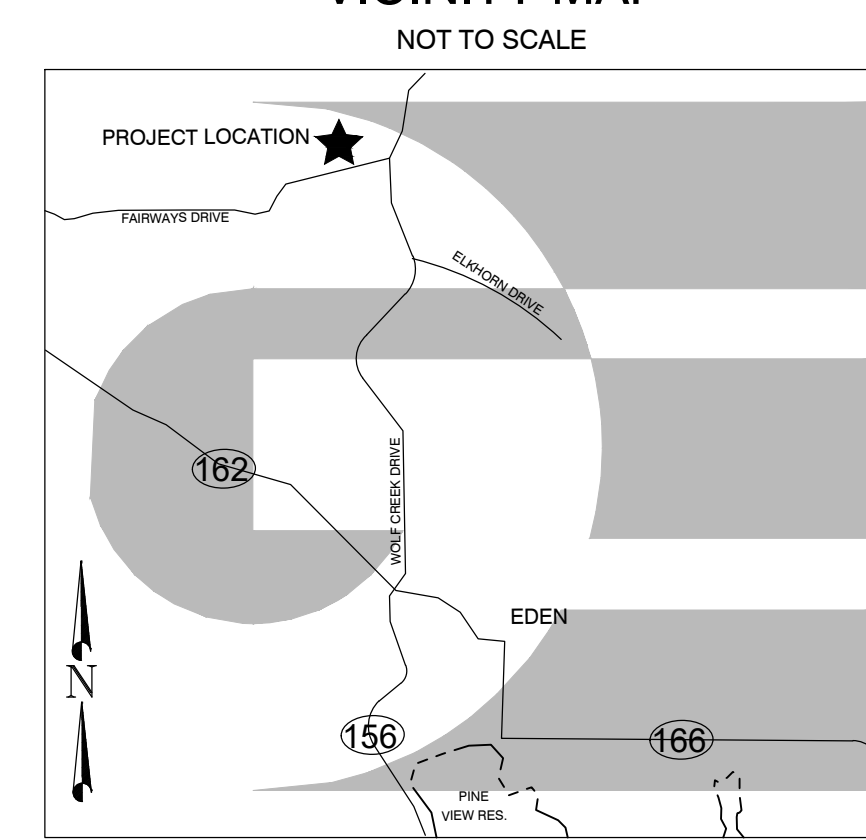


PARKSIDE P.R.U.D. PHASE 2

A PLANNED RESIDENTIAL UNIT DEVELOPMENT LOCATED IN THE NORTHWEST QUARTER OF SECTION 22, AND THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, WEBER COUNTY, UTAH

APRIL 2019

VICINITY MAP



BOUNDARY DESCRIPTION

A PART OF THE NORTHWEST QUARTER OF SECTION 22, AND A PART OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 7 NORTH, RANGE 1 EAST, OF THE SALT LAKE BASE AND MERIDIAN MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT OF THE BOUNDARY LINE OF PARKSIDE P.R.U.D. PHASE 1 BEING LOCATED NORTH 89°12'43" WEST 1410.04 FEET ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER AND NORTH 00°00'00" EAST 313.23 FEET FROM THE SOUTH QUARTER CORNER OF SAID SECTION 15, RUNNING THENCE SOUTH 47°28'15" WEST 109.81 FEET; THENCE SOUTH 63°21'03" WEST 214.54 FEET; THENCE SOUTH 55°40'38" WEST 164.17 FEET; THENCE SOUTH 72°57'22" WEST 98.73 FEET; THENCE SOUTH 82°28'55" WEST 161.28 FEET; THENCE SOUTH 68°28'02" WEST 122.28 FEET; THENCE NORTH 38°29'58" WEST 110.00 FEET; THENCE NORTH 30°45'34" WEST 50.36 FEET; THENCE NORTH 37°09'52" WEST 110.00 FEET; THENCE NORTH 48°08'04" EAST 27.29 FEET; THENCE NORTH 67°12'32" EAST 251.83 FEET; THENCE NORTH 74°44'44" EAST 141.86 FEET; THENCE NORTH 56°24'02" EAST 276.00 FEET; THENCE SOUTH 72°56'39" EAST 68.45 FEET; THENCE SOUTH 63°38'31" EAST 74.30 FEET; THENCE SOUTH 34°42'22" EAST 49.57 FEET; THENCE ALONG THE ARC OF A 175.00 FOOT RADIUS CURVE TO THE LEFT 47.08 FEET, HAVING A CENTRAL ANGLE OF 15°24'55", CHORD BEARS NORTH 47°35'10" EAST 46.94 FEET TO SAID BOUNDARY LINE OF PARKSIDE P.R.U.D. PHASE 1; THENCE ALONG SAID BOUNDARY LINE SOUTH 50°07'17" EAST 160.00 FEET TO THE POINT OF BEGINNING. CONTAINING 238,909 SQUARE FEET OR 5.485 ACRES.

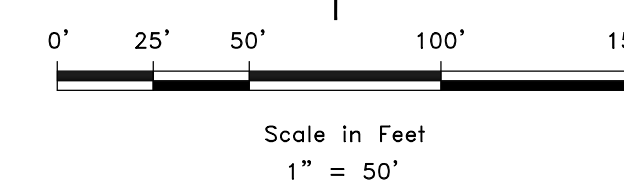
SURVEYOR'S CERTIFICATE

I, KLINT H. WHITNEY, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD CERTIFICATE NO. 8227228 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY AS SHOWN AND DESCRIBED ON THIS PLAT, AND HAVE SUBDIVIDED SAID PROPERTY INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS PARKSIDE P.R.U.D. PHASE 2 IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS; THAT THE REFERENCE MONUMENTS SHOWN HEREON ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO REESTABLISH THIS SURVEY; THAT ALL LOTS MEET THE REQUIREMENTS OF THE LAND USE CODE; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY.

SIGNED THIS _____ DAY OF _____, 2019.



KLINT H. WHITNEY, PLS NO. 8227228



OWNER'S DEDICATION

I THE UNDERSIGNED OWNER OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS, PARCELS AND STREETS AS SHOWN ON THIS PLAT AND NAME SAID TRACT:

PARKSIDE P.R.U.D. PHASE 2

AND HEREBY DEDICATE, GRANT AND CONVEY TO WEBER COUNTY, UTAH ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THROUGHFARES FOREVER, AND ALSO GRANT AND DEDICATE A PERPETUAL EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED ON THE PLAT AS PUBLIC UTILITY, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES, STORM DRAINAGE FACILITIES OR FOR THE PERPETUAL PRESERVATION OF WATER DRAINAGE CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY WEBER COUNTY UTAH, WITH NO BUILDINGS OR STRUCTURES BEING ERRECTED WITHIN SUCH EASEMENTS, AND FURTHER GRANT AND CONVEY TO THE SUBDIVISION LOT (UNIT) OWNERS ASSOCIATION, ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS COMMON AREAS TO BE USED FOR RECREATIONAL AND OPEN SPACE PURPOSES FOR THE BENEFIT OF EACH LOT (UNIT) OWNERS ASSOCIATION MEMBER IN COMMON WITH ALL OTHERS IN THE SUBDIVISION AND SUBSEQUENT PHASES OF THE DEVELOPMENT AND GRANT AND DEDICATE TO WEBER COUNTY A PERPETUAL OPEN SPACE RIGHT AND PUBLIC UTILITY EASEMENT ON AND OVER THE COMMON AREAS TO GUARANTEE TO WEBER COUNTY THAT THE COMMON AREAS REMAIN OPEN AND UNDEVELOPED EXCEPT FOR APPROVED RECREATIONAL, PARKING AND OPEN SPACE PURPOSES, AND ALSO DEDICATE, GRANT AND CONVEY TO WEBER COUNTY A TEMPORARY TURN AROUND EASEMENT AS SHOWN HEREON TO BE USED BY THE PUBLIC UNTIL SUCH TIME THAT THE ROAD IS EXTENDED. THE TEMPORARY TURN AROUND EASEMENT SHALL BE REVOKED AND NULLIFIED AT THE EVENT OF THE EXTENSION OF THE ROAD WITHOUT FURTHER WRITTEN DOCUMENT AND THE ENCUMBERED LAND WITHIN THE AFFECTED PROPERTY SHALL BE RELEASED FOR THE FULL AND EXCLUSIVE USE AND BENEFIT OF THE PROPERTY OWNERS.

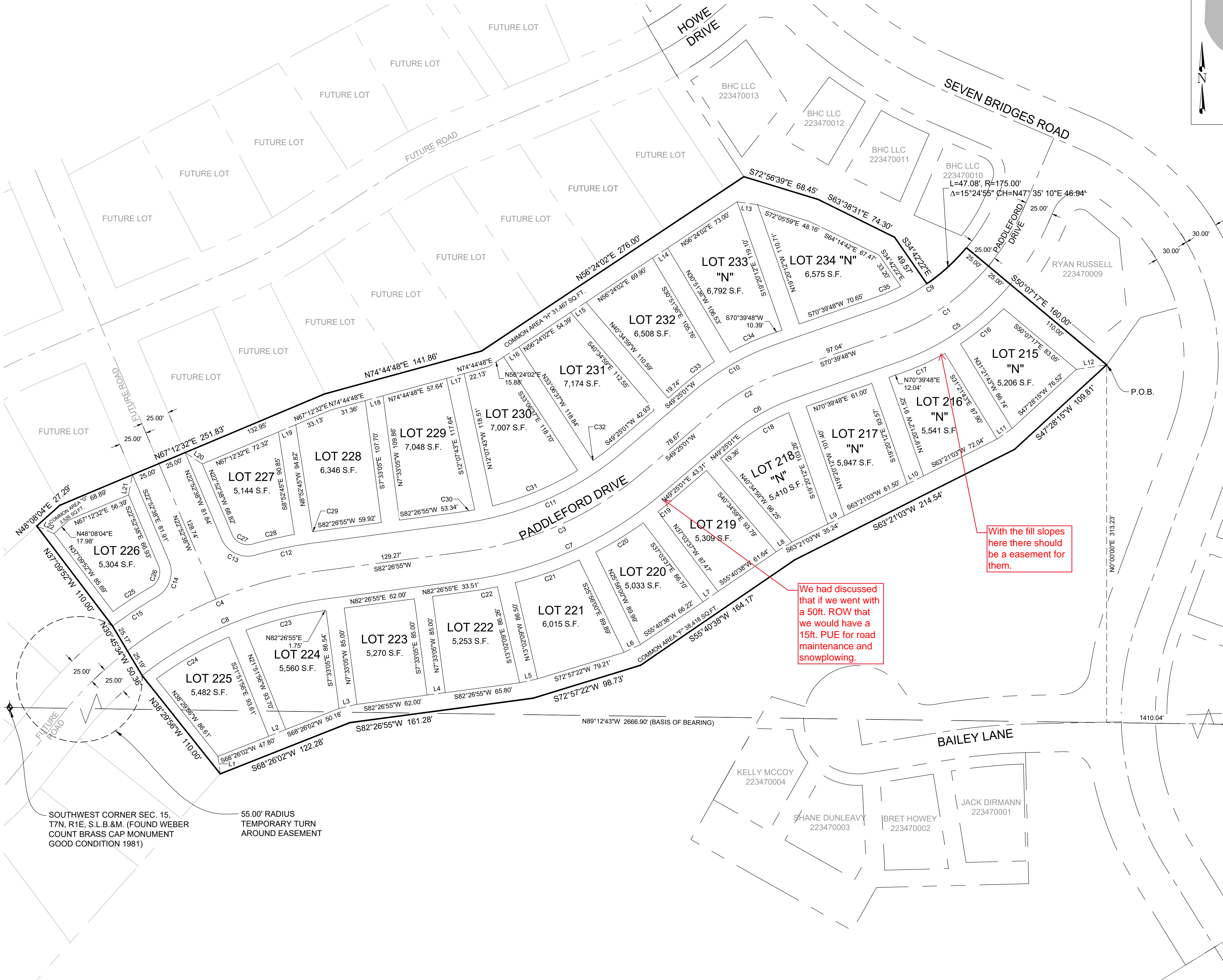
BRIDGES HOLDING COMPANY, LLC

SIGNED THIS _____ DAY OF _____, 2019.

BY: JOHN L. LEWIS, MANAGING MEMBER

LEGEND

- ◆ WEBER COUNTY MONUMENT AS NOTED
- SET 24" REBAR AND CAP MARKED GARDNER ENGINEERING
- SUBDIVISION BOUNDARY
- LOT LINE
- - - ADJACENT PARCEL
- - - SECTION LINE
- - - EASEMENT
- X — EXISTING FENCE LINE



SOUTH QUARTER CORNER SEC. 15, T7N, R1E, S.L.B.&M. (FOUND WEBER COUNTY BRASS CAP MONUMENT GOOD CONDITION 1981)

LINE TABLE			LINE TABLE			LINE TABLE		
LINE #	LENGTH	BEARING	LINE #	LENGTH	BEARING	LINE #	LENGTH	BEARING
L1	15.47	S7° 21' 55"E	L9	16.13	S63° 21' 03"W	L17	16.02	N74° 44' 48"E
L2	16.00	S68° 26' 02"W	L10	16.13	S63° 21' 03"W	L18	16.15	N74° 44' 48"E
L3	16.07	S76° 57' 46"W	L11	16.04	S54° 29' 50"W	L19	16.48	N67° 12' 32"E
L4	16.00	S82° 26' 55"W	L12	26.77	S81° 32' 43"W	L20	18.04	S56° 32' 27"E
L5	16.00	S77° 49' 22"W	L13	18.07	N81° 40' 13"W	L21	18.02	N10° 50' 21"E
L6	16.00	S64° 23' 40"W	L14	16.02	N56° 24' 02"E	L22	16.47	N66° 13' 53"W
L7	16.02	S55° 40' 38"W	L15	16.12	N56° 24' 02"E			
L8	16.19	S58° 08' 55"W	L16	16.00	N56° 24' 02"E			

ACKNOWLEDGEMENT

STATE OF UTAH)
 COUNTY OF WEBER)

On this _____ day of _____, 2019, personally appeared before me JOHN L. LEWIS, whose identity is personally known to me (or proven on the basis of satisfactory evidence) and who by me duly sworn/affirmed, did say that he/she is the MANAGING MEMBER of THE BRIDGES HOLDING COMPANY LLC, and that said document was signed by him/her in behalf of said "Corporation by Authority of its Bylaws, or (Resolution of its Board of Directors), and said JOHN L. LEWIS acknowledged to me that said "Corporation executed the same.

SIGNED THIS _____ DAY OF _____, 2019.

CHAIRMAN, WEBER COUNTY COMMISSION

CHAIRMAN, WEBER COUNTY PLANNING COMMISSION

STAMP

NOTARY PUBLIC

WEBER COUNTY SURVEYOR
 I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT FOR MATHEMATICAL CORRECTNESS, SECTION CORNER DATA, AND FOR HARMONY WITH LINES AND MONUMENTS ON RECORD IN COUNTY OFFICES. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.
 SIGNED THIS _____ DAY OF _____, 2019.

WEBER COUNTY ATTORNEY
 I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND EFFECT.
 SIGNED THIS _____ DAY OF _____, 2019.

WEBER COUNTY ENGINEER
 I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.
 SIGNED THIS _____ DAY OF _____, 2019.

WEBER COUNTY COMMISSION ACCEPTANCE
 THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH.
 SIGNED THIS _____ DAY OF _____, 2019.

WEBER COUNTY PLANNING COMMISSION APPROVAL
 THIS IS TO CERTIFY THAT THIS SUBDIVISION WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION.
 SIGNED THIS _____ DAY OF _____, 2019.

ATTEST: _____
 NAME/TITLE

DEVELOPER: BRIDGES OF WOLF CREEK DEVELOPMENT CORP. 3718 NORTH WOLF CREEK DRIVE EDEN, UT 84310 801-430-1507	S1 2	COUNTY RECORDER
		ENTRY NO. _____ FEE PAID _____ FILED FOR AND RECORDED _____ AT _____ IN BOOK _____ OF OFFICIAL RECORDS, PAGE _____ RECORDED FOR _____ COUNTY RECORDER BY: _____
CIVIL - LAND PLANNING MUNICIPAL - LAND SURVEYING 5150 SOUTH 375 EAST EDEN, UT OFFICE: 801.476.0202 FAX: 801.476.0066		

R1201 - LEWIS HOMES THE BRIDGES PHASE 2 - PARKSIDE SURVEYOR/DWG/PARKSIDE PHASE 2.DWG

PARKSIDE P.R.U.D. PHASE 2
 A PLANNED RESIDENTIAL UNIT DEVELOPMENT LOCATED IN THE NORTHWEST QUARTER
 OF SECTION 22, AND THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 7 NORTH,
 RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, WEBER COUNTY, UTAH
 APRIL 2019

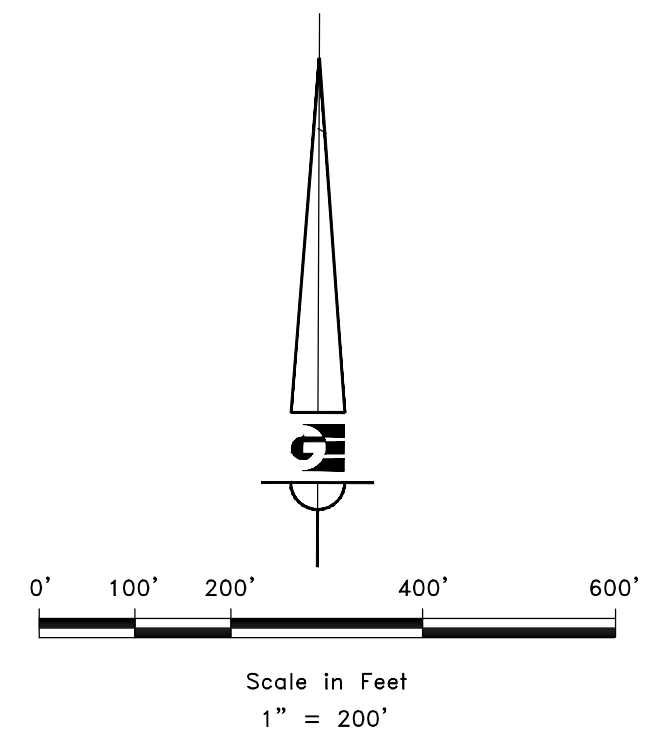
NOTES

1. SUBJECT PROPERTY FALLS WITHIN FEMA FLOOD ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA MAP NO. 49057C0229F WITH AN EFFECTIVE DATE OF DECEMBER 16, 2005.
2. "N" DESIGNATION DESIGNATES THAT RESTRICTED LOTS MAY HAVE TO COMPLETE ADDITIONAL GEOLOGIC AND/OR GEOTECHNICAL INVESTIGATION PRIOR TO APPLYING FOR A BUILDING PERMIT WITH WEBER COUNTY.
3. REBAR AND CAP TO BE SET AT REAR LOT CORNERS. CURB NAIL TO BE SET IN CURB AT FRONT LOT LINE EXTENSION.
4. ALL AREAS NOT WITHIN THE BOUNDARIES OF THE FOURTEEN (14) NUMBERED LOTS ARE COMMON AREAS AND FACILITIES, CERTAIN OF WHICH AREAS ARE MARKED AS "CA" HEREON PROVIDED, HOWEVER, APPURTENANT TO THE LOTS ARE PERPETUAL EASEMENTS FOR THE ENCROACHMENT OF EAVES OF THE BUILDINGS. THE DRIVEWAYS ARE RESERVED FOR THE USE OF THE LOT TO WHICH IT IS APPURTENANT.
5. NIGHTLY RENTALS ARE ALLOWED.
6. PARKSIDE P.R.U.D. PHASE 1 IS LOCATED WITHIN A NATURAL HAZARDS AREA. A GEOTECHNICAL INVESTIGATION HAS BEEN PERFORMED BY GSH ENGINEERING JOB NUMBER 1661-08N-16 DATED JULY 25, 2018. LOTS IDENTIFIED WITH AN "N" WILL REQUIRE FURTHER GEOLOGIC AND GEOTECHNICAL INVESTIGATIONS PRIOR TO SUBMITTING AN APPLICATION FOR A LAND USE AND BUILDING PERMIT. THE FINAL REPORT IS AVAILABLE FOR PUBLIC REVIEW AT THE WEBER COUNTY PLANNING DIVISION OFFICE.
7. THE APPROVED MINIMUM SINGLE FAMILY BUILDING SETBACKS ARE:
 FRONT - 15.00' FROM RIGHT-OF-WAY LINE
 REAR - 20.00' FROM SUBDIVISION BOUNDARY LINE
 INTERIOR SIDE NO CLOSER THE 15.00 FEET TO ADJACENT LOT
 SIDE FACING STREET ON CORNER LOT - 15.00 FEET FROM RIGHT-OF-WAY LINE
 SIDE: 7.5 FEET FROM SUBDIVISION BOUNDARY LINE

NARRATIVE

THE PURPOSE OF THIS SURVEY WAS TO CREATE A TWENTY (20) LOT SUBDIVISION ON THE PROPERTY AS SHOWN AND DESCRIBED HEREON. THE SURVEY WAS ORDERED BY LEWIS HOMES. THE BASIS OF BEARING IS THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 7 NORTH, RANGE 1 EAST, OF THE SALT LAKE BASE AND MERIDIAN WHICH BEARS SOUTH 89°12'43" EAST WEBER COUNTY, UTAH NORTH, NAD 83 STATE PLANE GRID BEARING. THE RIGHT-OF-WAY OF PADDLERFORD DRIVE WAS ESTABLISHED BY HONORING THE EXISTING DEDICATED PLATS CONTAINING AND ADJOINING PADDLERFORD DRIVE.

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	107.46	200.00	30.78	S55° 16' 15"W	106.17
C2	74.16	200.00	21.25	S60° 02' 24"W	73.74
C3	172.95	300.00	33.03	S65° 55' 58"W	170.57
C4	183.70	350.00	30.07	S67° 24' 44"W	181.60
C5	120.89	225.00	30.78	S55° 16' 15"W	119.44
C6	64.89	175.00	21.25	S60° 02' 24"W	64.52
C7	187.37	325.00	33.03	S65° 55' 58"W	184.78
C8	173.59	325.00	30.60	S67° 08' 49"W	171.54
C9	94.03	175.00	30.78	S55° 16' 15"W	92.90
C10	83.43	225.00	21.25	S60° 02' 24"W	82.96
C11	158.54	275.00	33.03	S65° 55' 58"W	156.35
C12	53.31	375.00	8.15	S78° 22' 34"W	53.27
C13	36.14	25.00	82.82	N64° 17' 13"W	33.07
C14	36.14	25.00	82.82	S18° 31' 56"W	33.07
C15	46.51	375.00	7.11	S56° 23' 19"W	46.48
C16	48.92	235.00	11.93	N50° 43' 26"E	48.83
C17	41.32	235.00	10.07	N65° 37' 34"E	41.27
C18	53.18	165.00	18.47	N58° 39' 02"E	52.95
C19	12.60	335.00	2.15	N50° 29' 39"E	12.59
C20	49.06	335.00	8.39	N58° 30' 11"E	49.01
C21	59.41	335.00	10.16	N70° 30' 55"E	59.33
C22	24.07	335.00	4.12	N80° 23' 26"E	24.06
C23	70.70	315.00	12.86	N76° 01' 09"E	70.55
C24	73.49	315.00	13.37	N59° 59' 43"E	73.33
C25	39.75	385.00	5.92	S56° 59' 03"W	39.73
C26	21.68	15.00	82.82	S18° 31' 56"W	19.84
C27	21.68	15.00	82.82	N64° 17' 13"W	19.84
C28	37.81	385.00	5.63	S77° 07' 01"W	37.79
C29	0.92	385.00	0.14	S82° 22' 48"W	0.92
C30	13.17	265.00	2.85	S81° 01' 30"W	13.17
C31	81.04	265.00	17.52	S67° 22' 50"W	80.72
C32	26.56	265.00	5.74	S52° 17' 18"W	26.55
C33	31.88	235.00	7.77	S53° 18' 11"W	31.85
C34	39.26	235.00	9.57	S65° 52' 37"W	39.22
C35	24.21	165.00	8.41	S66° 27' 35"W	24.19



LEGEND

- ◆ WEBER COUNTY MONUMENT AS NOTED
- SET 24" REBAR AND CAP MARKED GARDNER ENGINEERING
- SUBDIVISION BOUNDARY
- LOT LINE
- - - ADJACENT PARCEL
- SECTION LINE
- - - EASEMENT
- x — EXISTING FENCE LINE

16
21

16
21

15
22

BRIDGES HOLDING
COMPANY LLC
220060004

REMAINDER PARCEL
220060033
NOT APPROVED FOR
DEVELOPMENT AT THIS TIME

MOUNTAINSIDE
P.R.U.D.
PHASE 1

SUMMIT
MOUNTAIN
HOLDING
GROUP LLC
220060015

REMAINDER PARCEL
220060033
NOT APPROVED FOR
DEVELOPMENT AT THIS TIME

SUMMIT
MOUNTAIN
HOLDING
GROUP LLC
220060016

SUMMIT
MOUNTAIN
HOLDING
GROUP LLC
220060014

PARKSIDE
P.R.U.D.
PHASE 1

PARKSIDE
P.R.U.D.
PHASE 2

REMAINDER PARCEL
220170020
NOT APPROVED FOR
DEVELOPMENT AT THIS TIME

DEVELOPER:
BRIDGES OF WOLF CREEK
DEVELOPMENT CORP.
3718 NORTH WOLF CREEK DRIVE
EDEN, UT 84310
801-430-1507

S2
2

COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____
 FILED FOR AND RECORDED _____
 AT _____ IN BOOK _____ OF OFFICIAL _____
 RECORDS, PAGE _____ RECORDED _____
 FOR _____
 COUNTY RECORDER _____
 BY: _____

THE BRIDGES - PARKSIDE PH 2

CONSTRUCTION DOCUMENTS EDEN, WEBER, UTAH

FOR COUNTY SUBMITTAL 7-17-18

PARKSIDE PHASE 2
CONSTRUCTION DOCUMENTS

C1

TRAFFIC CONTROL & SAFETY NOTES

1. BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT STATE OF UTAH DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, AND THE CURRENT COUNTY STANDARD DRAWING, AND SHALL BE APPROVED PRIOR TO ANY WORK.
2. NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE COUNTY ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
3. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
4. DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE COUNTY ENGINEER FOR REVIEW AND APPROVAL.
5. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE COUNTY ENGINEER
6. TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS". THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

SANITARY SEWER GENERAL NOTES

1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN CONFORMANCE WITH WOLF CREEK WATER AND SEWER IMPROVEMENT (WCWSID) DISTRICT STANDARDS AND SPECIFICATIONS.
2. ALL GRAVITY SANITARY SEWER LINES SHALL BE SDR-35 PVC MATERIAL. SEWER LINE CONSTRUCTION AND MATERIALS SHALL CONFORM TO ASTM STANDARDS AND SPECIFICATIONS.
3. DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT.
4. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE.
5. ALL SANITARY SEWER MAIN TESTING SHALL BE IN ACCORDANCE WITH (WCWSID) STANDARDS AND SPECIFICATIONS. COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE PUBLIC WORKS SANITARY SEWER DEPARTMENT HEAD PRIOR TO FINAL ACCEPTANCE.
6. COMPACTION TESTING OF ALL TRENCHES WITH THE PROJECT SITE MUST BE ATTAINED AND RESULTS SUBMITTED PRIOR TO FINAL ACCEPTANCE.
7. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING STRUCTURES AND IMPROVEMENTS DURING INSTALLATION OF SANITARY SEWER LINE.
8. WHERE CONNECTION TO EXISTING UTILITY IS PROPOSED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER/ENGINEER IF LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.
9. CAMERA TESTING AND PRESSURE TESTING PER (WCWSID) STANDARD.

SWPPP GENERAL NOTES

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY THE COUNTY AND STATE.
2. ALL STRUCTURAL EROSION MEASURES SHALL BE INSTALLED AS SHOWN ON THE SWPPP PLAN, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.

GENERAL NOTES

1. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION OF SITE IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE COUNTY ENGINEER, PLANNING, CODES AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE DESIGNATED PUBLIC WORKS INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS.
4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE COUNTY AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE.
5. THE CONTRACTOR SHALL HAVE ONE (1) COPY OF APPROVED PLANS, AND ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
7. IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED AND RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT DRAWINGS ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE, AND AVAILABLE TO THE COUNTY INSPECTOR AT ALL TIMES.
11. THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER LINES AND DRY UTILITIES.
12. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS CONSISTENT WITH THE CONTRACTORS SCHEDULE FOR THIS PROJECT, WHETHER SHOWN OR NOT SHOWN AS IT RELATES TO THE CONSTRUCTION ACTIVITIES CONTEMPLATED IN THESE PLANS.
13. FOLLOW RECOMMENDATIONS IN GEOTECH REPORT.
14. ROCK WALLS THAT ARE 4FT IN HEIGHT OR HIGHER REQUIRE AN ENGINEERED DESIGN. DESIGN WILL NEED TO BE STAMPED BY ENGINEER PROVIDE LETTER FROM THE ENGINEER STATING THAT THEY WERE INSTALLED PROPERLY.

STORM SEWER GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:
A) OBTAIN ALL REQUIRED PERMITS FROM THE COUNTY OR REGULATORY AGENCIES, INCLUDING PERMITS TO WORK IN THE RIGHT-OF-WAY.
B) RESTORATION OF EXISTING IMPROVEMENTS INCLUDING BUT NOT LIMITED TO FENCES, SOD, LANDSCAPING, PAVEMENT, SPRINKLER SYSTEM.
C) VERIFICATION AND PROTECTION OF ALL EXISTING IMPROVEMENTS WITHIN THE LIMITS OF CONSTRUCTION.
D) PROVIDING AS-BUILT DRAWINGS TO THE COUNTY AND THE ENGINEER.
E) ALL PERMITTING, DEVELOPMENT, LOCATION, CONNECTION AND INSPECTION AND SCHEDULING FOR SUCH.
2. ALL STORM SEWER CONNECTIONS SHALL BE IN CONFORMANCE WITH COUNTY STANDARDS AND SPECIFICATIONS.
3. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT, AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH COUNTY STANDARDS AND SPECIFICATIONS AND PLANS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO PLACEMENT OF ASPHALT PAVING.
4. COMPACTION OF ALL TRENCHES WITHIN THE PROJECT SITE MUST BE ATTAINED AND COMPACTION RESULTS SUBMITTED PRIOR TO FINAL ACCEPTANCE.
5. ALL STORM DRAIN PIPES IN THE COUNTY RIGHT-OF-WAY SHALL BE RCP CL III.
6. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING LIDS. ALL STORM SEWER LIDS SHALL BE LABELED "STORM DRAIN".
7. WHERE CONNECTION TO EXISTING UTILITY IS PROPOSED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER/ENGINEER IF LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.

GENERAL GRADING NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST APWA STANDARDS AND SPECIFICATION FOR PUBLIC WORKS AND THE COUNTY STANDARDS. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS AND ENTRIES. FINISHED GRADE AT FOUNDATION FOR WOOD FRAMED STRUCTURES SHALL BE 8 INCHES BELOW TOP OF FOUNDATION AND DRAINAGE SHALL BE A MINIMUM OF 5% WITHIN 10 FEET FROM THE BUILDING.
2. MAXIMUM SLOPES SHALL BE 3:1 FOR CUT AND FILL UNLESS OTHERWISE NOTED.
3. COMPACTION REQUIREMENTS AND TESTING SHALL BE PERFORMED TO MEET THE COUNTY STANDARDS.
4. NO FILL SHALL BE PLACED UNTIL VEGETATION HAS BEEN REMOVED AND SUB-GRADE PREPARED PER THE SOILS REPORT.
5. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
6. CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN BY INSTALLING BMP'S PRIOR TO COMMENCEMENT OF EXCAVATION ACTIVITIES.
7. ALL RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ALL SUBSEQUENT REPORTS, ADDENDUM ETC. SHALL BE CONSIDERED A PART OF THIS GRADING PLAN AND SHALL BE COMPLIED WITH.
8. THE CONTRACTOR SHALL CONTACT BLUE STAKES FOR LOCATION MARKING PRIOR TO COMMENCING EXCAVATION ACTIVITIES.
9. COUNTY MAY REQUIRE A PRE-CONSTRUCTION MEETING BEFORE A PERMIT IS ISSUED.
10. STREETS ADJACENT TO THE PROJECT SHALL BE CLEAN AT ALL TIMES.
11. CONTRACTOR IS RESPONSIBLE FOR ARRANGING FOR ALL REQUIRED INSPECTIONS.
12. PRIOR TO TAKING WATER FROM A COUNTY FIRE HYDRANT, THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE WATER UTILITY TO OBTAIN A WATER METER.

CULINARY WATER GENERAL NOTES

1. ALL INSTALLATION AND MATERIALS SHALL CONFORM TO WATER UTILITY STANDARDS, SPECIFICATIONS AND PLANS.
2. THRUST BLOCKING IS REQUIRED AT ALL BENDS AND FITTINGS. THE RODS SHALL BE USED AT ALL BENDS AND FITTINGS WHERE THRUST BLOCKS DO NOT BEAR AGAINST UNDISTURBED SOIL.
3. ALL WATERLINES AT SEWER CROSSINGS SHALL BE LOCATED ABOVE AND HAVE AN 18-INCH VERTICAL SEPARATION FROM THE SEWER PIPE. IF THIS IS NOT PROVIDED, THE WATERLINE SHALL BE INSTALLED WITH 20 L.F. OF CONCRETE CASING CENTERED OVER THE SEWER PIPE.
4. DISINFECTION TESTS SHALL BE PERFORMED BY THE WATER UTILITY WITH COOPERATION FROM THE CONTRACTOR IN PERFORMING ANY NECESSARY EXCAVATION AND SUBSEQUENT BACKFILLING AT NO COST TO THE DISTRICT...
5. CHLORINATION OF COMPLETED WATER LINE. THE NEW WATER LINES SHALL BE DISINFECTED BY CHLORINATION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL RELATED COSTS AND FEES RELATED TO THE CHLORINATION OF THE COMPLETED WATER LINE. THIS TEST SHALL BE PERFORMED PRIOR TO CONNECTION OF THE NEW WATER LINES TO THE EXISTING WATER SYSTEM. THE CONTRACTOR SHALL NOTIFY THE WATER UTILITY AT LEAST 24 HOURS BEFORE THE CHLORINATION IS DESIRED.
6. A MINIMUM HORIZONTAL CLEARANCE OF 10 FEET SHALL BE MAINTAINED FROM SANITARY SEWER MAINS.
7. UNLESS OTHERWISE SPECIFIED, ALL WATERLINES SHALL BE AWWA C900 PVC CLASS 150, PER ASTM D2241.
8. CONTRACTOR SHALL LOCATE VALVES PRIOR TO CONNECTION WITH EXISTING SYSTEM, BUT SHALL NOT OPERATE ANY VALVE WITHOUT PERMISSION FROM THE WATER UTILITY.
9. ALL WATER MAINS, VALVES, FIRE HYDRANTS, SERVICES AND APPURTENANCES SHALL BE INSTALLED, TESTED, AND APPROVED PRIOR TO PAVING.
10. THERE SHALL BE A WATER SUPPLY TO THE DEVELOPMENT BEFORE ANY WOOD CONSTRUCTION STARTS.

WEBER FIRE DISTRICT GENERAL NOTES

1. FIRE FLOW: ALL DWELLINGS STRUCTURES OVER 5000 SQ. FT. WHICH DO NOT MEET THE FIRE FLOW REQUIREMENTS, SHALL BE EQUIPPED WITH AN NFPA 13D COMPLIANT FIRE SPRINKLER SYSTEM OR BE PROVIDED WITH AREA SEPARATIONS COMPLIANT WITH THE IBC/IRC. FOR MORE INFORMATION REGARDING FIRE FLOW, PLEASE CONTACT FIRE MARSHAL THUESON AT 801-782-3580.
2. ROADS AND BRIDGES SHALL BE DESIGNED, CONSTRUCTED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF 75,000 LBS.
3. ALL ROADS SHALL BE DESIGNED, CONSTRUCTED, SURFACED AND MAINTAINED SO AS TO PROVIDE AN ALL-WEATHER DRIVING SURFACE.
4. FIRE ACCESS ROADS FOR THIS PROJECT SHALL BE COMPLETED AND APPROVED PRIOR TO ANY COMBUSTIBLE CONSTRUCTION. TEMPORARY ROADS SHALL MEET THE SAME REQUIREMENTS FOR HEIGHT, WIDTH AND IMPOSED LOADS AS PERMANENT ROADS.
5. ALL REQUIRED FIRE HYDRANTS AND WATER SYSTEMS SHALL BE INSTALLED, APPROVED AND FULLY FUNCTIONAL PRIOR TO ANY COMBUSTIBLE CONSTRUCTION.

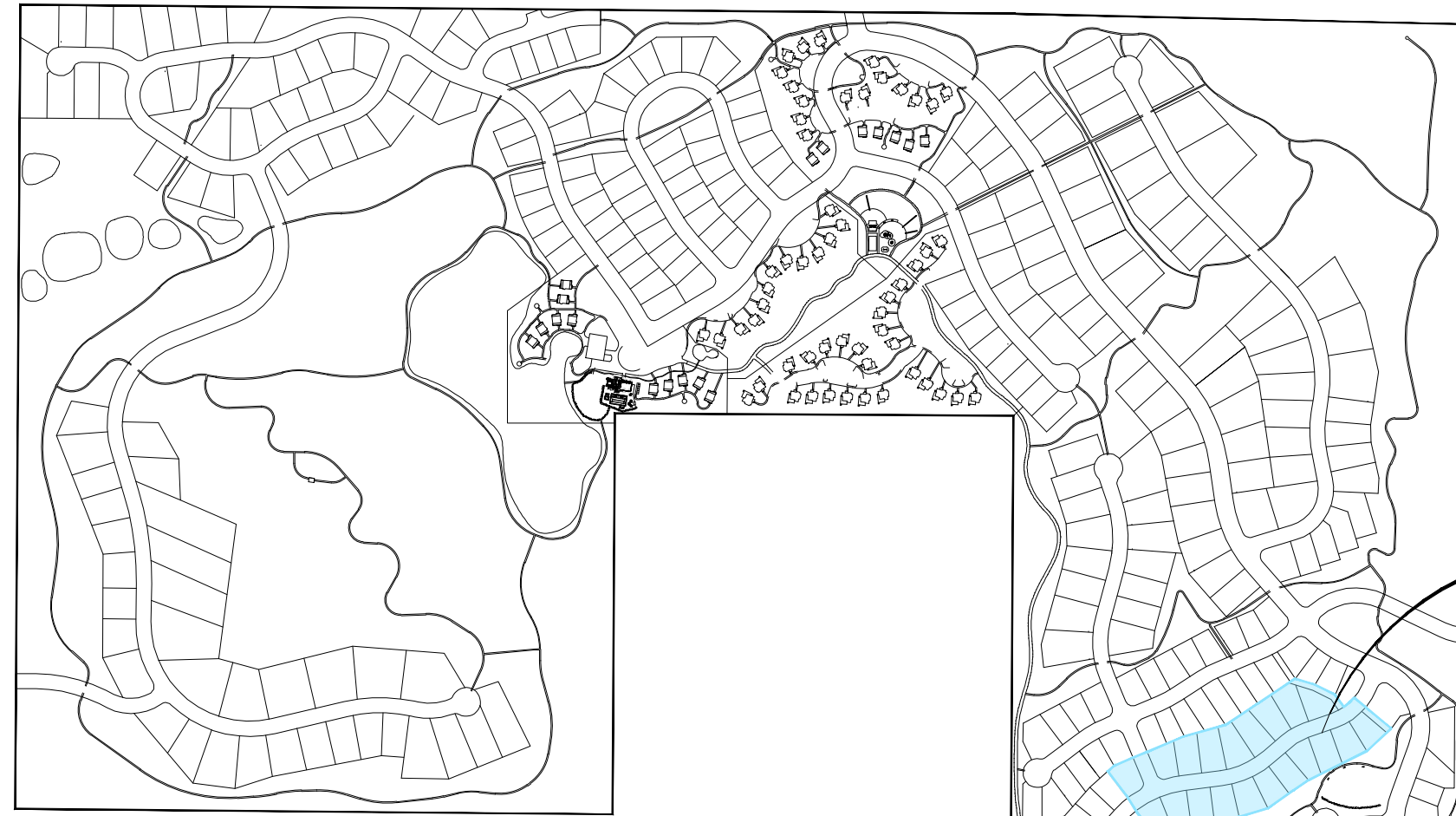
ALL IMPROVEMENTS TO CONFORM TO CURRENT COUNTY STANDARDS AND SPECIFICATIONS

CULINARY WATER, SECONDARY WATER AND SEWER IMPROVEMENTS TO CONFORM TO THE WOLF CREEK WATER AND SEWER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS

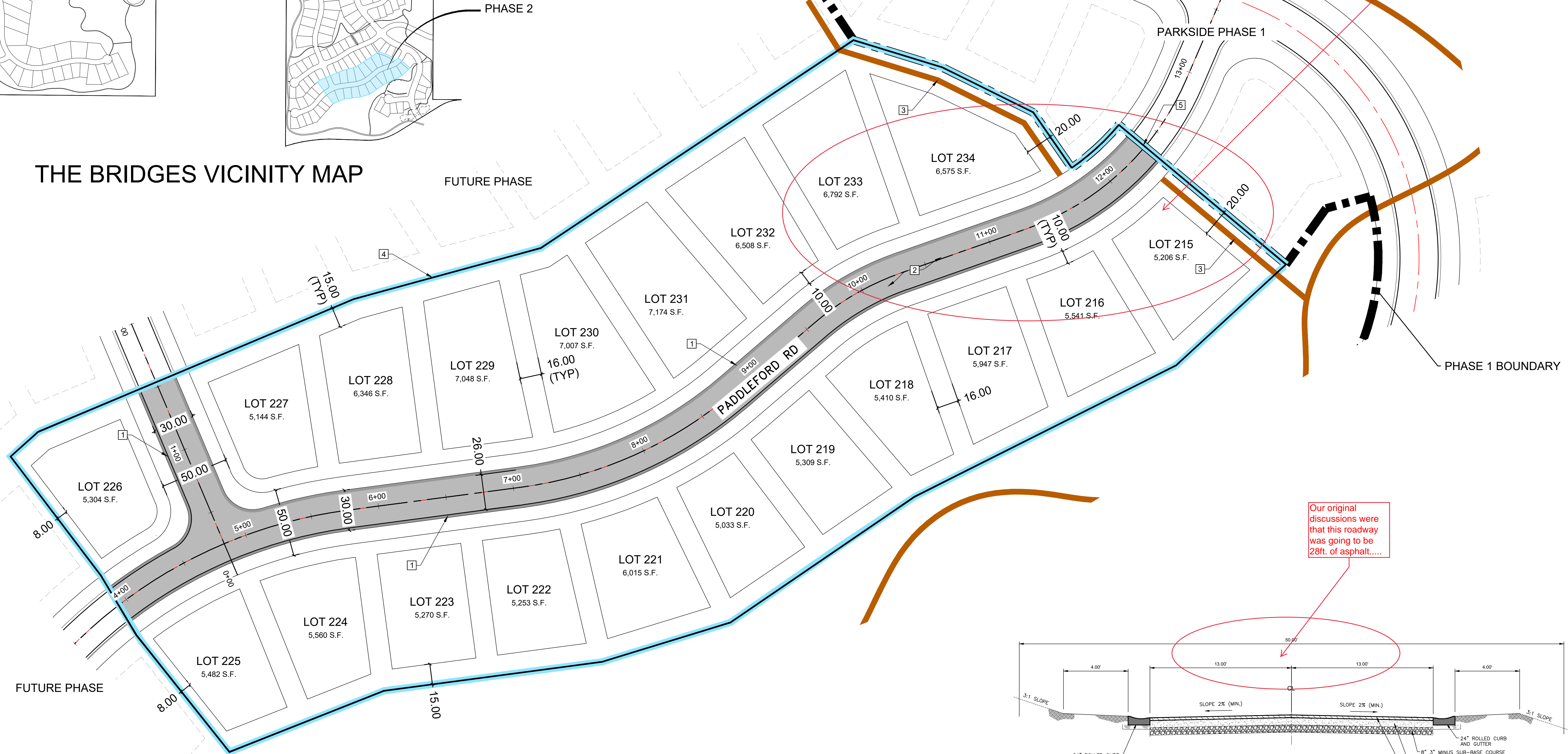
SHEET INDEX

C1	-	COVER SHEET
SP-01	-	SITE PLAN
UT-01	-	UTILITY PLAN
DR-01	-	DRAINAGE PLAN
DR-02	-	POND OUTLET
DR-03	-	OFFSITE STORM DRAIN
PP1 - PP5	-	PLAN AND PROFILE
DT1 - DT3	-	DETAILS
SW1	-	SWPPP PLAN



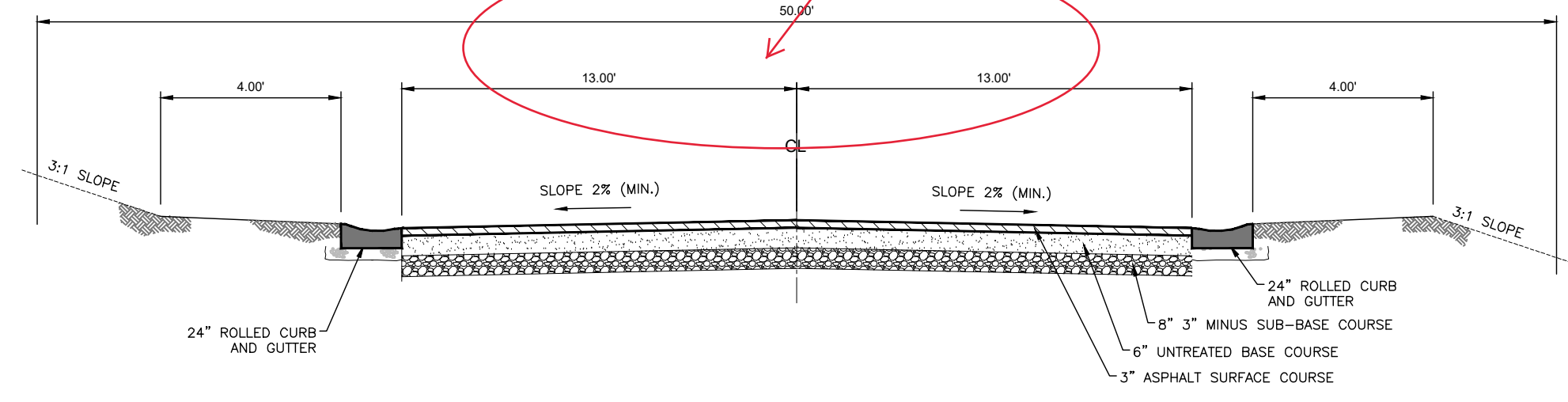


THE BRIDGES VICINITY MAP



Is there anything from the geologist/geotech on the roadway and the unstable soils in this area of the slide? It is noted that there are inherent risks with this slide area, are there things that can be done to minimize these risks. Has the Geologist/geotech seen the site grading plan?

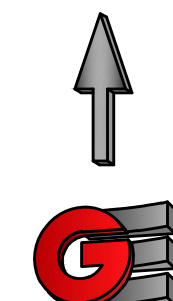
Our original discussions were that this roadway was going to be 28ft. of asphalt.....



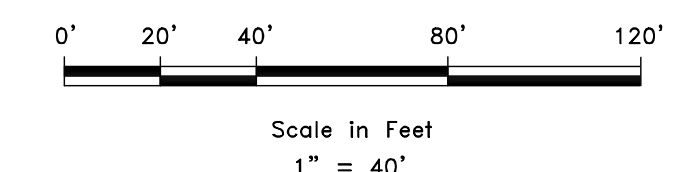
50' ROW - TYPICAL ROADWAY
NOT TO SCALE

- KEY NOTES:
- 1 24" ROLLED CURB AND GUTTER
 - 2 ASPHALT PAVEMENT: 3" ASPHALT/6" ROAD BASE/8" SUB BASE
 - 3 TRAIL
 - 4 PARKSIDE PHASE 2 BOUNDARY
 - 5 SAW CUT EXISTING ASPHALT

SITE NOTES
20 LOTS
5.485 ACRES



DEVELOPER
LEWIS HOMES
ERIC HOUSEHOLDER
801-389-0040



REVISIONS	DESCRIPTION
DATE	

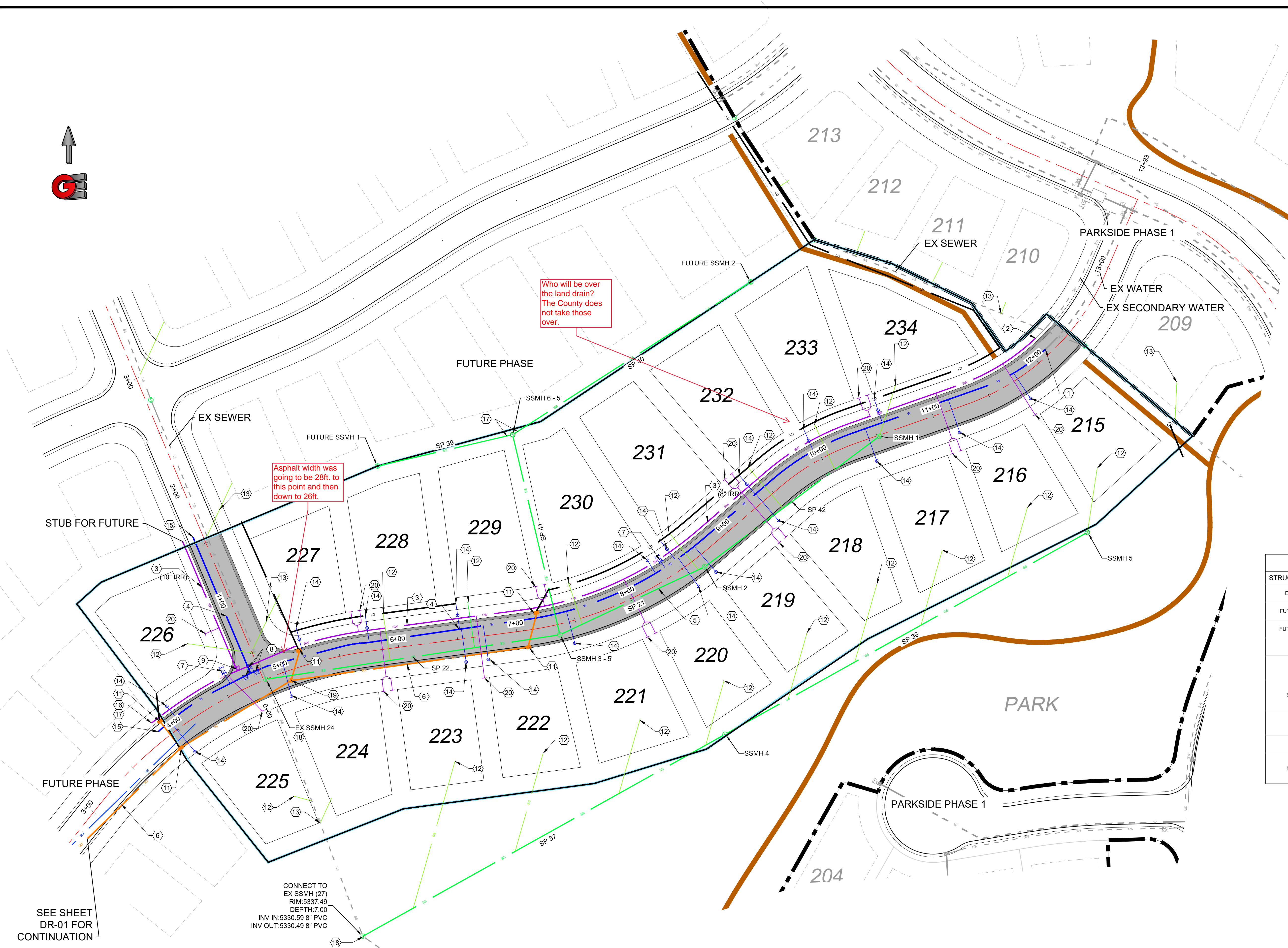
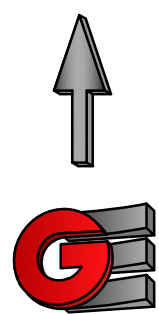


SITE PLAN
THE BRIDGES
PARKSIDE - PHASE 2
EDEN, WEBER, UTAH

GARDNER ENGINEERING
CIVIL • LAND PLANNING
MUNICIPAL • LAND SURVEYING
5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801.476.0202 FAX: 801.476.0066

SP-01

R:\1201 - LEWIS HOMES THE BRIDGES PHASE 2 - PARKSIDE DESIGN\DWG\PHASE 2 - 4-16-18.DWG



KEY NOTES

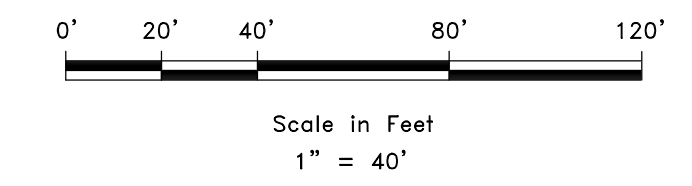
- ① CONNECT TO EXISTING WATER REMOVE BLOWOFF
- ② CONNECT TO EXISTING SECONDARY WATER
- ③ SECONDARY WATER (SEE SIZES)
- ④ 8" DUCTILE IRON WATER
- ⑤ 8" SEWER - SDR 35 PVC
- ⑥ STORM DRAIN - RCP
- ⑦ FIRE HYDRANT
- ⑧ WATER VALVE
- ⑨ SECONDARY VALVE
- ⑩ CAP FOR FUTURE CONNECTION
- ⑪ CATCH BASIN
- ⑫ SEWER LATERAL
- ⑬ EX SEWER LATERAL
- ⑭ WATER LATERAL
- ⑮ TEMPORARY BLOWOFF
- ⑯ TEMPORARY DRAIN VALVE
- ⑰ STUB FOR FUTURE CONNECTION
- ⑱ CONNECT TO EXISTING SEWER MANHOLE
- ⑲ STORM DRAIN MANHOLE
- ⑳ SECONDARY WATER LATERAL

Phase 2 Sewer STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT:
EX SSMH 24	RIM = 5357.44 INV IN = 5350.00	INV (E) = 5350.00	
FUTURE SSMH 1	RIM = 5376.44 INV OUT = 5371.44		INV (E) = 5371.44
FUTURE SSMH 2	RIM = 5401.34 INV OUT = 5393.34		INV (SW) = 5393.34
SSMH 1	RIM = 5391.06 INV OUT = 5383.56		INV (SW) = 5383.56
SSMH 2	RIM = 5372.53 INV IN = 5365.50 INV OUT = 5365.40	INV (NE) = 5365.50	INV (SW) = 5365.40
SSMH 3 - 5'	RIM = 5363.97 INV IN = 5355.97 INV IN = 5355.97 INV OUT = 5355.87	INV (NE) = 5355.97 INV (N) = 5355.97	INV (W) = 5355.87
SSMH 4	RIM = 5359.69 INV IN = 5354.69 INV OUT = 5354.59	INV (NE) = 5354.69	INV (SW) = 5354.59
SSMH 5	RIM = 5383.51 INV OUT = 5376.51		INV (SW) = 5376.51
SSMH 6 - 5'	RIM = 5381.59 INV IN = 5370.24 INV IN = 5370.24 INV OUT = 5370.14	INV (W) = 5370.24 INV (NE) = 5370.24	INV (S) = 5370.14

Sewer Pipe Table				
NAME	SIZE	LENGTH	SLOPE	MATERIAL
SP 42	8"	183.31'	9.85%	PVC
SP 21	8"	134.21'	7.03%	PVC
SP 22	8"	249.64'	2.35%	PVC
SP 36	8"	348.29'	6.26%	PVC
SP 37	8"	348.29'	6.92%	PVC
SP 39	8"	116.47'	1.03%	PVC
SP 40	8"	237.59'	9.72%	PVC
SP 41	8"	172.71'	8.20%	PVC

- LEGEND**
- WATER (BLUE) DUCTILE IRON CLASS 52
 - SECONDARY WATER (PURPLE) PVC C900
 - SANITARY SEWER (GREEN) PVC SDR-35
 - STORM DRAIN (ORANGE) RCP

DEVELOPER
LEWIS HOMES
ERIC HOUSEHOLDER
801-388-0040



SEE SHEET DR-01 FOR CONTINUATION

NOTES

SEE DR-01-03, PP 01-05 FOR DETAILED DESIGN.

CULINARY WATER, SECONDARY WATER AND SEWER IMPROVEMENTS SHALL CONFORM TO WOLF CREEK WATER AND SEWER IMPROVEMENTS DISTRICTS STANDARDS AND SPECIFICATIONS.

OTHER IMPROVEMENTS TO CONFORM TO CURRENT COUNTY STANDARDS AND SPECIFICATIONS.

SCALE: 1" = 40'
DATE: 7-17-18
DESIGN: KAN
DRAWN: KAN
CHECKED: RC

REVISIONS	DESCRIPTION	DATE
	REV. WATER LATERAL + ADDED L.D.	6-9-18

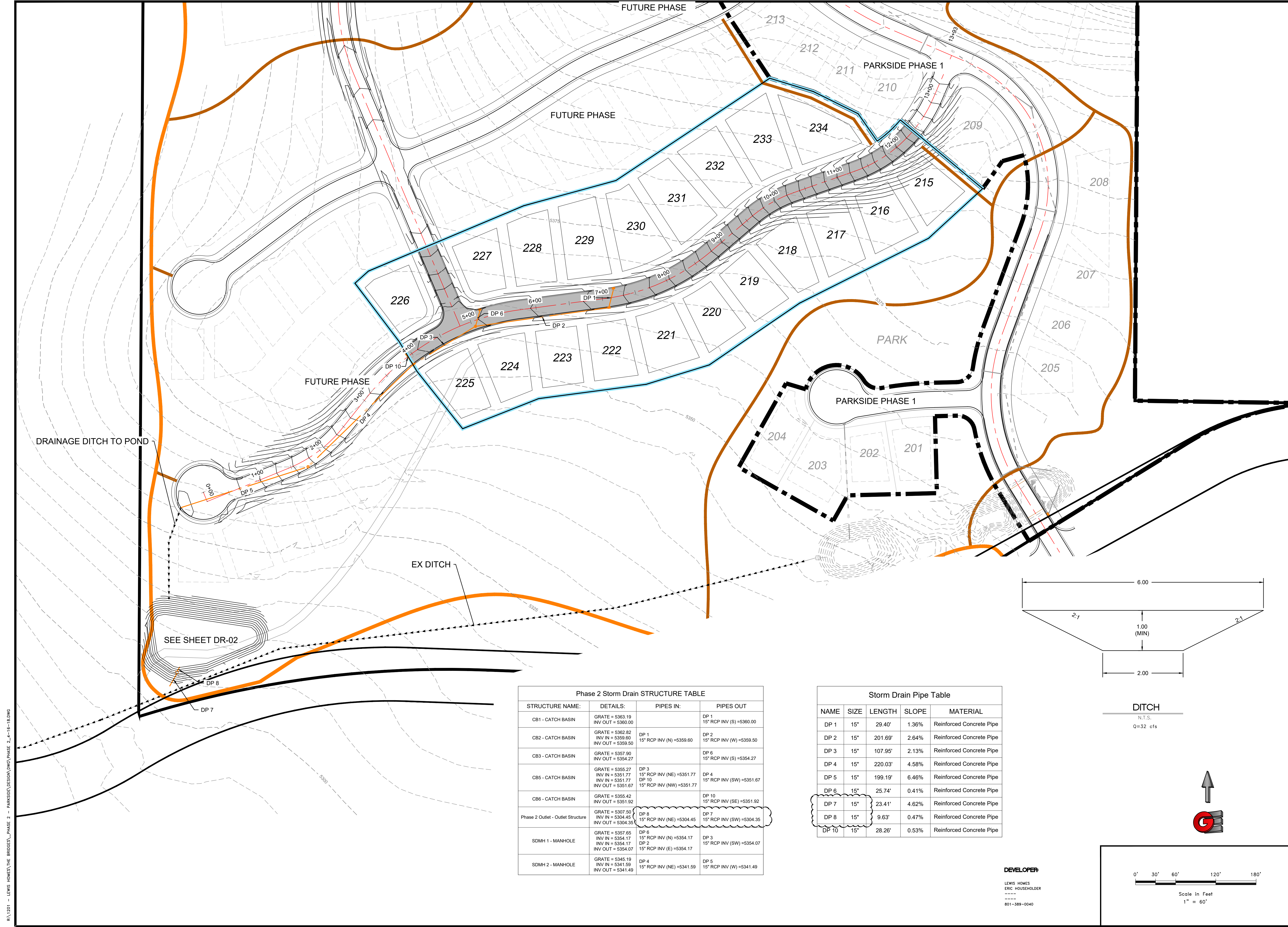


UTILITY PLAN
THE BRIDGES
PARKSIDE - PHASE 2
EDEN, WEBER, UTAH

GARDNER ENGINEERING
CIVIL • LAND PLANNING
MUNICIPAL • LAND SURVEYING
5150 SOUTH 375 EAST, OGDEN, UT
OFFICE: 801-476-0202 FAX: 801-476-0066

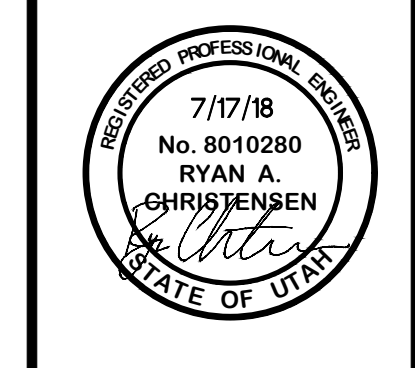
UT-01

R:\1201 - LEWIS HOMES\THE BRIDGES\PHASE 2 - PARKSIDE\DESIGN\DWG\PHASE 2_4-18-18.DWG



SCALE: 1" = 60'
 DATE: 7-17-18
 DESIGN: KAN
 DRAWN: KAN
 CHECKED: RC

REVISIONS	DESCRIPTION
DATE: 7-26-18	REVISED 80 SIZE TO 15"



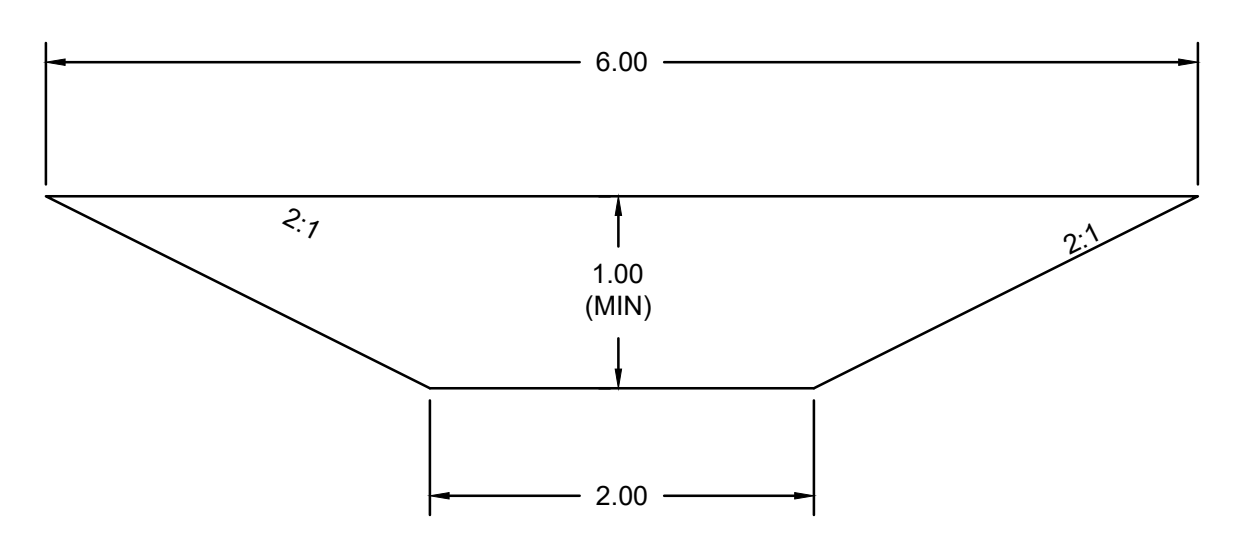
DRAINAGE PLAN
 THE BRIDGES
 PARKSIDE - PHASE 2
 EDEN, WEBER, UTAH

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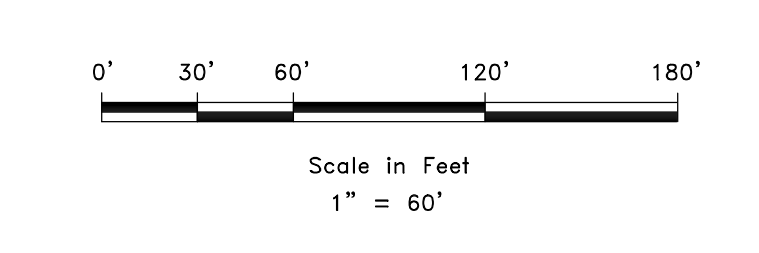
DR-01

STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
CB1 - CATCH BASIN	GRATE = 5363.19 INV OUT = 5360.00		DP 1 15" RCP INV (S) = 5360.00
CB2 - CATCH BASIN	GRATE = 5362.82 INV IN = 5359.60 INV OUT = 5359.50	DP 1 15" RCP INV (N) = 5359.60	DP 2 15" RCP INV (W) = 5359.50
CB3 - CATCH BASIN	GRATE = 5357.90 INV OUT = 5354.27		DP 6 15" RCP INV (S) = 5354.27
CB5 - CATCH BASIN	GRATE = 5355.27 INV IN = 5351.77 INV IN = 5351.77 INV OUT = 5351.67	DP 3 15" RCP INV (NE) = 5351.77 DP 10 15" RCP INV (NW) = 5351.77	DP 4 15" RCP INV (SW) = 5351.67
CB6 - CATCH BASIN	GRATE = 5355.42 INV OUT = 5351.92		DP 10 15" RCP INV (SE) = 5351.92
Phase 2 Outlet - Outlet Structure	GRATE = 5307.50 INV IN = 5304.45 INV OUT = 5304.35	DP 8 15" RCP INV (NE) = 5304.45	DP 7 15" RCP INV (SW) = 5304.35
SDMH 1 - MANHOLE	GRATE = 5357.65 INV IN = 5354.17 INV IN = 5354.17 INV OUT = 5354.07	DP 6 15" RCP INV (N) = 5354.17 DP 2 15" RCP INV (E) = 5354.17	DP 3 15" RCP INV (SW) = 5354.07
SDMH 2 - MANHOLE	GRATE = 5345.19 INV IN = 5341.59 INV OUT = 5341.49	DP 4 15" RCP INV (NE) = 5341.59	DP 5 15" RCP INV (W) = 5341.49

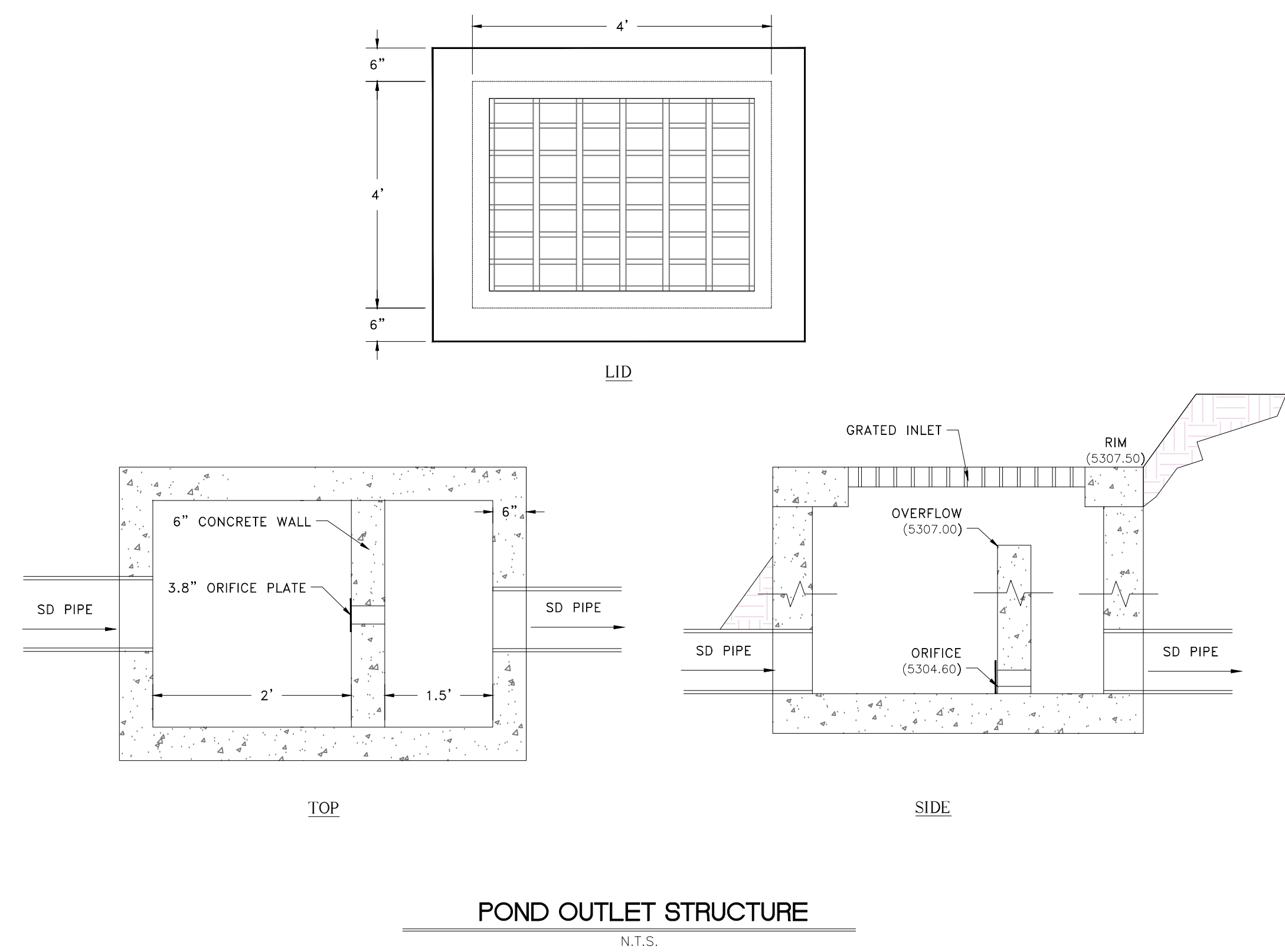
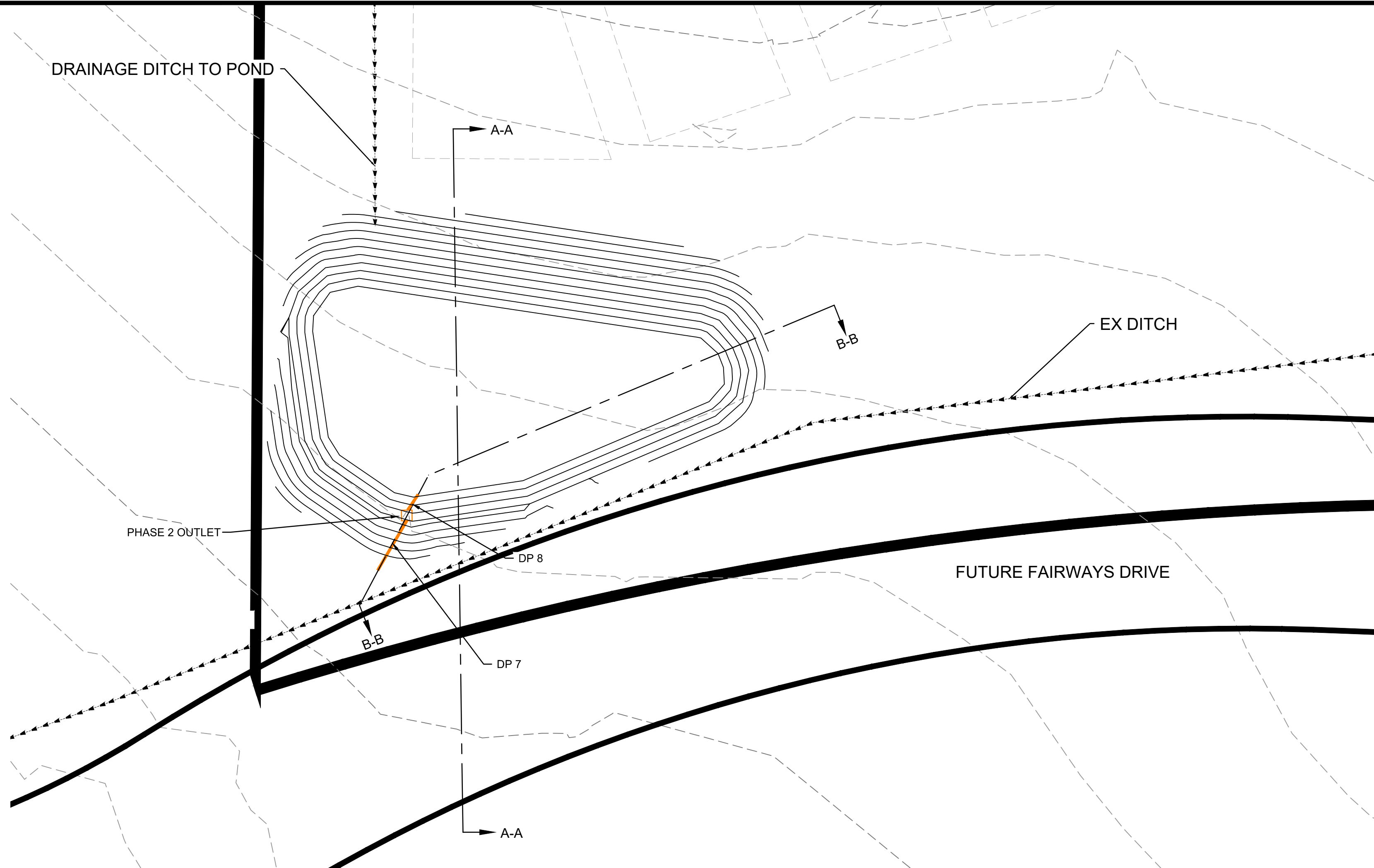
NAME	SIZE	LENGTH	SLOPE	MATERIAL
DP 1	15"	29.40'	1.36%	Reinforced Concrete Pipe
DP 2	15"	201.69'	2.64%	Reinforced Concrete Pipe
DP 3	15"	107.95'	2.13%	Reinforced Concrete Pipe
DP 4	15"	220.03'	4.58%	Reinforced Concrete Pipe
DP 5	15"	199.19'	6.46%	Reinforced Concrete Pipe
DP 6	15"	25.74'	0.41%	Reinforced Concrete Pipe
DP 7	15"	23.41'	4.62%	Reinforced Concrete Pipe
DP 8	15"	9.63'	0.47%	Reinforced Concrete Pipe
DP 10	15"	28.26'	0.53%	Reinforced Concrete Pipe



DEVELOPER:
 LEWIS HOMES
 ERIC HOUSEHOLDER
 801-389-0040



R:\1701 - LEWIS HOMES\THE BRIDGES\DESIGN\DR\PHASE 2 - 4 - 16 - 18.DWG



**Drainage Phase 2
The Bridges**

Latitude: 41.3378° Longitude: -111.8347°

Areas	Sq. Ft.	Acres	C
PHASE 2	237,885	5.46	0.40
Total/Weighted	237,885	5.46	0.40

Allow Release Rate (cfs/acre) = 0.1
Q Allowable (cfs) = 0.55

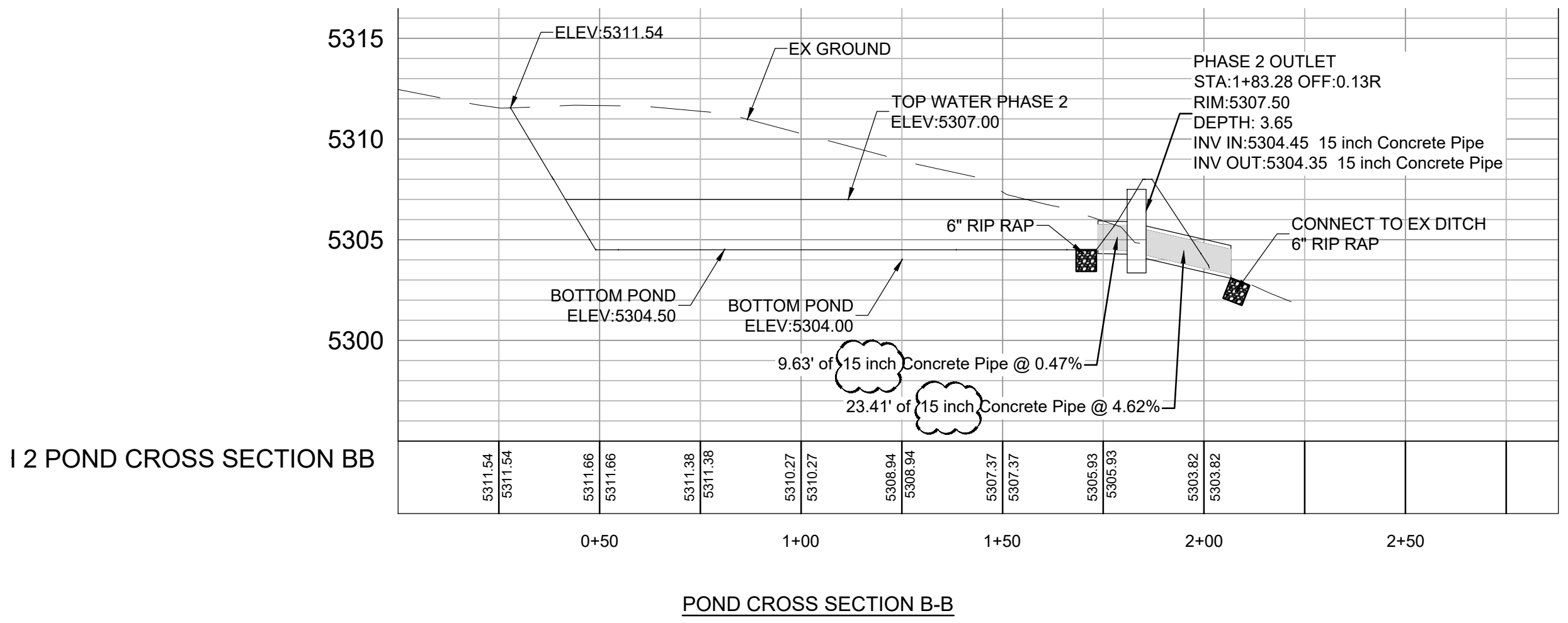
100 YEAR STORM EVENT

MIN	Release Vol (cf)	Inch / Hr	Total Vol (cf)	100 YEAR	Detain Vol (cf)
5	164	7.88	5,164	5,164	5,000
10	328	6.00	7,864	7,864	7,536
15	491	4.96	9,751	9,751	9,260
30	983	3.34	13,133	13,133	12,150
60	1,966	2.06	18,200	18,200	14,234
120	3,932	1.23	19,345	19,345	15,413
180	5,898	0.85	20,053	20,053	14,155
360	11,796	0.49	23,120	23,120	11,324
720	23,592	0.31	29,254	29,254	5,662
1440	35,860	0.19	35,860	35,860	0

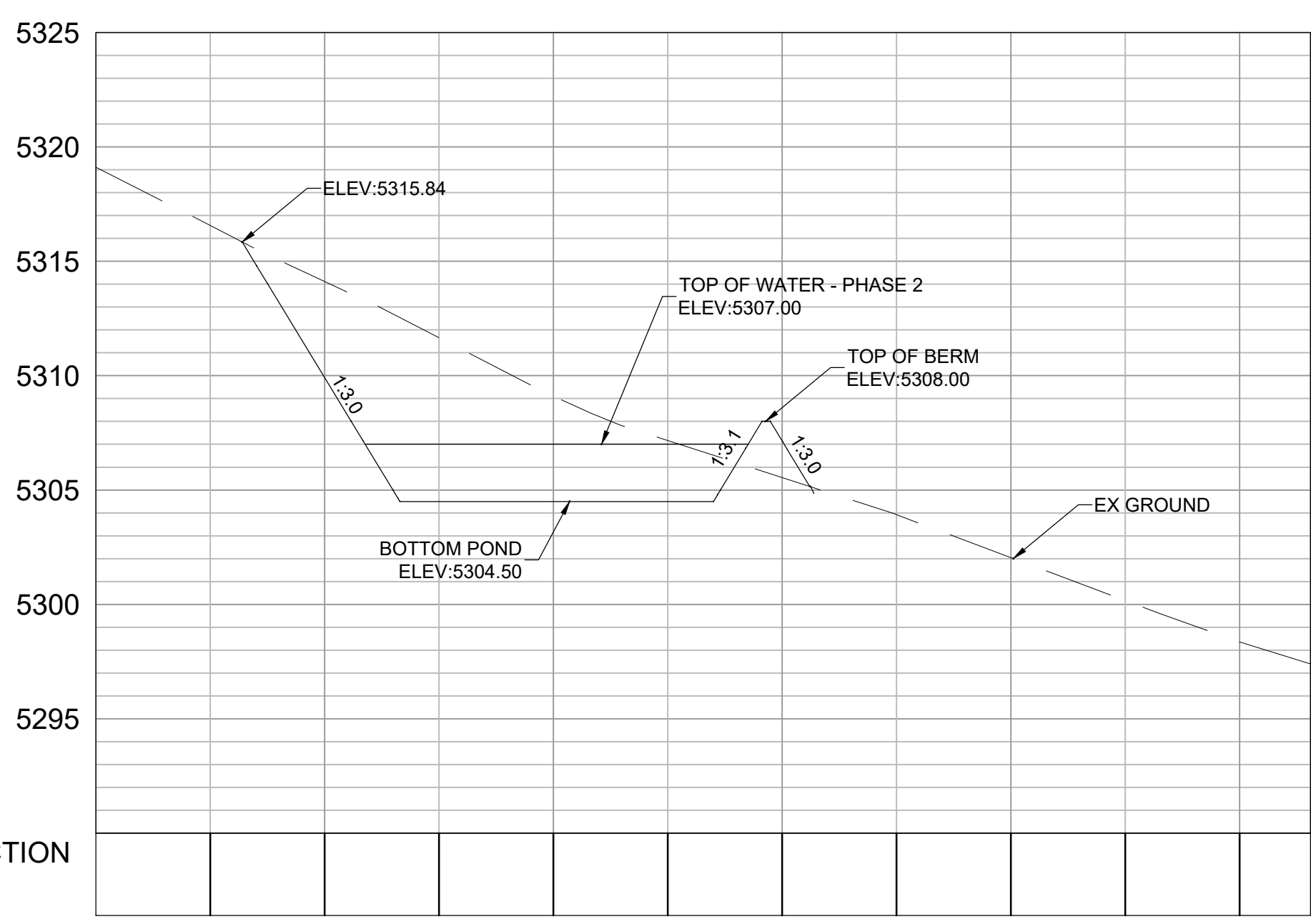
Orifice Calculation

H = 2	Maximum water height to center c
Q = 0.55	Flowrate out of orifice (cfs)
Cc = 0.62	Coefficient of Contraction
Cv = 0.98	Coefficient of Velocity
Area = 0.079	Orifice Area (ft ²)
H = 3.14	
g = 32.17	Gravitational Constant
d = 3.8	Orifice Diameter (in)

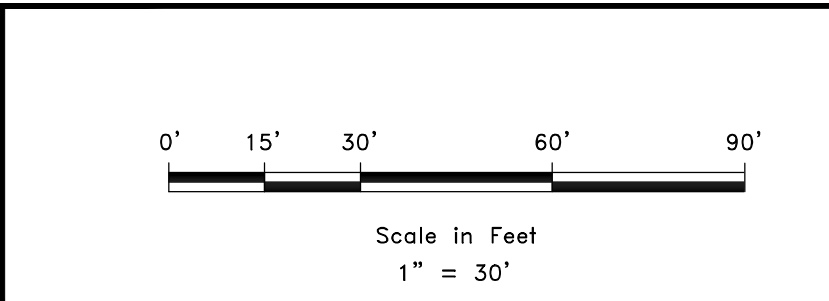
VOLUME REQUIRED PHASE 2 ONLY = 15,413 CF
VOLUME REQUIRED BASIN 4 = 24,950 CF
VOLUME AVAILABLE = 25,300 CF (1 FOOT FREE BOARD)



PH 2 POND CROSS SECTION



POND CROSS SECTION A-A



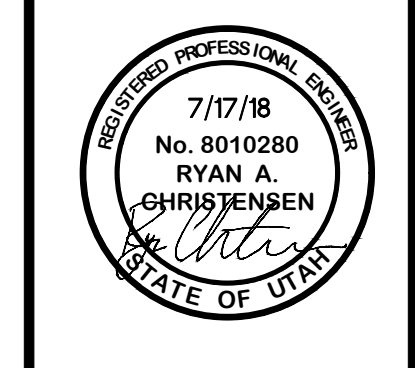
SCALE: 1" = 30'

DATE: 7-17-18
DESIGN: KAN
DRAWN: KAN
CHECKED: RC

REVISIONS

DATE	DESCRIPTION
7-28-18	REVISED SD SIZE TO 15"

DWG:



POND OUTLET
THE BRIDGES
PARKSIDE - PHASE 2
EDEN, WEBER, UTAH

GARDNER ENGINEERING
CIVIL & LAND PLANNING
MUNICIPAL - LAND SURVEYING

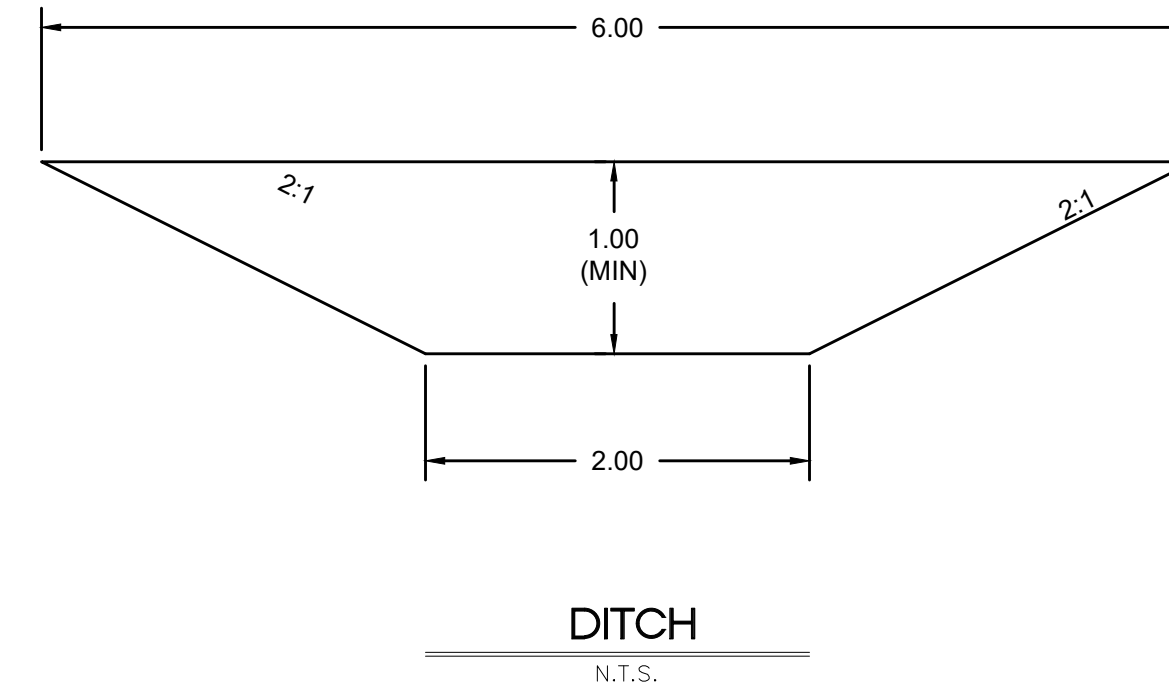
5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801-476-0202 FAX: 801-476-0066

DEVELOPER:
LEWIS HOMES
ERIC HOUSEHOLDER
801-389-0040

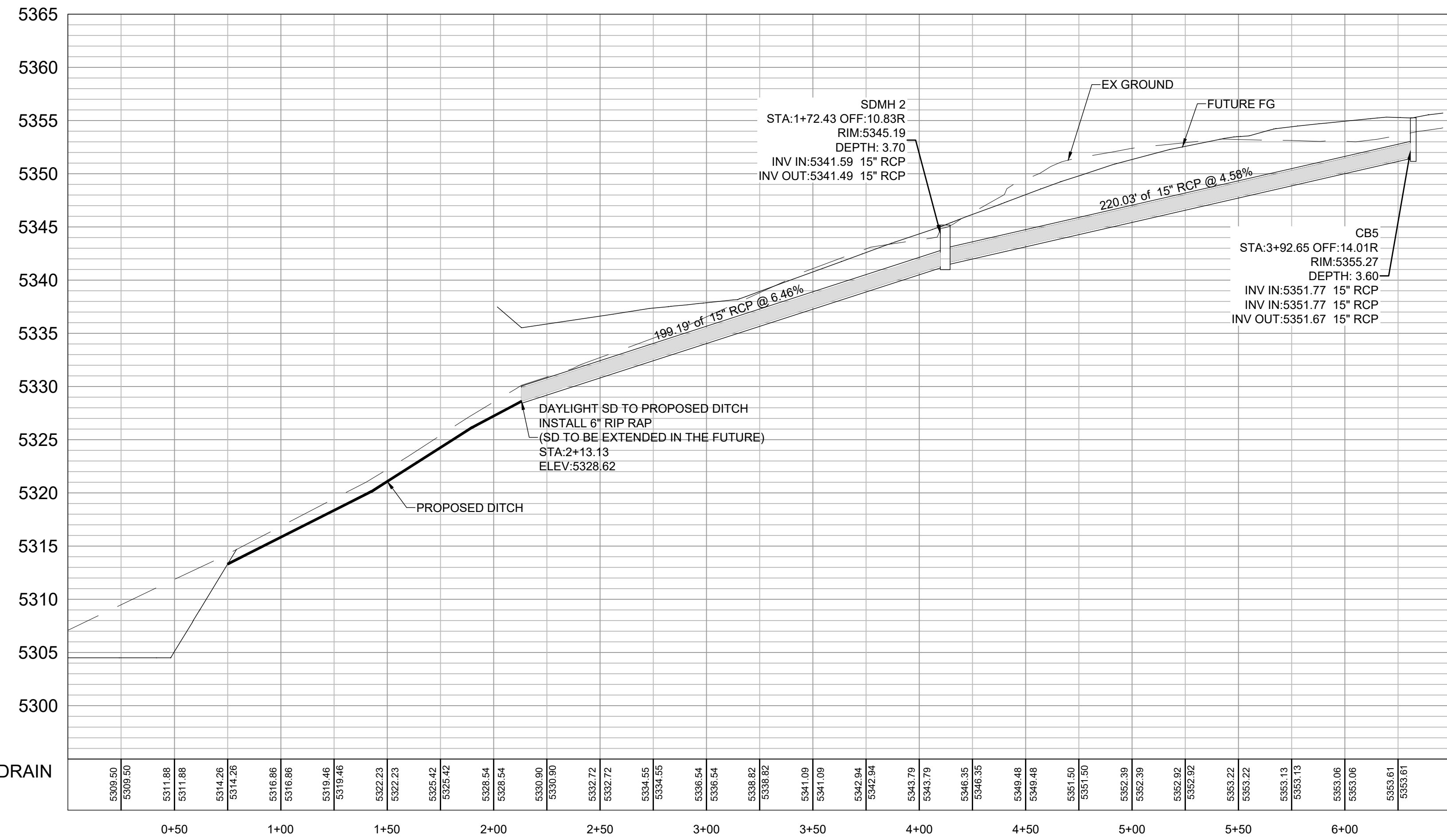
DR-02

RA 1201 - LEWIS HOMES THE BRIDGES PHASE 2 - PARKSIDE DESIGN (DWG) PHASE 2 - 1-16-18.DWG

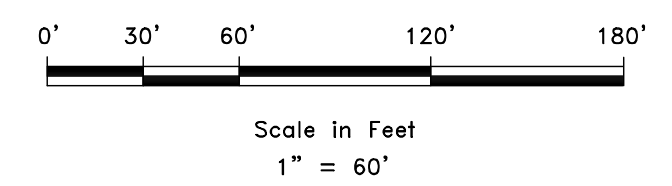
R\1201 - LEWIS HOMES THE BRIDGES_PHASE 2 - PARKSIDE DESIGN (DWG) PHASE 2_4-16-18.DWG



OFFSITE STORM DRAIN

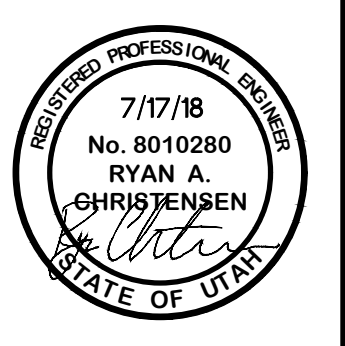


DEVELOPER:
LEWIS HOMES
ERIC HOUSEHOLDER
801-389-0040



SCALE: 1" = 60'
DATE: 7-17-18
DESIGN: KAN
DRAWN: KAN
CHECKED: RC



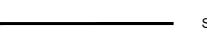

REVISIONS	DATE	DESCRIPTION

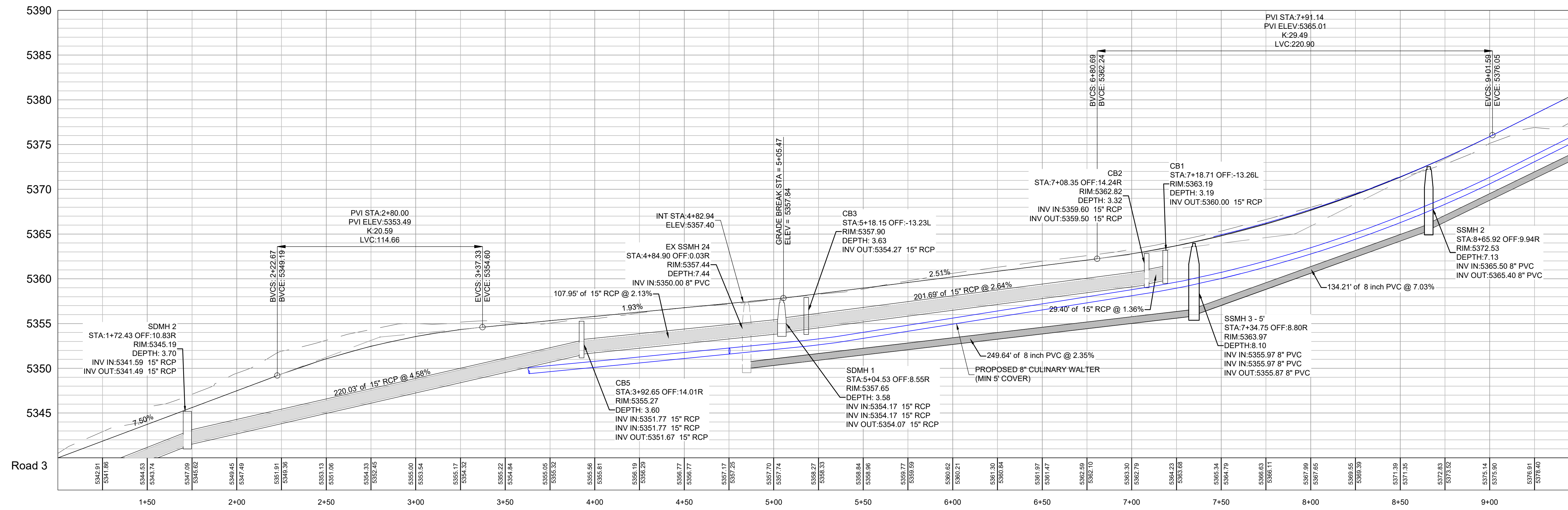
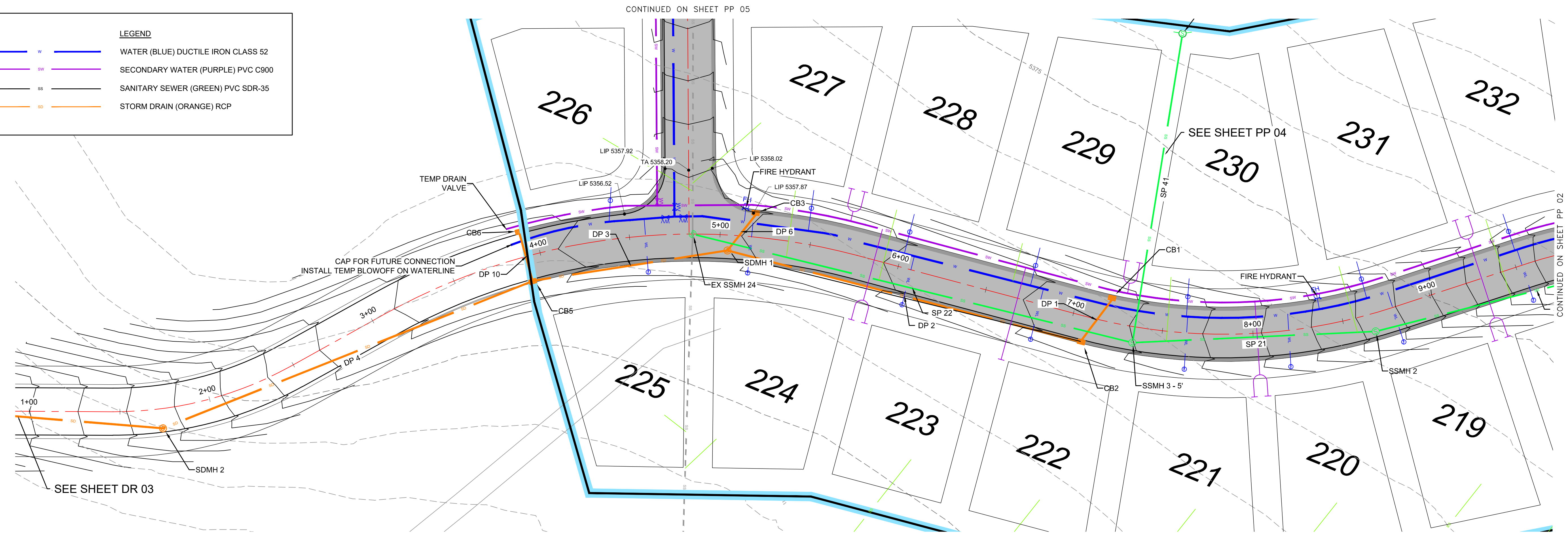


OFFSITE STORM DRAIN
THE BRIDGES
PARKSIDE - PHASE 2
EDEN, WEBER, UTAH

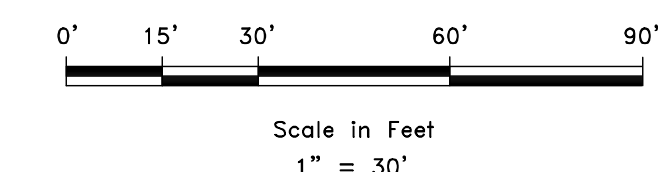


DR-03

LEGEND	
	WATER (BLUE) DUCTILE IRON CLASS 52
	SECONDARY WATER (PURPLE) PVC C900
	SANITARY SEWER (GREEN) PVC SDR-35
	STORM DRAIN (ORANGE) RCP

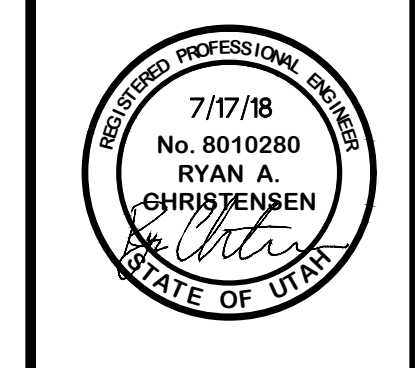


DEVELOPER
LEWIS HOMES
ERIC HOUSEHOLDER
801-389-0040



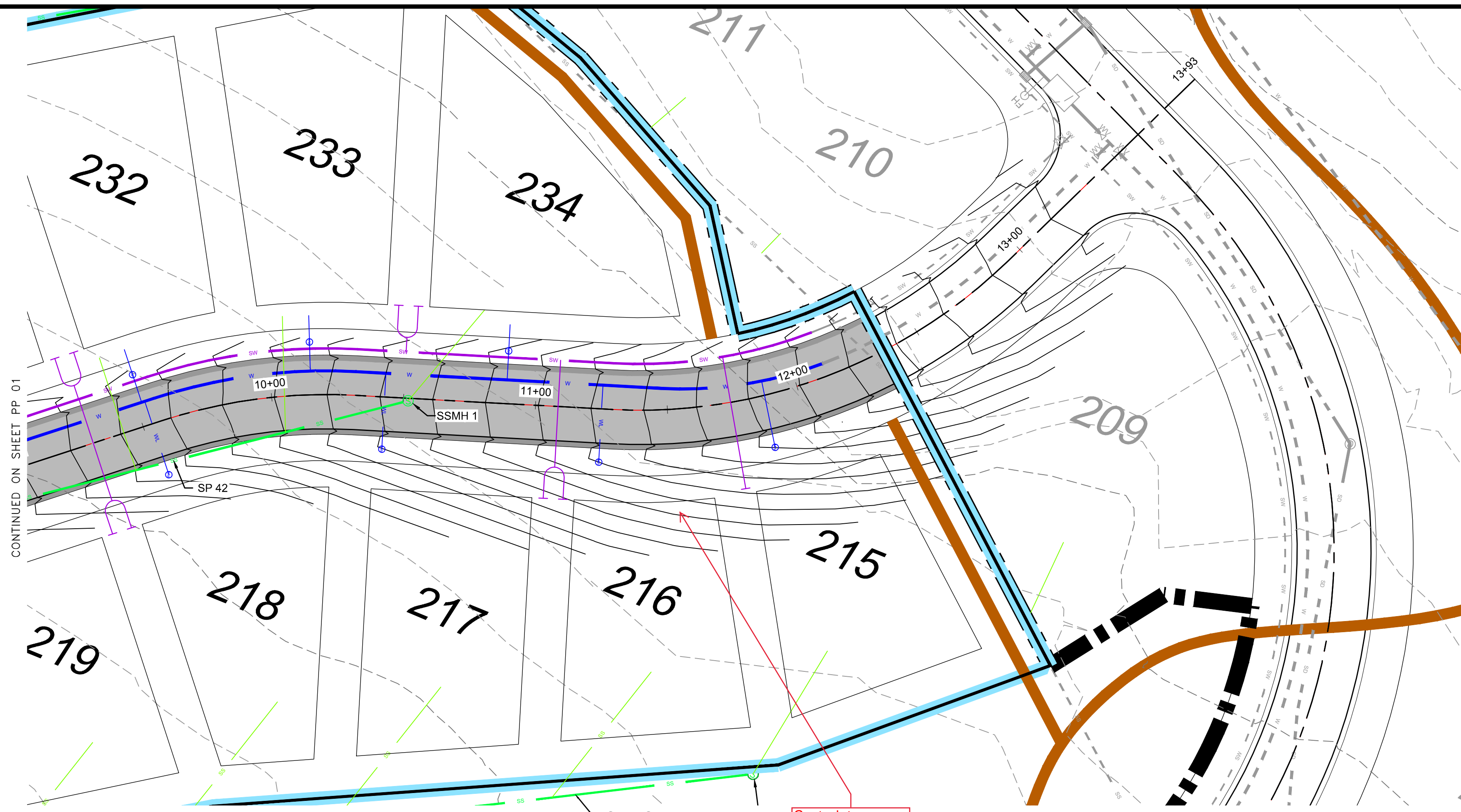
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DATE: 7-17-18
DESIGN: KAN
DRAWN: KAN
CHECKED: RC

REVISIONS	DESCRIPTION
DATE	



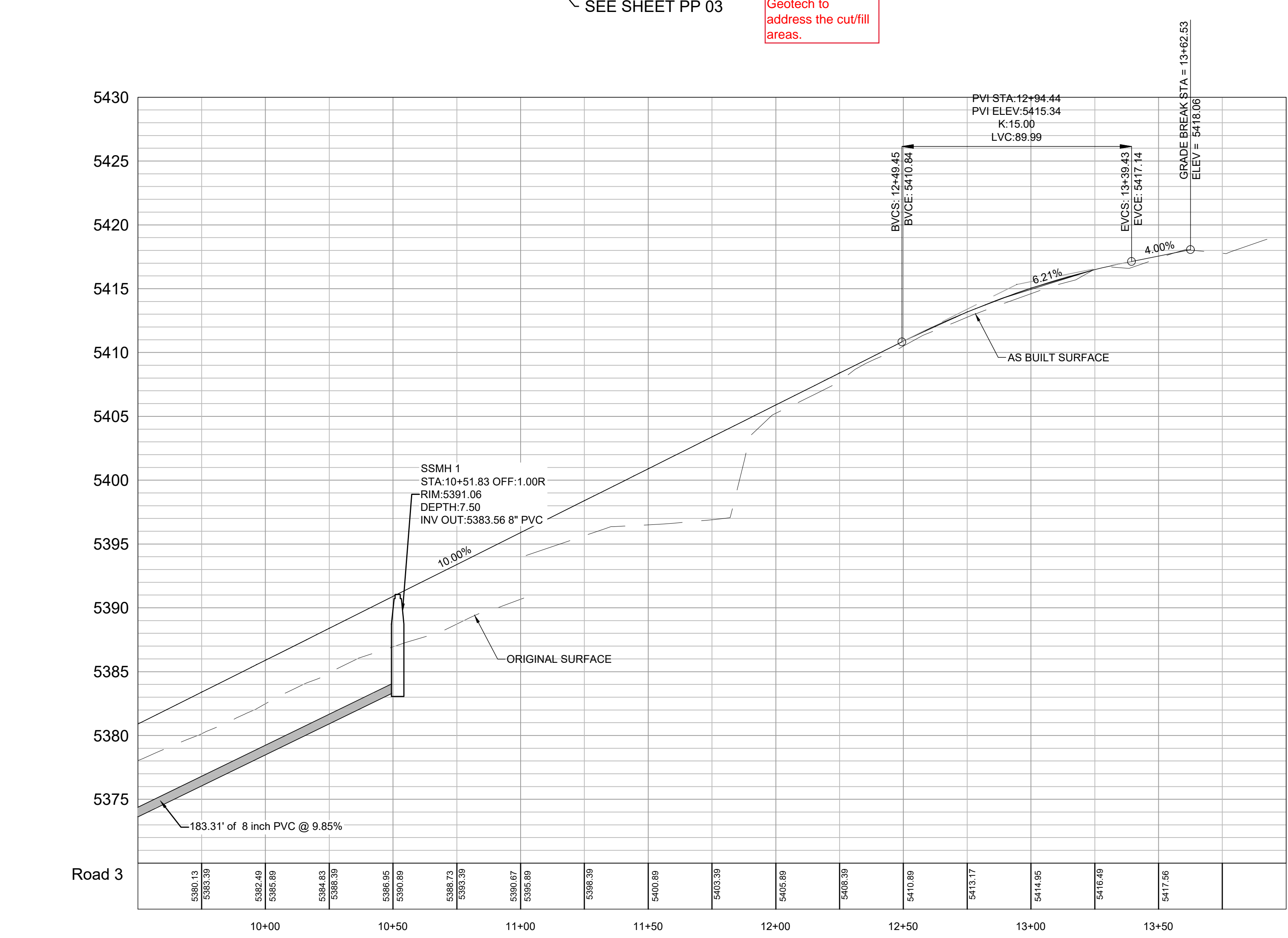
PLAN AND PROFILE
THE BRIDGES
PARKSIDE - PHASE 2
EDEN, WEBER, UTAH

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LEGEND

	W	WATER (BLUE) DUCTILE IRON CLASS 52
	W	SECONDARY WATER (PURPLE) PVC C900
	S	SANITARY SEWER (GREEN) PVC SDR-35
	S	STORM DRAIN (ORANGE) RCP



Geotech to address the cut/fill areas.

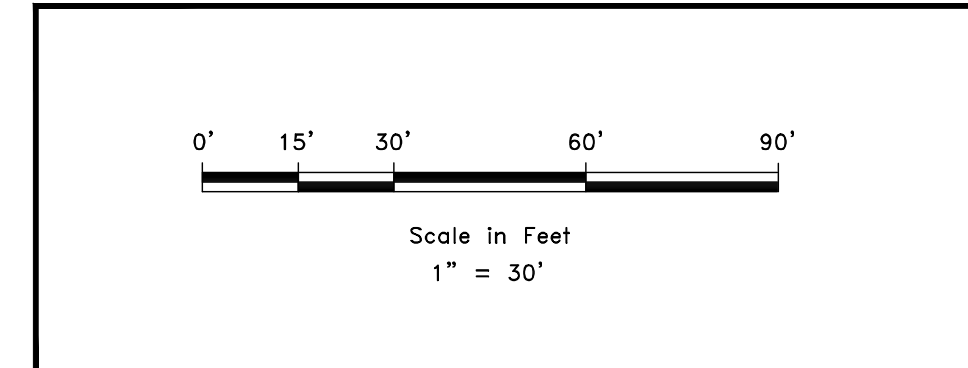
REVISIONS

DATE	DESCRIPTION



PLAN AND PROFILE
 THE BRIDGES
 PARKSIDE - PHASE 2
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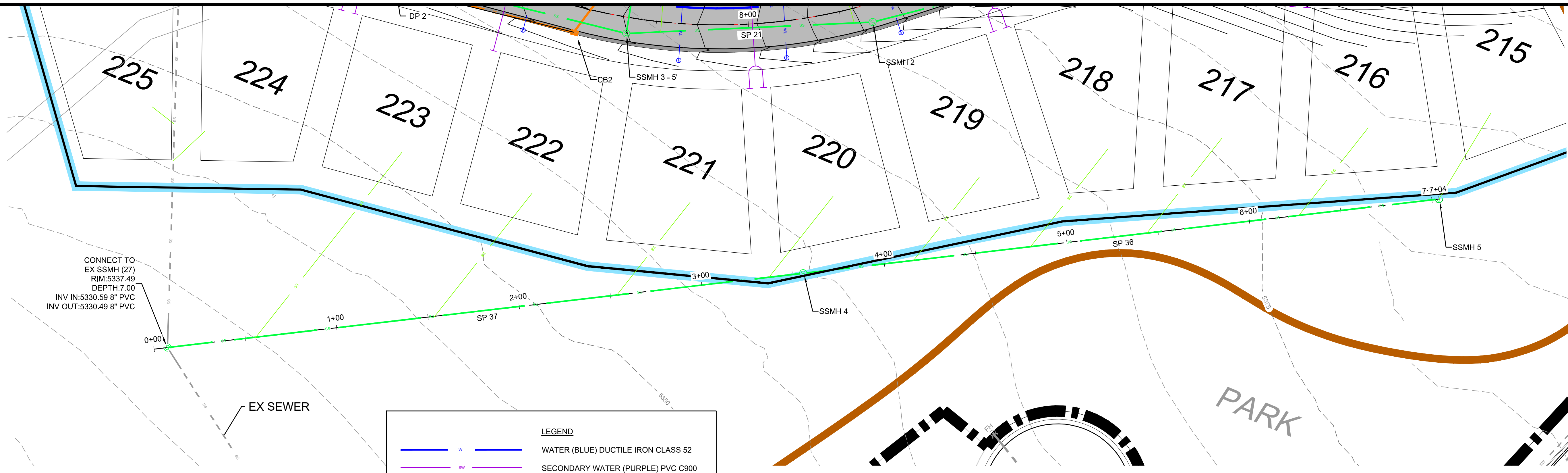
PP 02

R:\1201 - LEWIS HOMES\TIE BRIDGES\PPHASE 2 - PARKSIDE\DESIGN\DWG\PHASE 2_4-16-18.DWG

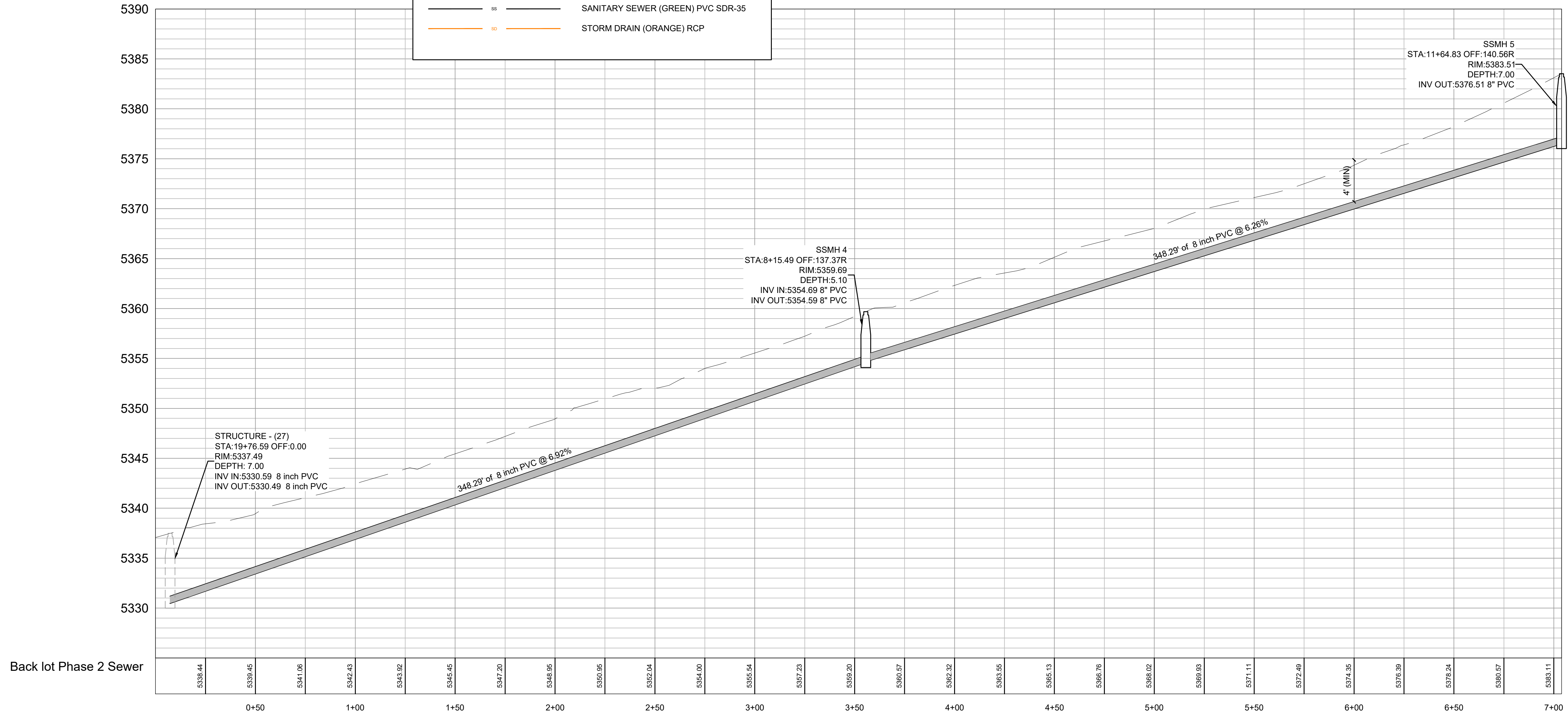
DEVELOPER
 LEWIS HOMES
 ERIC HOUSEHOLDER
 801-389-0040

DWG:

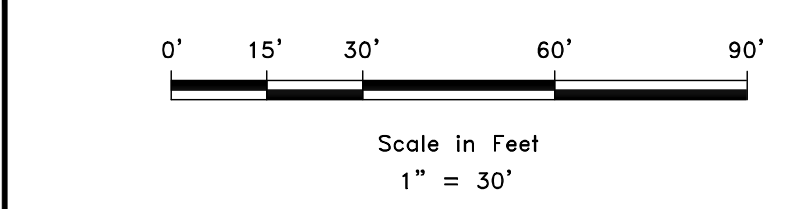
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LEGEND	
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	SECONDARY WATER (PURPLE) PVC C900
	SANITARY SEWER (GREEN) PVC SDR-35
	STORM DRAIN (ORANGE) RCP



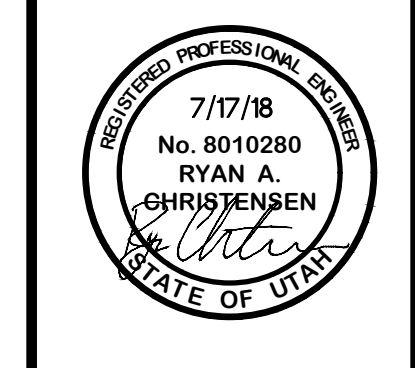
DEVELOPER:
LEWIS HOMES
ERIC HOUSEHOLDER
801-389-0040



SCALE: 1" = 30'
DATE: 7-17-18
DESIGN: KAN
DRAWN: KAN
CHECKED: RC

REVISIONS	DESCRIPTION
DATE	

DWG:



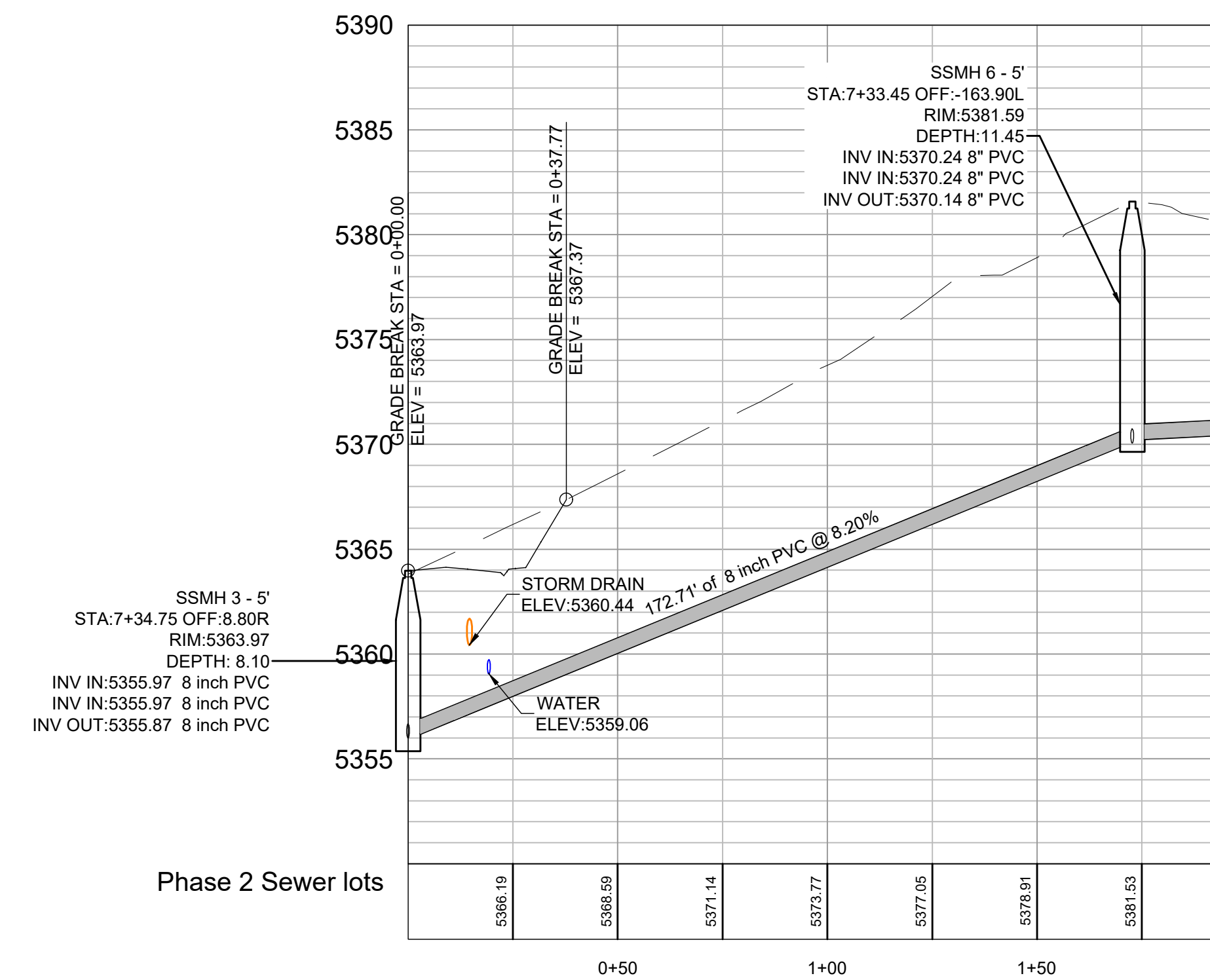
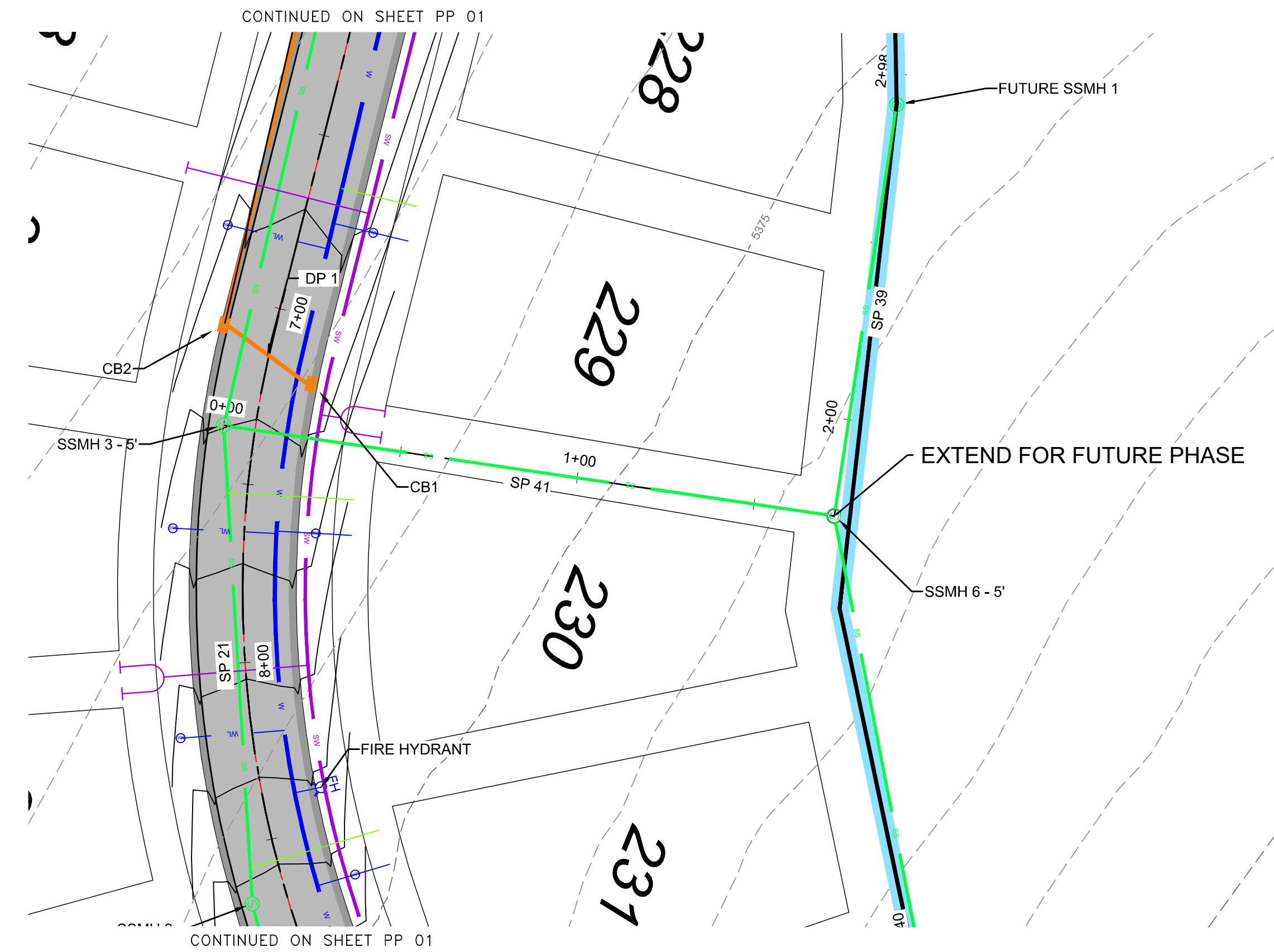
PLAN AND PROFILE
THE BRIDGES
PARKSIDE - PHASE 2
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PP 03

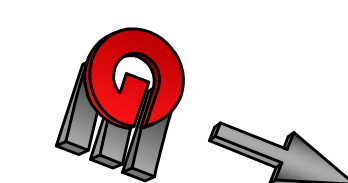
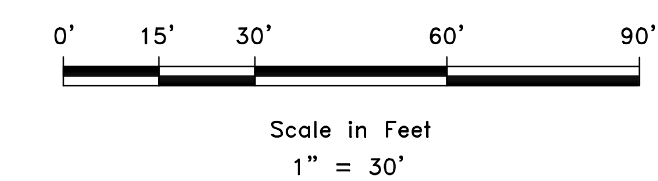
PA 1201 - LEWIS HOMES, IVE PROCESS - PHASE 2 - PARKSIDE DESIGN UNITS PHASE 2 - 4-16-18.DWG



- LEGEND**
- W WATER (BLUE) DUCTILE IRON CLASS 52
 - SW SECONDARY WATER (PURPLE) PVC C900
 - SS SANITARY SEWER (GREEN) PVC SDR-35
 - SD STORM DRAIN (ORANGE) RCP

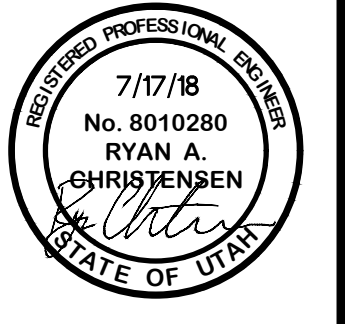
DEVELOPER
LEWIS HOMES
ERIC HOUSEHOLDER

801-389-0040



SCALE: 1" = 30'
DATE: 7-17-18
DESIGN: KAN
DRAWN: KAN
CHECKED: RC

REVISIONS	DATE	DESCRIPTION

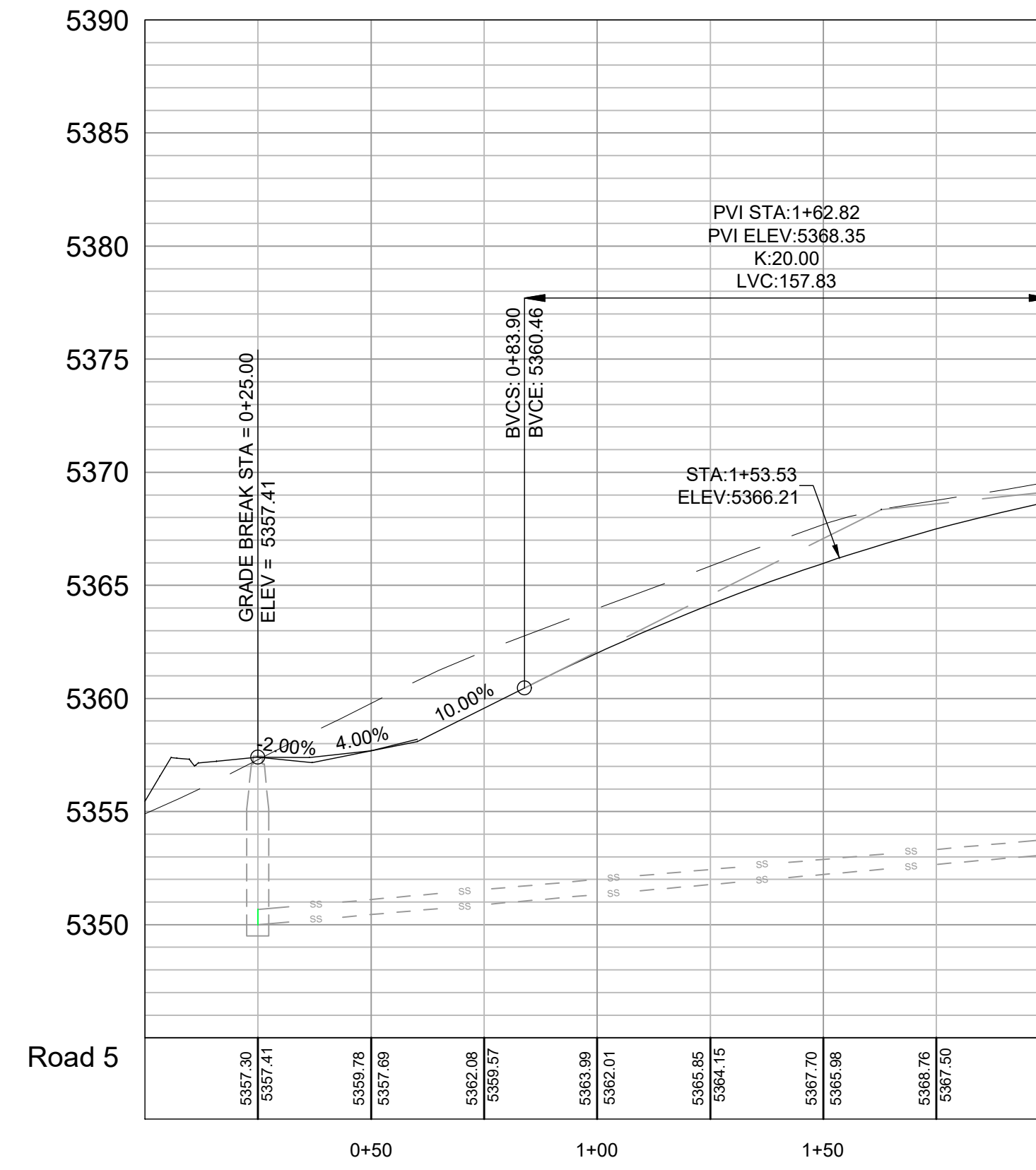
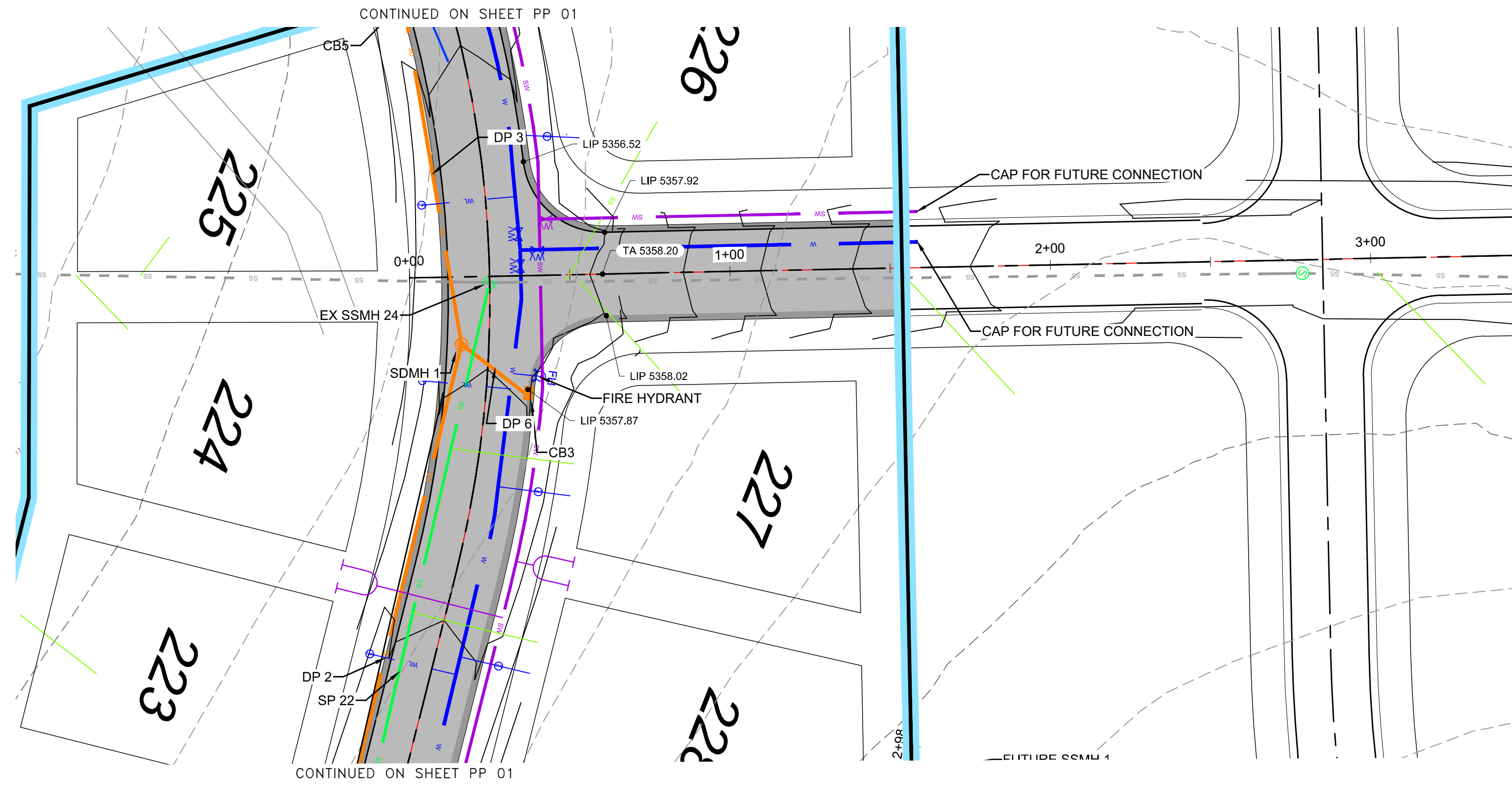


PLAN AND PROFILE
THE BRIDGES
PARKSIDE - PHASE 2
EDEN, WEBER, UTAH

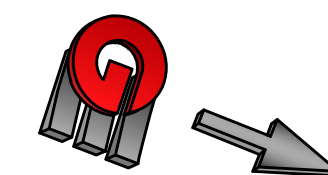
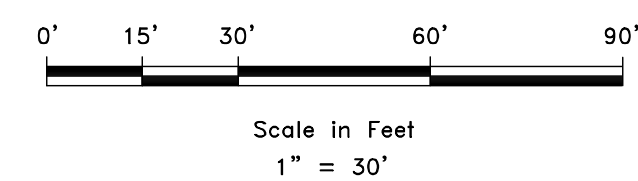
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PP 04

PP 05 - LEWIS HOMES\THE BRIDGES\PHASE 2 - PARALLEL DESIGN\DWG PHASE 2_4-16-18.DWG

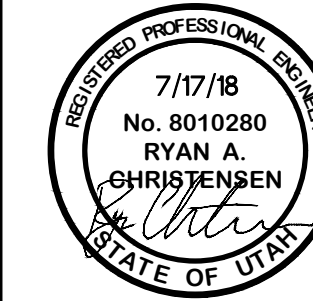


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PLAN AND PROFILE
THE BRIDGES
PARKSIDE - PHASE 2
EDEN, WEBER, UTAH



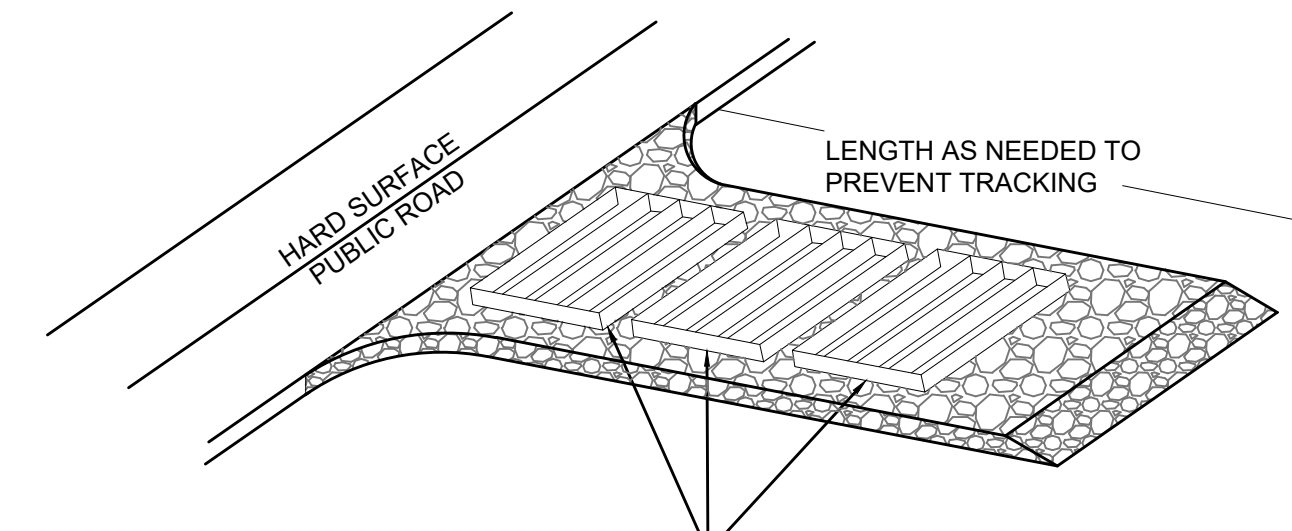
DATE	REVISIONS	DESCRIPTION

SCALE: 1" = 30'
DATE: 7-17-18
DESIGN: KAN
DRAWN: KAN
CHECKED: RC

DWG:

EROSION CONTROL NOTES:

1. SANDBAGS WILL BE PLACED AT DISCHARGE LOCATIONS TO CONTAIN AND DIVERT STORM WATER THROUGH THE INLET PROTECTION.
2. AN EARTHEN BERM 6" HIGH WILL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND DIVERT IT TO DISCHARGE AREAS.
3. STORM WATER WILL BE DISCHARGED INTO AN EXISTING DRAINAGE SYSTEM. EXISTING LINES SHALL BE INSPECTED PRIOR TO CERTIFICATE OF OCCUPANCY AND CLEANED IF NECESSARY.
4. THE STORM WATER POLLUTION PREVENTION PLAN SHALL CONFORM TO ALL STATE DIVISION OF ENVIRONMENTAL PROTECTION REGULATIONS.



A SERIES OF STEEL PLATES (3 OR MORE) WITH RUMBLE STRIPS OR MIN. 3" COARSE AGGREGATE.

ENTRANCE STABILIZATION NOTES:

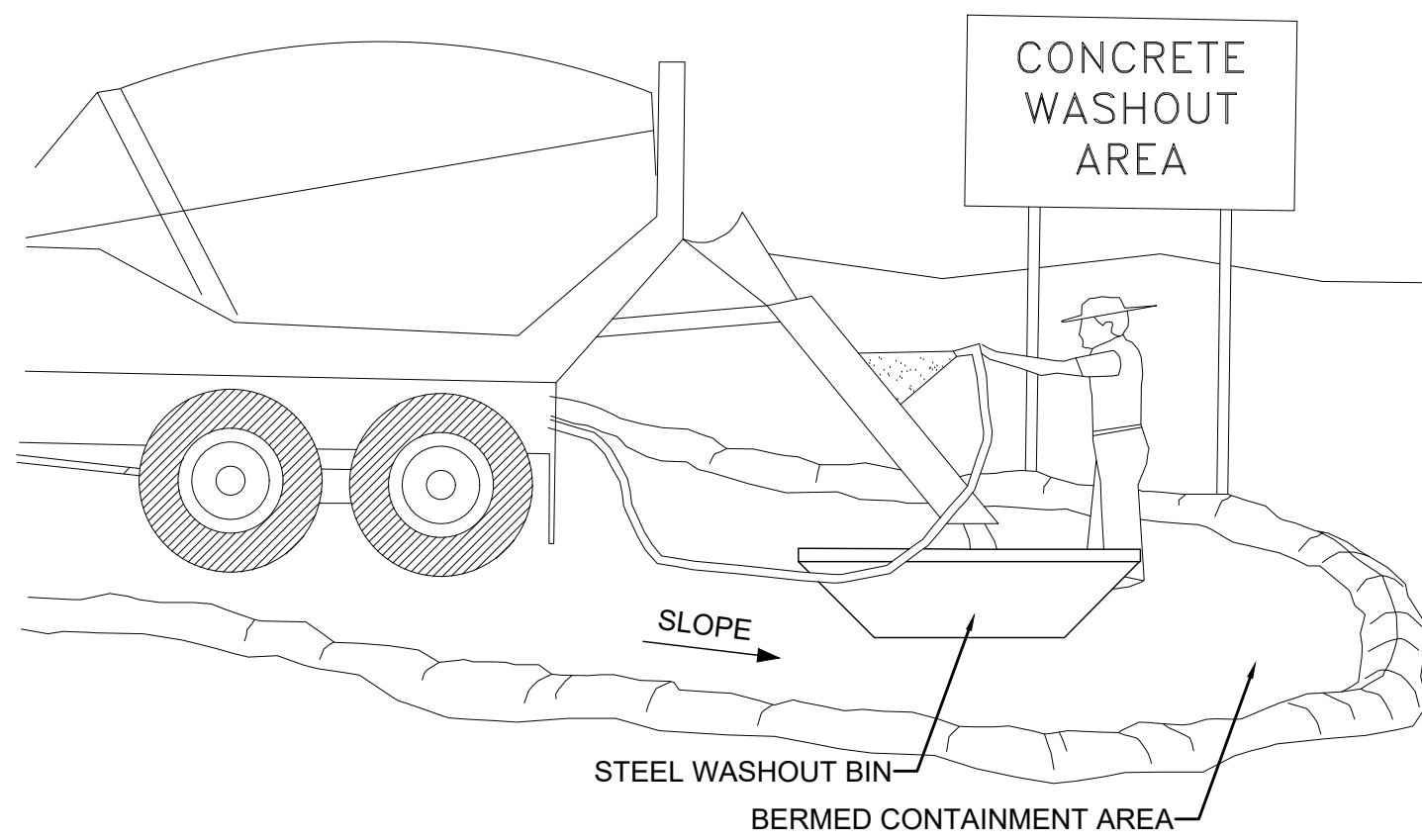
1. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE STORM DRAIN SYSTEMS. DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
2. STABILIZED CONSTRUCTION ENTRANCE SHALL BE:
 - a. LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY AND SIDEWALK OR PARKING AREA.
 - b. A SERIES OF STEEL PLATES WITH "RUMBLE STRIPS", AND/OR MIN. 3" COARSE AGGREGATE WITH LENGTH, WIDTH AND THICKNESS AS NEEDED TO ADEQUATELY PREVENT ANY TRACKING ONTO PAVED SURFACES.
3. ADDING A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER CAN GREATLY IMPROVE EFFICIENCY.
4. ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE SITES.

STREET MAINTENANCE NOTES:

1. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
2. SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
3. PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.

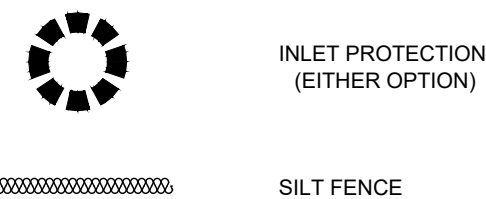
NOTE:

CONTRACTOR SHALL COMPLETE AND SUBMIT A STATE NOTICE OF INTENT (NOI) AND A STORM WATER POLLUTION PREVENTION PLAN BOOKLET



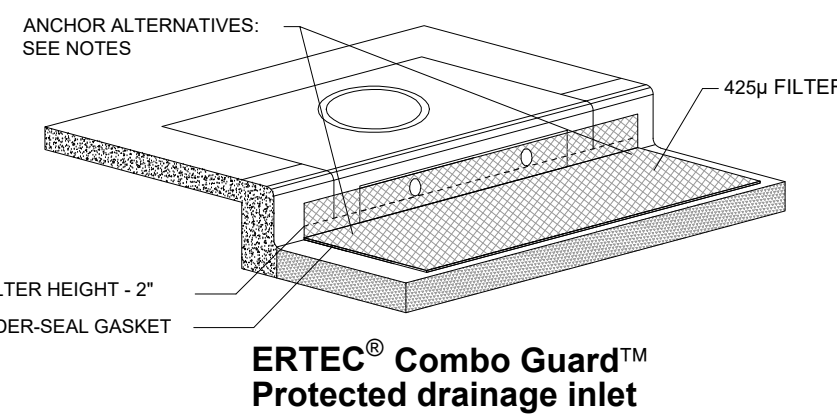
NOTES:

1. EXCESS AND WASTE CONCRETE SHALL BE DISPOSED OF OFF SITE OR AT DESIGNATED AREAS ONLY.
2. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
3. FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS ONSITE, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED.
4. ONSITE CONCRETE WASHOUT CONTAINMENT FACILITY SHALL BE A STEEL BIN OR APPROVED ALTERNATE.
5. SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP AND DISPOSED OF PROPERLY.

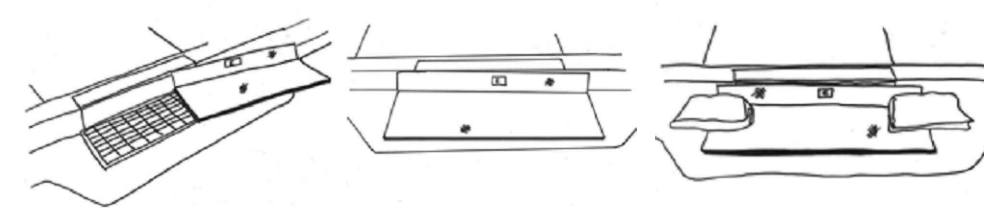


INSTALLATION NOTES

1. PLACEMENT: PLACE CG TIGHTLY AGAINST CURB OPENING AND COVER ENTIRE GRATE. CG SHOULD EXTEND AT LEAST 2 INCHES PAST GRATE TOWARDS STREET.
2. OVERLAP FOR LONG OPENINGS: OVERLAP CG UNITS AT LONGER OPENINGS.
3. ANCHOR: ANCHOR CG SO THAT WATER CANNOT FLOW BEHIND IT.
4. ALTERNATE ANCHOR METHODS: A) INSTALL GRAVEL BAGS AT EACH SIDE OF CG - HALF-ON AND HALF-OFF THE EDGES. USE HALF-FILLED GRAVEL BAGS (15 OR 20 LBS). ROUND ROCK IS RECOMMENDED. OR B) ATTACH WITH 16 GAUGE TIE-WIRE. CUT WIRE TO 18" LENGTH. AT EACH CORNER OF CG, FEED ONE END OF WIRE DOWN THROUGH CG, AROUND GRATE BAR, AND BACK UP THRU CG. ABOVE GROUND, TWIST WIRES SEVERAL TIMES. CUT-OFF EXCESS. OR C) FASTEN WITH CONCRETE ANCHORS/NAILS AT THE OUTSIDE EDGES OF CG.

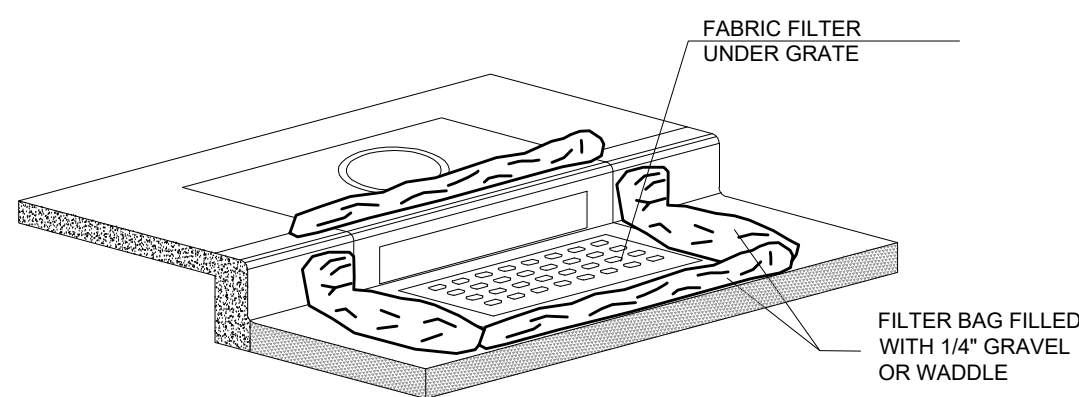


ERTEC® Combo Guard™ Protected drainage inlet



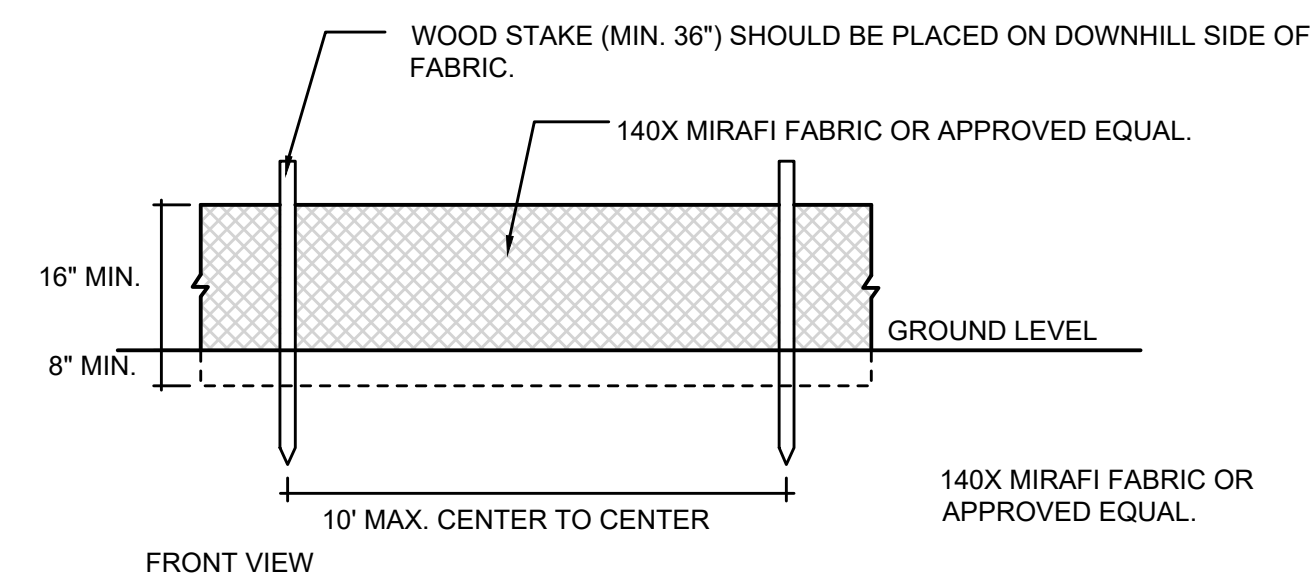
1A INLET PROTECTION - OPTION 1

Scale: NTS



1B INLET PROTECTION - OPTION 2

Scale: NTS



FRONT VIEW

140X MIRAFI FABRIC OR APPROVED EQUAL.

WOOD STAKE (MIN. 3/8") SHOULD BE PLACED ON DOWNHILL SIDE OF FABRIC.

16" MIN.

8" MIN.

GROUND LEVEL

10" MAX. CENTER TO CENTER

140X MIRAFI FABRIC OR APPROVED EQUAL.

WOOD STAKE (MIN. 3/8")

UNDISTURBED GROUND

FLOW

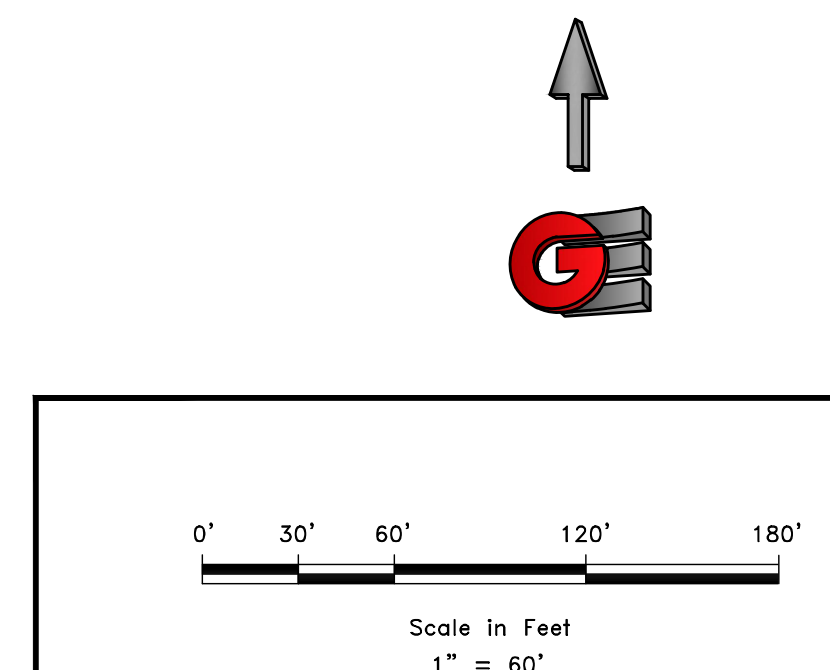
EMBED FILTER CLOTH A MINIMUM OF 8" BELOW GRADE.

STAKE SHOULD BE BURIED A MINIMUM OF 16" BELOW GRADE.

SIDE VIEW

2 SILT FENCE

Scale: NTS

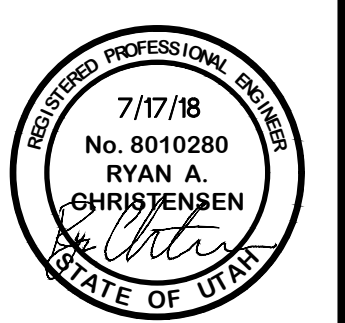


DEVELOPER

LEWIS HOMES
ERIC HOUSEHOLDER
801-389-0040

SCALE: 1" = 60'
DATE: 7-17-18
DESIGN: KAN
DRAWN: KAN
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REVISIONS	DESCRIPTION
DATE	



SWPPP
THE BRIDGES
PARKSIDE - PHASE 2
EDEN, WEBER, UTAH

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SW1