

# Weber County Subdivision Application

All subdivisions submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted / Completed	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use)
----------------------------	-------------------	-----------------------------	--------------------------

## Subdivision and Property Information

Subdivision Name <b>Lonnie and Jennifer Martinez Subdivision</b>		Number of Lots <b>1</b>
Approximate Address <b>4000E4801N Liberty Utah 84310</b>		Land Serial Number(s) <b>22-007-0101</b>
Current Zoning <b>1-acre residential 1/4-acre greenbelt</b>	Total Acreage <b>15</b>	
Culinary Water Provider <b>Well / Weber Basin</b>	Secondary Water Provider <b>Sheep Creek</b>	Wastewater Treatment <b>Powder Mtn Sewer</b>

## Property Owner Contact Information

Name of Property Owner(s) <b>Lonnie &amp; Jennifer Martinez</b>		Mailing Address of Property Owner(s) <b>2596 N 2075W Farr West, Utah 84404</b>	
Phone <b>801-529-6652</b>	Fax		
Email Address <b>LJR MART@hotmail.com</b>		Preferred Method of Written Correspondence <input checked="" type="radio"/> Email <input type="radio"/> Fax <input type="radio"/> Mail	

## Authorized Representative Contact Information

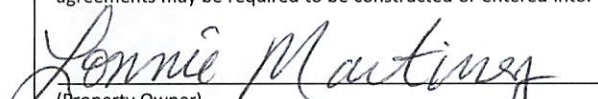
Name of Person Authorized to Represent the Property Owner(s) <b>Lonnie Martinez</b>		Mailing Address of Authorized Person <b>2596 N 2075W Farr West, Utah 84404</b>	
Phone <b>801-529-6652</b>	Fax		
Email Address <b>LJRMART@hotmail.com</b>		Preferred Method of Written Correspondence <input checked="" type="radio"/> Email <input type="radio"/> Fax <input type="radio"/> Mail	

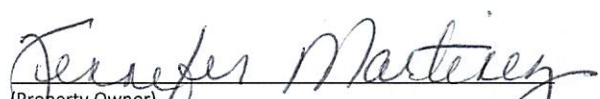
## Surveyor/Engineer Contact Information

Name or Company of Surveyor/Engineer <b>R. Douglas Jones P E</b>		Mailing Address of Surveyor/Engineer <b>1705 North Hill Field Road Layton, Utah 84041</b>	
Phone <b>385-626-5922</b>	Fax		
Email Address <b>dixhyde@gmail.com</b>		Preferred Method of Written Correspondence <input checked="" type="radio"/> Email <input type="radio"/> Fax <input type="radio"/> Mail	

## Property Owner Affidavit

I (We), **Lonnie & Jennifer Martinez**, depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge. I (we) acknowledge that during the subdivision review process, it may be determined that additional requirements, covenants and/or agreements may be required to be constructed or entered into.

  
(Property Owner)

  
(Property Owner)

Subscribed and sworn to me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

# Weber County Subdivision Application

All subdivisions submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401

Date Submitted / Completed	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use)
----------------------------	-------------------	-----------------------------	--------------------------

## Subdivision and Property Information

Subdivision Name	Number of Lots
------------------	----------------

Approximate Address	Land Serial Number(s)
---------------------	-----------------------

Current Zoning	Total Acreage
----------------	---------------

Culinary Water Provider	Secondary Water Provider	Wastewater Treatment
-------------------------	--------------------------	----------------------

## Property Owner Contact Information

Name of Property Owner(s)	Mailing Address of Property Owner(s)
---------------------------	--------------------------------------

Phone	Fax
-------	-----

Email Address	Preferred Method of Written Correspondence Email      Fax      Mail
---------------	--

## Authorized Representative Contact Information

Name of Person Authorized to Represent the Property Owner(s)	Mailing Address of Authorized Person
--	--------------------------------------

Phone	Fax
-------	-----

Email Address	Preferred Method of Written Correspondence Email      Fax      Mail
---------------	--

## Surveyor/Engineer Contact Information

Name or Company of Surveyor/Engineer	Mailing Address of Surveyor/Engineer
--------------------------------------	--------------------------------------

Phone	Fax
-------	-----

Email Address	Preferred Method of Written Correspondence Email      Fax      Mail
---------------	--

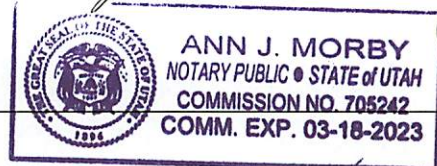
## Property Owner Affidavit

I (We), \_\_\_\_\_, depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge. I (we) acknowledge that during the subdivision review process, it may be determined that additional requirements, covenants and/or agreements may be required to be constructed or entered into.

*Lennie Martinez*  
(Property Owner)

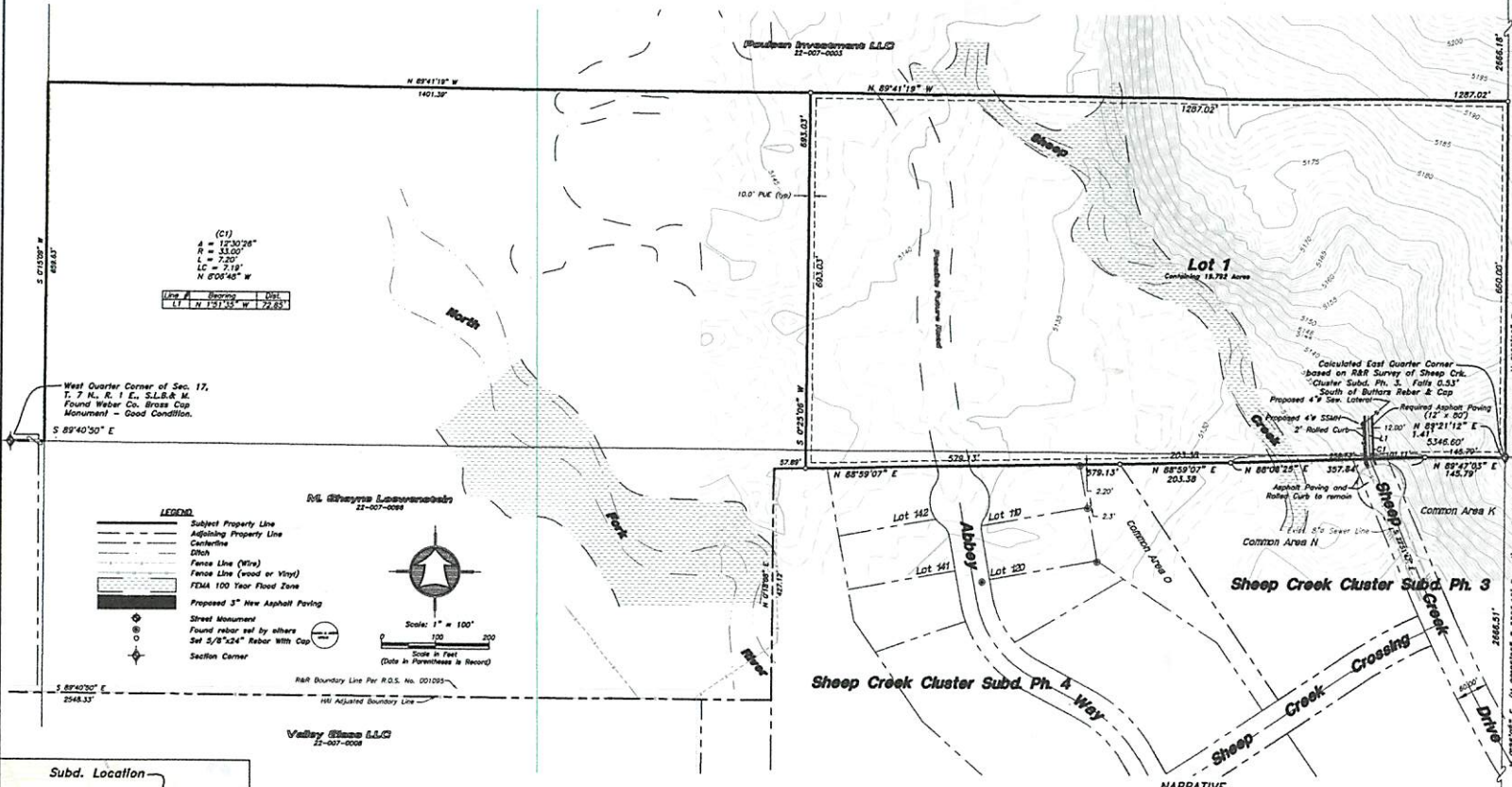
*Joseph A. Martini*  
(Property Owner)

Subscribed and sworn to me this 3 day of May, 2019.





Preliminary Plat  
**Lonnie & Jennifer Martinez Subdivision**  
 Weber County, Utah  
 A Part of the Northeast Quarter of Section 17,  
 Township 7 North, Range 1 East, Salt Lake Base & Meridian



(C1)  
 A = 1230.26"  
 R = 33.00"  
 Δ = 7.20"  
 LC = 2.19"  
 N 8°00'48" W

Line #	Bearing	Dist.
1	N 121°45' W	172.83'

**LEGEND**

- Subject Property Line
- Adjoining Property Line
- Centerline
- Ditch
- Fence Line (W/FW)
- Fence Line (Wood or Vinyl)
- FEMA 100 Year Flood Zone
- Proposed 3" New Asphalt Paving
- Street Monument
- Found rebar set by others
- Set 5/8"x24" Rebar with Cap
- Section Corner



Valley Stream LLC  
 22-007-0008

Northwest Corner of Sec. 17,  
 T. 7 N., R. 1 E., S.L.B. & M.  
 Found Weber Co. Brass Cap  
 Monument - Good Condition.

**SURVEYOR'S CERTIFICATE**

I, K. Greg Hansen, do hereby certify that I am a Registered Professional Land Surveyor in the State of Utah in accordance with Title 58, Chapter 22, Professional Engineers and Land Surveyors Act and I have completed a survey of the property described on this Plat in accordance with Sections 17-22-17 and have verified all measurements, and have placed monuments as represented on this Plat, and have hereby subdivided said tract into a single lot, know hereafter as Lonnie & Jennifer Martinez Subdivision in Weber County, Utah, and has been correctly drawn to the designated scale and is true and correct representation of the herein described lands included in said subdivision, based upon data compiled from records in the Weber County Recorder's Office and from said survey made by me on the ground. I further hereby certify that the requirements of all applicable statutes and ordinances of Weber County concerning zoning requirements regarding lot measurements have been complied with.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 2015.  
 K. Greg Hansen P.L.S.  
 Utah Land Surveyor License No. 167819



**BOUNDARY DESCRIPTION**

A PART OF THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 7 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN.  
 BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER AND  
 RUNNING THENCE NORTH 02°25'08" EAST 662.00 FEET ALONG THE EAST LINE OF SAID NORTHEAST QUARTER; THENCE NORTH 89°41'19" WEST 1287.02 FEET; THENCE SOUTH 00°23'04" WEST 683.03 FEET TO THE NORTH BOUNDARY LINE OF SHEEP CREEK CLUSTER SUBDIVISION PHASE 4; THENCE NORTH 88°59'07" EAST 578.13 FEET TO THE NORTHEAST CORNER OF SAID SHEEP CREEK CLUSTER SUBDIVISION PHASE 4 BEING THE NORTHEAST CORNER OF SHEEP CREEK CLUSTER SUBDIVISION PHASE 3; THENCE ALONG THE NORTH BOUNDARY LINE OF SAID PHASE 3 THE FOLLOWING (4) COURSES; (1) NORTH 88°59'07" EAST 203.38 FEET; (2) NORTH 89°08'25" EAST 357.64 FEET; (3) NORTH 89°42'03" EAST 145.79 FEET; AND (4) NORTH 89°21'12" EAST 1.41 FEET TO THE POINT OF BEGINNING, CONTAINING 20.000 ACRES.

**OWNER'S DEDICATION AND CERTIFICATION**  
 Know all men by these presents that we, the undersigned Owners of the above described tract of land having caused the same to be subdivided into a single lot, as shown on this plat and name said tract Lonnie & Jennifer Martinez Subdivision and hereby dedicate, grant and convey, in perpetuity, pursuant to the provisions of 17-27a-607, Utah code, without condition, restriction or reservation to Weber County, Utah, all those parts or portions of said tract of land designated assessments for public utility and drainage purposes as shown hereon. The same to be used for the legislation, maintenance and operation of public utility service lines and drainage as may be authorized by the Governing Authority in witness we have here unto set our signature this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

M. Shayne Loewenstein  
 Summer Kay Loewenstein  
 State of Utah  
 County of \_\_\_\_\_

**ACKNOWLEDGMENT**

On this \_\_\_\_\_ day of \_\_\_\_\_, 2015, M. Shayne Loewenstein and Summer Kay Loewenstein, Husband and Wife as Joint Tenants, Personally appeared before me, the Undersigned Notary Public in and for said County of Weber, in the State of Utah, the Signers of the Attached Declaration, two in Number, who duly acknowledged to me they Signed it freely and voluntarily and for the Purpose therein Mentioned.  
 Notary Public

**WEBER COUNTY RECORDER**

ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_  
 FILED FOR RECORD AND  
 RECORDED \_\_\_\_\_ IN BOOK \_\_\_\_\_ OF OFFICIAL  
 RECORDS, PAGE \_\_\_\_\_ RECORDED  
 FOR \_\_\_\_\_

COUNTY RECORDER  
 BY: \_\_\_\_\_ DEPUTY

**NARRATIVE**

The Purpose of this Survey was to Establish and set the Property Corners of this one Lot Subdivision as Shown and Described Hereon. This Survey was ordered by Lonnie Martinez. The PGB for this Subdivision was determined using the Record Bearings and Distances of Sheep Creek Cluster Subdivisions Phase 3 & 4. A Bullers Rebar was found near this location but is 0.53' north of the calculated corner. Using the Sheep Creek Quarter Corner Location put this survey about 2.1' South of four Rebars rebar within said subdivisions. The Control used to Establish the Property Corners was the Existing Weber County Surveyor Monumentation Surrounding Section 17, Township 7 North, Range 1 East, S.L.B. & M. The base of bearing N the East line of said Section which bears North 02°25'08" East, Utah North, State Plane, calculated N.A.D.83 Bearing.

Southeast Corner of Sec. 17,  
 T. 7 N., R. 1 E., S.L.B. & M.  
 Found Weber Co. Brass Cap  
 Monument - Good Condition.

**AGRICULTURAL NOTE**

Agriculture is the preferred use in the Agriculture Zones. Agriculture operations as specified in the zoning ordinance for particular zone are permitted at any time including the operation of farm machinery and all allowed agriculture use shall be subject to restriction on that it interferes with activities of future residents of this subdivision.

**WEBER COUNTY ATTORNEY**

I Have Examined the Financial Guarantee and Other Documents Associated with this Subdivision Plat, and in my Opinion they Conform with the County Ordinance Applicable Thereto and now in Force and Affect Signed this \_\_\_\_\_ Day of \_\_\_\_\_, 2015.

**WEBER-MORGAN HEALTH DEPARTMENT**

I hereby certify that the Salls, Percolation Rates, and Site Conditions for this Subdivision have been Investigated by this Office and are Approved for On-Site Wastewater Disposal Systems.  
 Signed this \_\_\_\_\_ Day of \_\_\_\_\_, 2015.

**WEBER COUNTY PLANNING COMMISSION APPROVAL**

This is to Certify that this Subdivision Plat was Duly Approved by the Weber County Planning Commission.  
 Signed this \_\_\_\_\_ Day of \_\_\_\_\_, 2015.

Chairman, Weber County Planning Commission

**WEBER COUNTY SURVEYOR**

I hereby certify that the Weber County Surveyor's Office has Reviewed this Plat for Mathematical Correctness, Section Corner Data, and for Harmony with the Lines and Monuments on Record in County Offices. The Approval of this Plat by the Weber County Surveyor does not Relieve the Licensed Land Surveyor who Executed this Plat from the Responsibilities and/or Liabilities Associated Therewith. Signed this \_\_\_\_\_ Day of \_\_\_\_\_, 2015.

Webster County Surveyor

**WEBER COUNTY ENGINEER**

I hereby certify that the Required Public Improvement Standards and Drawings for this Subdivision Conform with the County Standards and the Amount of the Financial Guarantee is Sufficient for the Installation of these Improvements.  
 Signed this \_\_\_\_\_ Day of \_\_\_\_\_, 2015.

Weber County Engineer

**WEBER COUNTY SUBMISSION ACCEPTANCE**

This is to Certify that this Subdivision Plat, the Dedication of Streets and other Public Ways and Financial Guarantee of Public Improvements Associated with this Subdivision, Thereon are hereby Approved and Accepted by the Commissioners of Weber County Utah  
 Signed this \_\_\_\_\_ Day of \_\_\_\_\_, 2015.

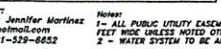
Chairman, Weber County Commission

Attest

**Subd. Location**



**Vicinity Map**



Developers:  
 Lonnie & Jennifer Martinez  
 (801) 801-323-6652

Notes:  
 1- ALL PUBLIC UTILITY EASEMENTS (P.U.E.'S) ARE 10.00 FEET WIDE UNLESS NOTED OTHERWISE.  
 2 - WATER SYSTEM TO BE APPROVED INDIVIDUAL WATER WELL.



**HANSEN & ASSOCIATES, INC.**  
 Consulting Engineers and Land Surveyors  
 538 North Main Street, Brigham, Utah 84302  
 Visit us at www.hansen.net  
 Brigham City Ogden Logan  
 (435) 753-3491 (801) 599-8008 (435) 752-8272



**Weber County Corporation**

Weber County  
2380 Washington Blvd  
Ogden UT 84401

Customer Receipt	
Receipt Number	106449

Receipt Date
05/03/19

Received From:  
LRR Construction

Time: 14:36  
Clerk: amorby

Description	Comment	Amount
ZONING FEES	Subdivision Applicat	\$545.00
ENG SUBDIV FEES	Subdivision Applicat	\$200.00
SURVEY SUBDIV	Subdivision Applicat	\$200.00

Payment Type	Quantity	Ref	Amount
CHECK		36	

AMT TENDERED: \$945.00  
 AMT APPLIED: \$945.00  
 CHANGE: \$0.00