



Staff Report for Administrative Approval – Hillside Review

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a request to approve a Hillside Review for lot 100 R of Green Hill Country Estates Phase Number 6 in Huntsville.

Applicant: Tyler Belliston and Kirt Nadler

File Number: HSR 2019-02

Property Information

Approximate Address: 1330 N Maple Drive

Project Area: 4.62 Acres

Zoning: F-40

Existing Land Use: Vacant

Proposed Land Use: Single Family Residence

Parcel ID: 21-85-0004

Township, Range, Section: 6N 2E Sec 04

Adjacent Land Use

North: Forest	South: Forest
East: Forest	West: Forest/Residential

Staff Information

Report Presenter: Felix Lleverino
 flleverino@webercountyutah.gov
 801-399-8767

Report Reviewer: RG

Applicable Ordinances

- Title 108 (Standards) Chapter 14 (Hillside Development Review)
- Title 108 (Standards) Chapter 22 (Natural Hazards Areas)

Background

On November 18, 1998, the developer recorded Green Hills Country Estates Phase 6. The average slope of the lot 100 R exceeds 25 percent. The Uniform Land Use Code of Weber County (LUC) Title 108 Chapter 14 requires that the Hillside Development Review Board review the plans for development.

Western Geologic has performed the Geologic Hazards Reconnaissance (Dated April 2, 2018) for lot 100 R in the Green Hills Country Estates Phase 6. AGEC performed a Geotechnical Landslide Study (Project Number 66095) for the entire Green Hills Phase 6. Christensen Geotechnical performed a Geotechnical Investigation specific to lot 100 R (Dated May 2, 2018, Project Number 146-001). The Hillside review board has access to the geologic and geotechnical reports for review.

The site plan in exhibit A indicates that the home location will comply with the reduced side yard setbacks in accordance with LUC §108-12-13. All drainage easements shown on the site plan in Exhibit A will not encroached upon by the planned home location.

This property will access from the end of Maple Canyon Drive, a private road.

Planning Division Review

The Planning Division Staff has determined that, in compliance with review agency conditions, the requirements and standards provided by the Hillside Review Chapter are met for the excavation and construction of the dwelling. The following submittals were required:

1. Engineered Plans
2. Geologic and Geotechnical Investigations
3. Landscaping Plan (Natural vegetation)
4. Site Plan
5. Septic System Plan (Green Hills Community Septic System)

Weber County Hillside Review Board comments

The Weber County Hillside Review Board, on this particular application, made the following comments and conditions:

Weber County Engineering Division: The Engineering Division granted approval on May 1, 2019. The approval is subject to the following comments as conditions of approval:

- *Follow the recommendations in the Geologic Hazards Reconnaissance performed by Western Geologic dated April 2, 2018.*
- *Follow the recommendations in the Geotechnical Investigation performed by Christensen Geotechnical dated May 2, 2018.*

Some of those recommendations but not all are:

- *The geotechnical engineer should observe all footing excavations prior to construction of footings.*
- *Recommend that all basement and retaining walls incorporate a foundation drain.*

Weber Fire District: The Fire District has posted their approval on April 25, 2019, based on completion of the following conditions:

- *A fire hydrant within 600 feet of the furthest part of the building must be provided*
- *Review fee \$50.00 and Impact of \$328.15."*

Weber County Building Inspection Department: The Building Official completed his review of this project on April 17, 2019. The following points are his comments:

- *The applicant provide a letter from the Engineer of record acknowledging the Geologic and Geotechnical requirements*
- *An excavation report will be required at the time of footing inspection*

Weber-Morqan Health Department: The Health Department has provided a permit for the placement of a holding tank for short-term storage of wastewater before distribution to the Green Hills Country Estates Community Septic System (see Exhibit D). The Health Department will perform an inspection upon completion. Inspection is required before final occupancy is given.

Weber County Planning Division: The Planning Division has granted approval subject to the applicant complying with all Board requirements and conditions. This approval is also subject to compliance with the recommendations stated in the Geotechnical Investigation, which has taken into account the recommendations from the supporting geological studies, by following through with site preparation and construction requirements found on pages 6-10 of the Geotechnical Study:

1. Site preparation and Grading
2. Soft Soil Stabilization
3. Temporary Construction Excavations
4. Structural Fill and Compaction
5. Foundation placement
6. Slope Stability
7. Estimate Settlement
8. Lateral Earth Pressures
9. Concrete Slab-on-grade Construction
10. Moisture Protection and Surface Drainage
11. Surface Drainage

Important Wildlife Habitat Area: The Weber County Interactive map indicates that this property is located within an Important Wildlife Habitat Area. The following restrictions, 104-28-3 apply to development within these areas:

- A. Maintain connectivity between open space parcels
- B. Minimize fencing that would prohibit migration
- C. Retain the native vegetation and natural areas
- D. Minimize disturbance of trees, landscaping, and natural vegetation.
- E. Re-seeding and re-planning of degraded areas

Planning Division Findings

The geologic and geotechnical reports include images and maps that have been an aide in completing a review. The Planning Division has gathering approval and comments from all County reviewing agencies; the Planning Division Staff is recommending approval subject to the following conditions:

- 1. Development of the lot must comply with the excavating, grading, and filling standards outlined in LUC §108-14-8 as well as the recommendations outlined in the geologic and geotechnical reports that were provided with the application.
- 2. A Geotechnical Engineer should observe all excavations prior to construction of footings.

The following findings are the basis for the Planning Division's recommendation:

- 1. The application is complete.
- 2. Development of the site will comply with the Hillside Development Review Procedures and Standards.
- 3. Planning has gathered comments and approvals from each member of the Hillside Review Board.
- 4. Development of the site will comply with the Hillside Development Review Board.

Administrative Approval

Administrative approval of a Hillside Review for Lot 100 R of the Green Hills Country Estates Phase 6 (HSR2018-06) granted based upon its compliance with the Weber County Land Use Code. This approval is subject to the requirements of applicable review agencies and based on the findings listed in this staff report.

Date of Administrative Approval: 5/7/19



Rick Grover

Weber County Planning Director

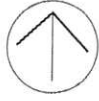
Exhibits

- A. Site plan, Engineered Home Plans
- B. Dedication plat
- C. Application with Narrative
- D. Waste Water Treatment Permit

Map 1



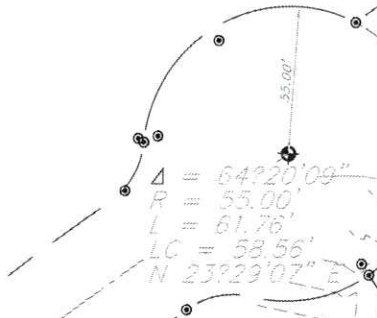
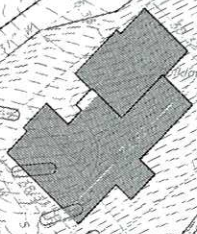
County Estates Phase No. 1



SCALE 1" = 30'

Drive

Maple



5659.22

5619.28

10' utility easement (existing structures made independent on driveway)



FRONT ELEV. VIEW
SCALE 1/4" = 1'-0"

WARNING - Signature must be in red or
plum and calculations are void.
Plans and Calculations submitted 30 days
after date of red and plum and
Calculations are for name and list above.



BRICK VENER	R1031
CORROSION RESISTANT ADHESIVE APPLIED TO PORTLAND OR GROUT AND EXTENDING INTO THE VENER A MINIMUM OF 1/2 INCH WITH NOT LESS THAN 1/2 PORTLAND OR GROUT COVER TO OUTSIDE FACE.	
CORROSION RESISTANT TO SALES 1/2" OR NO. 1 GAGE SHEET SPACED NOT MORE THAN 24" ON CENTER AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 1/2 SQUARE FEET OF WALL AREA.	
STEEL SHALE 1/2" x 1/4" x 1/4" WITH THE LONG LEG VERTICAL. COPY WITH SECTION R1031.	
ALL STONE AND MASONRY VENER SHALL COPY WITH SECTION R1031.	
ATTIC VENTILATION	R1036
ATTIC VENTILATION SHALL COPY WITH SECTION R1036.	
THE NET FREE VENTILATION SHALL NOT BE LESS THAN 1/1000 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE AREA THAT IS LOWER PROVIDED THAT AT LEAST 1/1000 OF THE REQUIRED VENTILATION AREA IS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AND THE REQUIREMENT IS PROVIDED BY SALES OR CORNICE WITH R1036.	

EXTERIOR WALL COVERINGS	R1033
ALL EXTERIOR COVERINGS SHALL COPY WITH SECTION R1033.	
STUCCO FINISH - INSTALLATION SHALL COPY WITH PART 8 2348.	
FIBER CEMENT SIDING - PANEL AND LAP JOINT INSTALLATION SHALL COPY WITH PART 8 2348.	
VINYL SIDING - INSTALLATION SHALL COPY WITH PART 8 2348.	
ASPHALT SHINGLES - INSTALLATION SHALL COPY WITH PART 8 2348.	
BUILDING ADDRESS	R1039
BUILDING NUMBERS SHALL BE A MIN. 4" HIGH WITH A PERMANENT FINISH 3/16" OF 1/4"	

BLACK DIAMOND CONTRACTORS
LOT 100 - GREEN HILL ESTATES
Kustom House Plans
 PROFESSIONAL ENGINEER
 NO. 553825
 STATE OF UTAH
 KUSTOM HOUSE PLANS
 1001 W. 100 N. SUITE 100
 GREEN HILL ESTATES, UT 84203
 (435) 338-2525
 WWW.KUSTOMHOUSEPLANS.COM



REAR ELEV. VIEW
SCALE 1/4" = 1'-0"

BRICK VENER	R1031
CORROSION RESISTANT ADHESIVE APPLIED TO PORTLAND OR GROUT AND EXTENDING INTO THE VENER A MINIMUM OF 1/2 INCH WITH NOT LESS THAN 1/2 PORTLAND OR GROUT COVER TO OUTSIDE FACE.	
CORROSION RESISTANT TO SALES 1/2" OR NO. 1 GAGE SHEET SPACED NOT MORE THAN 24" ON CENTER AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 1/2 SQUARE FEET OF WALL AREA.	
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BRICK VENEER	NOTES
CONCRETE MASONRY SHALL BE SPECIFIED IN PORTLAND OR PORTLAND CEMENT MORTAR AND EXTENDING INTO THE VENEER A MINIMUM OF 1/4" INTO EACH FACE.	
CONCRETE MASONRY TO HAVE A 1/2" OR NO. 8 BARS SPACED NO MORE THAN 14" ON CENTER AND VERTICAL BARS SHALL SUPPORT THE MASONRY FROM EACH SQUARE FEET OF AREA.	
STUCCO SHALL BE 3/8" THICK WITH THE UNITS VERTICAL, COPED WITH SECTION 4105.11.	
ALL STUCCO AND VENEER SHALL COMPLY WITH SECTION 4105.11.	
ATTIC VENTILATION	NOTES
ATTIC VENTILATION SHALL COMPLY WITH SECTION 4105.11.	
THE NET FREE VENTILATION SHALL NOT BE LESS THAN 1/300TH OF THE AREA OF THE SPACE PROVIDED. EXCEPT THAT THE AREA MAY BE REDUCED PROVIDED THAT THE CLEAR AREA OF THE SPACE PROVIDED IS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AND THE REQUIREMENT IS PROVIDED BY RAISED OR CORNER JOINTS AND BARS.	
EXTERIOR WALL COVERINGS	NOTES
ALL EXTERIOR COVERINGS SHALL COMPLY WITH SECTION 4105.11.	
BRICK VENEER - INSTALLATION SHALL COMPLY WITH ASTM E 330.	
STUCCO - FINISH AND LAP JOINTS SHALL COMPLY WITH SECTION 4105.11.	
ROCK - FINISH AND LAP JOINTS SHALL COMPLY WITH SECTION 4105.11.	
ASPHALT SHINGLES - INSTALLATION SHALL COMPLY WITH SECTION 4105.11.	
BUILDING ADDRESS	NO. 1001
BUILDING SPACING SHALL BE A MINIMUM OF 10 FEET FROM THE ADJACENT PROPERTY.	

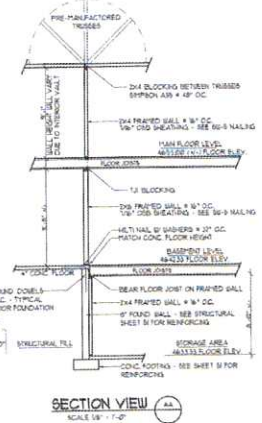
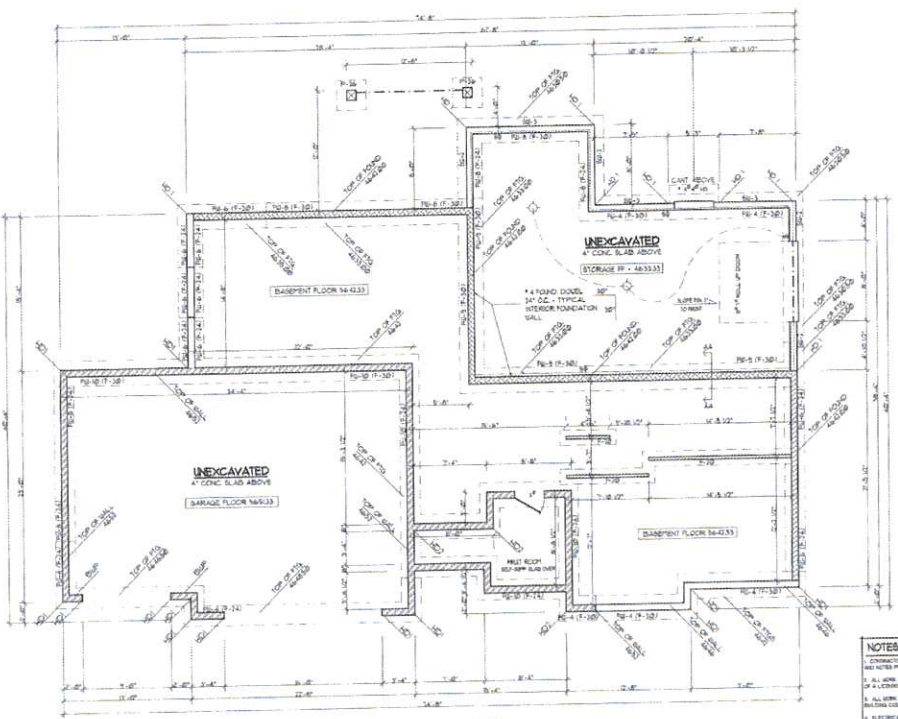


BLACK DIAMOND CONTRACTORS
LOT 100 - GREEN HILL ESTATES

Kustom House Plans



SCALE	1/4" = 1'-0"
DATE	11/11/14
BY	11/11/14
CHECKED	11/11/14
APPROVED	11/11/14
DESIGNED	11/11/14
DRAWN	11/11/14
SCALE	1/4" = 1'-0"
DATE	11/11/14
BY	11/11/14
CHECKED	11/11/14
APPROVED	11/11/14
DESIGNED	11/11/14
DRAWN	11/11/14



BLACK DIAMOND CONTRACTORS
LOT 100 - GREEN HILL ESTATES

Kustom House Plans



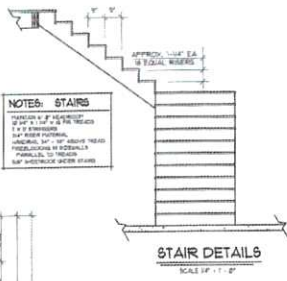
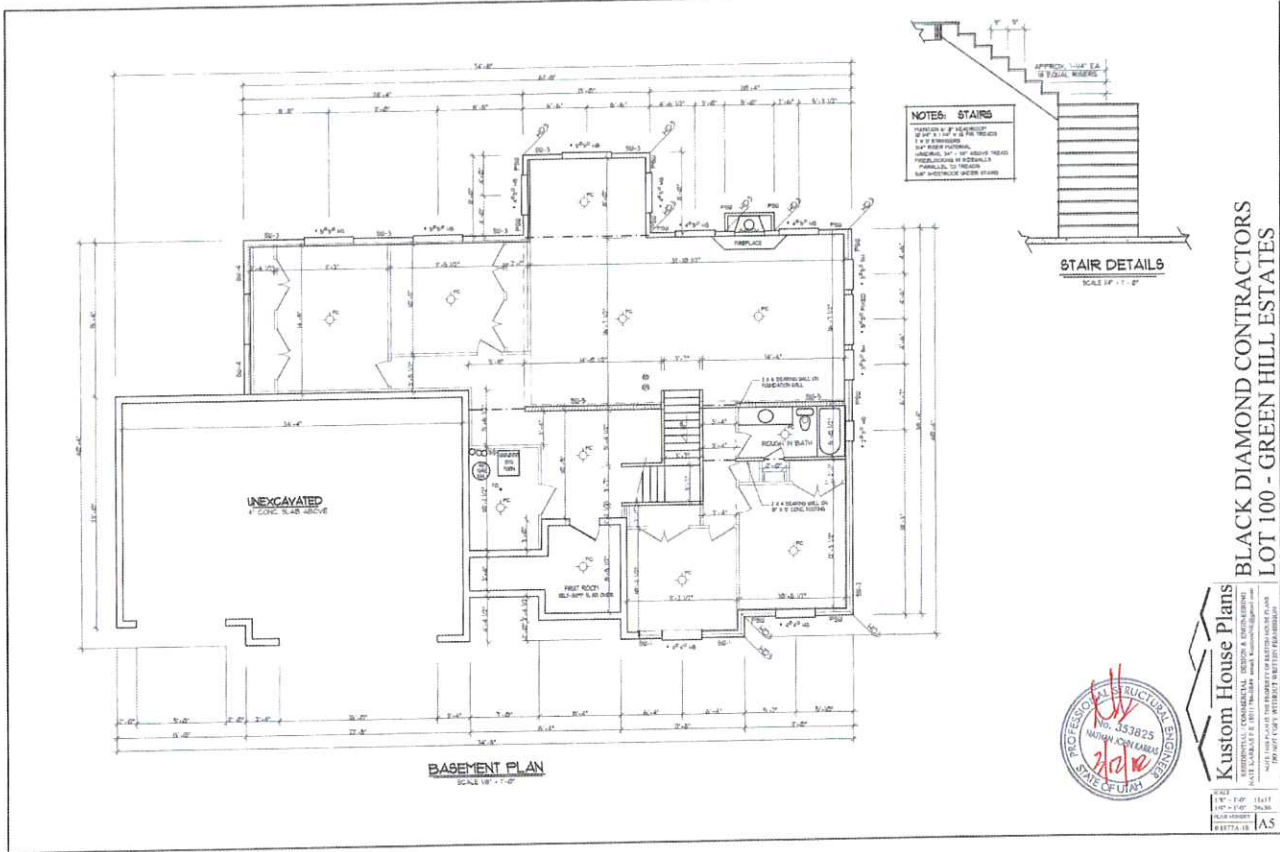
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DATE	11/11/14
BY	11/11/14
CHECKED	11/11/14
APPROVED	11/11/14
DESIGNED	11/11/14
DRAWN	11/11/14

NOTES - GENERAL

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTES PRIOR TO BEGINNING OF CONSTRUCTION.
- ALL WORK IS TO BE DONE UNDER THE SUPERVISION OF A LICENSED CONTRACTOR.
- ALL WORK IS TO BE DONE ACCORDING TO LOCAL AND STATE BUILDING CODES.
- ELECTRICAL SHALL BE PER NATIONAL ELECTRICAL CODE, LATEST EDITION.
- MECHANICAL SHALL BE PER MECHANICAL CODE, LATEST EDITION.
- PLUMBING SHALL BE PER PLUMBING CODE, LATEST EDITION.

NOTES - STRUCTURAL

SEE STRUCTURAL DRAWING - NOTED TO SEE DRAWING.

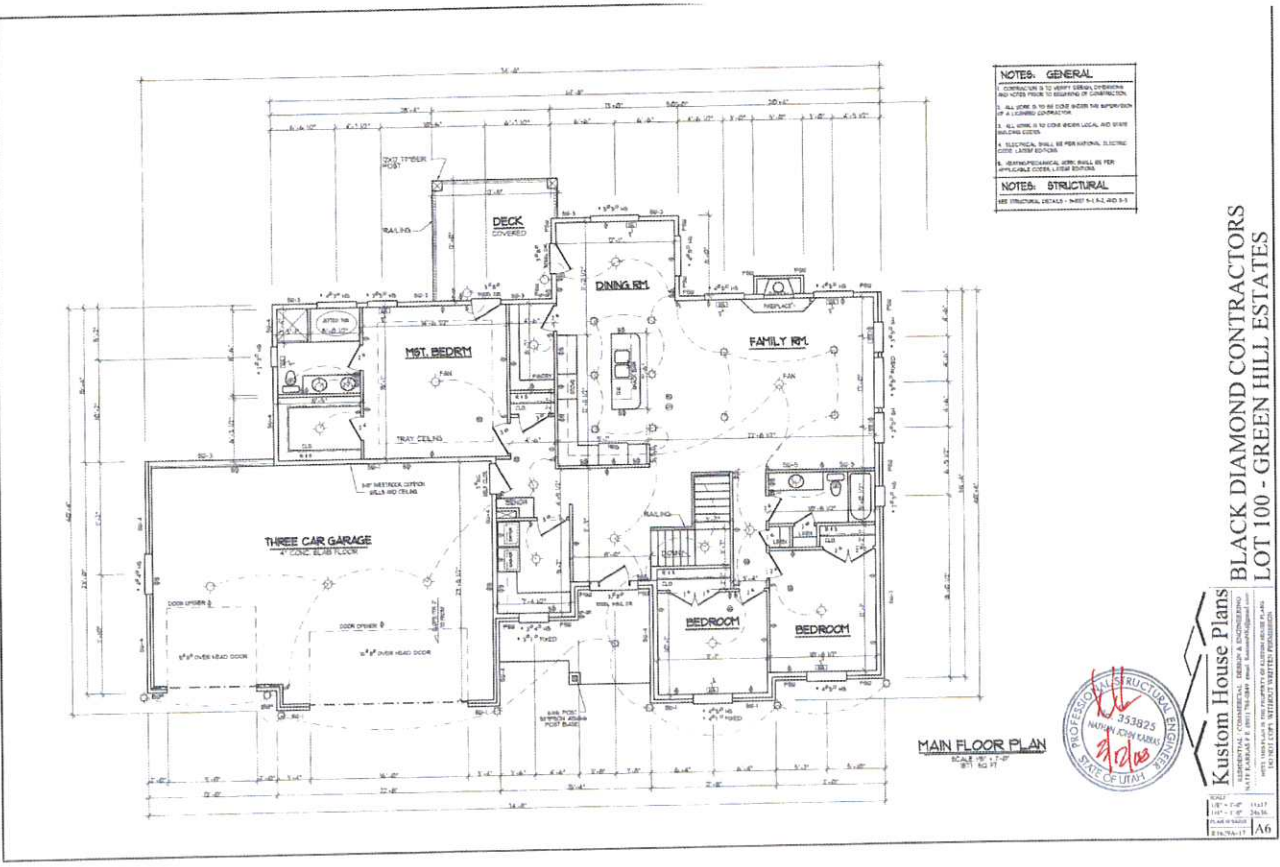


NOTES: STAIRS
 FINISH 1\"/>

BLACK DIAMOND CONTRACTORS
LOT 100 - GREEN HILL ESTATES

Kustom House Plans
 PROFESSIONAL ARCHITECTURE
 353925
 NATIONAL ARCHITECTS
 STATE OF UTAH
 No. 353925
 2/10/10

DATE	10/1/10
SCALE	1/4\"/>
PROJECT	LOT 100 - GREEN HILL ESTATES
CLIENT	BLACK DIAMOND CONTRACTORS
DESIGNER	KUSTOM HOUSE PLANS
DATE	10/1/10



NOTES: GENERAL
 CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND NOTES PRIOR TO BEGINNING OF CONSTRUCTION.
 1. ALL WORK IS TO BE DONE UNDER THE SUPERVISION OF A LICENSED CONTRACTOR.
 2. ALL WORK IS TO BE DONE PER LOCAL AND STATE BUILDING CODES.
 3. ELECTRICAL SHALL BE PER NATIONAL ELECTRIC CODE (NEC) 2008.
 4. MECHANICAL, PLUMBING AND GAS SHALL BE PER APPLICABLE CODES, LOCAL ORDINANCES.

NOTES: STRUCTURAL
 SEE STRUCTURAL DETAILS - INSET 1-1, 2-2, AND 3-3

BLACK DIAMOND CONTRACTORS
LOT 100 - GREEN HILL ESTATES

Kustom House Plans
 PROFESSIONAL ARCHITECTURE
 353925
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 2/10/10

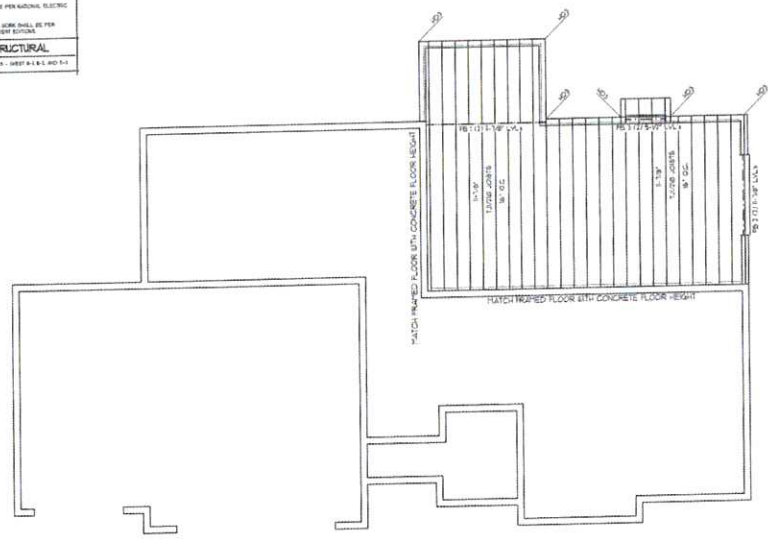
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SCALE	1/4\"/>
PROJECT	LOT 100 - GREEN HILL ESTATES
CLIENT	BLACK DIAMOND CONTRACTORS
DESIGNER	KUSTOM HOUSE PLANS
DATE	10/1/10

NOTES: GENERAL

- CONTRACTOR TO VERIFY DESIGN INFORMATION AND NOTES PRIOR TO BEGINS OF CONSTRUCTION OF A LICENSED CONTRACTOR.
- ALL WORK IS TO BE DONE UNDER THE SUPERVISION OF A LICENSED CONTRACTOR.
- ALL WORK IS TO BE DONE ACCORDING TO ALL APPLICABLE LOCAL AND STATE REGULATORY CODES.
- ELECTRICAL SHALL BE PER NATIONAL ELECTRIC CODE LATEST EDITION.
- METEOROLOGICAL WORK SHALL BE PER APPLICABLE CODES LATEST EDITION.

NOTES: STRUCTURAL

SEE STRUCTURAL DETAILS - SHEET S-1 & S-2 AND S-3



BASEMENT STORAGE PLAN
SCALE: 1/8" = 1'-0"



Kustom House Plans
BLACK DIAMOND CONTRACTORS
LOT 100 - GREEN HILL ESTATES

PROFESSIONAL STRUCTURAL ENGINEER
RESIDENTIAL, COMMERCIAL, INDUSTRIAL AND AGRICULTURAL
STATE OF UTAH
NO. 153825
DATE EXPIRES: 12/31/2025
KUSTOM HOUSE PLANS
100 SOUTH GUYTON STREET, SUITE 100, WEST VALLEY CITY, UTAH 84119

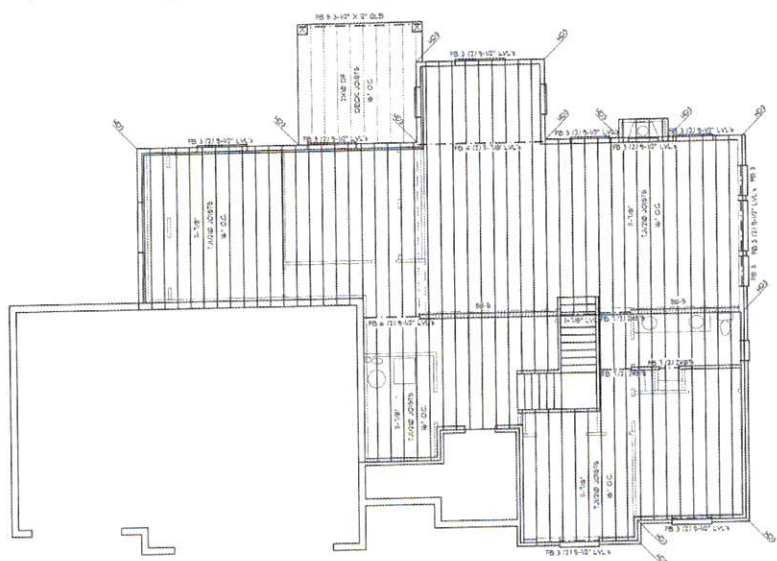
DATE	11/11/2024
BY	JK
CHECKED BY	JK
SCALE	AS SHOWN
SHEET NO.	17

NOTES: GENERAL

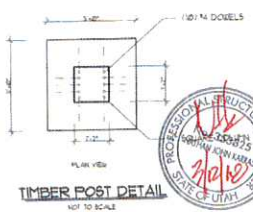
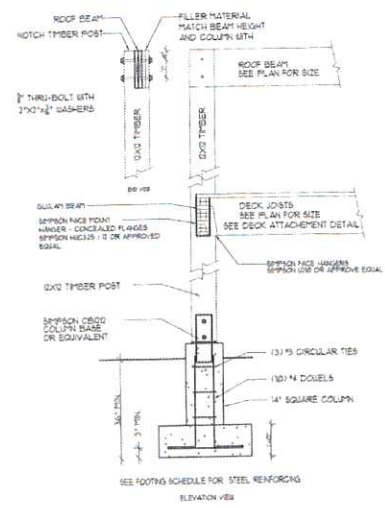
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- METEOROLOGICAL WORK SHALL BE PER APPLICABLE CODES LATEST EDITION.

NOTES: STRUCTURAL

SEE STRUCTURAL DETAILS - SHEET S-1 & S-2 AND S-3



MAIN FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"



Kustom House Plans
BLACK DIAMOND CONTRACTORS
LOT 100 - GREEN HILL ESTATES

PROFESSIONAL STRUCTURAL ENGINEER
RESIDENTIAL, COMMERCIAL, INDUSTRIAL AND AGRICULTURAL
STATE OF UTAH
NO. 153825
DATE EXPIRES: 12/31/2025
KUSTOM HOUSE PLANS
100 SOUTH GUYTON STREET, SUITE 100, WEST VALLEY CITY, UTAH 84119

DATE	11/11/2024
BY	JK
CHECKED BY	JK
SCALE	AS SHOWN
SHEET NO.	18

NOTES GENERAL

1. CONTRACTOR TO VERIFY DESIGN DIMENSIONS AND NOTES PRIOR TO BEGINNING OF CONSTRUCTION.
2. ALL WORK IS TO BE DONE UNDER THE SUPERVISION OF A LICENSED CONTRACTOR.
3. ALL WORK IS TO BE DONE ACCORDING TO ALL APPLICABLE CODES.
4. ELECTRICAL SHALL BE PER NATIONAL ELECTRICAL CODE LATEST EDITION.
5. MECHANICAL SHALL BE PER NATIONAL MECHANICAL CODE LATEST EDITION.
6. PLUMBING SHALL BE PER NATIONAL PLUMBING CODE LATEST EDITION.

NOTES STRUCTURAL

SEE STRUCTURAL DETAILS SHEETS S-1.1 AND S-1.2

NOTES: PRE-MANUFACTURE TRUSSES

THE MANUFACTURER SHALL COMPLY WITH SECTION R801.4 AND R801.5.

THE MANUFACTURER SHALL PROVIDE DETAILS AND INFORMATION FOR THE INSTALLATION, CONNECTIONS AND BRACING OF TRUSSES BEFORE AND AFTER CONSTRUCTION.

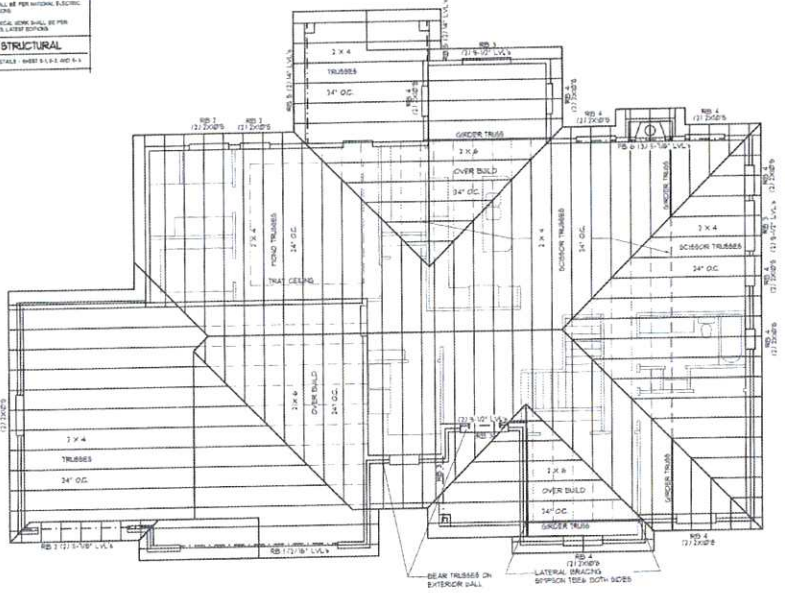
TRUSS MEMBER SPACING SHALL BE PROVIDED BY A REGISTERED PROFESSIONAL ENGINEER PRIOR TO THE START OF CONSTRUCTION AND SHALL BE PRINTED ON THE TRUSS MANUFACTURER'S DRAWINGS.

TRUSS MEMBERS SHALL BE FASTENED TO THE WALLS ON THE HOUSE LAYOUT.

BEFORE THE TRUSSES ARE INSTALLED, THE FOUNDATION SHALL BE CHECKED TO BE SUFFICIENT TO SUPPORT THE TRUSSES AND THE CONNECTIONS OF THE TRUSSES.

TRUSS BRACING SHALL BE INSTALLED PER SECTION R801.4.1 AND R801.4.2.

NOTES: 65 LB SNOW LOAD



ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



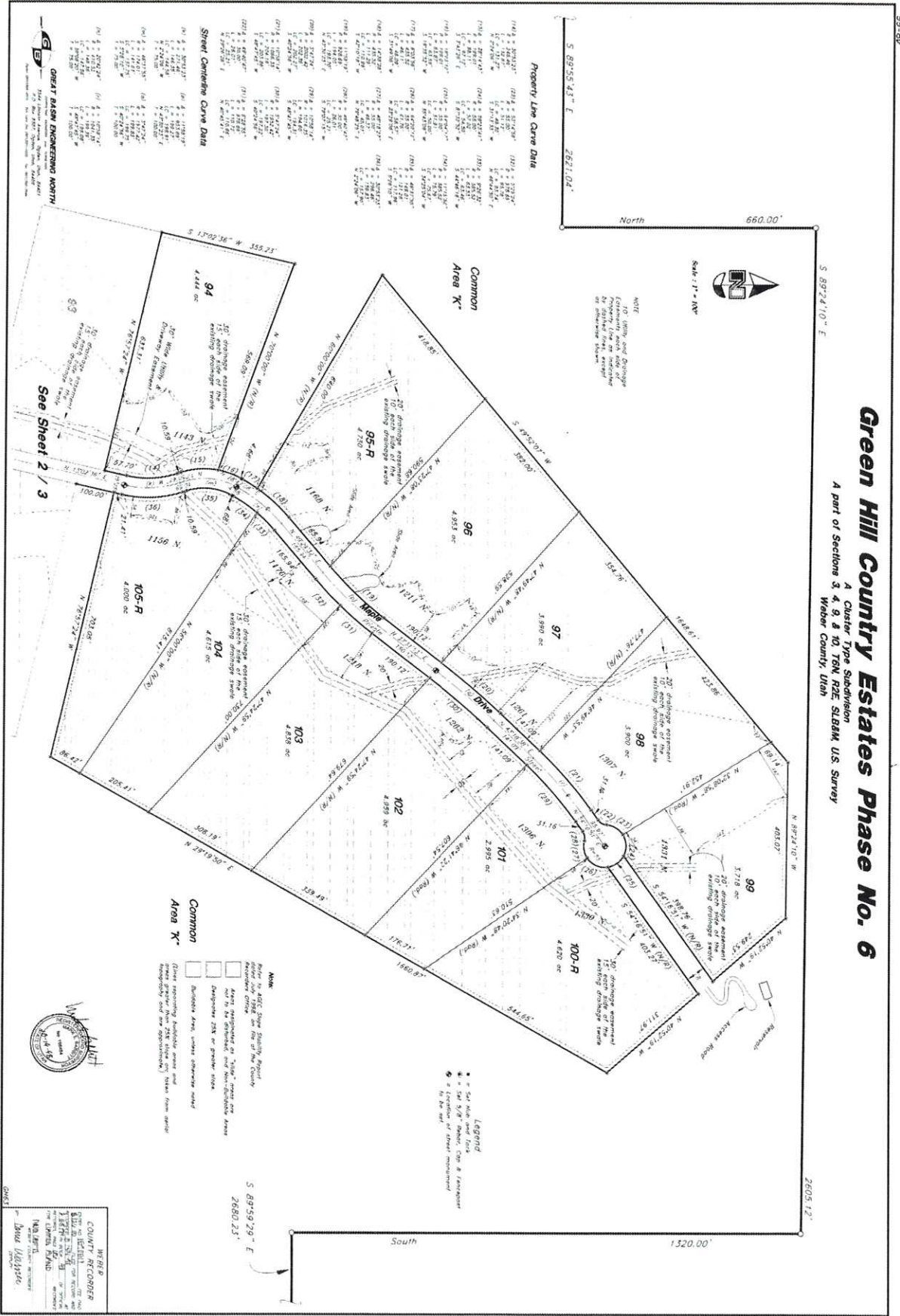
Kustom House Plans
BLACK DIAMOND CONTRACTORS
LOT 100 - GREEN HILL ESTATES

PROFESSIONAL ENGINEER
NATHAN J. KAMAS
STATE OF UTAH
LICENSE NO. 553825

DATE: 11/11/2011
11/11/2011
11/11/2011
11/11/2011

Green Hill Country Estates Phase No. 6

A Cluster Type Subdivision
 A part of Sections 3, 4, 9, & 10, T6N, R2E, S18&M, U.S. Survey
 Weber County, Utah



Property Line Curve Data

(101) S 74°55'43" E L: 2671.04'	(102) S 74°55'43" E L: 2671.04'	(103) S 74°55'43" E L: 2671.04'	(104) S 74°55'43" E L: 2671.04'	(105) S 74°55'43" E L: 2671.04'
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Street Centerline Curve Data

(1) S 74°55'43" E L: 2671.04'	(2) S 74°55'43" E L: 2671.04'	(3) S 74°55'43" E L: 2671.04'	(4) S 74°55'43" E L: 2671.04'	(5) S 74°55'43" E L: 2671.04'
(6) S 74°55'43" E L: 2671.04'	(7) S 74°55'43" E L: 2671.04'	(8) S 74°55'43" E L: 2671.04'	(9) S 74°55'43" E L: 2671.04'	(10) S 74°55'43" E L: 2671.04'
(11) S 74°55'43" E L: 2671.04'	(12) S 74°55'43" E L: 2671.04'	(13) S 74°55'43" E L: 2671.04'	(14) S 74°55'43" E L: 2671.04'	(15) S 74°55'43" E L: 2671.04'
(16) S 74°55'43" E L: 2671.04'	(17) S 74°55'43" E L: 2671.04'	(18) S 74°55'43" E L: 2671.04'	(19) S 74°55'43" E L: 2671.04'	(20) S 74°55'43" E L: 2671.04'
(21) S 74°55'43" E L: 2671.04'	(22) S 74°55'43" E L: 2671.04'	(23) S 74°55'43" E L: 2671.04'	(24) S 74°55'43" E L: 2671.04'	(25) S 74°55'43" E L: 2671.04'
(26) S 74°55'43" E L: 2671.04'	(27) S 74°55'43" E L: 2671.04'	(28) S 74°55'43" E L: 2671.04'	(29) S 74°55'43" E L: 2671.04'	(30) S 74°55'43" E L: 2671.04'
(31) S 74°55'43" E L: 2671.04'	(32) S 74°55'43" E L: 2671.04'	(33) S 74°55'43" E L: 2671.04'	(34) S 74°55'43" E L: 2671.04'	(35) S 74°55'43" E L: 2671.04'
(36) S 74°55'43" E L: 2671.04'	(37) S 74°55'43" E L: 2671.04'	(38) S 74°55'43" E L: 2671.04'	(39) S 74°55'43" E L: 2671.04'	(40) S 74°55'43" E L: 2671.04'
(41) S 74°55'43" E L: 2671.04'	(42) S 74°55'43" E L: 2671.04'	(43) S 74°55'43" E L: 2671.04'	(44) S 74°55'43" E L: 2671.04'	(45) S 74°55'43" E L: 2671.04'
(46) S 74°55'43" E L: 2671.04'	(47) S 74°55'43" E L: 2671.04'	(48) S 74°55'43" E L: 2671.04'	(49) S 74°55'43" E L: 2671.04'	(50) S 74°55'43" E L: 2671.04'

NOTE:
 1. Lot Lines and Boundaries
 Estimated with side of
 North-south line assumed
 to be parallel to street
 or otherwise shown.

Scale: 1" = 40'
 North

Common Area X

See Sheet 2 / 3

LEGEND
 * = 5/8" Iron Pin
 * = 1/4" Iron Pin
 * = Location of Street Intersection
 as per plat

NOTE:
 1. Lots are subject to subdivision and
 are shown for informational purposes only.
 2. Data is intended to show "as-is" conditions
 and does not constitute a warranty of
 accuracy or representation. (Values from map
 may vary slightly from actual measurements.)

COUNTY RECORDER
 WEBER COUNTY, UTAH
 DATED: 12/11/2018
 BY: [Signature]
 46-66

HERBERT
 COUNTY RECORDER
 200 W. MAIN ST.
 CANYONVILLE, OR 97103
 503-338-4444
 www.herbcountyrecorder.com

Weber County Hillside Review Application			
Application submittals will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401			
Date Submitted / Completed <i>4-15-19</i>	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use)
Property Owner Contact Information			
Name of Property Owner(s) <i>Tyler Belliston and Kurt Walder</i>		Mailing Address of Property Owner(s) <i>5057 TAYLOR AVE OGDEN UT 84403</i>	
Phone <i>801-458-5472</i>	Fax		
Email Address <i>tylerbelliston@comcast.net</i>		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Authorized Representative Contact Information			
Name of Person Authorized to Represent the Property Owner(s) <i>Tyler Belliston</i>		Mailing Address of Authorized Person <i>5057 TAYLOR AVE OGDEN UT 84403</i>	
Phone <i>801-458-5472</i>	Fax		
Email Address <i>tylerbelliston@comcast.net</i>		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
Property Information			
Project Name <i>Belliston HSR</i>		Current Zoning <i>F-40</i>	
Approximate Address <i>1330 N Maple Dr. Huntsville UT</i>		Land Serial Number(s) <i>210 85 0004</i>	
Subdivision Name / Lot Number(s) <i>Green Hills Lot #100R</i>			
Project Narrative <i>Hillside Review for Lot #100R Natural Vegetation, No Alterations will be made.</i>			



PERMIT TO CONSTRUCT AN ONSITE WASTEWATER TREATMENT SYSTEM
ISSUED BY THE WEBER-MORGAN HEALTH DEPARTMENT
477 23rd Street, OGDEN, UTAH 84401



Permit No.: W101629

Issued: March 28, 2019

Expires: March 28, 2020

This is to certify that TYLER BELLISTON is hereby issued a permit to install an onsite wastewater treatment system for the property with the Property Identification Number 21-085-0004 with the following specifications and provisions:

- Approximate construction site address: 1330 N MAPLE DR, HUNTSVILLE
- Lot: 100 of the GREEN HILLS subdivision in Weber county Utah.
- Water supply will be provided by: GREEN HILLS COUNTRY ESTATES.
- Type of System will be TANK ONLY with an absorption area of 0 Sq. Ft.
- Septic tank capacity must be at least 2500 gallons. System is designed for a 7 bedroom home.
- Maximum depth of trench bottoms must be limited to 0 inches from original ground surface.

*** IMPORTANT - PLEASE READ CAREFULLY ***

- THREE FOOT MAXIMUM BACKFILL OVER SEPTIC TANK.
- INSTALL IN DESIGNATED LOCATION.
- INSTALL ACCORDING TO CONSTRUCTION PLANS REVIEWED BY THIS OFFICE.
- WATER TIGHTNESS TEST REQUIRED. TANK MUST BE FULL AT TIME OF INSPECTION.

Please provide the permit number and address when requesting the final inspection or any additional information regarding this system.
Final inspection to be completed prior to any backfilling of installed system.

This permit may be revoked or altered if the site is found to be in a flood hazard or other geologic hazard area. This permit is based on minimum design standards, and in no case does it guarantee against the failure of the installed system. The performance of the installed system is affected by many other factors, such as operation, maintenance, wastewater contents, etc., not addressed by the standards.

Craig J. Sigmund

Craig J. Sigmund, Inc.