



Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a conditional use permit to construct a well house and water line to connect an existing water line to supply the Town of Huntsville’s public water system.

Type of Decision: Administrative

Agenda Date: TBA

Applicant: Huntsville Rangeland Company LLC

Authorized Agent: Brandon Nielsen

File Number: CUP# 2019-06

Property Information

Approximate Address: 9800 East 2300 South, Huntsville

Project Area: 0.89 acres

Zoning: Forest (F-5) Zone

Existing Land Use: Public Utility Substation

Proposed Land Use: Well House

Parcel ID: 21-036-0008

Township, Range, Section: T6N, R2E, Section 27

Adjacent Land Use

| | |
|---------------------------------------|--------------------------|
| North: Agricultural/Open Space | South: Open Space |
| East: Open Space | West: Residential |

Staff Information

Report Presenter: Tammy Aydelotte
taydelotte@webercountyutah.gov
801-399-8794

Report Reviewer: SB

Applicable Ordinances

- Title 101, Chapter 1, General Provisions, Section 7, Definitions
- Title 104, Chapter 9 Forest Zone (F-5)
- Title 108, Chapter 1 Design Review
- Title 108, Chapter 4 Conditional Uses
- Title 108, Chapter 10 Public Buildings and Public Utility Substations and Structures

Summary and Background

Huntsville Town is requesting approval of a conditional use permit to construct an 18’ X 22’ or 396 sq. ft. well house that will house a flowing, artesian well. The proposed structure will contain piping, and valves. The site-plan also indicates 6” PVC waterline from the existing stub within the gravel road. A public utility substation is listed as a conditional use within the F-5 Zone. A well house is considered an accessory to the public utility substation.

Conditional use permits should be approved as long as any harmful impact is mitigated. The Uniform Land Use Code of Weber County, Utah (LUC) already specifies certain standards necessary for mitigation of harmful impact to which the proposal must adhere. The proposed application meets these standards. The following is the staff’s evaluation of the request.

Analysis

General Plan: The Ogden Valley General Plan identifies the need for additional culinary water and new water infrastructure based on projected growth. (see the 2016 Ogden Valley General Plan Chapter 7: Utilities and Public Services). The proposed use conforms to the Ogden Valley General Plan by providing additional water sources to meet the demands of the Valley’s existing water systems throughout developing areas.

Zoning: The intent of the F-5 zone can be further described per LUC §104-9-1 as follows:

The intent of the forest zones is to protect and preserve the natural environment of those areas of the county that are characterized by mountainous, forest or naturalistic land, and to permit development compatible to the preservation of these areas.

Site development standards for the proposed public utility substation are outlined in the LUC §108-10-2 that shall be met as part of the development process. The applicable standards are as follows:

- Minimum yard setbacks:
 - Front: “Front yard setback requirement may be reduced to no less than 10’ if the lot does not directly front on a public or private street right-of-way.” This lot does not front on a public or private street right of way. The proposed well house is 86.74 feet from the front lot line.
 - Side: “The side yard setback requirement shall comply with the typical setback specified in the applicable zone regulating the property.” The minimum side-yard setback for the AV-3 Zone is 10’. The well house will be 108.54’ from the nearest side property line.
 - Rear: “The rear yard setback may be reduced to 10’ in the agricultural zone.” The well house will be 28.86’ from the rear property line.
 - Minimum lot area and width: “No minimum lot area or width, provided that the lot or parcel shall contain an area and width of sufficient size and dimension to safely accommodate the utility facility or use, any necessary accessory use, any landscaping required by this Land Use Code, the required setbacks, and space to park two maintenance vehicles.”
- Main Building height:
 - Height: The maximum height in for a main building in the F-5 Zone is 35 feet. The proposed well house will be 10’.

Conditional Use Review: A review process has been outlined in LUC §108-4-3 to ensure compliance with the applicable ordinances and to mitigate anticipated detrimental effects. The following is an analysis of the application reviewed against the applicable conditional use standards:

- *Standards relating to safety for persons and property:* The site plan indicates that the proposed structure complies with yard setbacks and does not encroach upon property lines or public/private streets. The geologic map indicates that this property is not within a geologic study area. The site is enclosed by an existing six-foot chain link fence to prohibit trespassers.
- *Standards relating to infrastructure, amenities, and services:* The well house will be used to house piping, and valves Huntsville Water.
- *Standards relating to the environment:* Environmental hazards are not anticipated with this proposal. The chlorination area within the well house will meet the Utah State Division of Water Rights requirements for safety.
- *Standards relating to the current qualities and characteristics of the surrounding area and compliance with the intent of the general plan:* The proposed well house will be built to resemble an existing well house made of split-face cmu’s, with a vertical siding and seam system, and a 4’ x 4’ skylight (see page 27).

Design Review: The proposed conditional use mandates a design review as outlined in LUC §108-1 to ensure that the general design, layout, and appearance of the building remains orderly and harmonious with the surrounding neighborhood. Certain areas of the design review are only applicable due to the nature of the request. As part of this review, the Planning Commission shall consider the applicable matters based on the proposed conditional use and impose conditions to mitigate deficiencies where the plan is found deficient. The matters for consideration are as follows:

- *Consideration related to Screening.* The site is screened by natural vegetation and topography, as the proposed site is not located near any public or private roads.
- *Considerations relating to traffic safety and traffic congestion.* Traffic safety hazards and congestion are not anticipated with this project. The Wishing Well House site is approximately 4000 feet from 1904 South Street and the site will be visited infrequently for maintenance.
- *Considerations relating to landscaping.* Ogden Valley Landscape Standard requires that a minimum of 20% of the project area be landscaped. Most of the site will be reclaimed to its natural state of perennial pasture grass. The landscape plan is compatible with the mountainous landscape of the Ogden Valley.

- *Considerations relating to buildings and site layout.* The proposed 396 square foot well house will be identical to the structure shown on page 13. The roof will be a non-reflective brown colored metal material, vertical siding material will match the roof in color, and the cmu will be a java-colored (see page 24). The door, frame, and vents will match the roof color, as well. Per LUC 108-2-4 (2), cmu's shall not be considered acceptable materials unless it is specifically colored and textured to give an appearance of natural rough stone. The exterior design shall conform to the Ogden Valley Architectural Design Standards (see the building image on page 27).
- *Considerations relating to utility easements, drainage, and other engineering questions.* The applicant will need to adhere to all conditions of the planning report. Weber County Engineering has stated their approval and have no concerns with the proposal. Weber Fire District has yet to review this project.

Review Agencies: Prior to the commencement of work, all requirements from applicable review agencies must be met.

Summary of Planning Commission Considerations

Conditional use approval is pursuant to LUC §108-4-4, under "Decision Requirements", which states:

a) A conditional use shall be approved if reasonable conditions are proposed, or can be imposed, to substantially mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with the standards of this chapter, or relevant standards or requirements of any other chapter of this Land Use Code. When considering any of the standards, the land use authority shall consider the reasonably anticipated detrimental effects of the proposed use in the context of current conditions and, to the extent supported by law, the policy recommendations of the applicable general plan.

b) If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use may be denied.

The Planning Commission may impose additional conditions in order to ensure full compliance with the required standards. The Planning Commission should consider the following questions:

- Does the submittal meet the Uniform Land Use Code of Weber County? If no, then what conditions could be added in order to comply?
- Have the "Decision Requirements" and other applicable ordinances been met?

Staff Recommendation

The Planning Division recommends approval of file# CUP 2019-06, a conditional use permit for a public utility substation well house, located at approximately 9800 East 2300 South, Huntsville. This recommendation for approval is subject to all review agency requirements and with the following conditions:

1. The well house will be kept in good repair.
2. A minimum of 20 percent of the project area will be restored to its natural pasture grass state and reestablished by hand watering for the first year.
3. Any further additions will undergo the Conditional Use Permit Amendment Process.
4. All exterior material will comply with the Ogden Valley standards including siding, roofing, and windows.
5. All exterior cmu's will be textured and colored to give an appearance of natural rough stone (LUC 108-2-4).
6. All exterior lighting must comply with LUC 108-16 (Ogden Valley Outdoor Lighting Ordinance).

This recommendation is based on the following findings:

1. The proposed use conforms to the Ogden Valley General Plan (*see the 2016 Ogden Valley General Plan Chapter 7: Utilities and Public Services*).
2. The proposed use will provide the needed water sources to meet the demands of the Ogden Valley.
3. The proposed use, if conditions are imposed, will not be detrimental to public health, safety, or welfare.
4. The proposed use, if conditions are imposed, will comply with applicable County ordinances.
5. The proposed use will not deteriorate the environment of the general area so as to negatively impact surrounding properties and uses.

Exhibits

- A. Site plan
- B. Construction Drawings
- C. Application

Map 1



Exhibit A – Site Plan



HUNTSVILLE TOWN CORPORATION WISHING WELL CONNECTION TO SYSTEM

HUNTSVILLE, WEBER COUNTY, UTAH

| Sheet Number | Sheet Title |
|--------------|--|
| 0-001 | GENERAL |
| 0-002 | OWNER'S SHEET |
| 0-003 | WISHING WELL AND PROPOSED LOCATION MAP |
| 0-004 | GENERAL NOTES AND ABREVIATIONS |
| 0-005 | LINE AND SYMBOL LEGENDS AND DETAIL KEY |
| 0-101 | GRID PLAN |
| 0-102 | GRADING PLAN |
| 0-201 | UTILITY PLAN |
| 0-202 | DETAILS |
| 0-301 | WELL HOIST FRAME PLAN |
| 0-302 | WELL HOIST PILING SECTIONS |
| 0-303 | DETAILS |
| 0-401 | Structure |
| 0-402 | GENERAL STRUCTURAL NOTES |

| Sheet Number | Sheet Title |
|--------------|---|
| 1-001 | GENERAL STRUCTURAL NOTES |
| 1-101 | FOOTING AND FOUNDATION PLAN |
| 1-102 | ROOF FRAMING PLAN |
| 1-201 | SCHEDULES |
| 1-202 | FOOTING AND FOUNDATION DETAILS |
| 1-203 | FOOTING AND FOUNDATION DETAILS |
| 1-204 | ROOF FRAMING DETAILS |
| 1-205 | ROOF FRAMING DETAILS |
| 1-301 | ARCHITECTURE |
| 1-302 | BUILDING CORE AND ARCHITECTURAL SCHEDULES |
| 1-401 | FLOOR AND ROOF PLAN |
| 1-402 | BUILDING ELEVATIONS |
| 1-501 | BUILDING SECTIONS |
| 1-502 | ARCHITECTURAL DETAILS |
| 1-503 | ARCHITECTURAL DETAILS |

PROJECT NO. 55-18-114

JUNE 2019

AGENCY REVIEW SET

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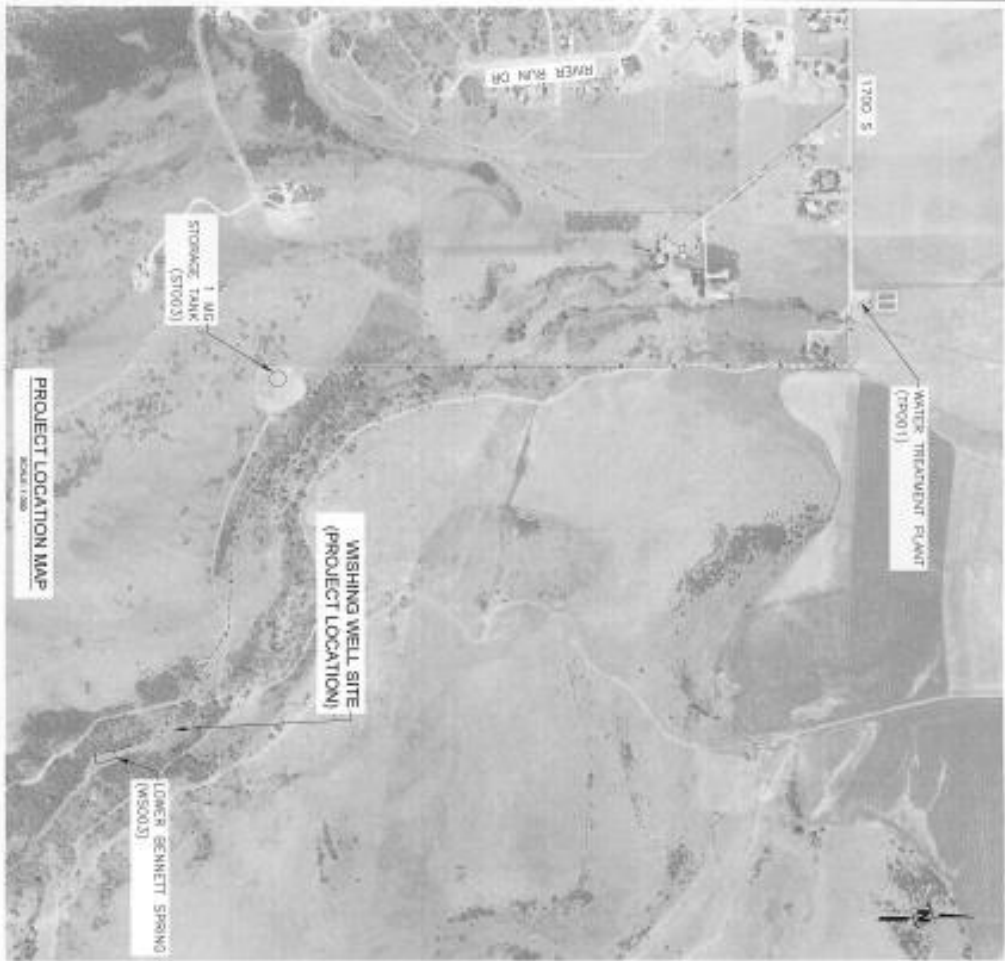
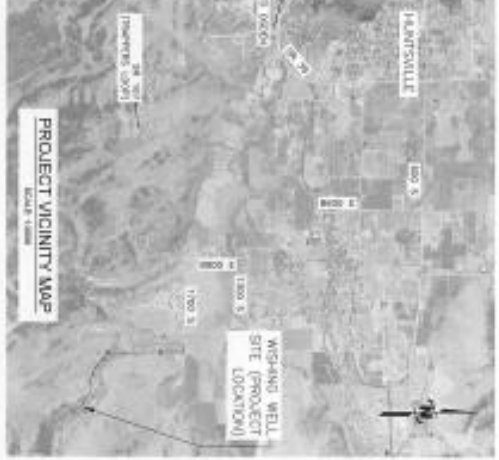
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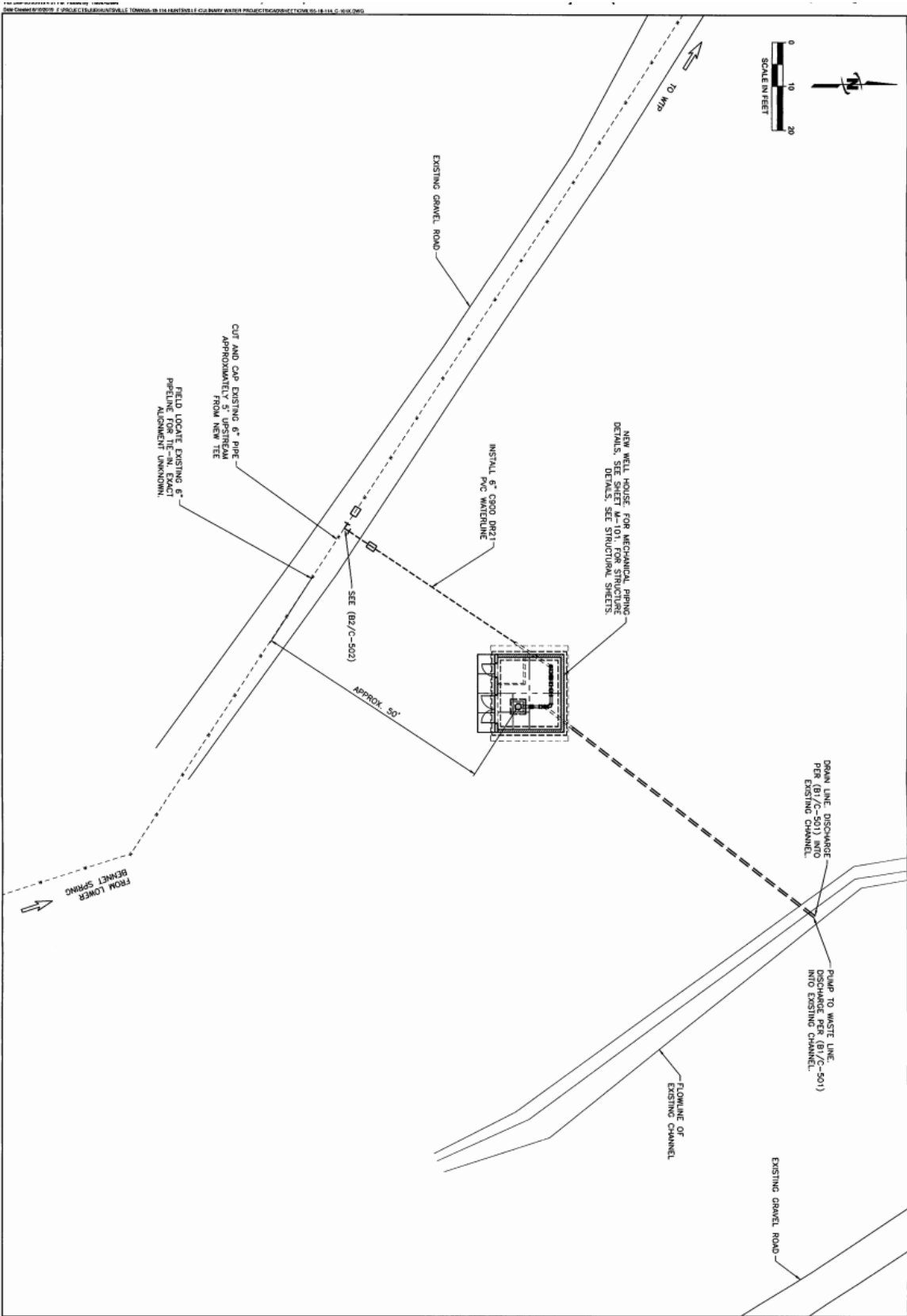
WISHING WELL CONNECTION TO SYSTEM
HUNTSVILLE TOWN CORPORATION

VICINITY MAP AND PROJECT LOCATION MAP

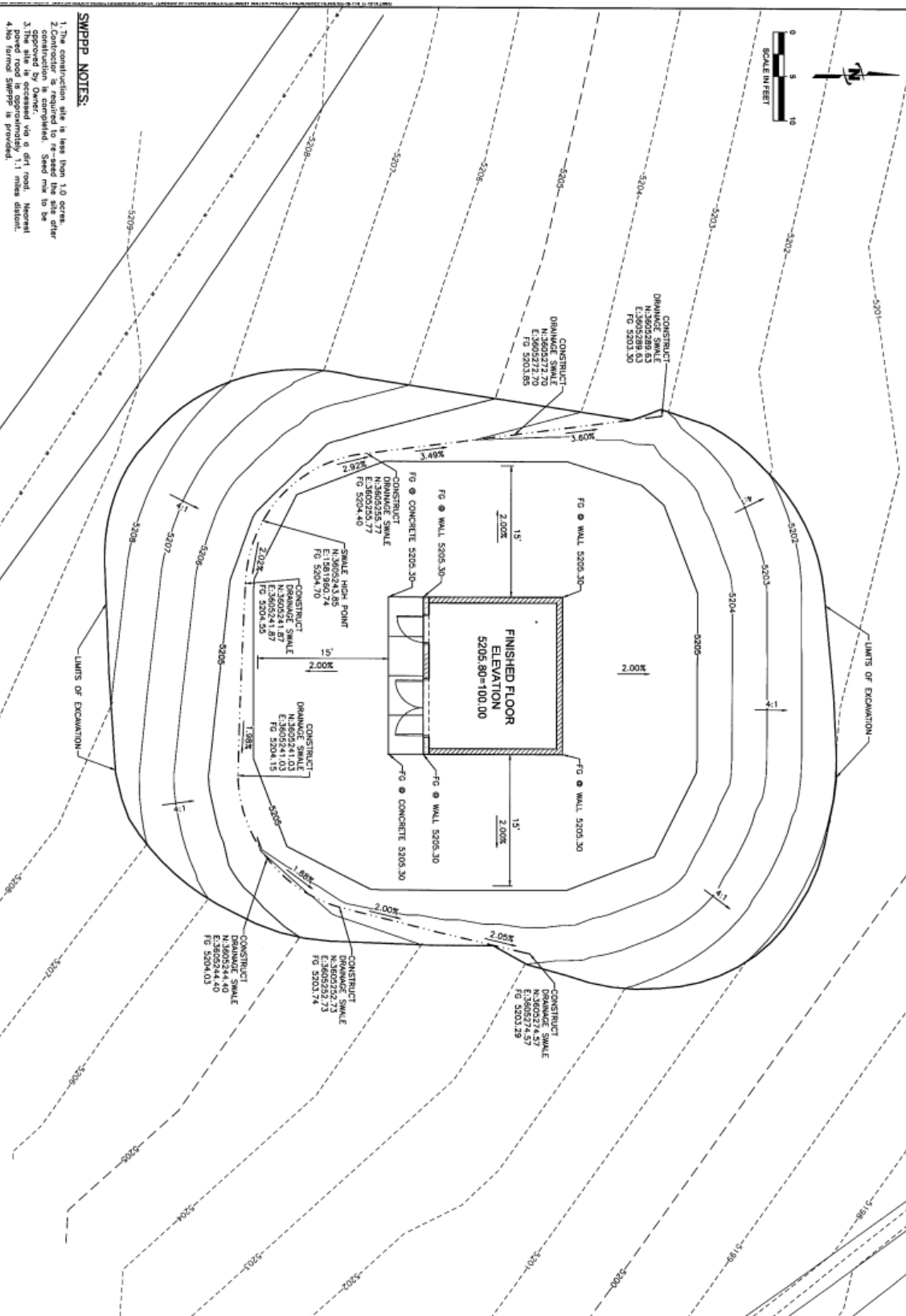
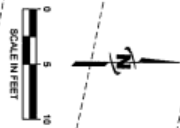
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| SHEET NUMBER: C-101 | WISHING WELL CONNECTION TO SYSTEM HUNTSVILLE TOWN CORPORATION | AGENCY J-U-B ENGINEERS, INC. 466 North 900 West Kaysville, Utah 84037 Phone: 801.547.0393 Fax: 801.547.0397 www.jub.com | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 10%;">NO.</th> <th style="width: 40%;">DESCRIPTION</th> <th style="width: 10%;">BY</th> <th style="width: 10%;">DATE</th> <th style="width: 10%;">SCALE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table> | NO. | DESCRIPTION | BY | DATE | SCALE | | | | | |
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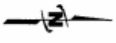
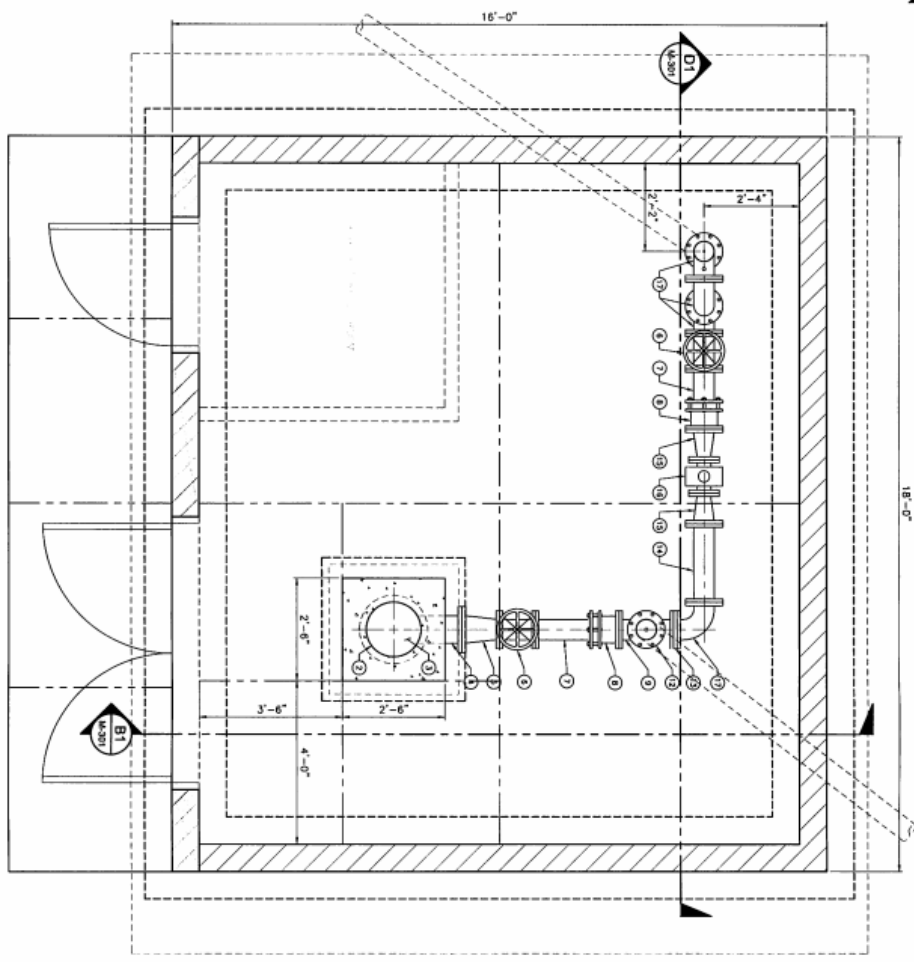


SWPPP NOTES:

1. The construction site is less than 1.0 acre.
2. Construction is required to re-seed the site after operation is completed. Seed mix to be approved by the local soil conservation district.
3. Paved road is approximately 1.1 miles distant.
4. No formal SWPPP is provided.

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| <p>SHEET NUMBER C-102</p> | | | | | | | | | | | |

D1 WELL HOUSE PIPING PLAN
SCALE: 3/8"=1'-0"



KEYED NOTES

- ① 30" WELL CASING
- ② 18" WELL CASING
- ③ WELL CASING CAP
- ④ 8" WELL OUTLET PIPE W/ FLANGE
- ⑤ 8"x6" CONC. REDUCER, FLU/L
- ⑥ 6" GATE VALVE, FLU/L
- ⑦ 6" SPOOL, FLU/L
- ⑧ 6" FLANGE COUPLING ADAPTOR
- ⑨ 6" CROSS, FLU/L
- ⑩ COMBINATION AIR/VACUUM VALVE. PROVIDE WITH ISOLATION VALVE AND DISCHARGE PIPE WITHIN 12'-18" OFF FLOOR.
- ⑪ SMOOTH NOSE SAMPLING TAP
- ⑫ 6" BLIND FLANGE
- ⑬ 6" TEE FLEX CHECK VALVE
- ⑭ 6" SPOOL, FLU/L
- ⑮ 6"x4" REDUCER, FLU/L
- ⑯ 4" FLOW METER, FLU/L
- ⑰ 6" 90° BEND, FLU/L
- ⑱ 6" 90° BEND, M/M/M/L
- ⑲ PIPE SUPPORT
- Ⓜ 4" FLOOR DRAIN



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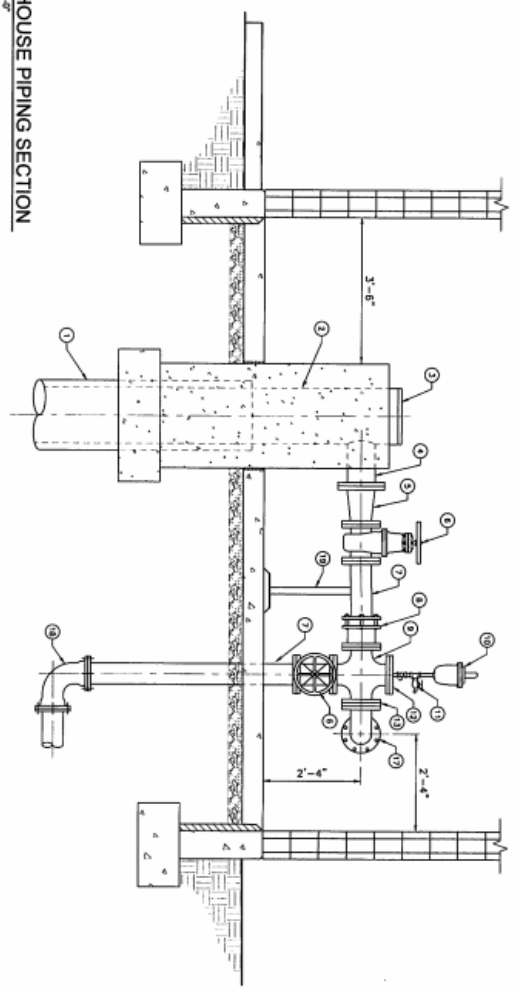
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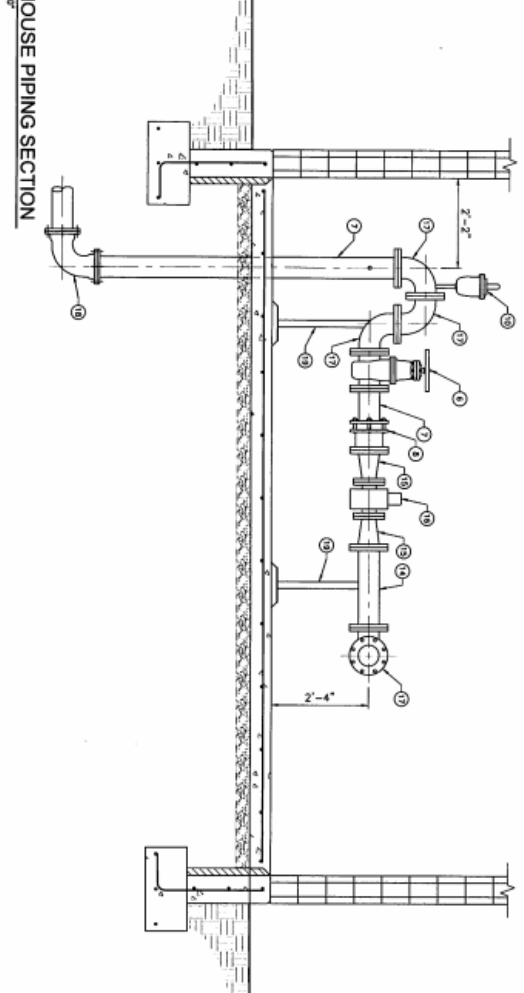
WELL HOUSE PIPING PLAN

M-101

B1
WELL HOUSE PIPING SECTION
SCALE: 3/4"=1'-0"



D1
WELL HOUSE PIPING SECTION
SCALE: 3/4"=1'-0"



KEYED NOTES

- ① 20" WELL CASING.
- ② 16" WELL CASING.
- ③ WELL CASING CAP.
- ④ 8" WELL OUTLET PIPE W/ FLANGE.
- ⑤ 8"x8" CONC. REDUCER, FLN/FL.
- ⑥ 6" GATE VALVE, FLN/FL.
- ⑦ 6" SPOOL, FLN/FL.
- ⑧ 6" FLANGE COUPLING ADAPTOR.
- ⑨ 8" CROSS, FLN/FL.
- ⑩ COMBINATION AIR/VACUUM VALVE. PROVIDE WITH ISOLATION VALVE AND DISCHARGE PIPE WITHIN 12"-18" OFF FLOOR.
- ⑪ SMOOTH NOSE SAMPLING TAP.
- ⑫ 6" BLDG FLANGE.
- ⑬ 6" TEE FLEX CHECK VALVE.
- ⑭ 6" SPOOL, FLN/FL.
- ⑮ 6"x4" REDUCER, FLN/FL.
- ⑯ 4" FLOW METER, FLN/FL.
- ⑰ 6" 90° BEND, FLN/FL.
- ⑱ 6" 90° BEND, W/MAN.
- ⑲ PIPE SUPPORT.
- ⑳ 4" FLOOR DRAIN.

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WELL HOUSE PIPING SECTIONS

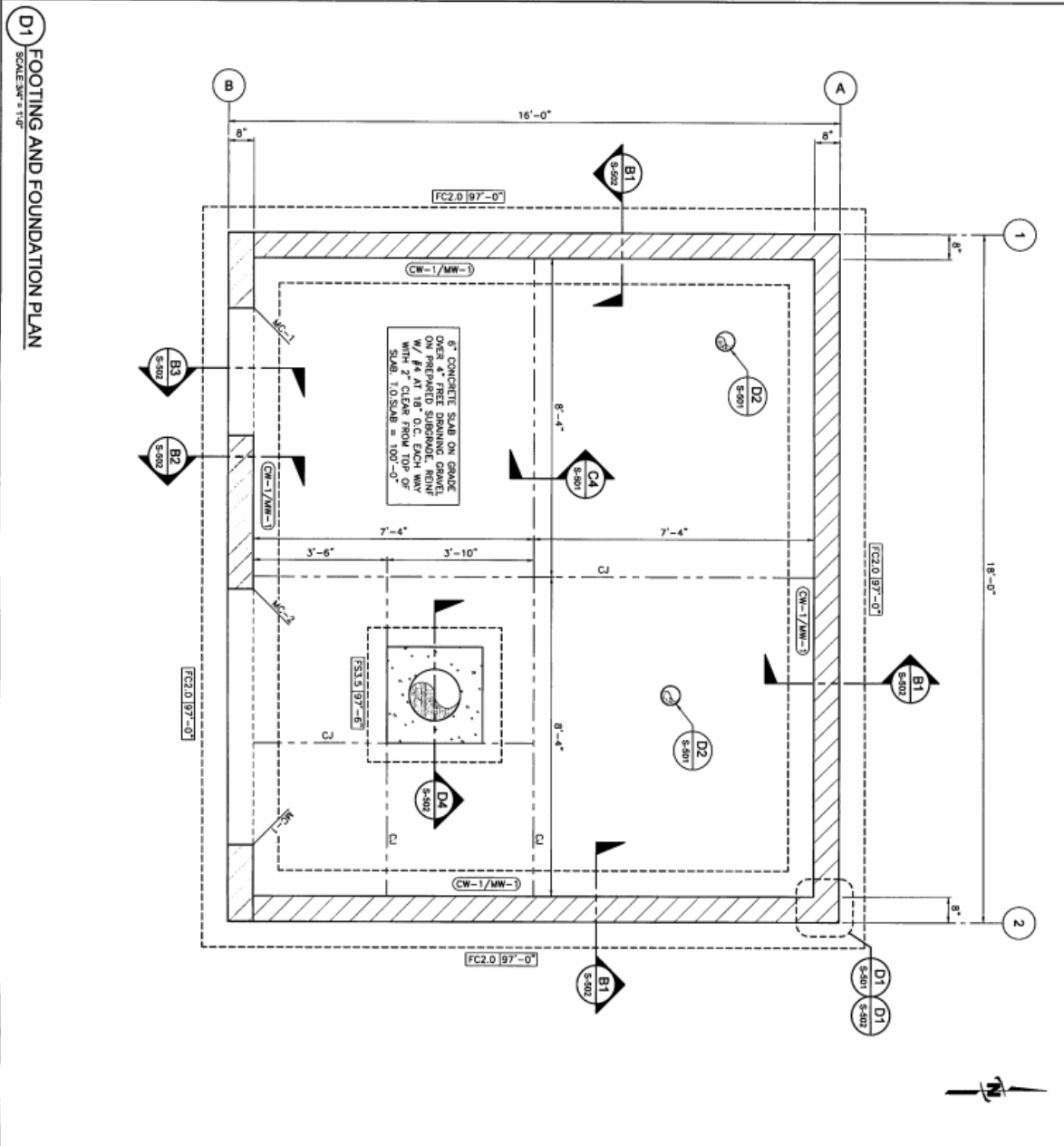
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D1
FOOTING AND FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

FOUNDATION PLAN NOTES

1. SEE BUILDING FLOOR PLAN ON SHEET (A-101) FOR ALL BUILDING DIMENSIONS.
2. DIMENSIONS FOR ELEVATIONS WITH ARCHITECTURAL ELEVATIONS, SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED.
3. COORDINATE LOCATION OF ALL PUMPS, PIPING, PIPE PENETRATIONS, AND DUCT PENETRATIONS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
4. SEE ELECTRICAL DRAWINGS FOR ALL LIGHTING, ELECTRICAL APPARATUS, AND CONDUIT SIZE AND LOCATION.
5. SEE CIVIL DRAWINGS FOR EXTERIOR CONCRETE WORK AT DOORS, WINDOWS, AND PATIOS.
6. SEE (B2/S-501) FOR COMPACTED STRUCTURAL FILL BENEATH FOOTINGS IF REQUIRED BY SITE SOIL CONDITIONS. SEE GENERAL STRUCTURAL NOTES.
7. SEE (D2/S-502) FOR REINFORCING AROUND MISCELLANEOUS PENETRATIONS IN CONCRETE WALLS.
8. SEE (B3/S-501) & (B4/S-501) FOR BARRIED PIPES RUNNING PARALLEL AND PERPENDICULAR TO FOOTINGS.
9. SEE (D4/S-501) FOR TYPICAL CONTROL JOINTS IN FLOOR SLABS.
10. SEE (D4/S-501) FOR TYPICAL CONTROL JOINTS IN CONCRETE WALLS.
11. SEE (D4/S-502) FOR REINFORCING AROUND MISCELLANEOUS OPENINGS IN MASONRY WALLS.
12. SEE (D2/S-502) FOR TERMINATION OF HORIZONTAL WALL REINFORCING AT ENDS OF WALLS AND OPENINGS.
13. SEE (D2/S-502) FOR MASONRY CONTROL JOINT DETAIL.

MARKS & SYMBOLS LEGEND

| MARK | DESCRIPTION |
|------|---|
| | SECTION MARK |
| | SHEET NUMBER |
| | FOOTING MARK |
| | TOP OF FOOTING ELEVATION |
| | DEPRESSED FOUNDATION |
| | TOP OF FOOTING OPEN |
| | CONCRETE WALL, SEE SCHEDULE ON (S-301) |
| | MASONRY WALL, SEE SCHEDULE ON (S-301) |
| | CONCRETE WALL, SEE SCHEDULE ON (S-301) |
| | MASONRY WALL, SEE SCHEDULE ON (S-301) |
| | CONCRETE WALL BELOW AND MASONRY WALL ABOVE, SEE SCHEDULE ON (S-301) |
| | MASONRY COLUMN, SEE SCHEDULE ON (S-301) |
| | CONTROL JOINT, SEE (C4/S-301) |
| | CONTINUOUS FOOTING SEE SCHEDULE ON (S-301) |
| | MASONRY CONTROL JOINT, SEE DETAIL (D1/S-502) |
| | INDICATES FLOOR DRAIN, SEE MECH DRAWINGS |

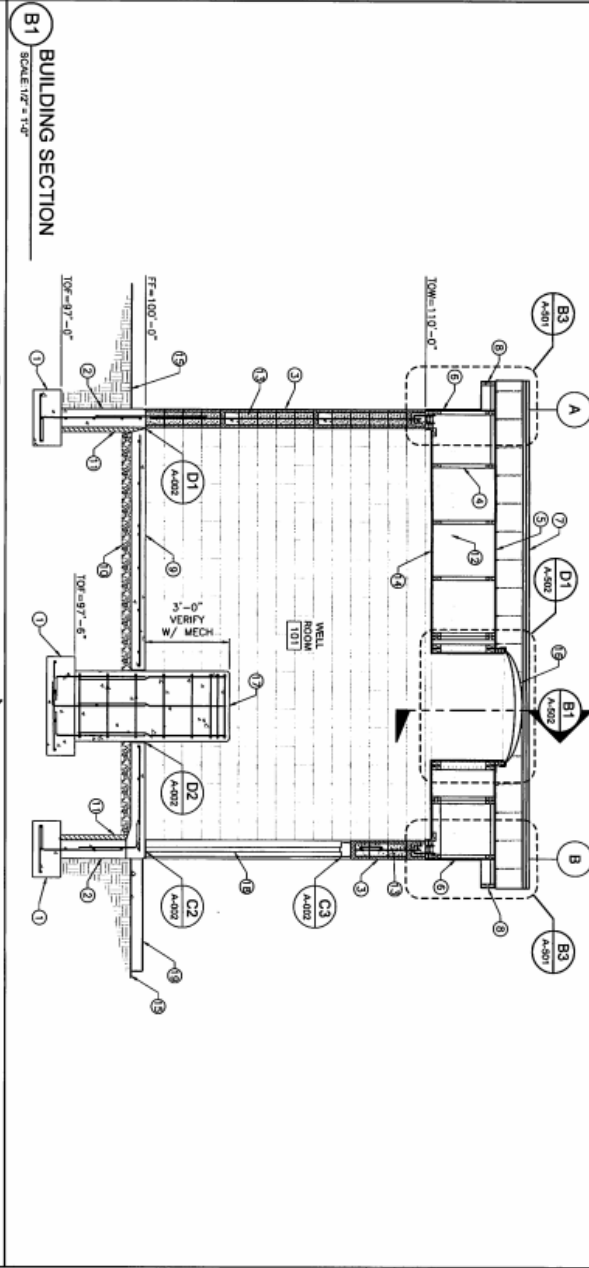
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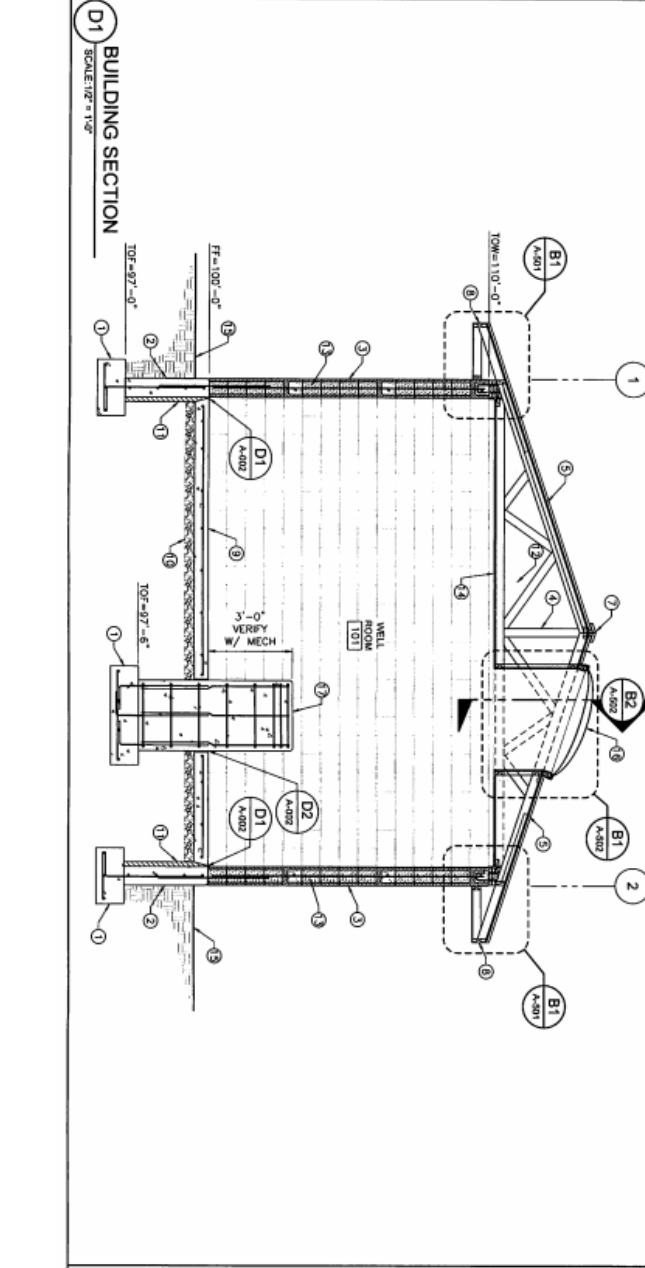
WISHING WELL CONNECTION TO SYSTEM
HUNTSVILLE TOWN CORPORATION

FOOTING AND FOUNDATION PLAN

SHEET NUMBER: **S-101**

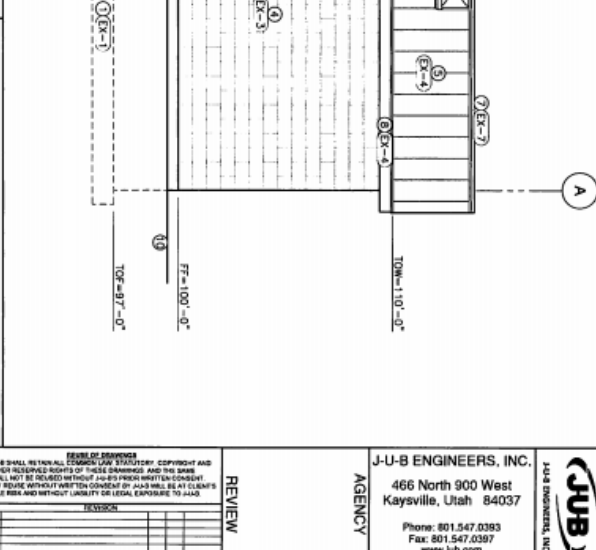
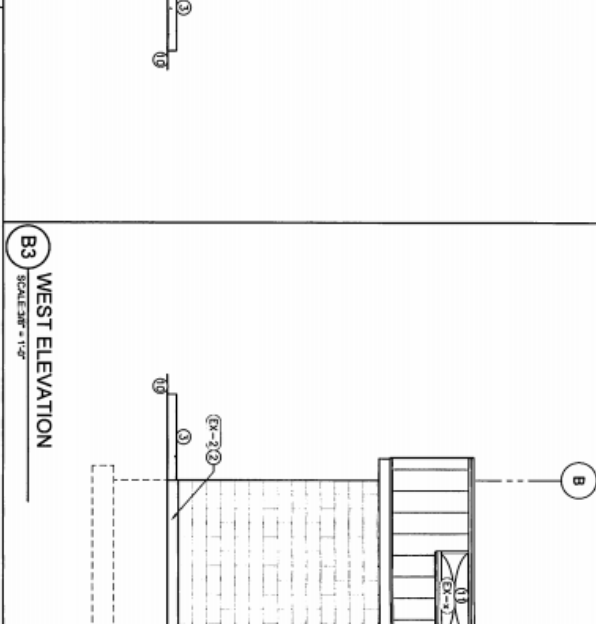
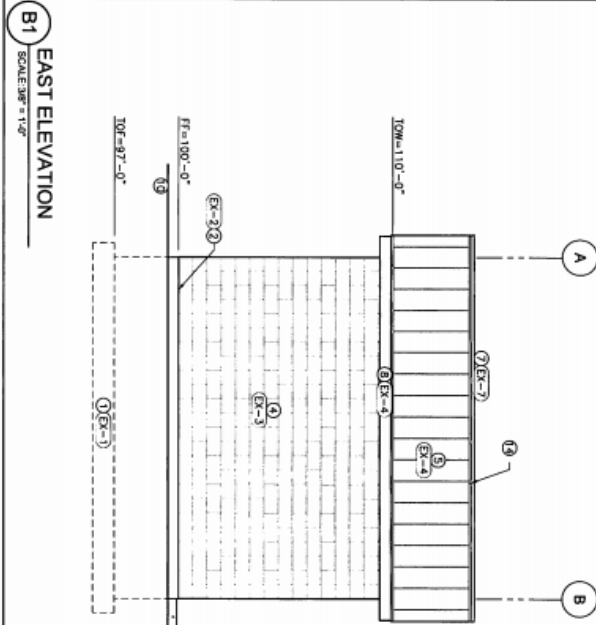


- GENERAL NOTES**
1. CONTRACTOR SHALL FINISH AND INSTALL TRUSS, FLASHING, AND FINISH PIECES TO PRESENT A FINISHED APPEARANCE.
- KEY NOTES**
- 1) CONCRETE FOOTING, SEE STRUC DRAWINGS
 - 2) CONCRETE FOUNDATION WALL, SEE STRUC DRAWINGS
 - 3) SPILT-FACE CONCRETE MASONRY WALL, SEE STRUC DRAWINGS
 - 4) PRE-FABRICATED WOOD TRUSS, SEE STRUC DRAWINGS
 - 5) ROOF WITH STANDING SEAM SYSTEM, SEE ROOF PLAN
 - 6) SIDING WITH STANDING SEAM SYSTEM
 - 7) CONTINUOUS PRE-FINISHED METAL ROOF VENT, SEE (01)/(A-501)
 - 8) METAL VENTED SOFFIT AND FASCIA (MBS) FLUSH SEAM PANEL STRUCTURE (APPROVED EQUAL) MECHANICALLY FASTEN TO STRUCTURE
 - 9) CONCRETE SLAB ON GRADE, SEE STRUC DRAWINGS
 - 10) 4" FRIE DRAINING GRAVEL BASE, SEE STRUC DRAWINGS
 - 11) 2" RIGID INSULATION
 - 12) R-36 BATT INSULATION
 - 13) LOOSE FILL INSULATION IN ALL UNROUTED CELLS
 - 14) 5/8" GYPSUM BOARD CEILING
 - 15) APPROXIMATE FINISHED GRADE, SEE CIVIL DRAWINGS
 - 16) 4'-0"x4'-0" SLOTTED, SEE ROOF PLAN
 - 17) WELL PREDESTAL, SEE STRUCTURAL
 - 18) DOOR AND FRAME, REFER TO DOOR SCHEDULE
 - 19) EXTERIOR CONCRETE FLOWWORK, SEE CIVIL DRAWINGS



- GENERAL NOTES**
1. CONTRACTOR SHALL FINISH AND INSTALL TRUSS, FLASHING, AND FINISH PIECES TO PRESENT A FINISHED APPEARANCE.
- KEY NOTES**
- 1) CONCRETE FOOTING, SEE STRUC DRAWINGS
 - 2) CONCRETE FOUNDATION WALL, SEE STRUC DRAWINGS
 - 3) SPILT-FACE CONCRETE MASONRY WALL, SEE STRUC DRAWINGS
 - 4) PRE-FABRICATED WOOD TRUSS, SEE STRUC DRAWINGS
 - 5) ROOF WITH STANDING SEAM SYSTEM, SEE ROOF PLAN
 - 6) SIDING WITH STANDING SEAM SYSTEM
 - 7) CONTINUOUS PRE-FINISHED METAL ROOF VENT, SEE (01)/(A-501)
 - 8) METAL VENTED SOFFIT AND FASCIA (MBS) FLUSH SEAM PANEL STRUCTURE (APPROVED EQUAL) MECHANICALLY FASTEN TO STRUCTURE
 - 9) CONCRETE SLAB ON GRADE, SEE STRUC DRAWINGS
 - 10) 4" FRIE DRAINING GRAVEL BASE, SEE STRUC DRAWINGS
 - 11) 2" RIGID INSULATION
 - 12) R-36 BATT INSULATION
 - 13) LOOSE FILL INSULATION IN ALL UNROUTED CELLS
 - 14) 5/8" GYPSUM BOARD CEILING
 - 15) APPROXIMATE FINISHED GRADE, SEE CIVIL DRAWINGS
 - 16) 4'-0"x4'-0" SLOTTED, SEE ROOF PLAN
 - 17) WELL PREDESTAL, SEE STRUCTURAL
 - 18) DOOR AND FRAME, REFER TO DOOR SCHEDULE
 - 19) EXTERIOR CONCRETE FLOWWORK, SEE CIVIL DRAWINGS

| <p>WISHING WELL CONNECTION TO SYSTEM HUNTSVILLE TOWN CORPORATION</p> | <p>BUILDING SECTIONS</p> | <p>J-U-B ENGINEERS, INC. 466 North 900 West Kaysville, Utah 84037</p> <p>Phone: 801.547.0393 Fax: 801.547.0397 www.jub.com</p> | <p>REVIEW</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> | NO. | DESCRIPTION | BY | DATE | | | | | | | | |
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| NO. | DESCRIPTION | BY | DATE | | | | | | | | | | | | |
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| <p>DESIGNER: JUB ENGINEERS, INC. CHECKED BY: JUB ENGINEERS, INC. DATE: 11/15/11 SCALE: 1/2" = 1'-0" SHEET NUMBER: A-301</p> | | <p>THIS DRAWING IS THE PROPERTY OF JUB ENGINEERS, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF JUB ENGINEERS, INC. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY ENGINEERING AND ARCHITECTURAL SEALS AND LICENSES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY ENGINEERING AND ARCHITECTURAL SEALS AND LICENSES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY ENGINEERING AND ARCHITECTURAL SEALS AND LICENSES.</p> | | | | | | | | | | | | | |



B1 EAST ELEVATION
SCALE: 3/8" = 1'-0"

B3 WEST ELEVATION
SCALE: 3/8" = 1'-0"

D1 NORTH ELEVATION
SCALE: 3/8" = 1'-0"

D3 SOUTH ELEVATION
SCALE: 3/8" = 1'-0"

GENERAL NOTES

1. CONTRACTOR SHALL FINISH AND INSTALL TRIMS, FLASHING, AND FINISH FIXTURES TO PRESENT A FINISHED APPEARANCE.
2. EX-1 INDICATES EXTENSION COLUMN, SEE EXTENSION COLUMN SCHEDULE.

KEY NOTES

1. LINE OF FOOTING AND FOUNDATION, SEE STRUCTURAL DRAWINGS
2. ARCHITECTURAL CONCRETE FOUNDATION WALL
3. EXTERIOR CONCRETE FLATWORK, SEE CIVIL DRAWINGS
4. SPLIT-FACE CONCRETE MASONRY (FIELD). REFER TO WALL TYPES ON FLOOR PLAN.
5. ROOF WITH STANDING SEAM SYSTEM, SEE ROOF PLAN
6. SIDING WITH STANDING SEAM SYSTEM
7. CONTINUOUS PRE-FINISHED METAL ROOF VENT
8. METAL VENTED SOFFIT AND FASCIA (MBCI FLUSH SEAM PANEL SYSTEM OR APPROVED EQUAL) MECHANICALLY FASTEN TO STRUCTURE
9. DOOR AND FRAME, REFER TO DOOR SCHEDULE
10. APPROXIMATE FINISHED GRADE, SEE CIVIL DRAWINGS
11. 4'-0"x4'-0" SLOUDDT, SEE ROOF PLAN

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
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| | | |
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| | | |

WISHING WELL CONNECTION TO SYSTEM
HUNTSVILLE TOWN CORPORATION

BUILDING ELEVATIONS

SCALE: 3/8" = 1'-0"

DATE: 08/15/18

PROJECT NO: 18-010

CLIENT: HUNTSVILLE TOWN CORPORATION

DESIGNER: JUB

DATE: 08/15/18

SCALE: 3/8" = 1'-0"

SHEET NUMBER: A-201

JUB ENGINEERS, INC.
466 North 900 West
Kaysville, Utah 84037
Phone: 801.547.0393
Fax: 801.547.0397
www.jub.com

AGENCY

EXTERIOR COLOR SCHEDULE

| TAG | MATERIAL | MANUFACTURER | FINISH | COLOR | REMARKS |
|------|---------------|--------------|--------------------|---------------------------------|--------------------------------------|
| EX-1 | CONCRETE | --- | SMOOTH FORM FINISH | NATURAL WITH DAMP PROOF COATING | CONCRETE STEM WALLS BELOW GRADE |
| EX-2 | CONCRETE | --- | SACK RUBBED FINISH | NATURAL | CONCRETE STEM WALLS ABOVE GRADE |
| EX-3 | CMU 8" HIGH | AMCOR | SPLIT FACE | JAVA | FIELD COLOR, CMU MORTAR TO MATCH CMU |
| EX-4 | STANDING SEAM | MBCI | PRE-FINISHED | KOKO BROWN | METAL ROOF, FASCIA, SOFFIT |
| EX-5 | VENTS | --- | PRE-FINISHED | MATCH ROOF COLOR | RIDGE VENTS |
| EX-6 | DOOR & FRAME | --- | PRE-FINISHED | MATCH ROOF COLOR | DOOR & FRAME |
| EX-7 | LOUVER | --- | PRE-FINISHED | ALUMINUM | LOUVERS |

Exhibit C - Application

Weber County Conditional Use Permit Application

Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

| | | | |
|--|-------------------|-----------------------------|--------------------------|
| Date Submitted / Completed 07/08/2019 | Fees (Office Use) | Receipt Number (Office Use) | File Number (Office Use) |
|--|-------------------|-----------------------------|--------------------------|

Property Owner Contact Information

| | | | |
|---|-----|--|--|
| Name of Property Owner(s) Huntsville Rangeland Company LLC | | Mailing Address of Property Owner(s) 6995 E. 200 S. Huntsville, UT 84317-9809 | |
| Phone 801-518-7422 | Fax | | |
| Email Address (required) bwhite@utahwater.com | | Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail | |

Authorized Representative Contact Information

| | | | |
|---|-------------|--|--|
| Name of Person Authorized to Represent the Property Owner(s) Bill White, Brandon Nielsen, Rex Harris | | Mailing Address of Authorized Person 6995 E. 200 S. Huntsville, UT 84317-9809 | |
| Phone 801-518-7422, Rex 501-791- Brandon | Fax 3926 | | |
| Email Address bwhite@utahwater.com, BNielsen@JUB.com, Rexharris@utah.gov | | Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail | |

Property Information

| | | |
|---|-------------------------------------|------------------------------|
| Project Name Huntsville Wishing Well Equipping | Total Acreage 0.1 | Current Zoning F5 and FV3 |
| Approximate Address 9800 E. 2300 S. Huntsville | Land Serial Number(s) 21-036-008 | |

Proposed Use
Public Water System Facility Building

Project Narrative

The project includes constructing a well house and water line to connect an existing well to an existing water line for to allow the well to supply the Town of Huntsville's public water system. The well is a flowing artesian well. No electrical service will be installed in the building. The proposed building will be a CMU block building approximately 288 s.f. with a total site disturbance anticipated to be less than 0.1 acre.

Basis for Issuance of Conditional Use Permit

Reasonably anticipated detrimental effects of a proposed conditional use can be substantially mitigated by the proposal or by the imposition of reasonable conditions to achieve compliance with applicable standards. Examples of potential negative impacts are odor, vibration, light, dust, smoke, or noise.

Construction has the potential to create dust and noise. The construction site is less than 1.0 acres. The plans require the contractor to re-seed the site with a seed mix approved by the Owner. See the Wishing Well House Design Review for plans.

That the proposed use will comply with the regulations and conditions specified in the Zoning Ordinance and other applicable agency standards for such use.

The proposed well house is a permitted use w/in the current zoning.

Property Owner Affidavit

I (We), William White, depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge.

William White
(Property Owner)

(Property Owner)

Subscribed and sworn to me this 9 day of July, 2019

State of Utah
County of Weber



Emily Call
(Notary)