

# WEBER INDUSTRIAL PARK - PLAT "B"-2ND AMENDMENT

## AMENDING LOTS 31, 32 AND 33

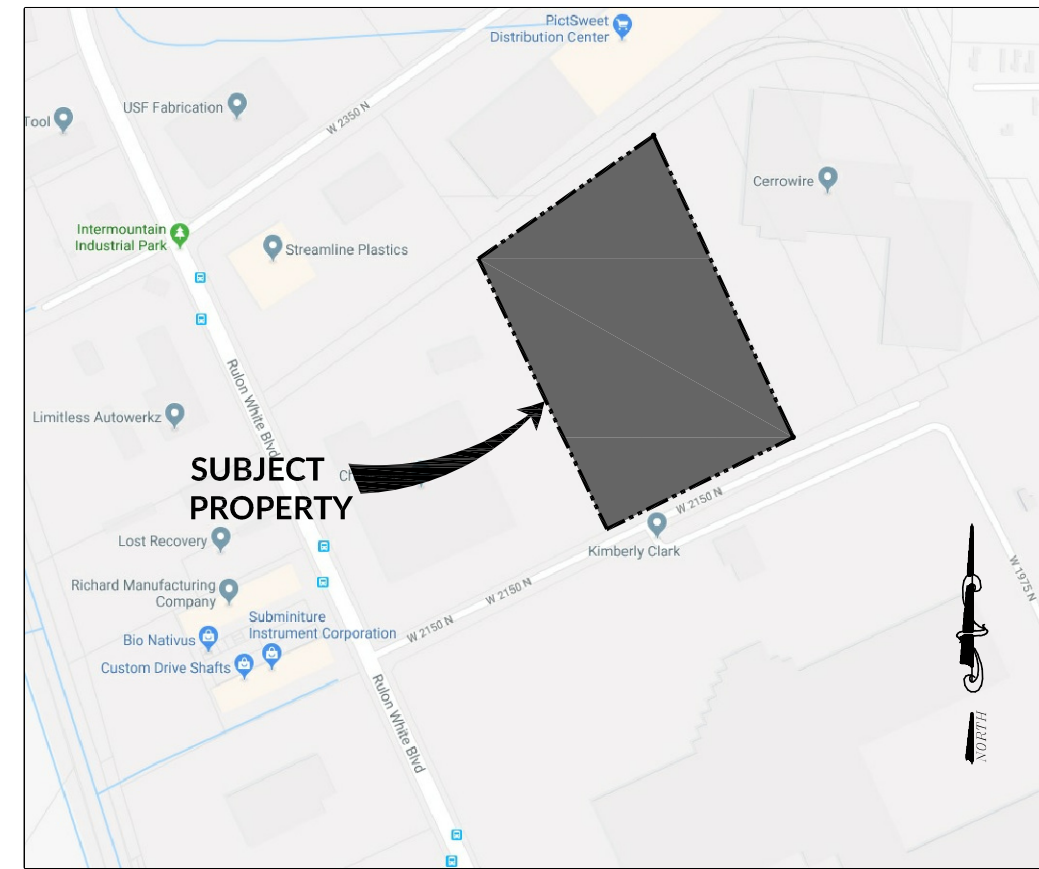
A SUBDIVISION LOCATED IN THE EAST HALF OF SECTION 36, TOWNSHIP 7 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, WEBER COUNTY, UTAH

Date of the survey noted in the heading (Meaning the date, year and month the survey markers were placed). WCO 106-1-5(a)(2); WCO 106-1-8(c)(1)(c); UCA 17-23-17(3)(b)

A signature block for County Surveyor conforming to state code and county ordinance. Weber County Surveyor: I hereby certify that the Weber County Surveyor's Office has reviewed this plat and all conditions for approval by this office have been satisfied. The approval of this plat by the Weber County Surveyor does not relieve the Licensed Land Surveyor who executed this plat from the responsibilities and/or liabilities associated therewith. Signed this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

Weber County Surveyor  
WCO 106-1-8(c)(1)h,10; WCO 45-4-2(c)

### VICINITY MAP



The individual or company names and addresses of the applicant of the subdivision. WCO 106-1-5(a)(3)

The surveyor making the plat shall certify that the surveyor "has completed a survey of the property described on the plat in accordance with Section 17-23-17 and has verified all measurements". UCA 17-27a-603(4)(b)(ii)

The surveyor making the plat shall certify that the surveyor "has placed monuments as represented on the plat". UCA 17-27a-604(4)(b)(iii)

### SURVEYOR'S CERTIFICATE

I, **JASON T. FELT** DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. **4234283** IN ACCORDANCE WITH TITLE 50 CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT IN THE STATE OF UTAH, AND DO HEREBY CERTIFY THAT IN ACCORDANCE WITH SECTION 17-23-17, AND BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, BASED ON APPLICABLE DATA COMPILED FROM OFFICIAL RECORDS, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HEREAFTER TO BE KNOWN AS:

### WEBER INDUSTRIAL PARK - PLAT "B" - 2ND AMENDMENT

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT ALL LOTS MEET FRONTAGE WIDTH AND AREA REQUIREMENTS OF THE APPLICABLE ZONING ORDINANCES.

### BOUNDARY DESCRIPTION

ALL OF LOTS 31, 32, AND 33, WEBER INDUSTRIAL PARK - PLAT "B" AS RECORDED WITH THE WEBER COUNTY RECORDER, BEING A PART OF THE EAST HALF OF SECTION 36, TOWNSHIP 7 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, WEBER COUNTY, UTAH.

BEGINNING AT A POINT ON THE NORTHERLY LINE OF 2150 NORTH STREET, BEING 769.19 FEET NORTH 65°08'31" EAST ALONG THE CENTER LINE OF SAID 2150 NORTH STREET, AND 35.00 FEET NORTH 24°51'24" WEST FROM THE BRASS CAP MONUMENT AT THE INTERSECTION OF SAID 2150 NORTH STREET AND RULON WHITE BOULEVARD; THENCE NORTH 24°51'24" WEST 875.96 FEET ALONG THE EASTERLY LINE OF LOT 34, SAID WEBER INDUSTRIAL PARK - PLAT "B", TO THE SOUTHERLY LINE OF UNION PACIFIC RIGHT-OF-WAY; THENCE NORTH 54°42'31" EAST 610.08 FEET ALONG SAID SOUTHERLY LINE; THENCE SOUTH 24°51'30" EAST 986.44 FEET ALONG THE WESTERLY LINE OF LOT 30, SAID WEBER INDUSTRIAL PARK - PLAT "B", TO SAID NORTHERLY LINE OF 2150 NORTH STREET; THENCE SOUTH 65°08'31" WEST 600.00 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING.

CONTAINS: 12.826 ACRES

### NARRATIVE

BRASS CAP MONUMENTS WERE FOUND ALONG THE CENTERLINE OF RULON WHITE BOULEVARD AT 1715 NORTH STREET, AT 2150 NORTH STREET, AND HEMMINGWAY STREET AS SHOWN HEREON. BRASS CAP MONUMENTS WERE FOUND FOR THE NORTH QUARTER CORNER AND NORTHWEST CORNER OF SECTION 36, TOWNSHIP 7 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN.

A LINE BEARING SOUTH 24°51'24" EAST BETWEEN SAID BRASS CAP MONUMENTS AT THE INTERSECTION OF RULON WHITE BOULEVARD AND 2150 NORTH STREET AND THE INTERSECTION OF RULON WHITE BOULEVARD AND HEMMINGWAY STREET (2350 NORTH STREET) PER THE ORIGINAL PLAT OF RECORD FOR WEBER INDUSTRIAL PARK - PLAT "B".

The narrative explains and identifies the purpose of the survey. UCA 17-23-17(4)(a)(i)

### OWNER'S DEDICATION

I (WE), THE UNDERSIGNED OWNER(S) OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME TRACT INTO LOTS AS SHOWN ON THIS PLAT, AND ASSIGN THE LANDS INCLUDED IN THIS PLAT THE NAME OF WEBER INDUSTRIAL PARK - PLAT "B" - 2ND AMENDMENT.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_ 2019.

printed names who is signing document

### ACKNOWLEDGMENT

STATE OF UTAH }  
COUNTY OF WEBER } ss **who is signing document**

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2019 BY \_\_\_\_\_

RESIDING AT: \_\_\_\_\_ NOTARY PUBLIC (PRINT NAME)

COMMISSION NUMBER: \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC SIGNATURE

### WEBER INDUSTRIAL PARK - PLAT "B"-2ND AMENDMENT

A SUBDIVISION, LOCATED IN THE EAST HALF OF SECTION 36, TOWNSHIP 7 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, WEBER COUNTY, UTAH

### WEBER COUNTY COMMISSION ACCEPTANCE

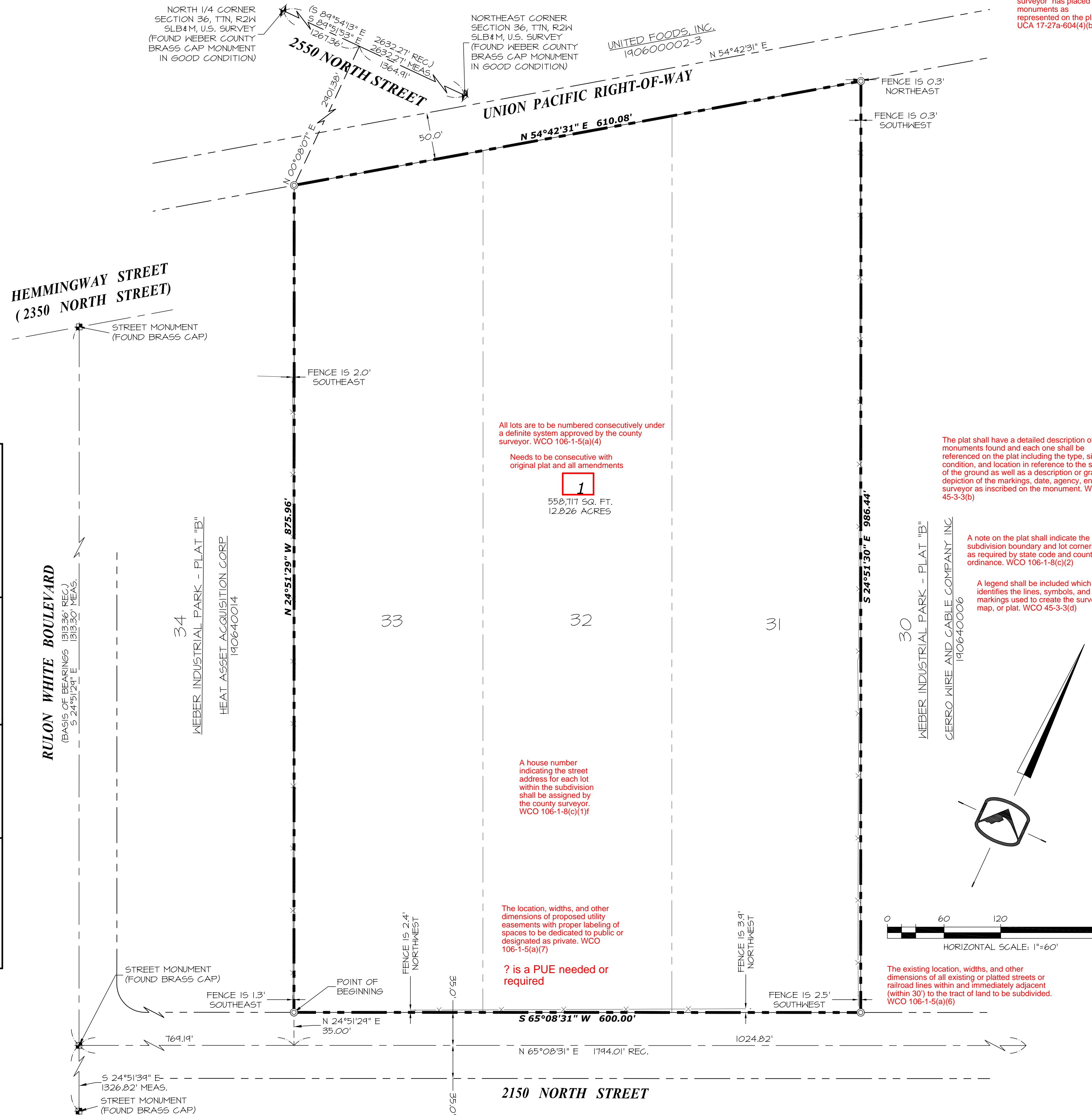
THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC RIGHTS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH. THIS \_\_\_\_ DAY OF \_\_\_\_\_ 2019.

CHAIRMAN, WEBER COUNTY COMMISSION

### WEBER COUNTY RECORDER

ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_ FILED FOR RECORD AND RECORDED \_\_\_\_\_ 2019 AT \_\_\_\_\_ IN BOOK \_\_\_\_\_ OF OFFICIAL RECORDS PAGE \_\_\_\_\_ RECORDED FOR \_\_\_\_\_ CITY.

WEBER COUNTY RECORDER  
BY: \_\_\_\_\_ DEPUTY



All lots are to be numbered consecutively under a definite system approved by the county surveyor. WCO 106-1-5(a)(4)

Needs to be consecutive with original plat and all amendments

1  
558,717 SQ. FT.  
12.826 ACRES

The plat shall have a detailed description of all monuments found and each one shall be referenced on the plat including the type, size, condition, and location in reference to the surface of the ground as well as a description or graphic depiction of the markings, date, agency, entity, or surveyor as inscribed on the monument. WCO 45-3-3(b)

A note on the plat shall indicate the subdivision boundary and lot corners are set as required by state code and county ordinance. WCO 106-1-8(c)(2)

A legend shall be included which clearly identifies the lines, symbols, and other markings used to create the survey map, or plat. WCO 45-3-3(d)

A house number indicating the street address for each lot within the subdivision shall be assigned by the county surveyor. WCO 106-1-8(c)(1)(f)

The location, widths, and other dimensions of proposed utility easements with proper labeling of spaces to be dedicated to public or designated as private. WCO 106-1-5(a)(7)

? is a PUE needed or required

The existing location, widths, and other dimensions of all existing or platted streets or railroad lines within and immediately adjacent (within 30') to the tract of land to be subdivided. WCO 106-1-8(a)(6)

### WEBER COUNTY SURVEYOR

I CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT FOR MATHEMATICAL CORRECTNESS, SECTION CORNER DATA, AND FOR HARMONY WITH LINES AND MONUMENT ON RECORD IN COUNTY OFFICES. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_ 2019.

WEBER COUNTY SURVEYOR

### WEBER COUNTY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT, AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOT IN FORCE AND AFFECT.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_ 2019.

WEBER COUNTY ATTORNEY

### WEBER COUNTY PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_ 2019.

CHAIRMAN, WEBER COUNTY PLANNING COMMISSION

### WEBER COUNTY ENGINEER

I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_ 2019.

WEBER COUNTY ENGINEER



177 E. ANTELOPE DR. STE. B  
LAYTON, UT 84041  
PHONE: (801) 499-5054  
FAX: (801) 499-5065