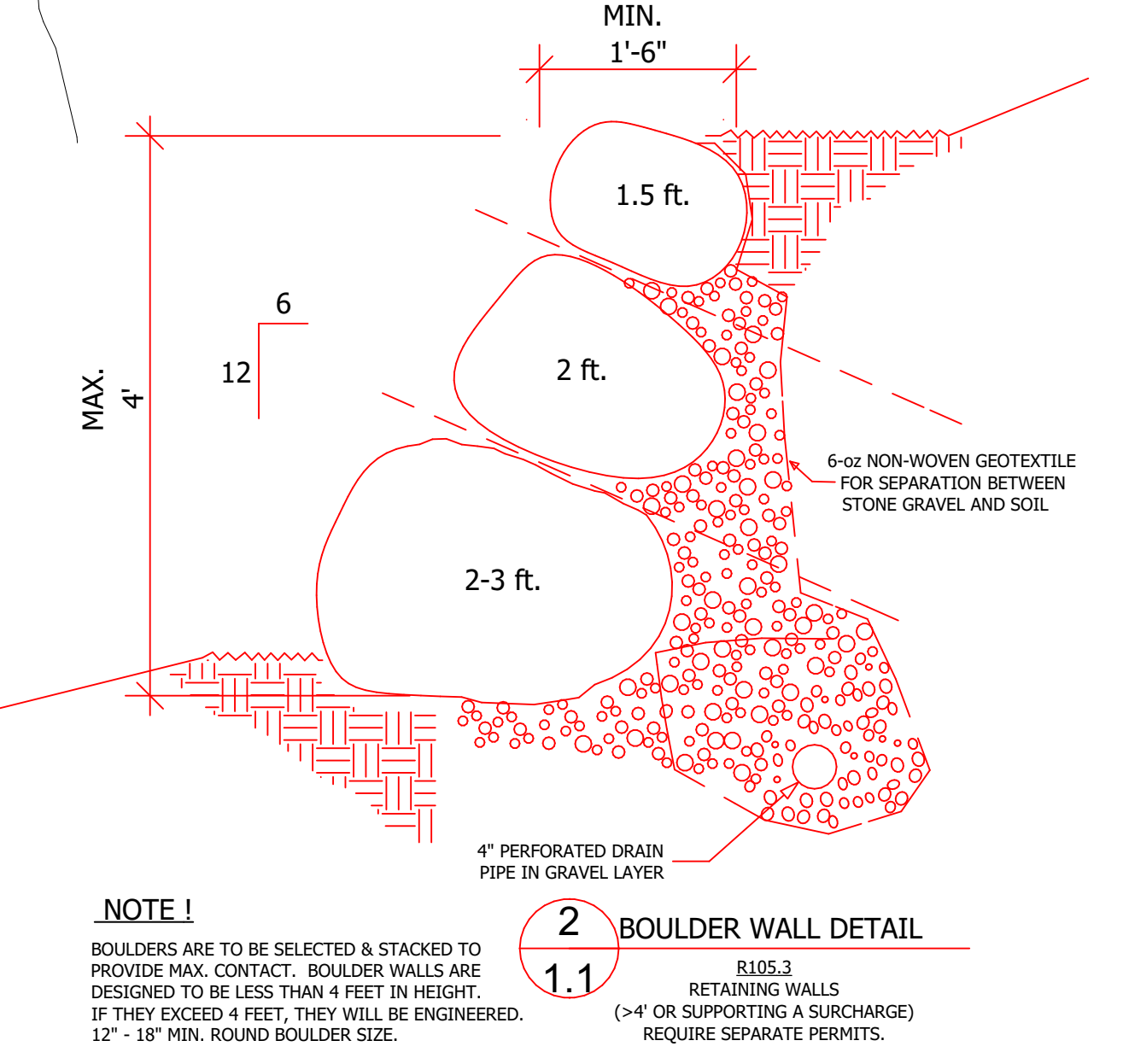
- INSTALLATION:**
- Where possible, layout the silt fence 5 to 10 feet beyond the toe of slope.
 - Align the fence along the contour as close as possible.
 - When excavating the trench, use machinery that will produce no more than the desired dimension.
 - Place posts 6 foot on center along contour (or use preassembled unit) and drive 2 feet (min.) into ground. Excavate an anchor trench (8 inches wide and 8 inches deep) immediately up-gradient of posts.
 - Cut fabric to required width, unroll along length of barrier and drape over barrier. Secure fabric to, stakes with staples, or similar, with trailing edge extending into anchor trench.
 - Backfill trench over filter fabric to anchor.

- MAINTENANCE :**
- Inspect immediately after any rainfall and at least daily during prolonged rainfall.
 - Look for runoff bypassing ends of barriers or undercutting fence (repair immediately).
 - Repair or replace damaged areas of the fence and remove accumulated sediment.
 - Re-anchor fence as necessary to prevent shortcutting.
 - Remove accumulated sediment when it reaches 1/2 the height of the fence.



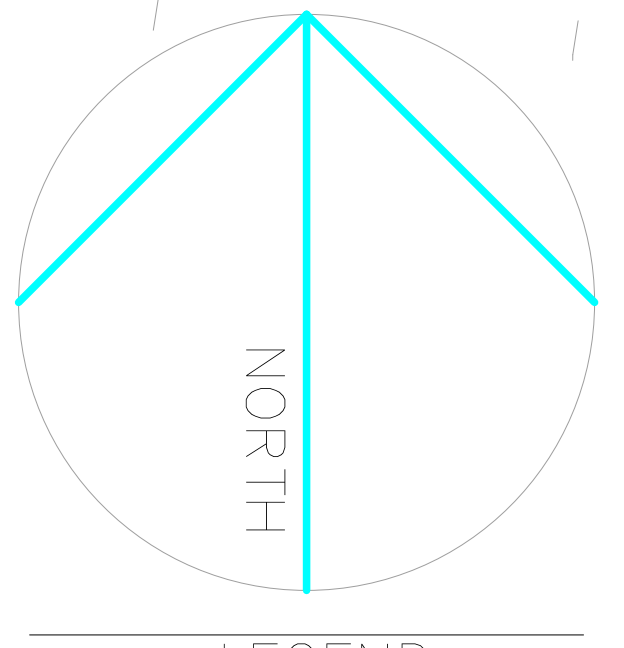
- INSTALLATION:**
- Install at any point of ingress or egress at a construction site where adjacent traveled way is paved.
 - Clear and grub area and grade to provide slope shown for driveway, or access/intersection. If adjacent to waterway, use a maximum slope of 2%.
 - Compact subgrade and place filter fabric if required.
 - Place coarse aggregate, 1 to 2 1/2 inches size, to a minimum depth of 6 inches for commercial projects, and 4 inches for residential projects.

- MAINTENANCE:**
- Inspect daily for loss of gravel or sediment buildup.
 - Inspect adjacent roadway for sediment deposit and clean by sweeping or shoveling.
 - Repair entrance and replace gravel as required to maintain control in good working condition.
 - Expand stabilized area as required to accommodate traffic, and off site street parking and prevent erosion at driveway.



NOTE!
BOULDERS ARE TO BE SELECTED & STACKED TO PROVIDE MAX. CONTACT. BOULDER WALLS ARE DESIGNED TO BE LESS THAN 4 FEET IN HEIGHT. IF THEY EXCEED 4 FEET, THEY WILL BE ENGINEERED. 12" - 18" MIN. ROUND BOULDER SIZE.

2 BOULDER WALL DETAIL
1.1
R105.3 RETAINING WALLS (>4" OR SUPPORTING A SURCHARGE) REQUIRE SEPARATE PERMITS.



- LEGEND**
- FOUND REBAR W/ CAP (AS DESCRIBED)
 - SANITARY SEWER MAINHOLE
 - WATER METER
 - UTILITY POLE
 - COMMUNICATION BOX
 - ELECTRIC BOX
 - OVERHEAD ELECTRICAL POWER LINE
 - STACKED ROCK RETAINING/LANDSCAPING WALL

SCANDINAVIAN
LLC

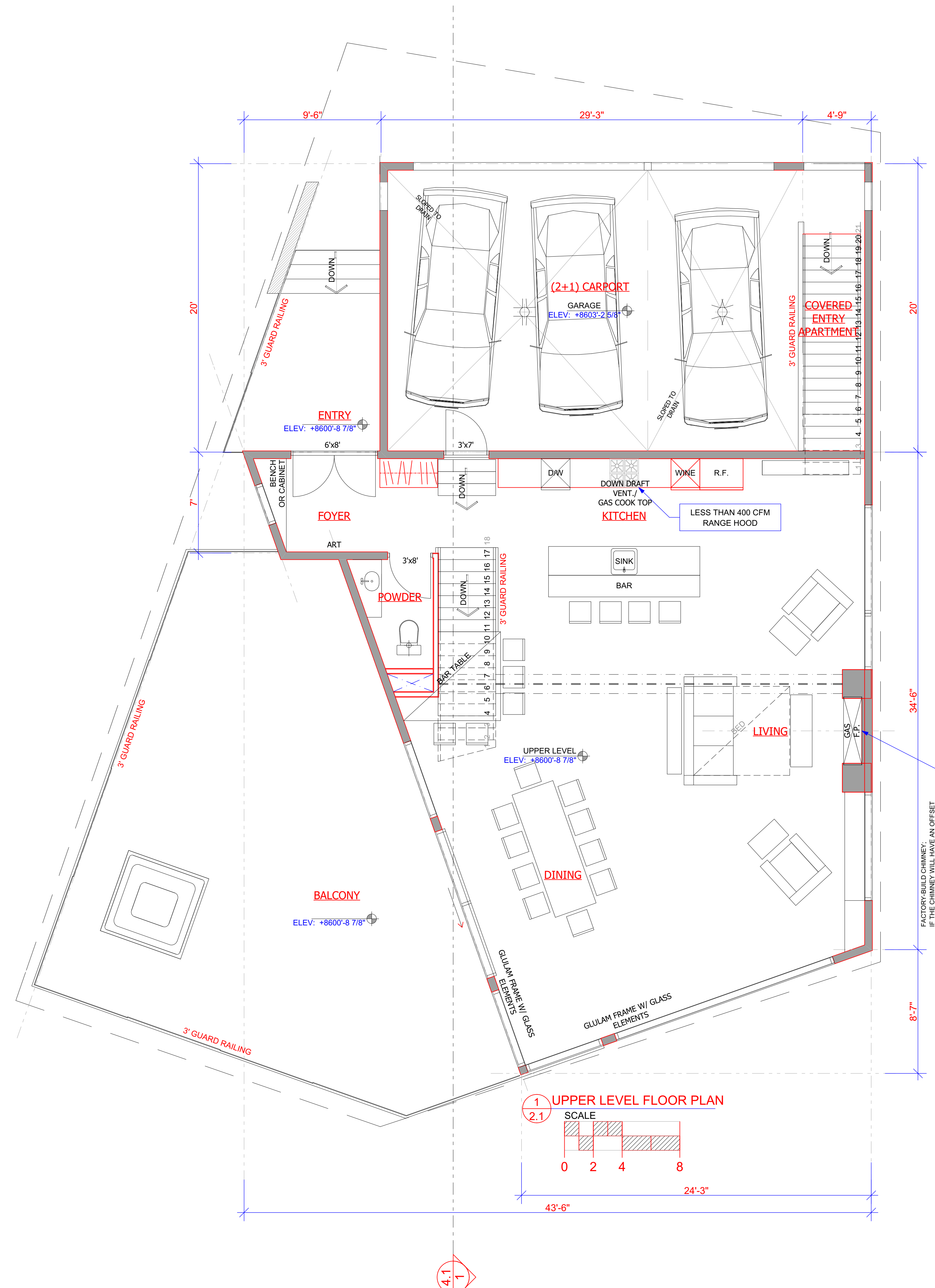
ARCHITECTURAL OFFICE
Company Name: Scandinavian LLC
Address: 6410 N. Business Park Loop Rd. Unit E
Phone: 435-913-0355
Fax:
Project No:
Cad File:
Drawn:
Checked:

A New Residence:
BLAKE KINGSBURY
Summit Powder Mountain, Lot # 86R
85 49 E. Spring Park, Weber County, Utah

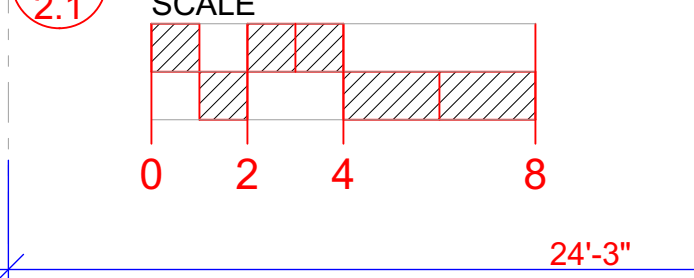
BUILDER
Company Name:
Address:
Park City, Utah 84098
Phone:
Fax:

Drawing Date: 05-16-2019
Scale: 1" = 10'-0"
Title: **SITE PLAN**
BUILDER/DEALER'S APPROVAL:
Signature and Date:

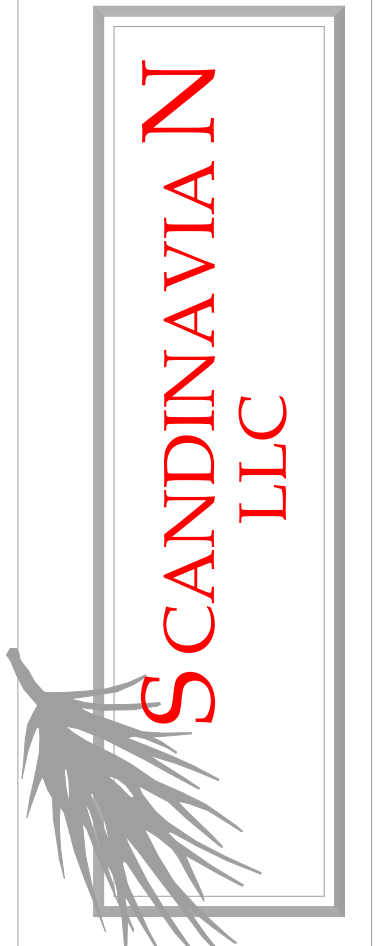
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1 UPPER LEVEL FLOOR PLAN



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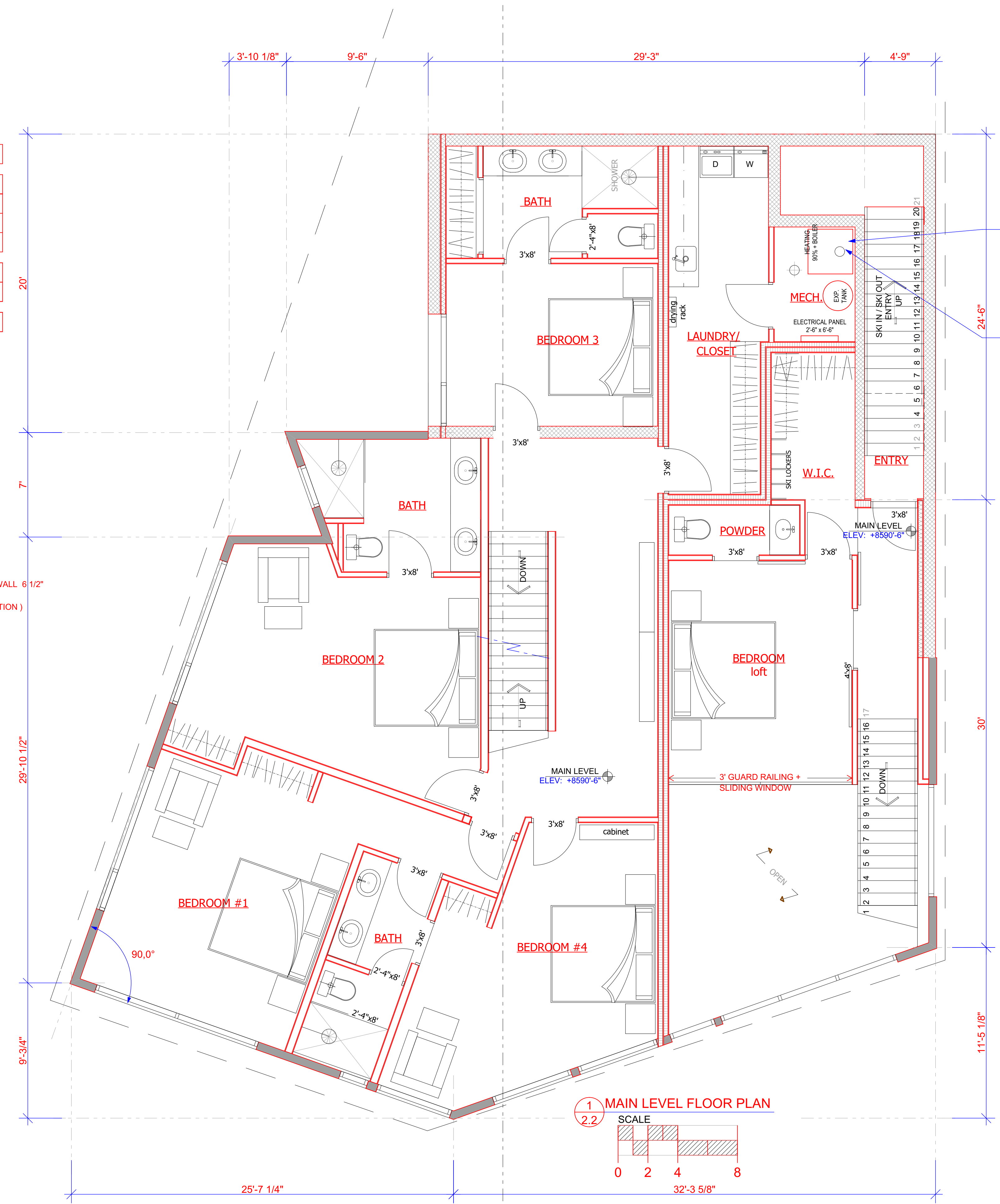
Drawing Date 05-16-2019
 Scale 1/4" = 1' - 0"
UPPER LEVEL FLOOR PLAN
 BUILDER/DEALER'S APPROVAL:
 Signature and Date

AREA CALCULATION (max. 5500)	
UPPER LEVEL FLOOR PLAN	1 242 sqft
MAIN LEVEL FLOOR PLAN	2 247 sqft
MECHANICAL / STORAGE	51 sqft
LOWER LEVEL FLOOR PLAN	1960 sqft
TOTAL HEATED AREA	5 500 sqft
UNHEATED AREAS	- sqft
TOTAL BUILDING AREA	5 500 sqft

NOTE:
 ROOM AREAS SHOWN BELOW
 ROOM NAMES ARE APPROXIMATE
 ALL FRAMING STUDS ARE 16"

WALL LEGEND:

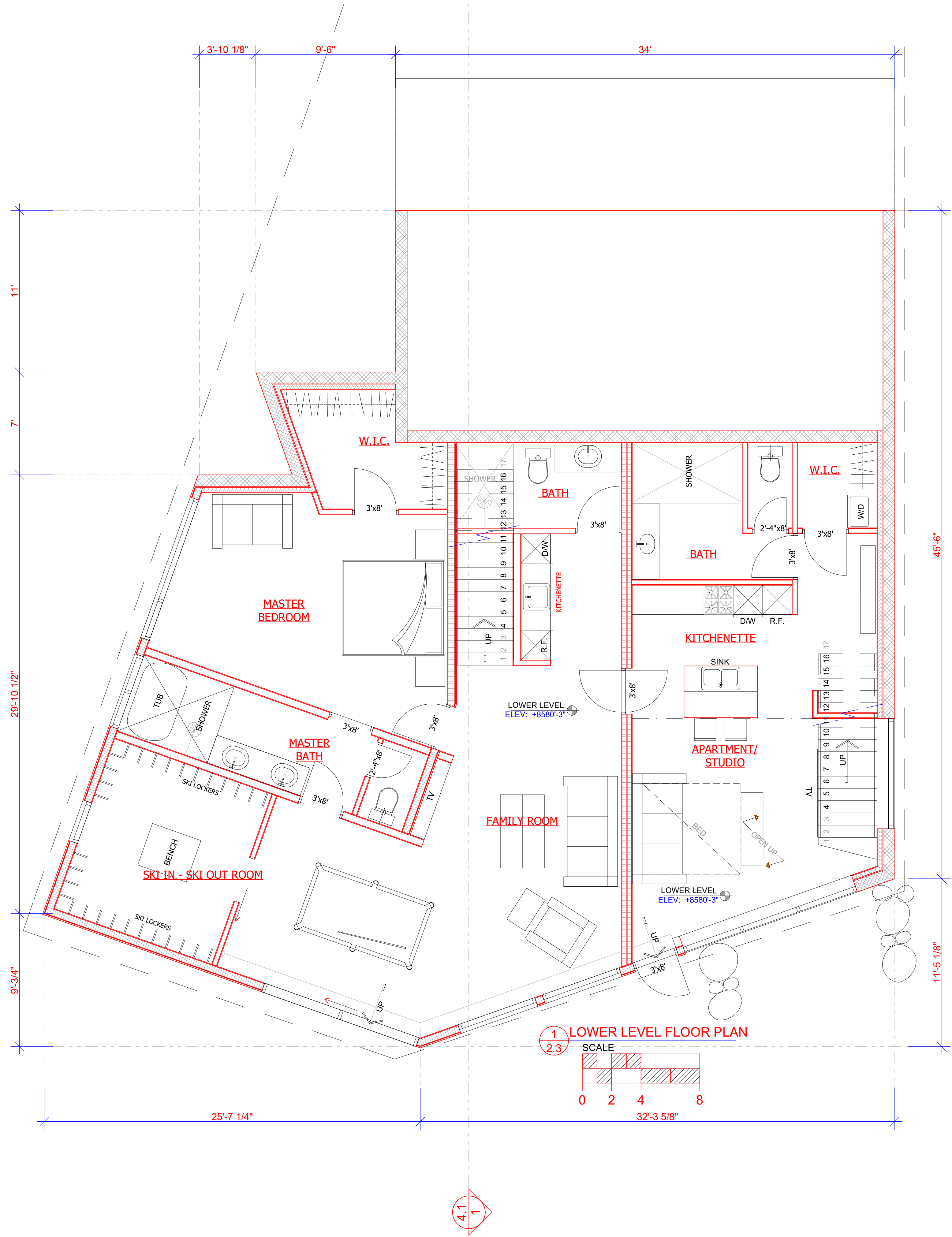
- WALL 1:**
 6 1/2" - RECTANGULAR LAMINATED PROFILE WALL 6 1/2" (164x260)
- WALL 2:**
 8 5/8" - RECTANGULAR LAMINATED PROFILE WALL 6 1/2"
 - 2"x2" FURRING WALL @16" O.C.
 * SLIDING CONNECTORS, (INSULATION)
 - GYP. BOARD 1/2"
 - DAMP-PROOF COURSE
 - TILE
- WALL 3:**
 7 5/8" - 3 1/2" CONCRETE VENEER or 3/4" CEDAR SHIPLAP CLADDING or WEATHERED STEEL PANELS - TYVEK
 - PLYWOOD 7/16"
 - 2"x6" STUD FRAMING @16" O.C.
 - R-19 BATT INSULATION
 - MOISTURE BARRIER
 - GYP. BOARD 1/2"
- WALL 4:**
 1'-2 1/2" - 10" CONCRETE WALL
 - 3/4" FURRING WALL @16" O.C.
 - 2"x4" FURRING WALL @16" O.C.
 - BATT INSULATION
 - MOISTURE BARRIER
 - 1/2" GYP. BOARD
- WALL 5:**
 4 5/8" - GYP. BOARD 1/2"
 - 2"x4" STUD FRAMING @16" O.C.
 - GYP. BOARD 1/2"
 - DAMP-PROOF COURSE
 - TILE
- WALL 6:**
 6 3/4" - GYP. BOARD 1/2"
 - 2"x6" STUD FRAMING @16" O.C.
 - GYP. BOARD 1/2"



WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES THE DUCT AND APPLIANCE SHALL BE LOCATED OUTSIDE OF THE BUILDING THERMAL ENVELOPE OR ENCLOSED AND ISOLATED FROM THE THERMAL ENVELOPE SUCH ROOMS SHALL BE SEALED AND INSULATED. THE DOOR INTO THE ROOM SHALL BE FULLY GASKETED.

DUCT LENGTH / MECH. NOTES M1506.2





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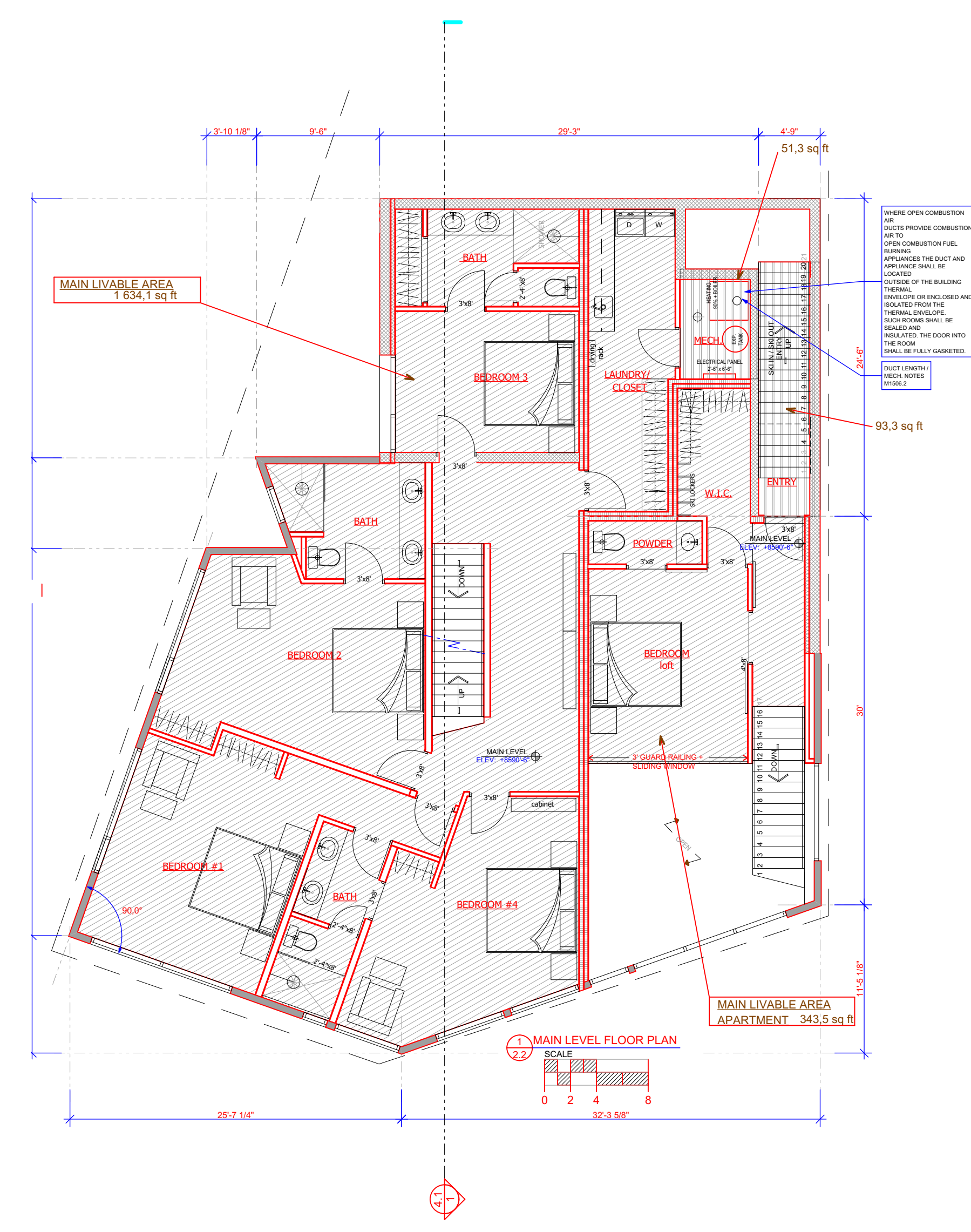
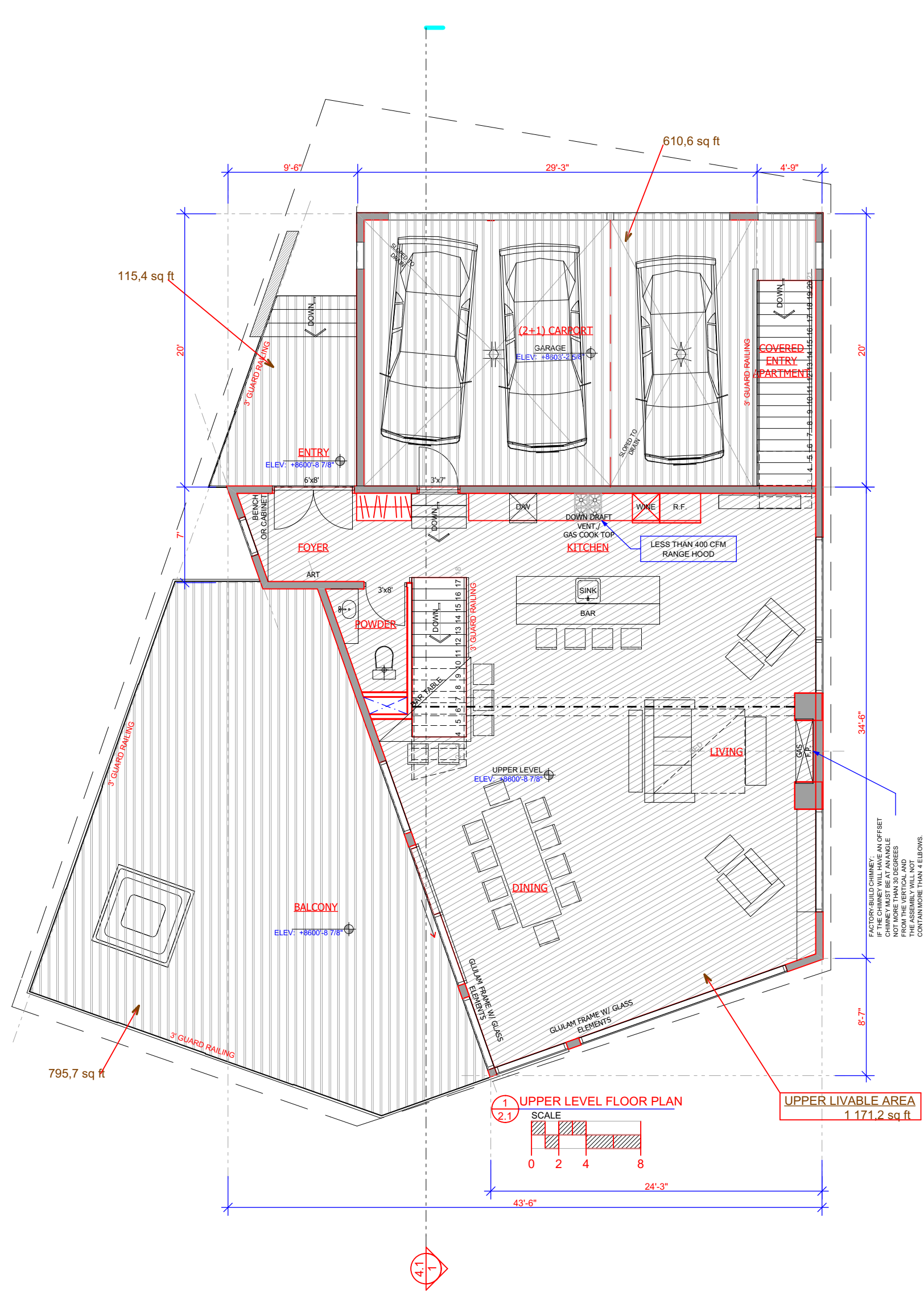
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LOWER LEVEL FLOOR PLAN
 BUILDER/DEALER'S APPROVAL: _____
 Signature and Date: _____

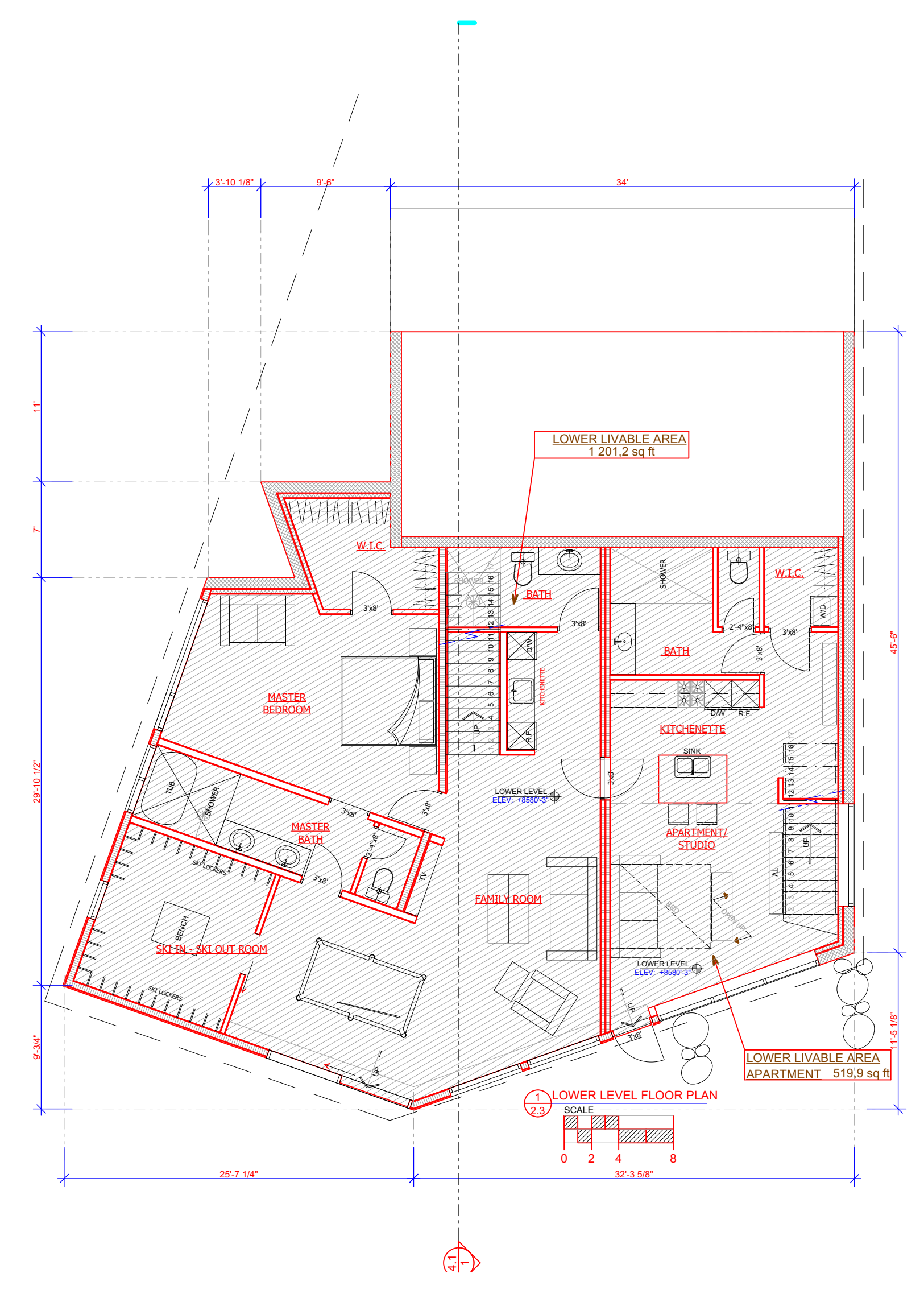


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NET LIVABLE AREA CALCULATION	
UPPER LEVEL LIVABLE AREA	1172 sqft
MAIN LEVEL LIVABLE AREA	1977 sqft
LOWER LEVEL LIVABLE AREA	1721 sqft
NET TOTAL LIVABLE AREA	4,870 sqft

GROSS TOTAL AREA CALCULATION	
UPPER LEVEL BALCONY AND ENTRY	911 sqft
CARPORIT	610 sqft
ENTRY (APARTMENT)	93 sqft
ENCLOSED UPPER LEVEL FLOOR PLAN	2,242 sqft
ENCLOSED LOWER LEVEL FLOOR PLAN	1,960 sqft
ENCLOSED MECHANICAL / STORAGE	51 sqft
ENCLOSED TOTAL HEATED AREA	5,500 sqft
GROSS TOTAL AREA	7,114 sqft



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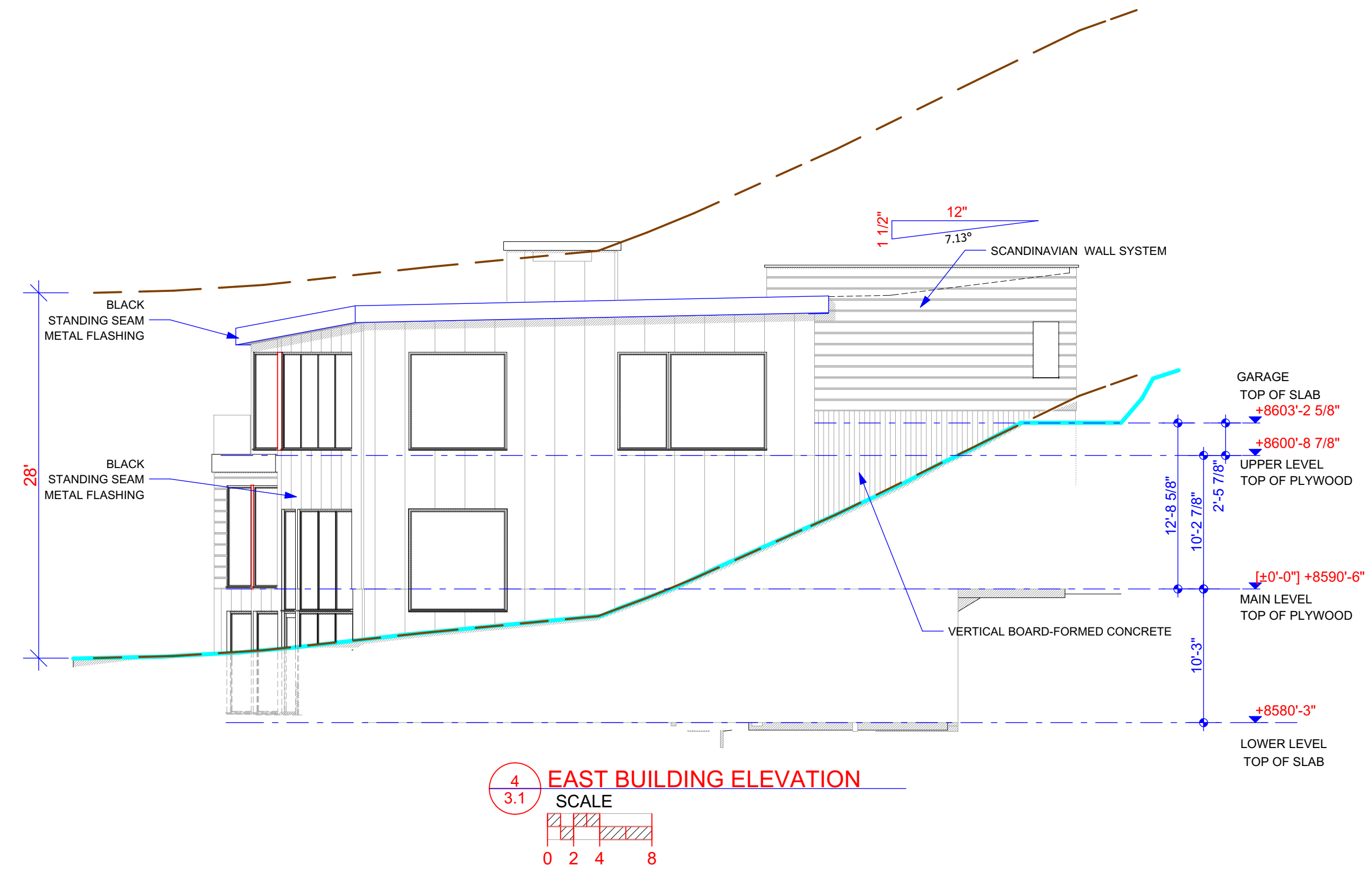
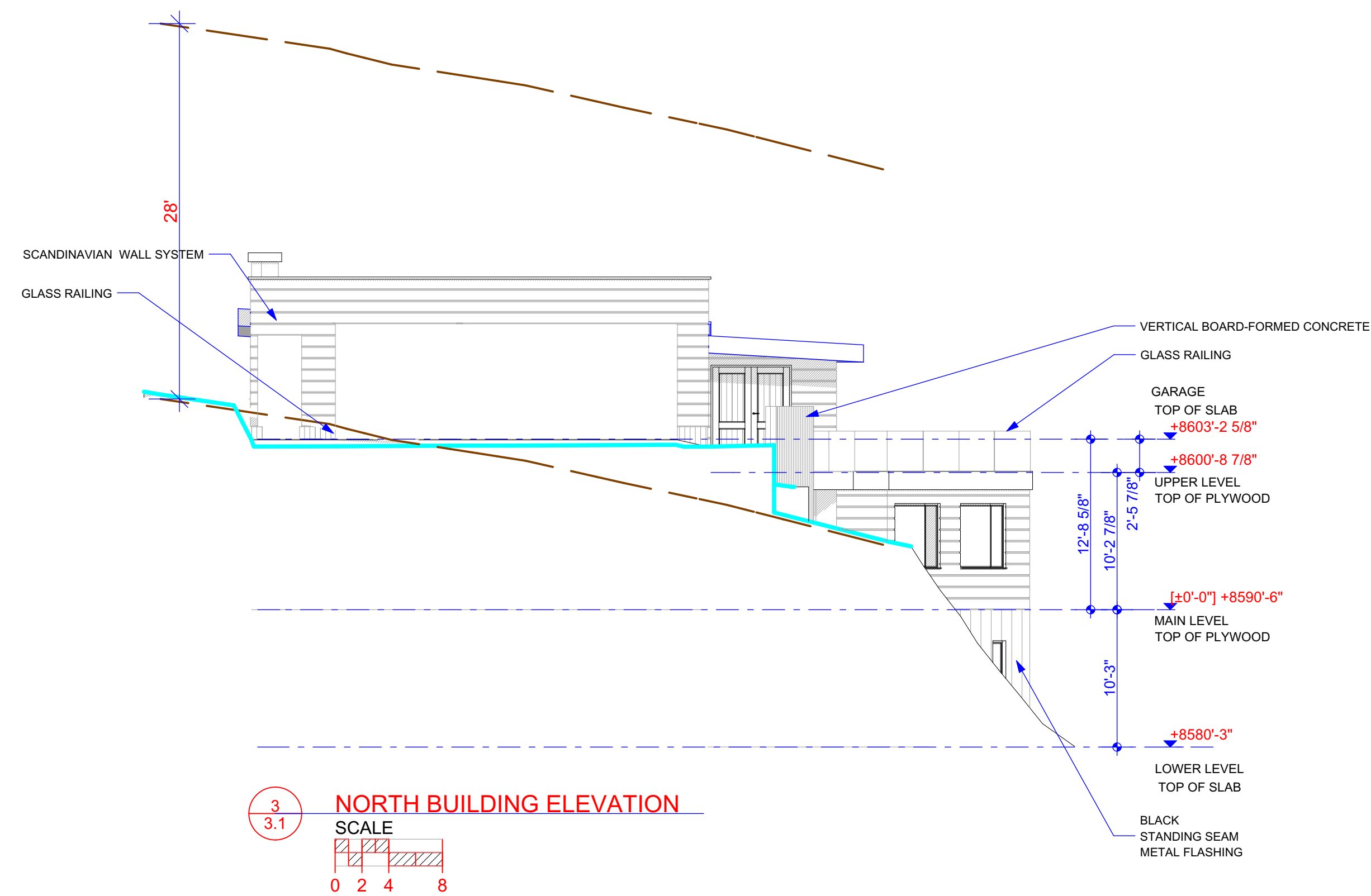
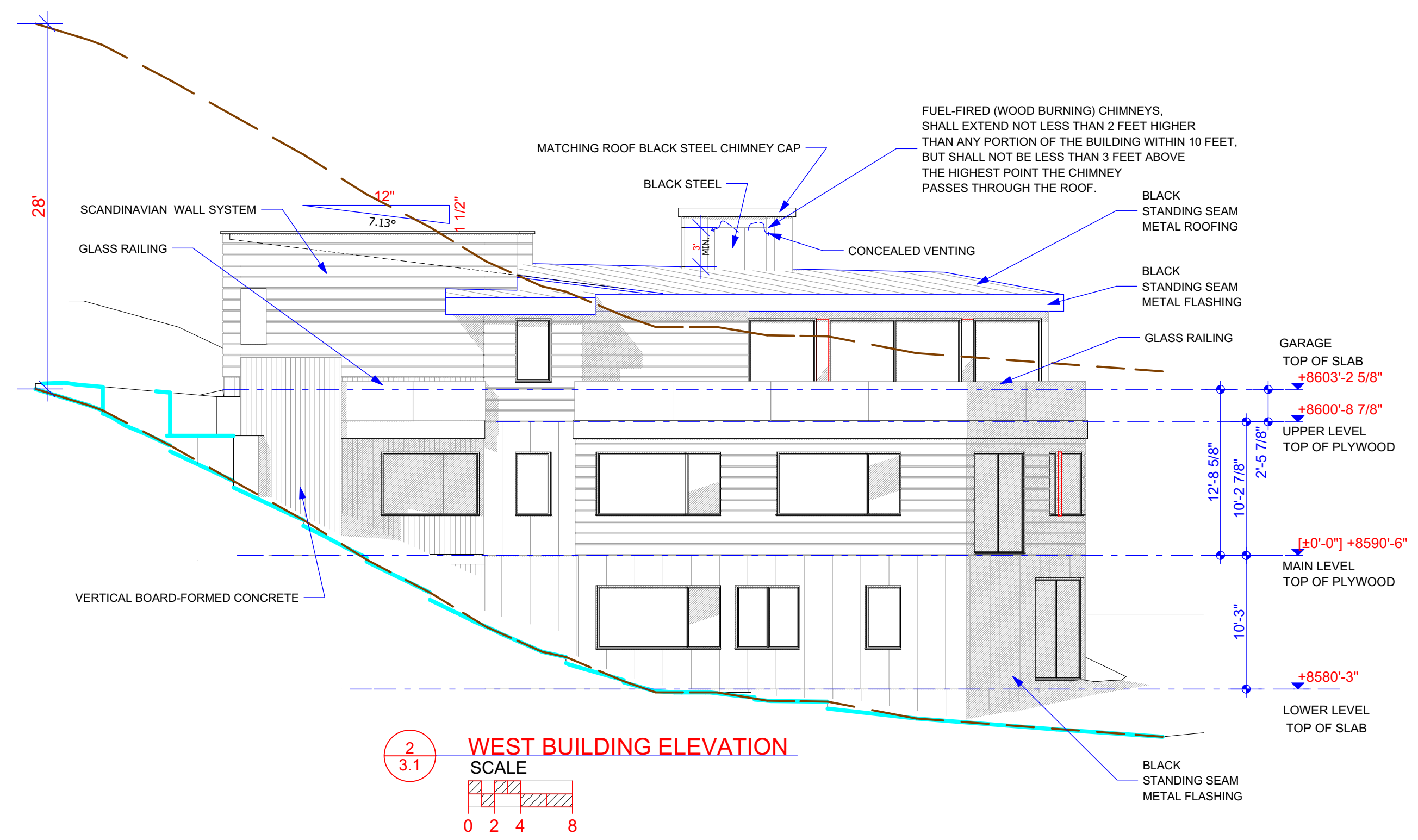
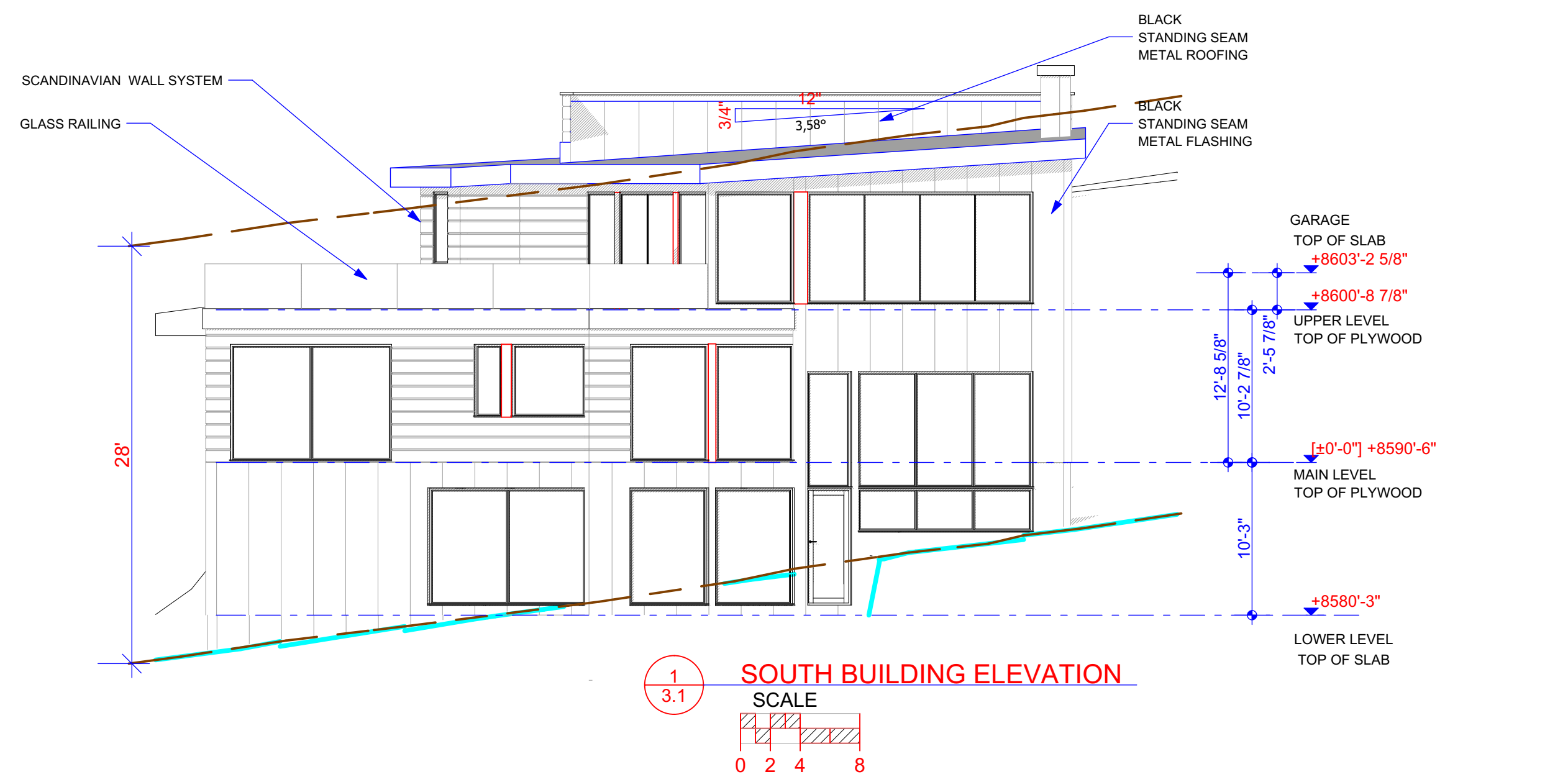
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BUILDER
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Drawing Date: 05-16-2019
Scale: 3/16" = 1'-0"
AREA CALCULATION
BUILDER/DEALER'S APPROVAL:
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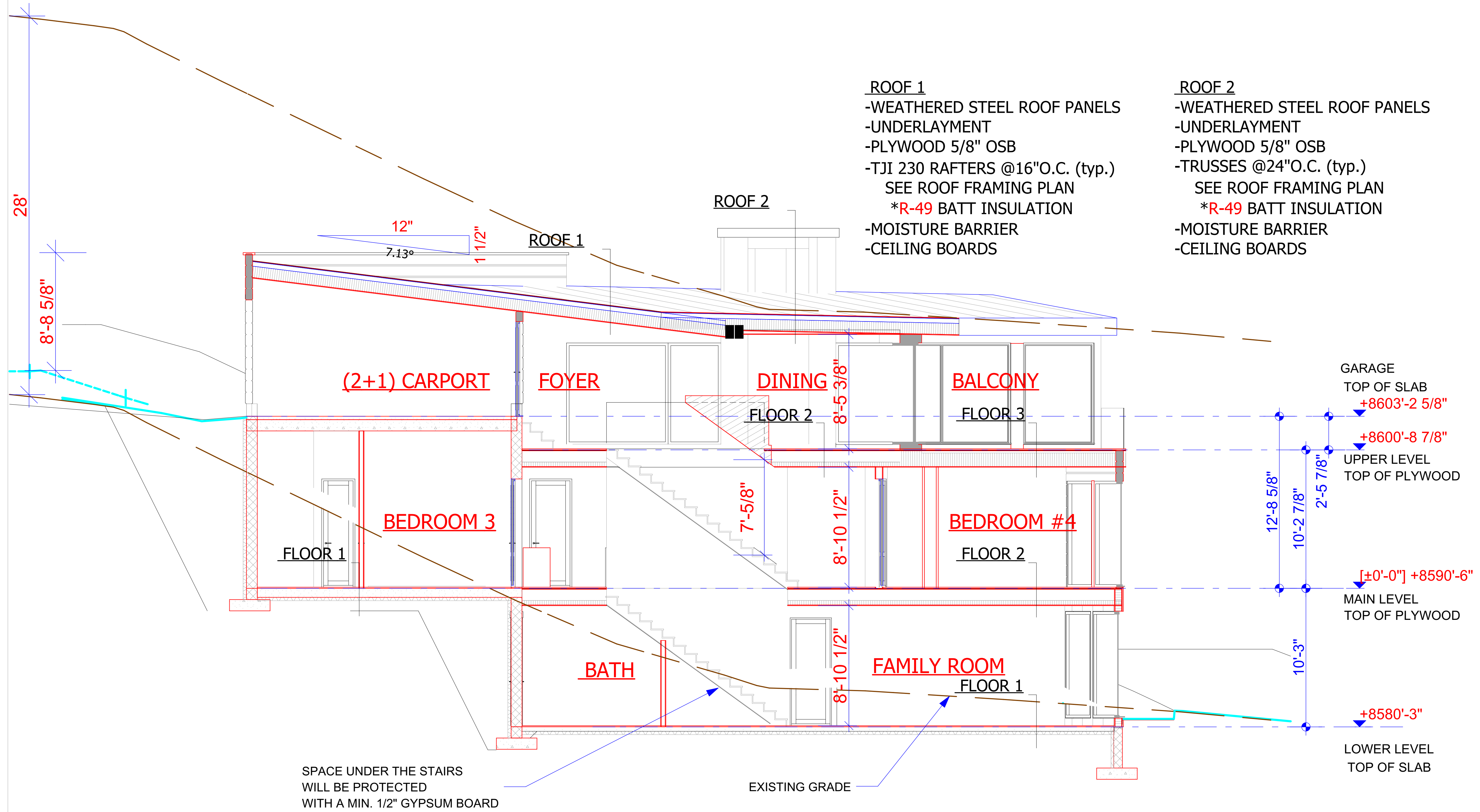
ROOF 1
 -WEATHERED STEEL ROOF PANELS
 -UNDERLAYMENT
 -PLYWOOD 5/8" OSB
 -TJI 230 RAFTERS @16"O.C. (typ.)
 SEE ROOF FRAMING PLAN
 *R-49 BATT INSULATION
 -MOISTURE BARRIER
 -CEILING BOARDS

ROOF 2
 -WEATHERED STEEL ROOF PANELS
 -UNDERLAYMENT
 -PLYWOOD 5/8" OSB
 -TRUSSES @24"O.C. (typ.)
 SEE ROOF FRAMING PLAN
 *R-49 BATT INSULATION
 -MOISTURE BARRIER
 -CEILING BOARDS

FLOOR 1
 -FLOORING
 -4" REINFORCED CONC. SLAB (WELDED WIRE FABRIC)
 -6-MIL POLYETHENE VAPOR BARRIER
 -RIGID INSULATION 2" MINIMUM
 -COMPACTED GRANULAR BASE COURSE

FLOOR 2
 -FLOORING
 -3/4" OSB PLYWOOD SUBFLOOR
 -TJI 230 JOISTS @16"O.C. (typ.)
 * SOUND INSULATION
 -CEILING BOARDS

FLOOR 3
 -1/4" TILE FLOORING
 -1/4" WONDER BOARD & WATERPROOFING MEMBRANE
 -3/4" OSB PLYWOOD SUBFLOOR
 -TJI 230 JOISTS @16"O.C. (typ.)
 SEE ROOF FRAMING PLAN
 *R-49 BATT INSULATION
 -MOISTURE BARRIER
 -CEILING BOARDS



SPACE UNDER THE STAIRS WILL BE PROTECTED WITH A MIN. 1/2" GYPSUM BOARD

EXISTING GRADE

1 BUILDING SECTION
 SCALE
 0 2 4 8

GARAGE TOP OF SLAB +8603'-2 5/8"
 +8600'-8 7/8"
 UPPER LEVEL TOP OF PLYWOOD
 12'-8 5/8"
 2'-5 7/8"
 10'-2 7/8"
 10'-3"
 MAIN LEVEL TOP OF PLYWOOD [±0'-0"] +8590'-6"
 LOWER LEVEL TOP OF SLAB +8580'-3"

