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HARVEST OGDEN

BUILDING CODE INFORMATION

AUTHORITY HAVING JURISDICTION (AHJ): WEBER COUNTY, UTAH

A. APPLICABLE BUILDING CODES:

CODES AND AMENDMENTS AS ADOPTED BY THE STATE OF UTAH, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

| | | |
|---------------|--------------------------------------|--------------|
| BUILDING CODE | INTERNATIONAL BUILDING CODE | 2018 EDITION |
| BUILDING CODE | INTERNATIONAL EXISTING BUILDING CODE | 2018 EDITION |
| FIRE CODE | INTERNATIONAL FIRE CODE | 2018 EDITION |
| MECHANICAL | INTERNATIONAL MECHANICAL CODE | 2018 EDITION |
| ELECTRICAL | NATIONAL ELECTRICAL CODE | 2017 EDITION |
| PLUMBING | INTERNATIONAL PLUMBING CODE | 2018 EDITION |

B. OCCUPANCY CLASSIFICATION: CHAPTER 5
USE GROUP: F-1, FACTORY

C. HEIGHT AND AREA: CHAPTER 5

ALLOWABLE BUILDING HEIGHT (TABLE 504.3) - F, S, II-B = 78'
ALLOWABLE NUMBER OF STORIES (TABLE 504.4) - F, S, II-B = 5 STORIES
ALLOWABLE BUILDING AREA - (TABLE 506.2) - F, S, II-B = 62,000 SF
FRONTAGE INCREASE - 506.2 SINGLE OCCUPANCY, ONE STORY BUILDING

$$A_s = A_t + (N_s \times L)$$

$$A_s = 62,000 \text{ SF} + (10,000 \times 0.650)$$

$$A_s = 67,000 \text{ SF} + 10,217$$

$$A_s = 77,217 \text{ SF} \text{ ALLOWABLE AREA}$$

$$L_s = [F/P - 0.25] W/30$$

$$L_s = [138' / 1222' - 0.25] 30/30$$

$$L_s = 0.650$$

$$W = (L_s \times \pi) / \pi$$

$$W = (138' \times 30') / 138'$$

$$W = 30'$$

D. TYPES OF CONSTRUCTION: CHAPTER 6 - TABLE 601

1. FIRE RESISTANCE RATINGS FOR BUILDING ELEMENTS - TABLE 601 TYPE II-B

| | |
|-------------------------|-------|
| STRUCTURAL FRAME: | 0 HRS |
| EXTERIOR BEARING WALLS: | 0 HRS |
| INTERIOR BEARING WALLS: | 0 HRS |
| INTERIOR PARTITIONS: | 0 HRS |
| ROOF CONSTRUCTION: | 0 HRS |
| FLOOR CONSTRUCTION: | 0 HRS |

2. TABLE 602 - RATED EXTERIOR WALLS BASED ON SEPARATION DISTANCE

| | |
|----------------|--------------------|
| X < 5' | 2-HR, NONE PRESENT |
| 5' <= X < 10' | 1-HR, NONE PRESENT |
| 10' <= X < 30' | 0-HR, NONE PRESENT |
| X >= 30' | 0-HR, NONE PRESENT |

E. FIRE RATED CONSTRUCTION: CHAPTER 7

- TABLE 705.5 MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEP. DISTANCE AND DEGREE OF OPENING PROTECTION - NOT APPLICABLE
- TABLE 707.3.10 FIRE RATING REQ'S FOR FIRE BARRIERS BETWEEN FIRE AREAS F = 3-HRS
- 707.5 CONTINUITY
FIRE BARRIERS EXTEND FROM TOP OF FOUNDATION TO UNDERSIDE OF ROOF SHEATHING
- TABLE 716.1 OPENING FIRE PROTECTION ASSEMBLIES, RATINGS AND MARKINGS
3-HR RATED FIRE BARRIER - 3-HR RATED DOOR AND WINDOW
- TABLE 716.6 FIRE WINDOW ASSEMBLY FIRE PROTECTION RATINGS
NOT APPLICABLE
- TABLE 717.3.2.1 FIRE DAMPER RATING
3-HR RATED ASSEMBLIES = 120-MINUTE RATED DAMPER REQUIRED

F. INTERIOR FINISHES: CHAPTER 8

- TABLE 805.15 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY F-1, SPRINKLERED:
INTERIOR EXIT STAIRS, RAMPS, EXIT PASSAGEWAYS = CLASS C FINISH
CORRIDORS AND EXIT ENCL. FOR EXIT ACCESS STAIRS AND RAMPS = CLASS C FINISH
ROOMS AND ENCLOSED SPACES = CLASS C FINISH

G. FIRE PROTECTION SYSTEMS: CHAPTER 9

- PORTABLE FIRE EXTINGUISHERS (906.1) SHALL BE PROVIDED IN OCCUPANCIES AND LOCATIONS AS REQUIRED BY THE INTERNATIONAL FIRE CODE COMPLYING WITH NFPA 10.
MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER = 75'
MAXIMUM AREA PER EXTINGUISHER = 1,250 SF
MAXIMUM AREA PER UNIT OF 'A' LOW HAZARD = 3,000 SF
MAXIMUM AREA PER UNIT OF 'A' MODERATE HAZARD = 1,500 SF
- AUTOMATIC FIRE ALARM SYSTEM (907.1)
907.1.2 - BY SHOP DRAWING SUBMITTAL
907.2.1 GROUP A - OCCUPANT LOAD LESS THAN 500, NOTIFICATION NOT REQUIRED
- AUTOMATIC FIRE SPRINKLER SYSTEM (908) - NON-SPRINKLERED, NOT REQUIRED

H. MEANS OF EGRESS: CHAPTER 10

- MAXIMUM FLOOR AREA PER OCCUPANT (TABLE 1004.1.2) - SEE SCHEDULE THIS SHEET
- EGRESS WIDTH PER OCCUPANT (TABLE 1009.1)
 - STAIRWAYS: 0.3 INCHES/OCCUPANT
 - OTHER EGRESS COMPONENTS: 0.2 INCHES/OCCUPANT
- TABLE 1006.2.1 SPACES WITH ONE EXIT
FACTORY = 40 MAX. OCCUPANTS
FACTORY NO SPRINKLER = 75' MAX COMMON PATH
FACTORY WITH SPRINKLER = 100' MAX COMMON PATH
- TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE
 - OCCUPANCY: F-1
 - TRAVEL DISTANCE:
 - NONSPRINKLERED 200 FEET MAX
 - NONSPRINKLERED 250 FEET MAX
- DEAD ENDS (1020.4)
MAXIMUM LENGTH = 20 FEET, OR UNLIMITED WHERE LENGTH IS LESS THAN 2.5 X WIDTH
- NUMBER OF EXITS (TABLE 1006.3.1)
 - 1-500 OCCUPANTS: 2 EXITS (PER STORY)

H. ACCESSIBILITY (CHAPTER 11)

- ACCESSIBLE ROUTE - SECTION 1104
 - AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES ON THE SAME SITE (1104.2)
- ACCESSIBLE ENTRANCES - SECTION 1106
 - AT LEAST 90 PERCENT OF ALL PUBLIC ENTRANCES SHALL BE ACCESSIBLE (1106.1)
- ACCESSIBLE PARKING AND PASSENGER LOADING FACILITIES (TABLE 1106.1)
24-50 SPACES PROVIDED = 2 ACCESSIBLE SPACE REQUIRED
PARKING SPACES PROVIDED = 27 SPACES, 2 OF WHICH ARE ACCESSIBLE
- TOILET ROOMS (1109.2)
 - AT LEAST ONE OF EACH TYPE OF FIXTURE, ELEMENT, CONTROL OR DISPENSER IN EACH ACCESSIBLE TOILET ROOM SHALL BE ACCESSIBLE. NOTE EXCEPTION I NOT PUBLIC USE

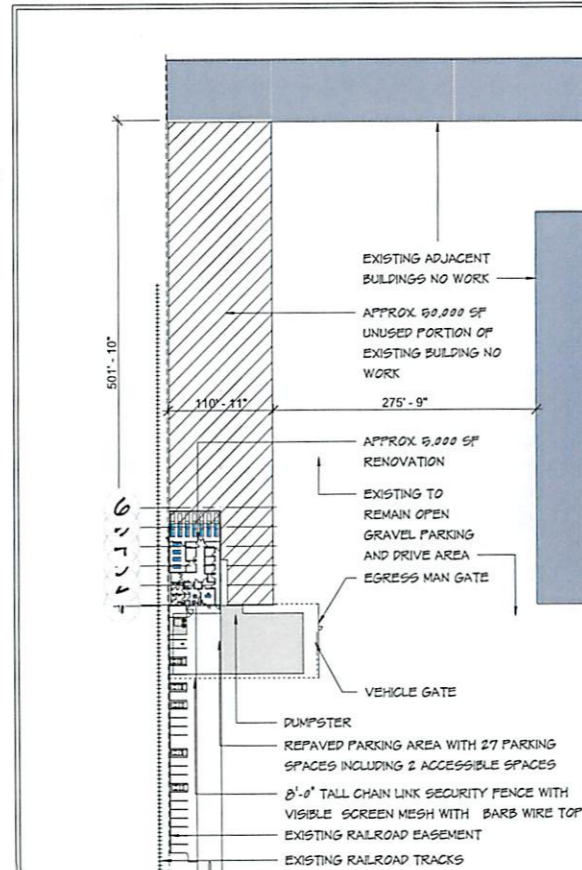
I. ENERGY EFFICIENT (CHAPTER 13)

- COMPLY WITH THE INTERNATIONAL ENERGY CODE 1301.1

J. PLUMBING SYSTEMS (CHAPTER 20)

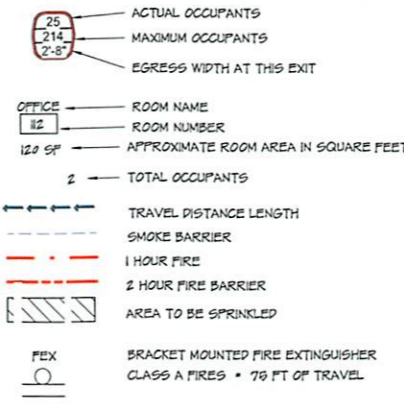
FIXTURE COUNT (TABLE 2002.1) FOR URINAL SUBSTITUTIONS REFERENCE 410.2 OF IPC
250 OCCUPANTS TOTAL =

| | |
|--------------------------------------|-------------------|
| 15 MALES | 15 FEMALES |
| MALE #/OCCUPANT | FEMALE #/OCCUPANT |
| A. WATER CLOSETS: 1 PER 100 = 1 | 1 PER 100 = 1 |
| B. LAVATORIES: 1 PER 100 = 1 | 1 PER 100 = 1 |
| C. DRINKING FOUNTAINS: 1 PER 400 = 1 | |
| D. SERVICE SINK: 1 SERVICE SINK = 1 | |



2 LIFE SAFETY SITE PLAN
1" = 100'-0"

LIFE SAFETY LEGEND



OCCUPANT LOAD

| Number | Name | Area per Occupant | Area | Occupant Load Calculation | Occupant Load |
|--------|---------------------|-------------------|--------|---------------------------|---------------|
| 124 | ELECTRICAL | | 70 SF | | |
| 111 | SERVICE CORRIDOR | 0.00 SF | 501 SF | | |
| 112 | WOMEN / LOCKER | 0.00 SF | 151 SF | | |
| 113 | MEN / LOCKER | 0.00 SF | 146 SF | | |
| 122 | VESTIBULE | 0.00 SF | 31 SF | | |
| 123 | VESTIBULE | 0.00 SF | 24 SF | | |
| 101 | VEG | 100.00 SF | 407 SF | 5.0 | |
| 102 | FERT. | 100.00 SF | 50 SF | 0.6 | |
| 103 | MOTHER | 100.00 SF | 132 SF | 1.3 | |
| 104 | CLONE / PROPAGATION | 100.00 SF | 120 SF | 1.2 | |

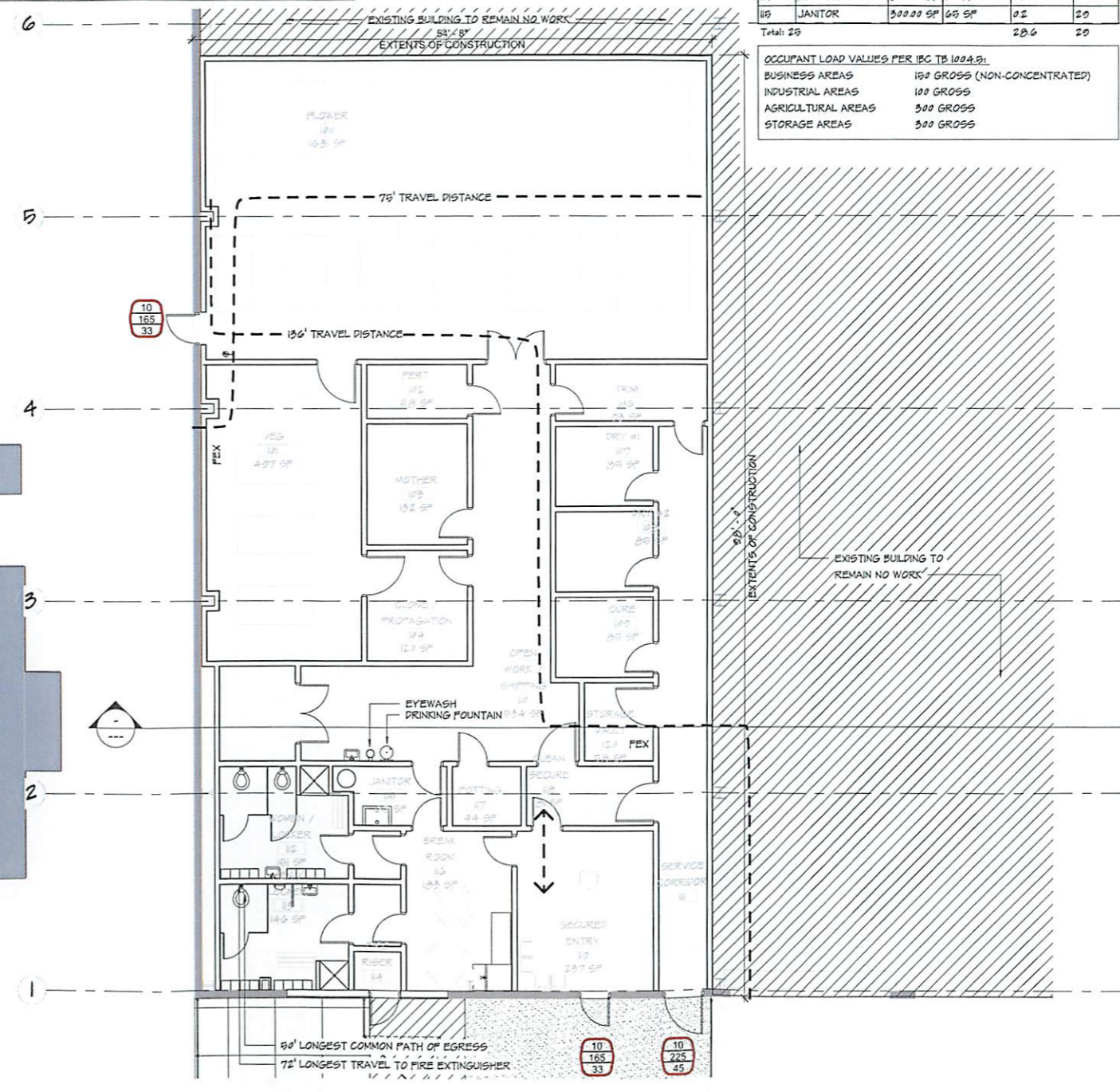
OCCUPANT LOAD

| Number | Name | Area per Occupant | Area | Occupant Load Calculation | Occupant Load |
|--------|----------------------|-------------------|------------|---------------------------|---------------|
| 105 | OPEN WORK | 100.00 SF | Not Placed | | |
| 106 | TRIM | 100.00 SF | 05 SF | 0.0 | |
| 107 | DRY #1 | 100.00 SF | 05 SF | 0.0 | |
| 108 | DRY #2 | 100.00 SF | 05 SF | 0.0 | |
| 109 | CURE | 100.00 SF | 05 SF | 0.0 | |
| 110 | OPEN WORK / SHIPPING | 100.00 SF | 534 SF | 5.3 | |
| 116 | BREAK ROOM | 100.00 SF | 105 SF | 1.0 | |
| 117 | POTTING | 100.00 SF | 44 SF | 0.4 | |
| 118 | CLEAN SECURE | 100.00 SF | 01 SF | 0.0 | |
| 119 | SECURED ENTRY | 100.00 SF | 237 SF | 2.4 | |
| 120 | STORAGE VAULT | 100.00 SF | 05 SF | 0.0 | |
| 121 | OFFICE | 100.00 SF | Not Placed | | |

Total: 25
206 20

OCCUPANT LOAD VALUES PER IBC TB 1004.5.1

| | |
|--------------------|------------------------------|
| BUSINESS AREAS | 150 GROSS (NON-CONCENTRATED) |
| INDUSTRIAL AREAS | 100 GROSS |
| AGRICULTURAL AREAS | 300 GROSS |
| STORAGE AREAS | 300 GROSS |

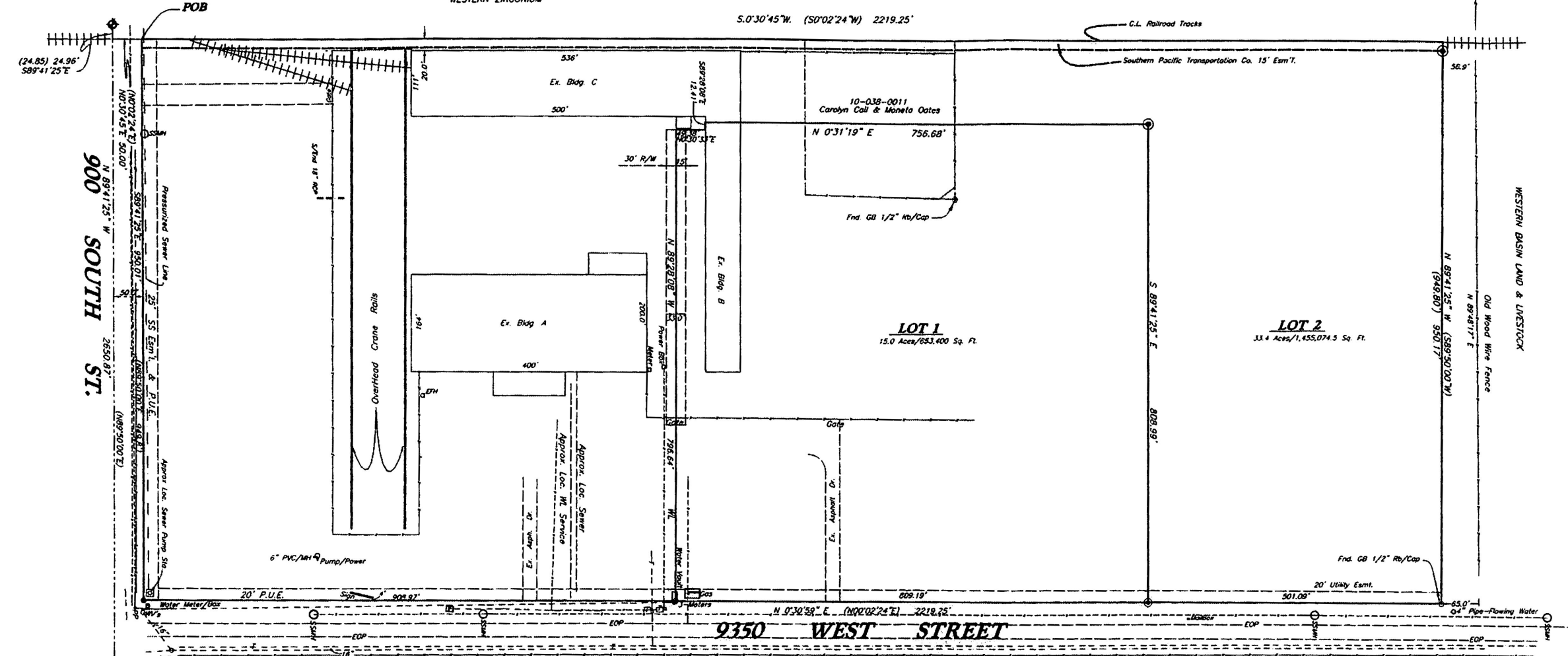


1 LIFE SAFETY PLAN
1/8" = 1'-0"

CERTIFICATION OF SURVEY

South Quarter Corner Section 17,
Township 6 North, Range 3 West,
Weber Co. Surveyors Brass Cap Mon.
Mk'd 1963 in Good Condition.

004480
RECEIVED
OCT 27 2010
WEBER CO SURVEYOR



SouthEast Corner Section 17,
Township 6 North, Range 3 West,
Weber Co. Surveyors Brass Cap
Mon., Mk'd 1963, Bad Condition.

BOUNDARY DESCRIPTION

A PART OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 6 NORTH, RANGE 3 WEST, SALT LAKE BASE & MERIDIAN:
BEGINNING AT A POINT IN THE CENTER OF A SPUR RAIL SAID POINT BEING 5.89'41'25"E. 24.97 FEET (589'50"E 24.85 FEET) ALONG SECTION LINE AND N.0'30'45"E. (N0'02'24"E) 50.00 FEET FROM THE SOUTHWEST CORNER OF SAID QUARTER SECTION; AND RUNNING THENCE S.89'41'25"E. 950.01' (N89'50"E 949.8 FEET) ALONG NORTH LINE OF 900 SOUTH STREET TO THE WESTERLY LINE OF 9350 WEST STREET, THENCE N.0'30'59"E. 2219.25 FEET (N0'02'24"E) ALONG SAID STREET, THENCE N.89'41'25"W. 950.17 FEET (S89'50"W 949.80 FEET) TO CENTERLINE OF EASEMENT AS DEEDED IN BOOK 1229 PAGE 641, THENCE S.0'30'45"W. (S0'02'24"W) 2269.25 FEET TO THE POINT OF BEGINNING,
CONTAINING 2,108,474.5 Sq Ft./48.4 AC., MORE OR LESS.

NARRATIVE

THE PURPOSE OF THIS SURVEY WAS TO CREATE A PARCEL OF LAND FOR THE SELLING OF (LOT 1). BASIS OF BEARINGS STATE PLANE GRID BEARINGS ALONG THE SOUTH MONUMENTED SECTION LINE OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 6 NORTH, RANGE 3 WEST, MARKED BY WEBER COUNTY SURVEYORS BRASS CAP MONUMENTS. WHICH BEARS S.89'41'25"E.

THE 9350 WEST STREET DEDICATION PLAT (22-9) WAS USED IN SETTING THE ALIGNMENT OF SAID STREET, BUT WE HAD FOUND A POINT STAKED IN THE FIELD, GBE REBAR/CAP, THAT GAVE A CLOSER LOCATION OF THE WEST RIGHT OF WAY (9350 WEST) IN RESPECT TO THE DEED CALL FOR THE WEST LINE OF SAID STREET.

ZONING IS M3
WESTERN ZIRCONIUM HAS THIS PROPERTY HOOKED UP TO ITS PRESSURIZED SEWER SYSTEM. WEBER BASIN PROVIDES THE CULINARY WATER FOR THIS PROPERTY.

SURVEYOR'S CERTIFICATE

I, CYNTHIA L. SEGRIF DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF LITTLE MOUNTAIN SUBDIVISION IN WEBER COUNTY, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE WEBER COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND. I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF WEBER COUNTY CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

CYNTHIA L. SEGRIF P.L.S. 7511(170143)
Pka CYNTHIA L.S. ROBINETT

Cynthia L. Segriff
10/27/10

LEGEND:

- () DISTANCE AND OR BEARING PER DEED/PLAT OR RECORD DATA PROVIDED. NO PARENTHESES IS MEASURED DISTANCE OR ROTATED PLAT OR DEED BEARING TO STATE PLANE GRID BEARING.
- FND REBAR CAP
- ⊙ SET CLS Inc. #5x24" Rebar/Cap
- +++++ EXISTING RAILROAD TRACKS
- — — EXISTING FENCE
- — — EASEMENT LINE
- /PH EXISTING FIRE HYDRANT
- /WV EXISTING WATER VALVE
- /WM EXISTING WATER METER
- — — EXISTING WATER LINE
- — — EXISTING TELEPHONE LINE
- — — EDGE OF PAVEMENT
- /PP EXISTING POWER POLE
- — — EXISTING POWER LINE
- — — EDGE OF EXISTING PAVEMENT
- /SS EXISTING SANITARY SEWER MANHOLE
- — — EXISTING SEWER LINE

RECORD OF SURVEY

CERTIFICATION OF SURVEY
PREPARED FOR CAROLYN CALL
S.E. 1/4 SECTION 17, TOWNSHIP 6 NORTH, RANGE 3 WEST, SLEB
WEBER COUNTY, UTAH

28 Jul, 2010

SHEET NO.

1

PS08-1JC

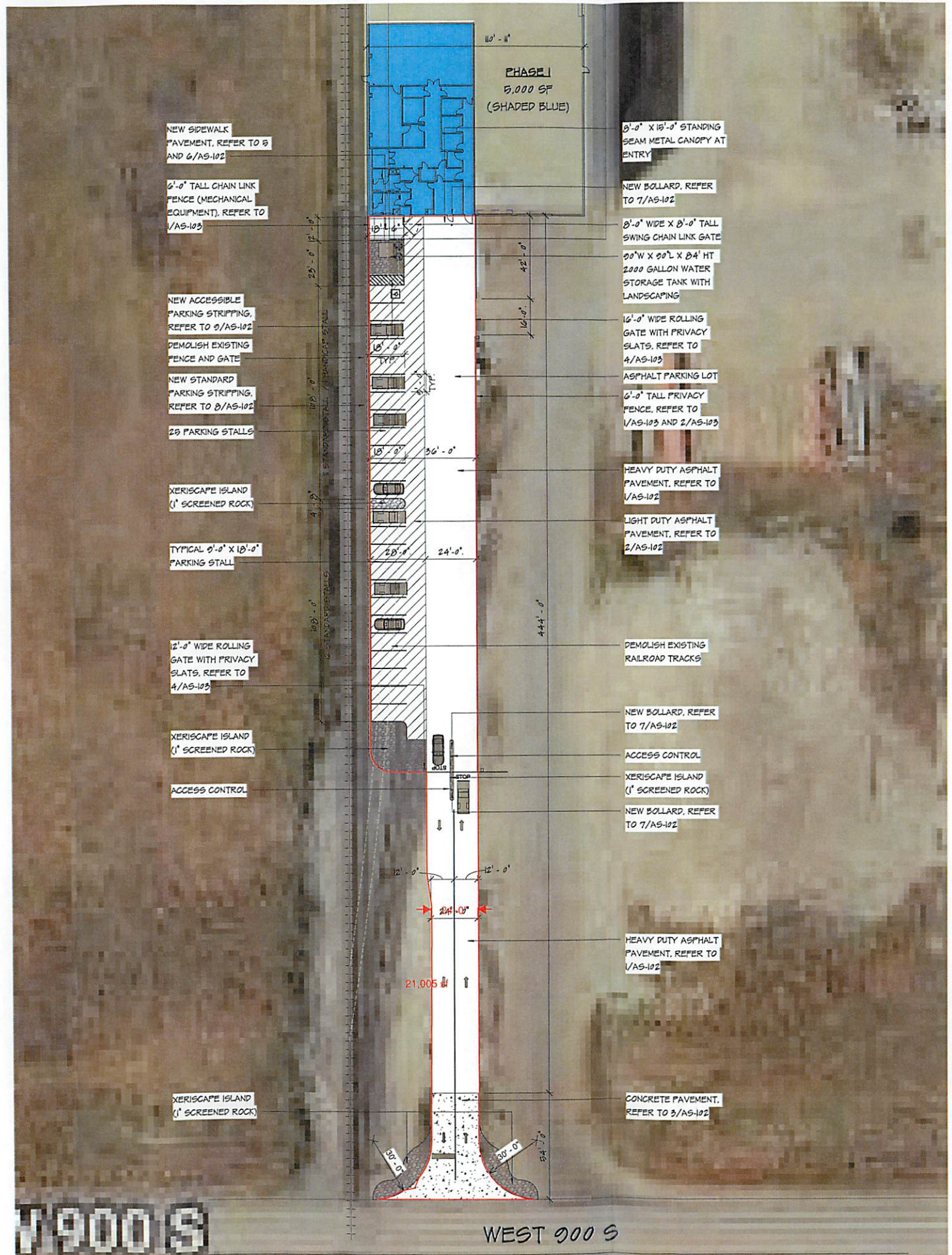
PREPARED BY:
C. L. S., Inc.
810 CANYON ROAD
OGDEN, UTAH 84604

C.L.S., Inc.
Construction & Land Surveyors
810 Canyon Road
Ogden, Utah 84404
E-Mail: CLS@CLSI.COM
PH: (801)339-4935



Harvest of Ogden, UT
Site Utilities

2 SITE UTILITY PLAN
1/16" = 1'-0"



1 SITE PLAN
1/32" = 1'-0"

HARVEST OGDEN
791 NORTH 9300 WEST
OGDEN, UT 84404
SCHEMATIC DESIGN

| MARK | DESCRIPTION | DATE |
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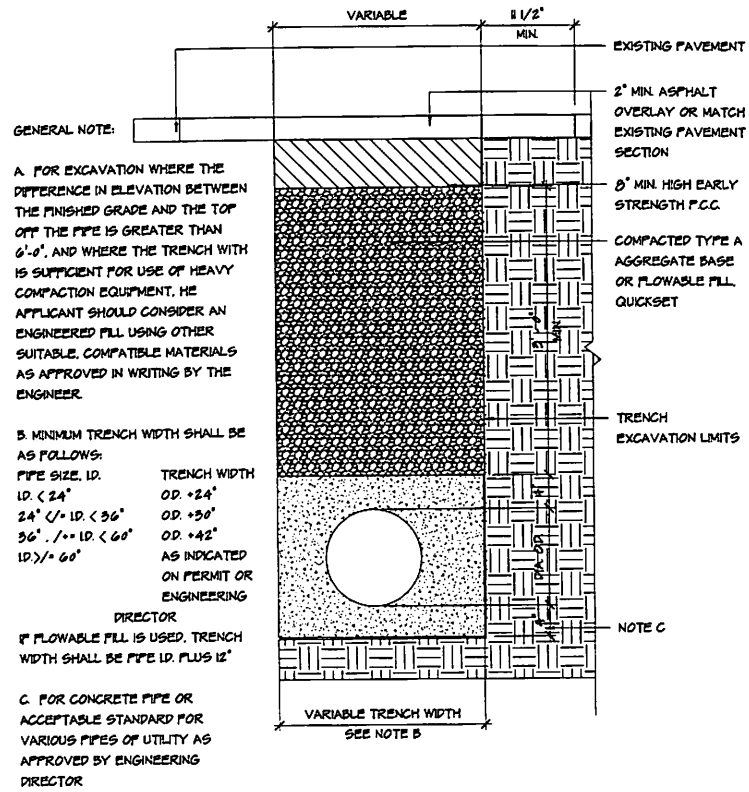
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PROJECT NO. 100-0817
ISSUE DATE: 08/14/2010

SITE PLAN
AS-101

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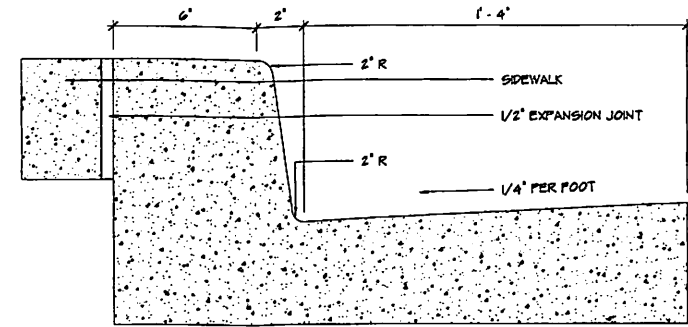
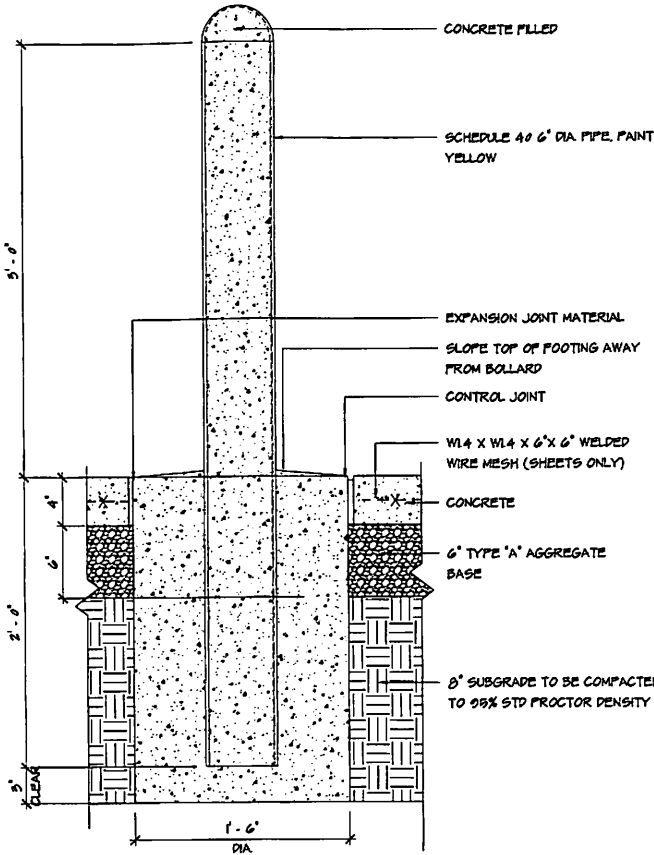
GENERAL NOTE:

A. FOR EXCAVATION WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE FINISHED GRADE AND THE TOP OFF THE PIPE IS GREATER THAN 6'-0", AND WHERE THE TRENCH WITH IS SUFFICIENT FOR USE OF HEAVY COMPACTION EQUIPMENT, THE APPLICANT SHOULD CONSIDER AN ENGINEERED FILL USING OTHER SUITABLE, COMPATIBLE MATERIALS AS APPROVED IN WRITING BY THE ENGINEER.

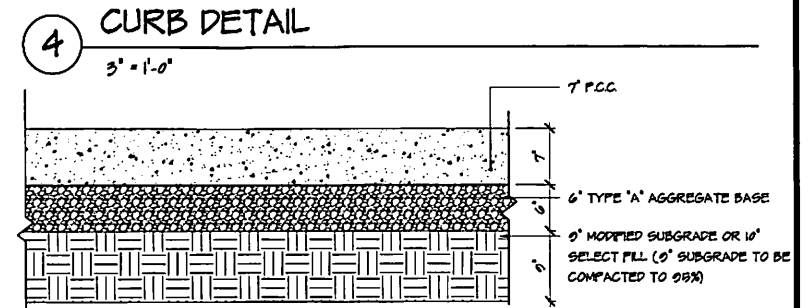
B. MINIMUM TRENCH WIDTH SHALL BE AS FOLLOWS:
PIPE SIZE, ID. TRENCH WIDTH
ID. < 24" OD. +24"
24" < ID. < 36" OD. +30"
36" / ID. < 60" OD. +42"
ID. > 60" AS INDICATED ON PERMIT OR ENGINEERING DIRECTOR

F. FLOWABLE FILL IS USED, TRENCH WIDTH SHALL BE PIPE ID. PLUS 12"

C. FOR CONCRETE PIPE OR ACCEPTABLE STANDARD FOR VARIOUS PIPES OF UTILITY AS APPROVED BY ENGINEERING DIRECTOR

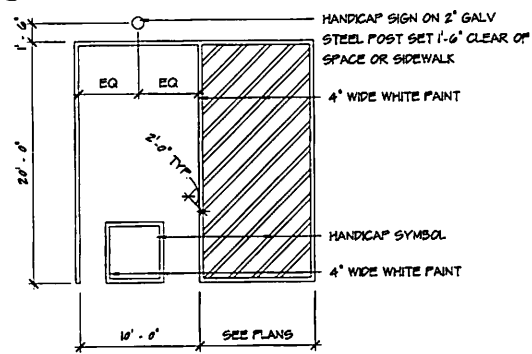


NOTES:
*DENSITY REQUIRED IS 98% PER ASHTO T99
**TEST ROLLING REQUIRED IN ACCORDANCE WITH U.D.O.T. SPECIFICATIONS.

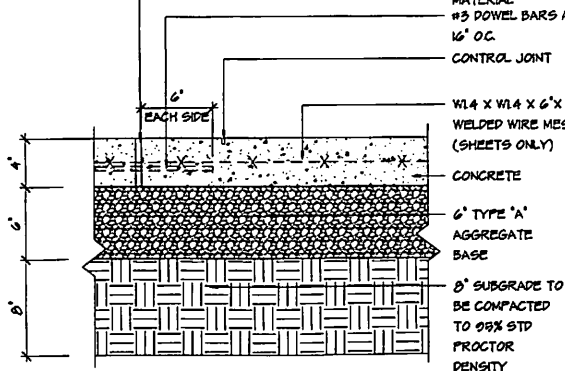


NOTES:
*DENSITY REQUIRED IS 98% PER ASHTO T99
**TEST ROLLING REQUIRED IN ACCORDANCE WITH U.D.O.T. SPECIFICATIONS.

10 PAVEMENT CUT AND REPAIR
1' = 1'-0"

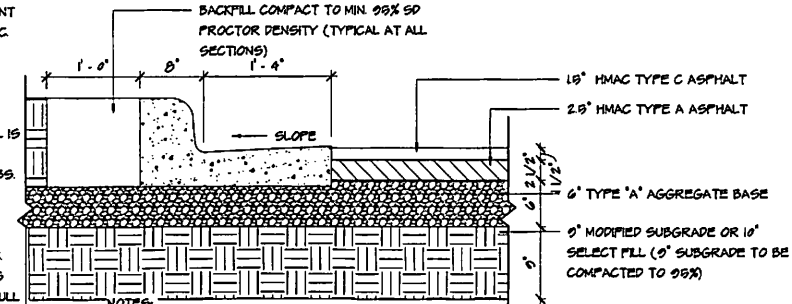


7 BOLLARD
1 1/2' = 1'-0"



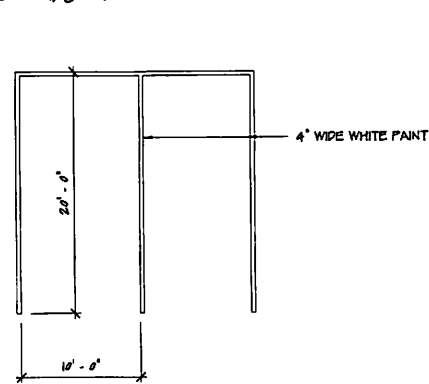
GENERAL NOTES:
1. 1 1/2" EXPANSION JOINT SPACING AT 90'-0" O.C. OR AT ADJACENT STRUCTURES OR DRIVES.
2. SIDEWALKS EXPANSION MATERIAL IS REQUIRED BETWEEN SIDEWALKS AND CURBS.
3. DOWEL BARS ARE REQUIRED AT EXPANSION JOINT AREAS. #3 AT 16" O.C.
4. SIDEWALKS JOINTS SHALL BE CUT 28% FULL DEPTH OF THE SIDEWALKS AT INTERVALS EQUAL TO SIDEWALK WIDTH.

3 CONCRETE PAVEMENT
1' = 1'-0"

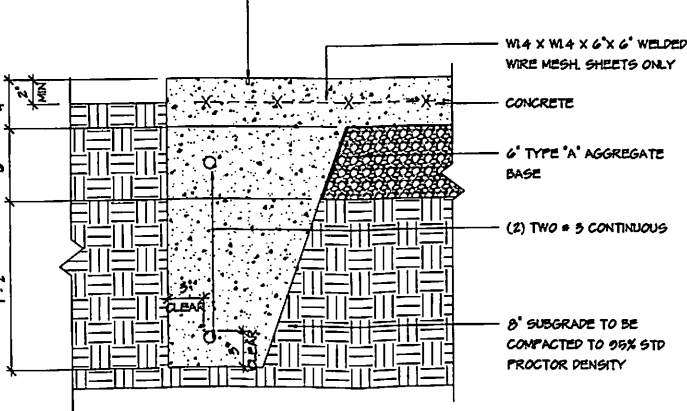


NOTES:
*DENSITY REQUIRED IS 98% PER ASHTO T99
**TEST ROLLING REQUIRED IN ACCORDANCE WITH U.D.O.T. SPECIFICATIONS.

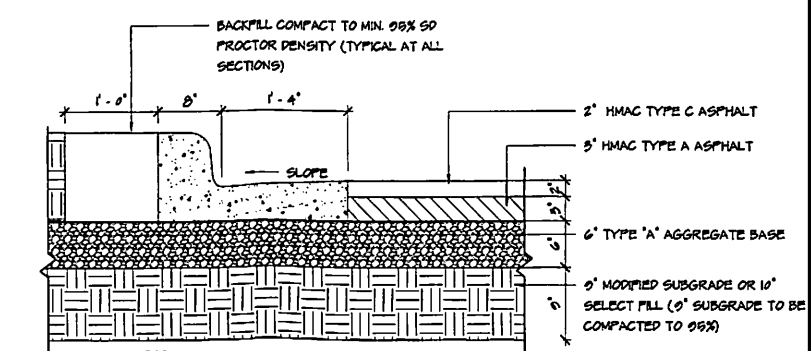
9 ACC. PARKING SPACE DTL.
1/8" = 1'-0"



6 CONCRETE PAVEMENT SECTION
1 1/2' = 1'-0"



2 LIGHT DUTY ASPHALT PAVEMENT
1' = 1'-0"



NOTES:
*DENSITY REQUIRED IS 98% PER ASHTO T99
**TEST ROLLING REQUIRED IN ACCORDANCE WITH U.D.O.T. SPECIFICATIONS.

8 PARKING SPACE DETAIL
1/8" = 1'-0"

5 CONCRETE TURNDOWN PAVEMENT SECTION
1 1/2' = 1'-0"



1 HEAVY DUTY ASPHALT PAVEMENT
1' = 1'-0"



HARVEST OGDEN
701 NORTH 9500 WEST
OGDEN, UT 84404
SCHEMATIC DESIGN

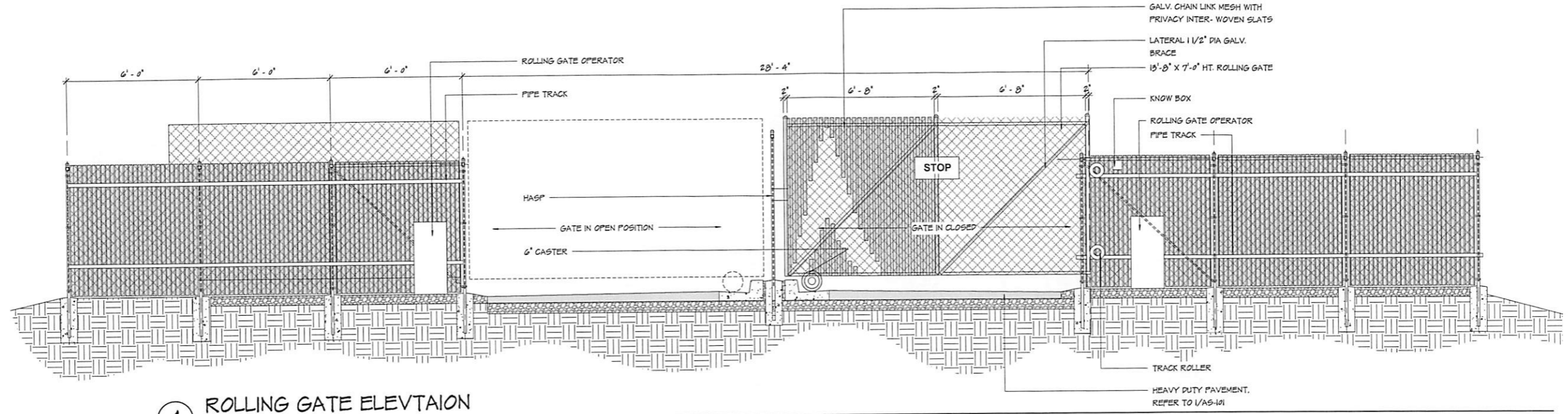
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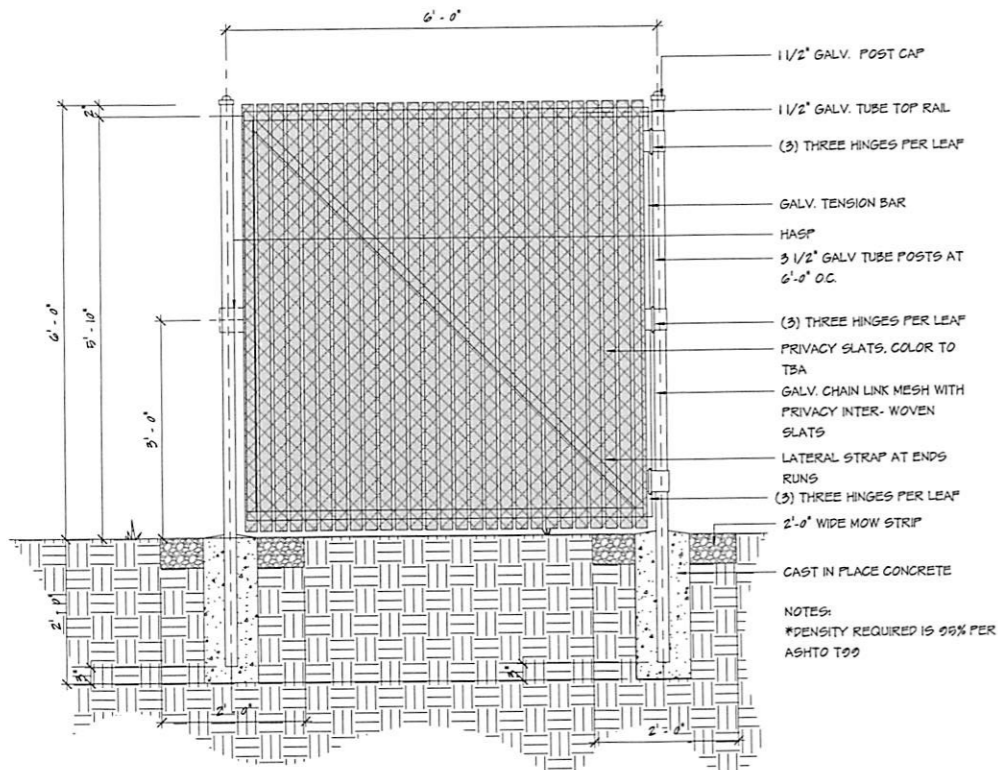
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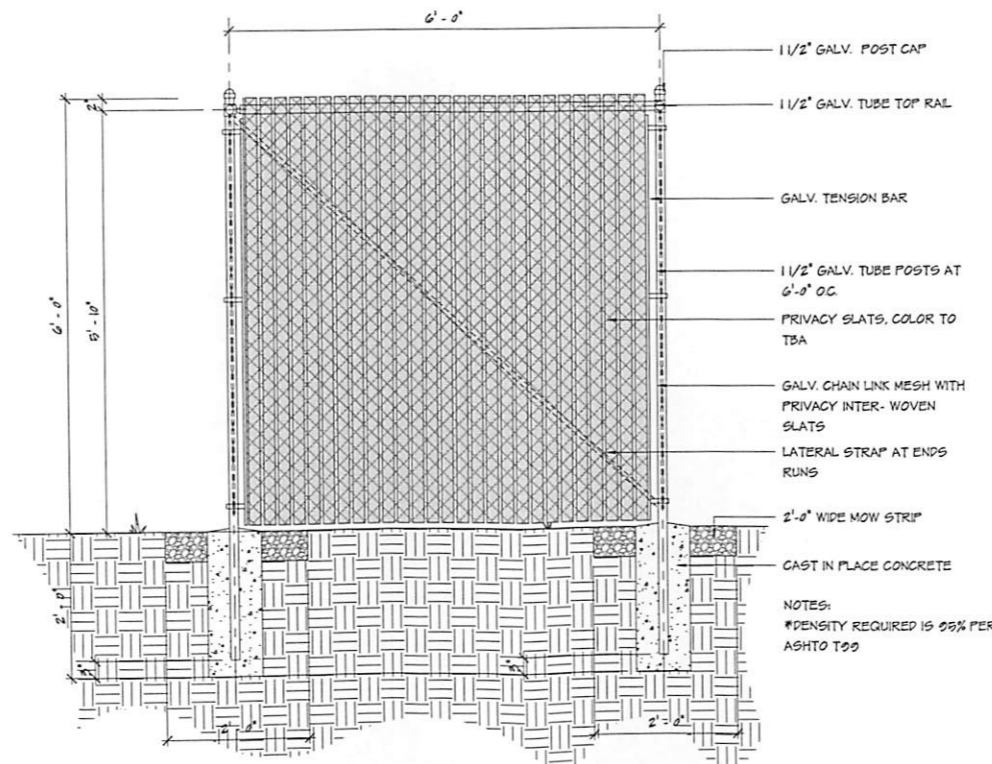
ARCHITECTURAL UTILITY PLAN
AS-102



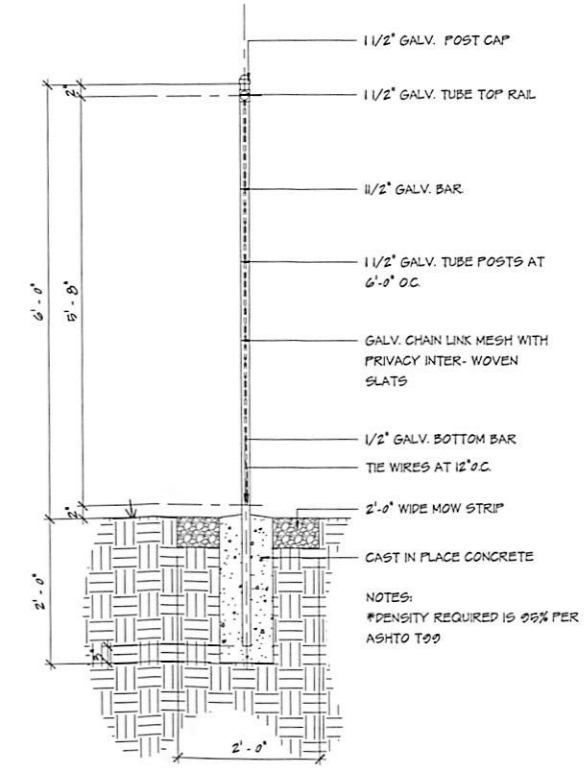
4 ROLLING GATE ELEVATION
 3/8" = 1'-0"



3 CHAIN LINK GATE ELEVATION
 3/4" = 1'-0"



2 CHAIN LINK ELEVATION PROFILE
 3/4" = 1'-0"



1 CHAIN LINK SECTION
 3/4" = 1'-0"

HARVEST OGDEN
 791 NORTH 9300 WEST
 OGDEN, UT 84404
 SCHEMATIC DESIGN

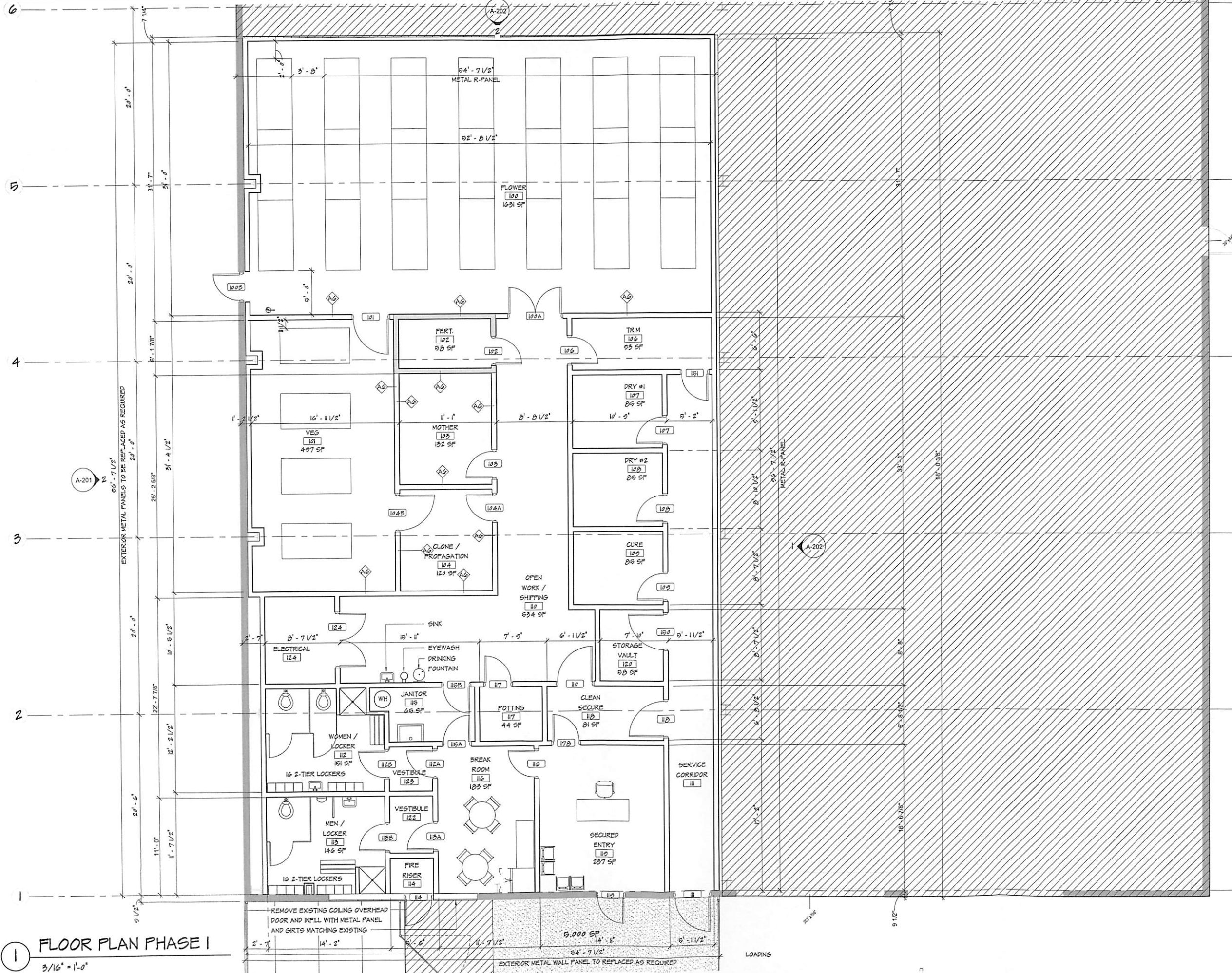
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 PROJECT NO. 100-0917
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GATE AND FENCE DETAILS
AS-103

10/25/10 10:57:32 AM
 C:\Users\jacob\Documents\Harvest\Ogden, UT\Gate - Lift\021004

02/14/2010 10:27:21 AM
 C:\Users\jward\Documents\Harvest OGDEN UT\Center\140101.rvt



1 FLOOR PLAN PHASE I
 3/16" = 1'-0"

REMOVE EXISTING COILING OVERHEAD DOOR AND INFILL WITH METAL PANEL AND GRTS MATCHING EXISTING

EXTERIOR METAL WALL PANEL TO BE REPLACED AS REQUIRED

LOADING

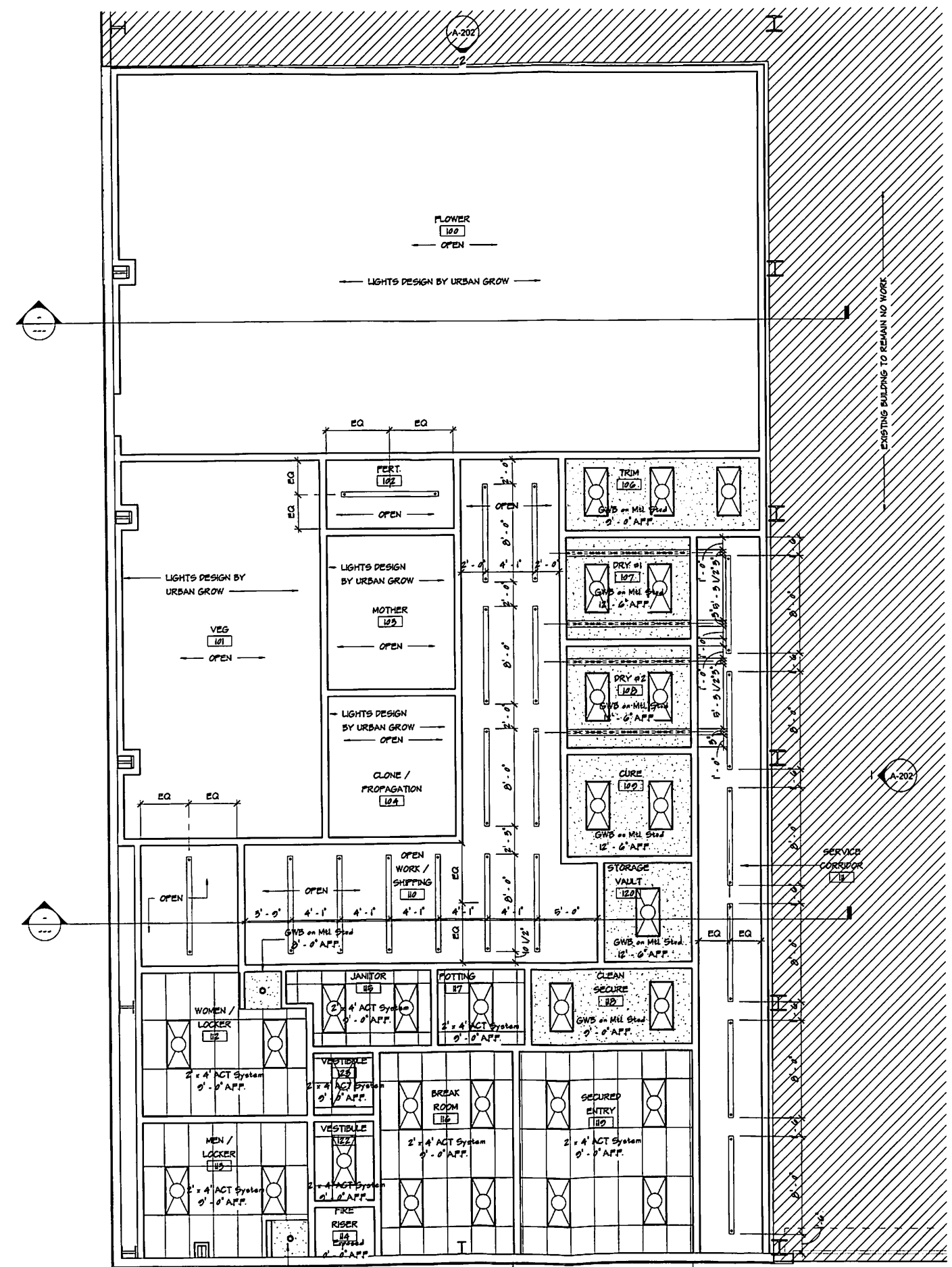
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REFLECTED CEILING PLAN LEGEND

- 2x4 SUSPENDED ACOUSTICAL PANEL CEILING
- GYP. SP. CEILING
- 2x4 RECESSED FLUORESCENT LIGHT FIXTURE
- 2x4 RECESSED EMERGENCY / NIGHT LIGHT FIXTURE
- PENDANT HUNG LIGHT FIXTURE
- RECESSED CAN LIGHT
- EMERGENCY RECESSED CAN LIGHT
- EXT LIGHTING
- EXTERIOR WALL MOUNTED LIGHT FIXTURE
- SUPPLY AIR DIFFUSER
- RETURN AIR DIFFUSER
- RETURN AIR DIFFUSER
- EXHAUST FAN



REFLECTED CEILING PLAN
3/16" = 1'-0"

HARVEST OGDEN
791 NORTH 9300 WEST
OGDEN, UT 84404
SCHEMATIC DESIGN

| DATE | DESCRIPTION | DRAWN BY |
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FIRST FLOOR REFLECTED CEILING PLAN
A-III

6/21/2010 10:27:22 AM C:\Users\jwheeler\Documents\100-0817\100-0817-01.dwg

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 791 NORTH 9300 WEST
 OGDEN, UT 84404
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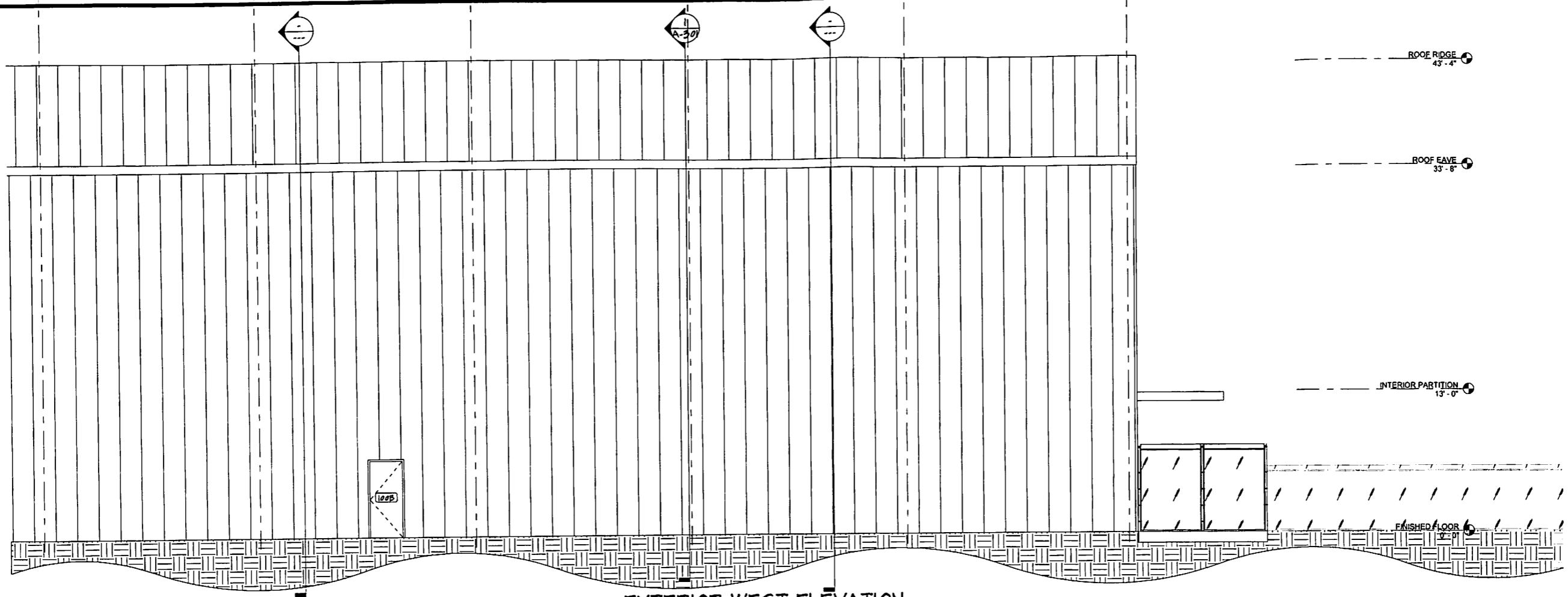
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EXTERIOR ELEVATIONS

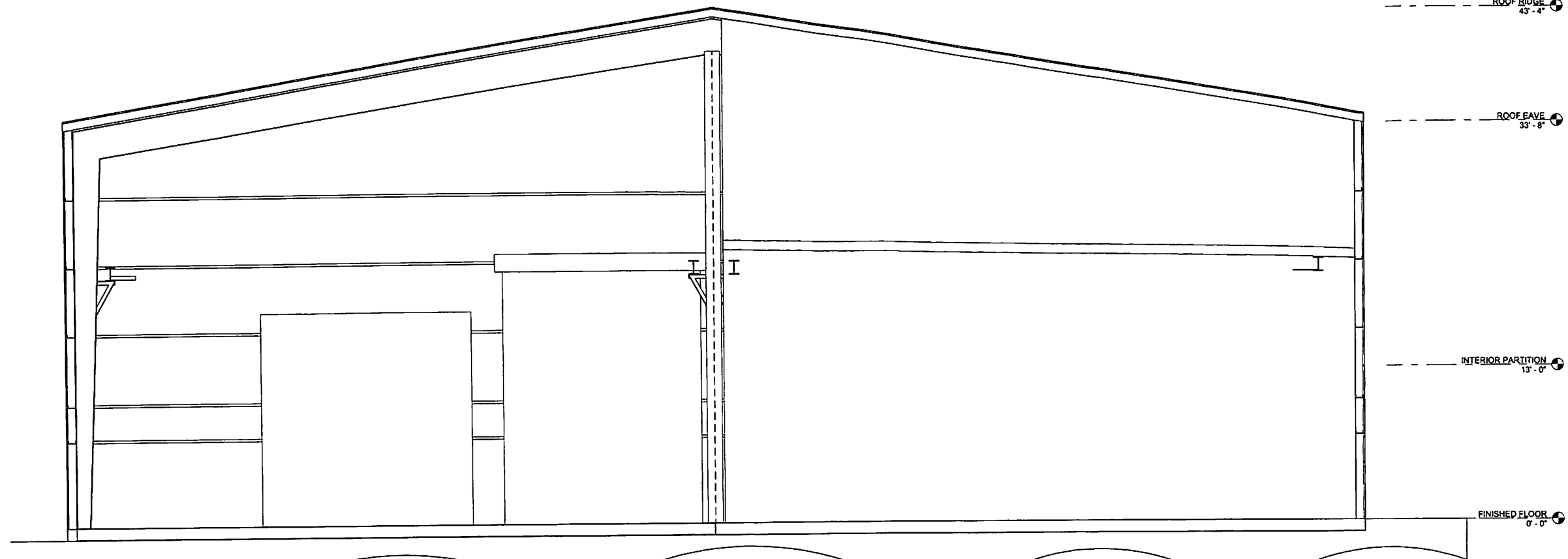
A-201



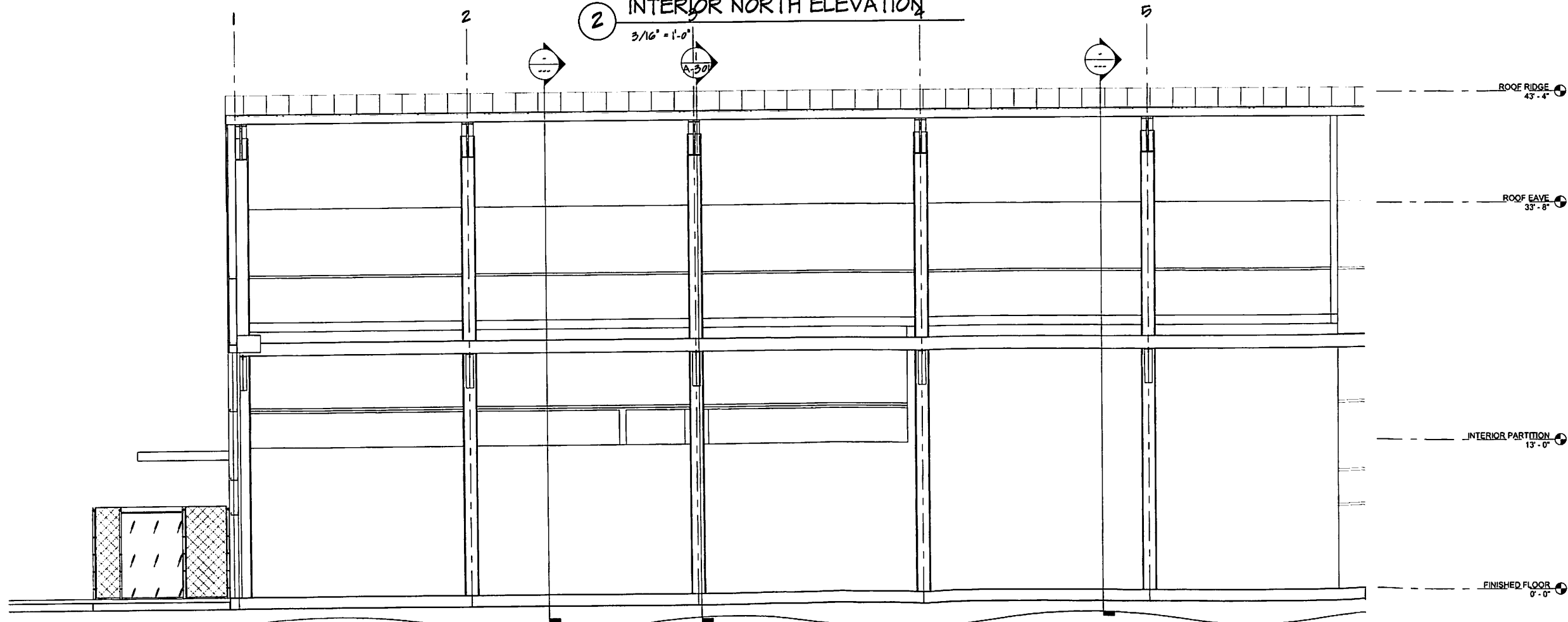
2 EXTERIOR WEST ELEVATION
 $3/16" = 1'-0"$



1 EXTERIOR SOUTH ELEVATION
 $3/16" = 1'-0"$



2 INTERIOR NORTH ELEVATION
3/16" = 1'-0"



1 INTERIOR EAST ELEVATION
3/16" = 1'-0"

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791 NORTH 9300 WEST
OGDEN, UT 84404
SCHEMATIC DESIGN

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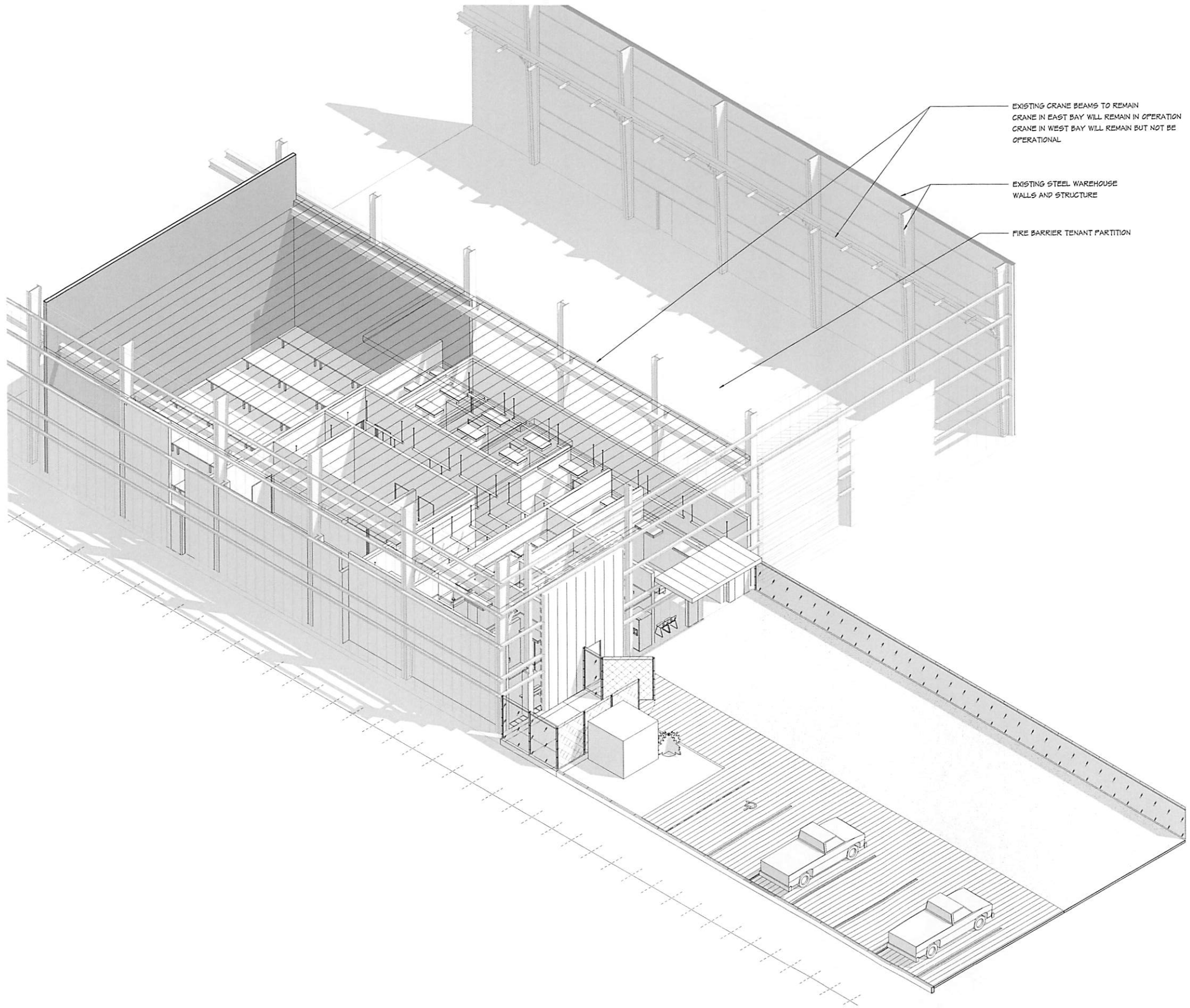
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EXTERIOR ELEVATIONS

A-202



EXISTING CRANE BEAMS TO REMAIN
 CRANE IN EAST BAY WILL REMAIN IN OPERATION
 CRANE IN WEST BAY WILL REMAIN BUT NOT BE OPERATIONAL

EXISTING STEEL WAREHOUSE WALLS AND STRUCTURE

FIRE BARRIER TENANT PARTITION

① SOUTHWEST AXONOMETRIC

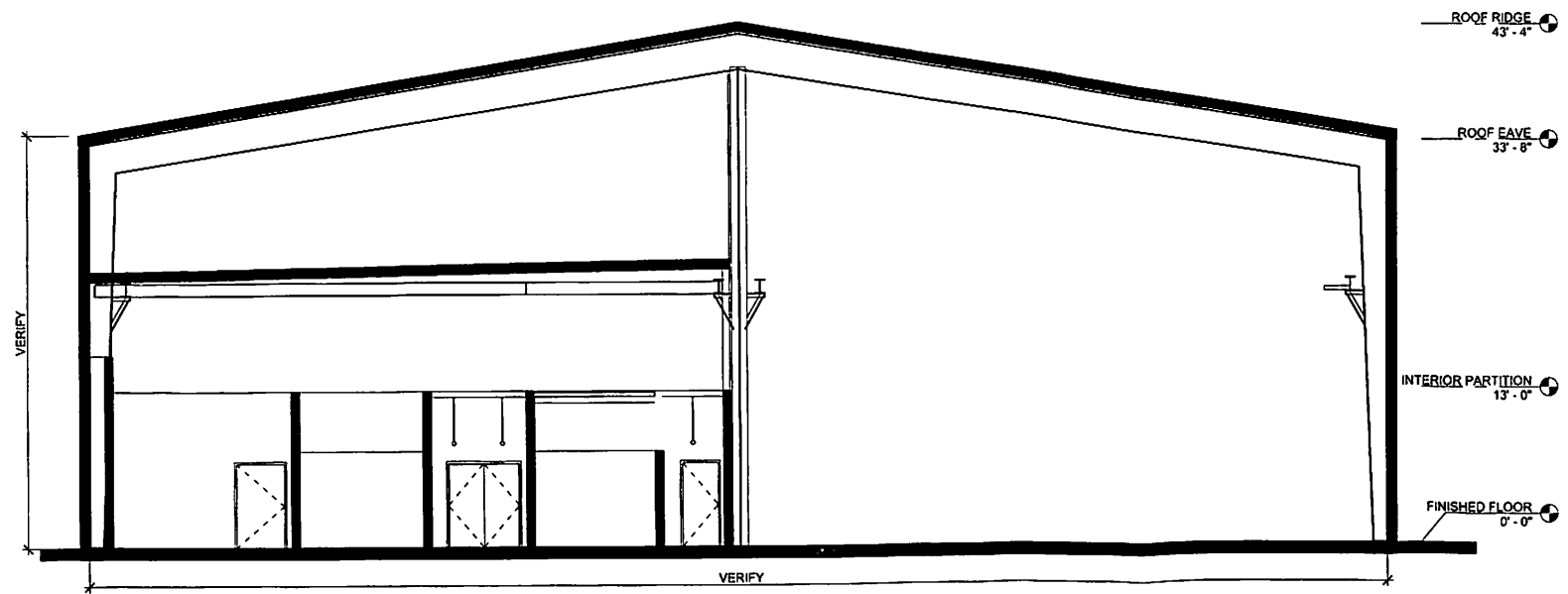
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 701 NORTH 2300 WEST
 OGDEN, UT 84404
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① BUILDING SECTION LOOKING NORTH
 $V\theta^{\circ} = 1^{\circ}$

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