



PAGE RESIDENCE

3985 N 2975 W
FARR WEST UTAH

CONSULTANT SCHEDULE			
CONSULTANT	PHONE NUMBER	CONTACT INFO.	REMARKS
LANDFORMS DESIGN	(801) 298-2240	BLAIR/ MIKE	DESIGNER/ DRAFTER
YORK ENGINEERING	(801) 876-3501	KELBY YORK	STRUCTURAL ENGINEER

DRAWING SCHEDULE

T1	COVER SHEET & DRAWING SCHEDULE
S1	SITE PLAN
S2	SWPP PLAN
A1	BASEMENT FLOOR & FOOTING AND FOUNDATION PLAN
A2	GENERAL NOTES & DETAILS
A3	MAIN FLOOR PLAN
A4	EXTERIOR ELEVATIONS
A5	EXTERIOR ELEVATIONS
A6	FRAMING PLANS AND BEAMS
A7	FRAMING SECTIONS
A8	FRAMING SECTIONS & ROOF DRAINAGE PLAN
A9	ELECTRICAL, MECHANICAL, & PLUMBING PLAN
A10	ELECTRICAL, MECHANICAL, & PLUMBING PLAN
ST1	ADDITIONAL NOTES & DETAILS
ST2	ADDITIONAL NOTES & DETAILS

DEFERRED SUBMITTAL

- ALL DEFERRED SUBMITTALS AND CHANGES TO PLANS MUST BE:
- FIRST APPROVED BY THE DESIGNER OF RECORD PRIOR TO SUBMITTING TO BUILDING OFFICIAL.
 - APPROVED BY THE STRUCTURAL ENGINEER OF RECORD FOR ANY STRUCTURAL ITEMS FOR DEFERRED SUBMITTALS.
- ITEMS:
- FIRE SPRINKLER PLANS (MOD. NFPA 10)
 - RADIANT HEAT DESIGN (LAYOUT PLANS, CALC. & SPECS.
 - GAS PIPING SCHEMATIC PROVIDED BY MECH. CONTRACTOR
 - TRUSS PLANS & CALC. (IF APPLICABLE)
 - STUCCO SYSTEM (IF APPLICABLE)
 - FIREPLACE PRODUCT INFO (IF APPLICABLE)
 - CONSTRUCTION MITIGATION PLAN
 - GEOTECH. SURVEY (IF APPLICABLE AS DETERMINED BY BUILDING OFFICIAL)
 - LANDSCAPE PLAN (IF APPLICABLE)
 - SPECIAL INSPECTIONS FOR WELDING ON THIS PROJECT (IF APPLICABLE)
 - CONTRACTOR TO PROVIDE EXTERIOR LIGHTING SPECS PRIOR TO POURING INSPECTION
 - POOL DESIGN BY OTHERS (IF APPLICABLE)

SQUARE FOOTAGE

LOCATION	SQUARE FOOTAGE
MAIN LEVEL	2264
LOWER LEVEL	2339
STORAGE AREAS	104
TOTAL LIVING	4507

COVERED EXT. AREAS	121
GARAGES	1016

CODE ANALYSIS

-UTAH STATE ADOPTED CODES AS OF JULY 1, 2015-		BUILDING OCCUPANCY
2015 IRC	2015 IPC	R-3
2015 IBC	2015 IMC	TYPE 5
2014 NEC	2015 IFGC	B-CONSTRUCTION
		2015 RES CHECK

GENERAL NOTES

- EXCAVATION, BACK FILL, GRADING & DAMPROOFING
 - All excavations for footings shall be to natural undisturbed soil.
 - All back filling shall be done with granular free draining material. Existing site material may be used so long as existing soils are free from clay soils and any construction debris. Compact all back fill material in 10" lifts to 95% of maximum soil density.
 - Finish grading shall be done so as to provide positive drainage away from all building foundations. A minimum slope of 6' per 10'-0" and shall be maintained with a 1% slope thereafter to approved drainage areas.
 - All rainwater downspouts shall be piped away from the home to an approved drainage area. No rainwater shall drain in window wells, or rock light wells.
 - If any ground water is encountered during excavation, a qualified soils Engineer shall be retained to make an on-site assessment of the situation.
 - Footing drains shall be placed around all exterior footings and gravity fed to an approved drainage area.
- WINDOWS
 - All windows in rooms used for sleeping shall have sills not more than 44" above the floor with an operable opening of not less than 5.7 square feet. The height of the window shall not be less than 24" with a net clear width of not less than 20". Exception: grade floor openings shall have a min. net clear opening of 5.0 sq. ft.
 - Habitable rooms require 8% of floor area to be glazing with 1/2 of that glazing to be operable
 - All windows to be double pane insulated glazing of 3/16" double strength "B" grade glass minimum.
- VENTILATION
 - Natural ventilation shall be provided to every habitable room with equal to 4% of floor area with operable windows which will provide (35) fresh air changes per hour.
 - No gas connections allowed in any rooms used for sleeping or in any corridors leading to or through any sleeping room.
 - Ventilation shall be provided into all crawl spaces by means of screened vents measuring not less than 1" x 14" spaced not more than 25' apart and placed so as to provided cross ventilation.
 - Provide (2) combustion air ducts to furnace rooms (1) placed at 18" above floor and (1) placed at 12" below the ceiling with an area of not less than (1) square inch per 1000 BTUH input.
 - Provide attic ventilation equal to 1/150 of the area of the space ventilated.
 - Mechanical ventilation may be provided in habitable rooms, where not required for emergency escape. System will be able to provide (35) fresh air changes per hour.
- FIRE PROTECTION & WARNING
 - Provide 1/2" type "X" gyp. bd. on all supporting walls and ceilings of the garage adjacent to living areas. Nail all 5/8" type "X" gyp. bd. at 6" o.c. (One hour fire rated)
 - Provide 1/2" type "X" gyp. bd. on walls and under side of stairs under any stairway area used for storage. Fire block walls at all stair stringers.
 - Doors leading from the garage into the house shall be solid core wood or honeycomb metal doors not less than 1 1/2" thick.
 - Smoke detectors are required in all hallways leading to sleeping rooms, sleeping rooms, unfinished areas, with a minimum of (1) one each story. Wire all smoke detectors to sound simultaneously. Smoke detectors must have battery back-up.
 - A minimum of 30" shall be provided above all ranged, grills, or cook tops to combustibles.
- HANDRAILS & GUARDRAILS
 - Handrails are required at all stairways having (2) or more risers.
 - Handrails shall be placed not less than 2'-10" above stair nosing and not more than 3'-6" above stair nosing.
 - Handrail gap size shall have a circular cross section of 1 1/2" minimum - 2 1/2" max. Edges shall have a minimum radius of 1/8". Handrails may project 4 1/2" into the stairway on both sides. Continuous handrails shall be permitted to be interrupted by a newel post at a turn and the use of a volute turn or starting easing shall be allowed on lowest tread.
 - Guardrails are required at all landings or decks or floor levels more than 30" apart.
 - Balusters for guardrails shall be spaced such that a 4" diameter sphere shall not pass through.
 - When a guardrail is combined with a handrail on all open side of stairs, guardrail

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ADDRESS: 3985 N 2975 W
CITY: FARR WEST
STATE: UTAH
DATE: 9-14-18
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SITE PLAN, NOTES & DWG. SCHEDULE

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CAMEO PLAN

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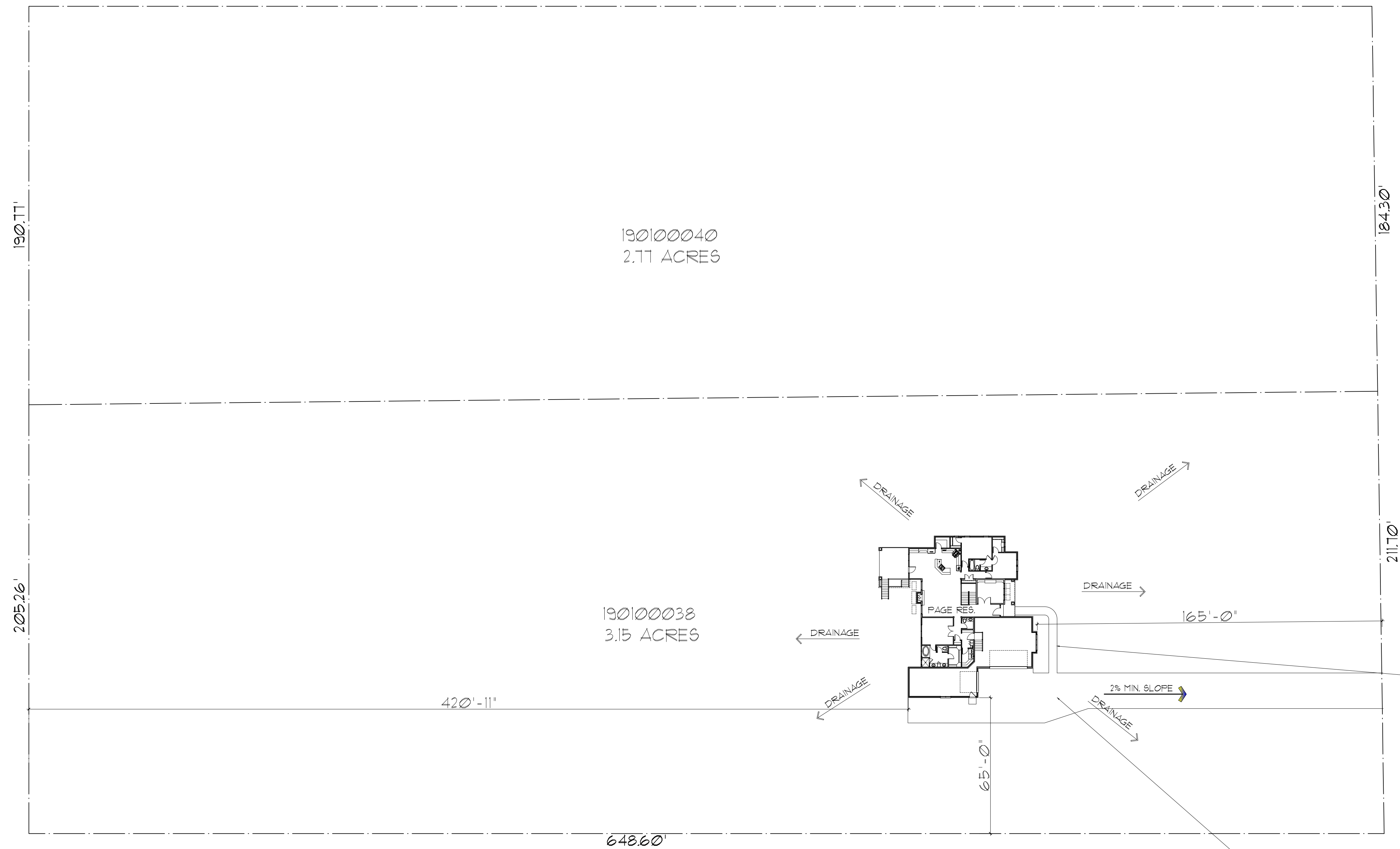
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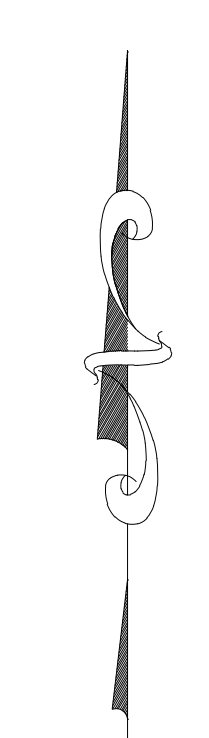
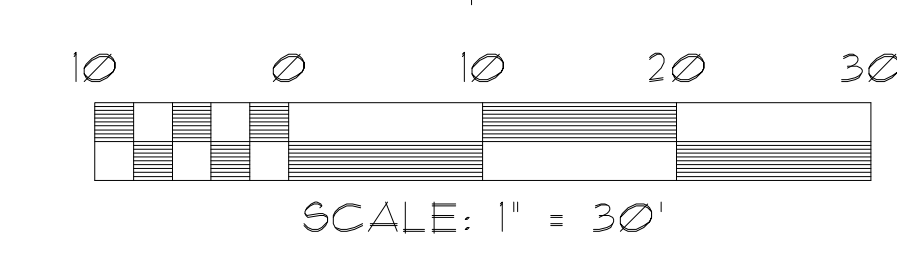
ENGINEER OF RECORD	YORK
CAD TECH	M.H.H.
RELEASE DATE	9/25/18

T1

4000 NORTH STREET



SITE PLAN
SCALE: 1" = 30'-0"



ADDRESS:
3985 N 2975 W
FARR WEST UTAH

LINE LEGEND

---	LOT BOUNDARY
----	BUILDING PAD
----	PUBLIC UTILITY EASEMENT
---	EXISTING GRADE
----	PROPOSED GRADE

- SITE PLAN GENERAL NOTES**
- DUST, MUD AND EROSION SHALL BE CONTROLLED BY WHATEVER MEANS NECESSARY, AND THE ROADWAY SHALL BE KEPT FREE OF MUD AND DEBRIS, AT ALL TIMES.
 - BUILDER/ OWNER SHALL SECURE AN EXCAVATION PERMIT PRIOR TO DOING ANY WORK IN THE PUBLIC RIGHT-OF-WAY. TRAFFIC PLAN, BONDING AND INSURANCE WILL BE REQUIRED.
 - PROVIDE FINISH GRADING AWAY FROM THE HOUSE ON ALL SIDES AT A MINIMUM OF 6" IN FIRST 10'-0" HORIZONTAL SLOPE IN LANDSCAPED AREAS. THEN MAINTAIN 2% MIN. HORIZONTAL SLOPE IN GRADE THEREAFTER TO APPROVED DRAINAGE AREAS.
 - IF RETAINING WALLS REQUIRED, A PROFESSIONAL ENGINEER, CURRENTLY LICENSED IN UTAH, SHALL INSPECT AND APPROVE ANY RETAINING WALL THAT IS HIGHER THAN (4) FEET FROM BOTTOM FINISH GRADE TO TOP OF WALL, ONCE CONSTRUCTED.
 - PROVIDE ON SITE RETENTION OF ALL STORM RUN OFF, BY WHATEVER MEANS NECESSARY DURING CONSTRUCTION.
 - SHOULD GROUND WATER BE INCURRED DURING EXCAVATION, A QUALIFIED SOILS ENGINEER SHALL BE RETAINED TO DESIGN AND APPROVE A CONTINUOUS FRENCH DRAIN AT FOUNDATION, ON SITE.
 - MAINTAIN NATURAL EXISTING GRADE AT ALL SIDES OF LOT TO RETAIN STORM WATER ON SITE FOR NATURAL PERCOLATION.



SITE PLAN, NOTES & DWG. SCHEDULE
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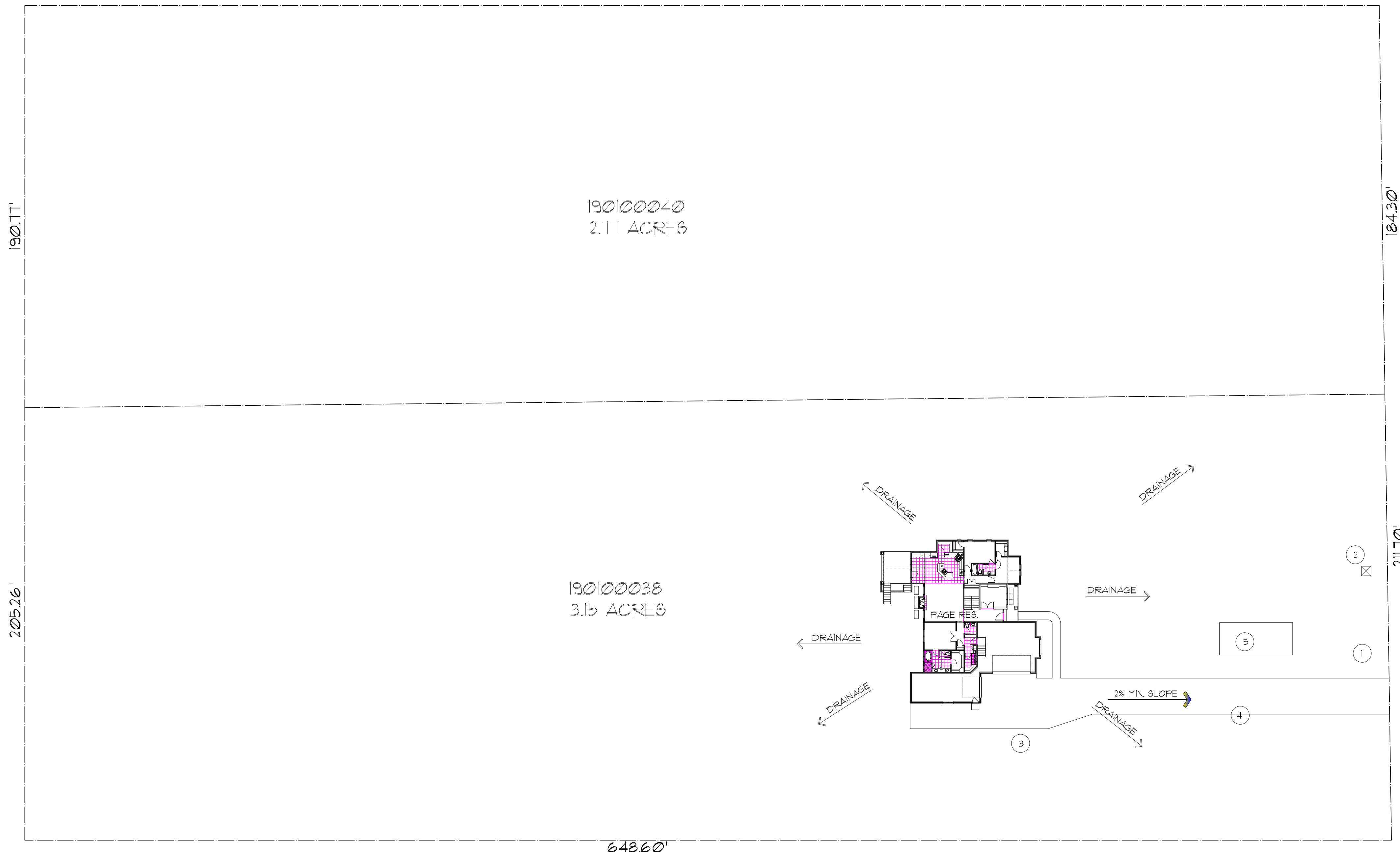
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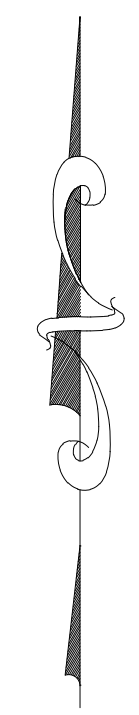
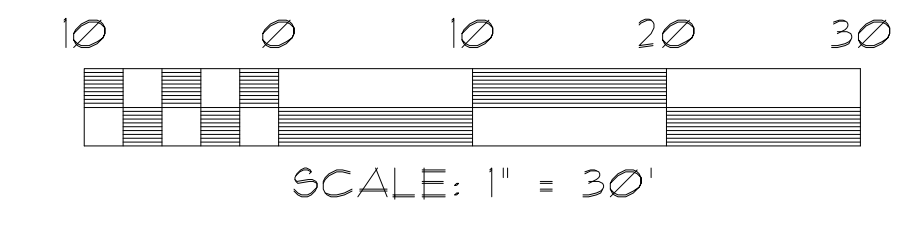
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S1

4000 NORTH STREET



STORM WATER POLLUTION PREVENTION PLAN
SCALE: 1" = 30'-0"



ADDRESS:
3984 N 2975 W
FARR WEST UTAH

SWPP GENERAL NOTES

NOTE: ALL STORM WATER AND DIRT WILL BE KEPT ON SITE DURING CONSTRUCTION UNTIL FINAL LANDSCAPING IS DONE. GENERAL CONTRACTOR WILL BE HELD RESPONSIBLE FOR KEEPING DIRT/MUD ON SITE DURING BAD WEATHER AND FOR CLEANING UP AFTER SUBCONTRACTORS

NOTE: STREET CURB AND GUTTER WILL BE INSPECTED AND CLEANED AT THE END OF EVERY DAY.

NOTE: GRAVEL BAGS TO BE PLACED AND MAINTAINED AROUND ANY STORM DRAIN INLET ADJACENT TO OR IMMEDIATELY FROM SITE DURING CONSTRUCTION

NOTE: BERMS OR SWALES MAY BE REQUIRED ALONG PROPERTY LINES TO PREVENT STORM WATER FLOW ONTO ADJACENT LOTS FINAL GRADING SHALL BLEND WITH ADJACENT LOTS.

NOTE: A LINED CONCRETE WASHOUT MUST BE PROVIDED AT THE CONSTRUCTION SITE FOR ALL CONCRETE WORK. WASHOUT INTO THE FOUNDATION OR ON THE GROUND IS PROHIBITED.

- ① LOCATION OF TRUCK WASH-OFF PROVIDE A 4' GRAVEL BED
- ② LOCATION OF PORTABLE TOILET
- ③ CONSTRUCTION MATERIALS STORAGE AREA
- ④ DESIGNATED CONCRETE WASHOUT
- ⑤ LOCATION OF DUMPSTER (FOR CONSTRUCTION DEBRIS)

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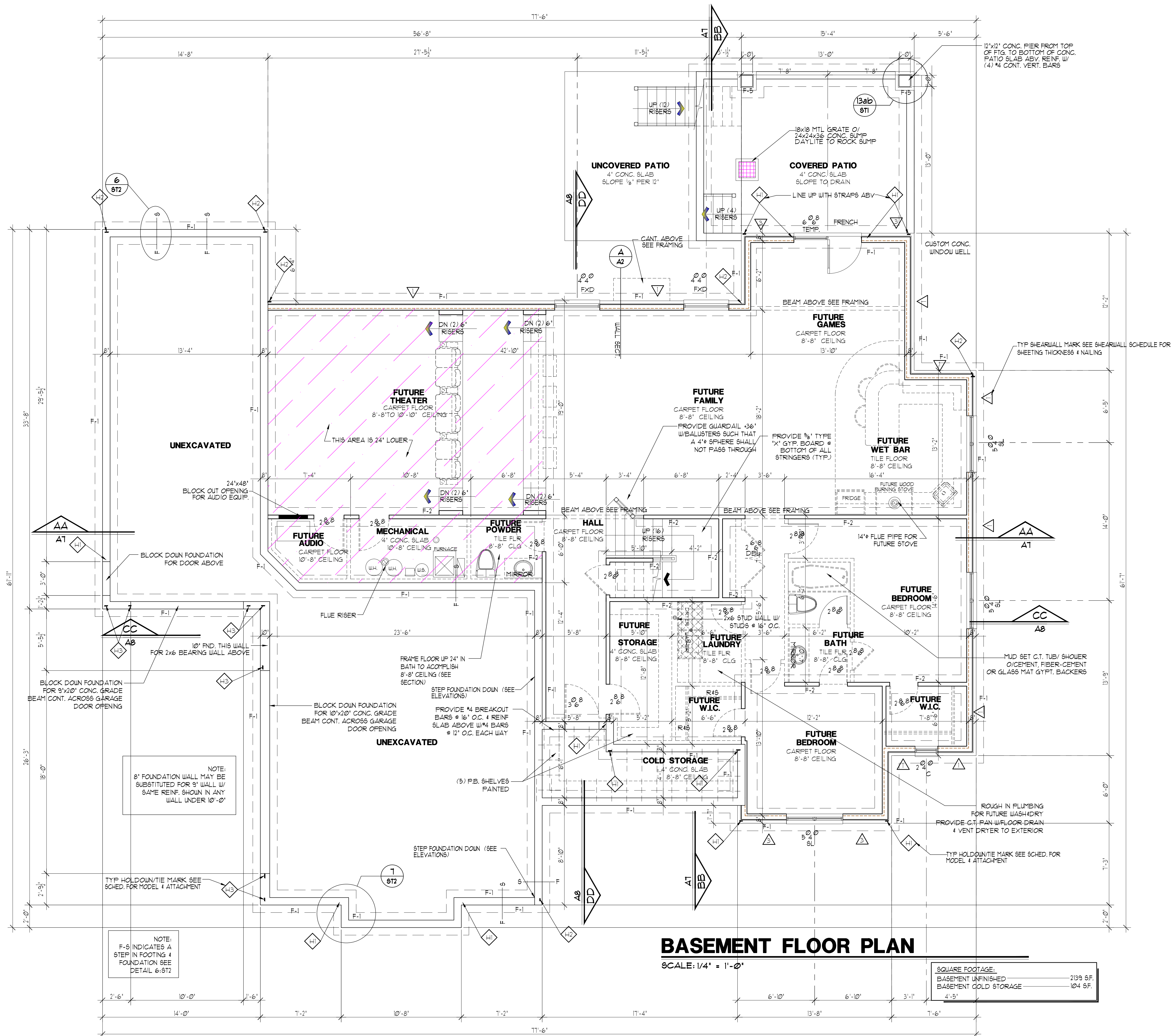


SITE PLAN, NOTES & DWG. SCHEDULE
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S2



BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE:	
BASEMENT UNFINISHED	2139 SF.
BASEMENT COLD STORAGE	104 SF.

NOTE:
F-9 INDICATES A
STEP IN FOOTING &
FOUNDATION SEE
DETAIL 6-972

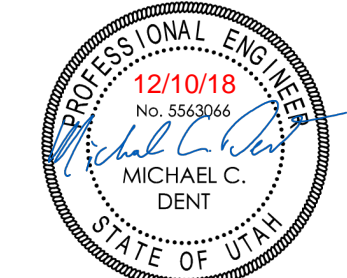
NOTE:
8" FOUNDATION WALL MAY BE
SUBSTITUTED FOR 9" WALL W/
SAME REINF. SHOWN IN ANY
WALL UNDER 10'-0"

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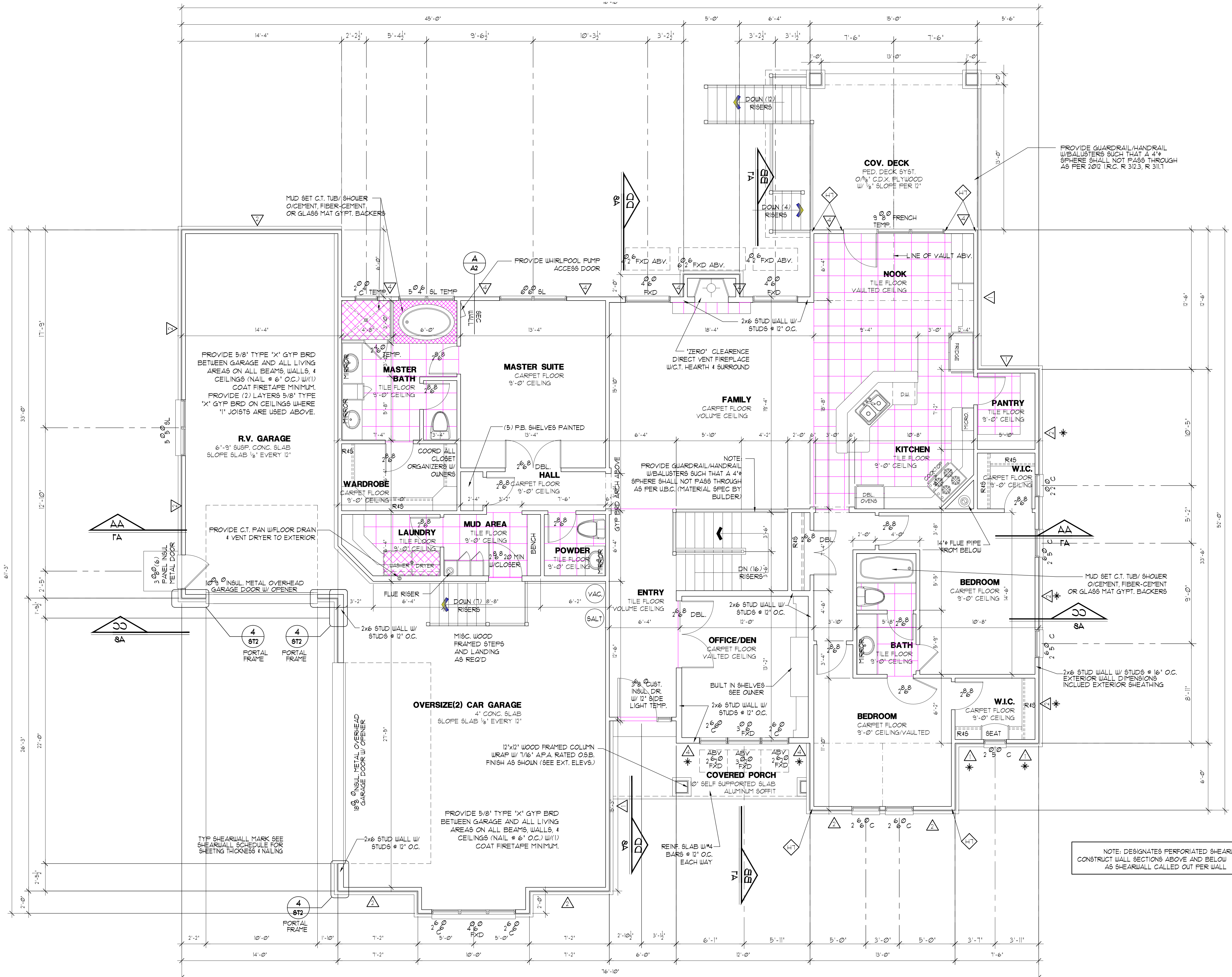
FTG., FNDN. AND BASEMENT FLOOR PLAN
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A1



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

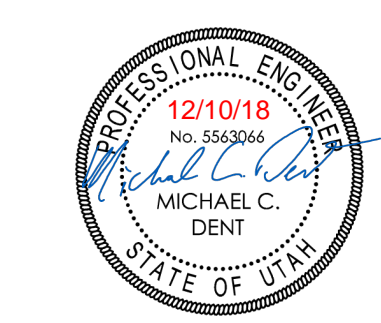
SQUARE FOOTAGE:	
MAIN FLOOR FINISHED	2264 SF
GARAGES	1016 SF
EXTERIOR COV. AREA	121 SF

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MAIN FLOOR PLAN
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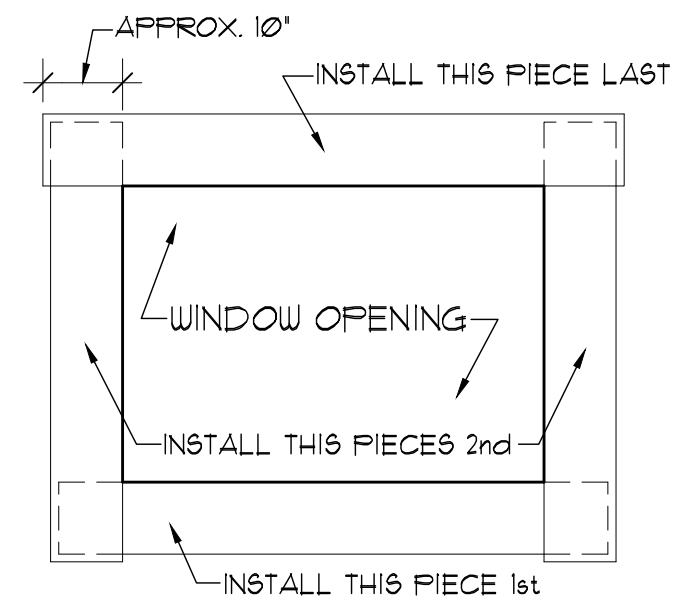


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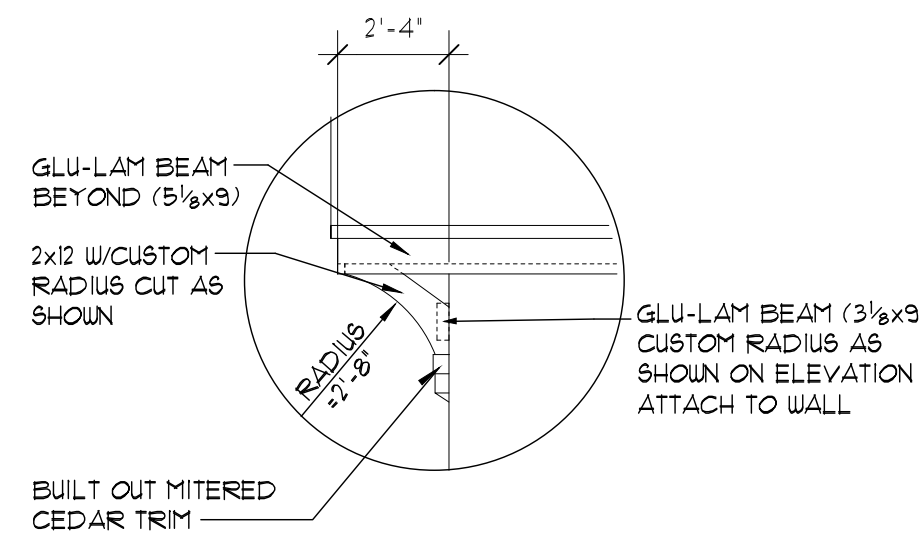
A3

FLASHING GENERAL NOTES

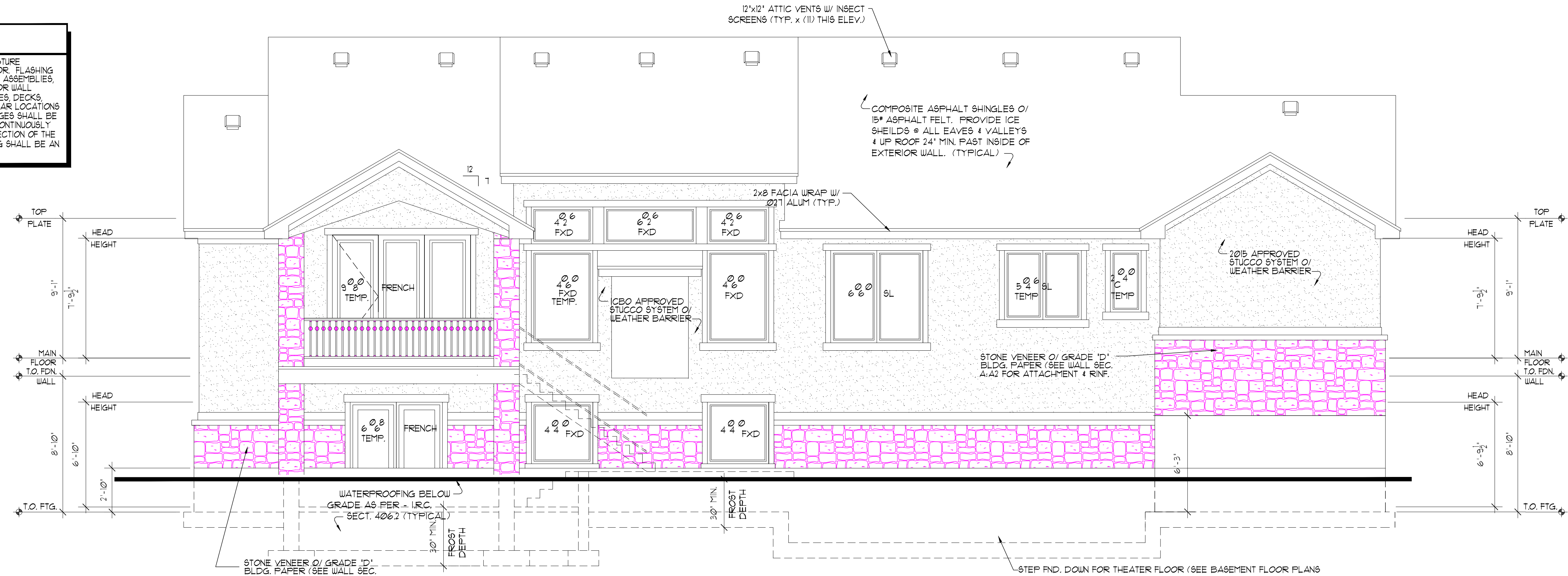
FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING A WALL, ROOF OR FLOOR AND REDIRECT IT TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES, EXTERIOR WALL ASSEMBLIES, EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTED FLANGES SHALL BE INSTALLED ON BOTH SIDES AND THE ENDS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTED TRIM. A FLASHING SHALL BE INSTALLED AT THE INTERSECTION OF THE FOUNDATION TO STUCCO, MASONRY SIDING OR BRICK VENEER. THE FLASHING SHALL BE AN APPROVED CORROSION-RESISTANT FLASHING, R103.15, R103.3, R203.2, R209.



A WINDOW FLASHING
SCALE: NO SCALE

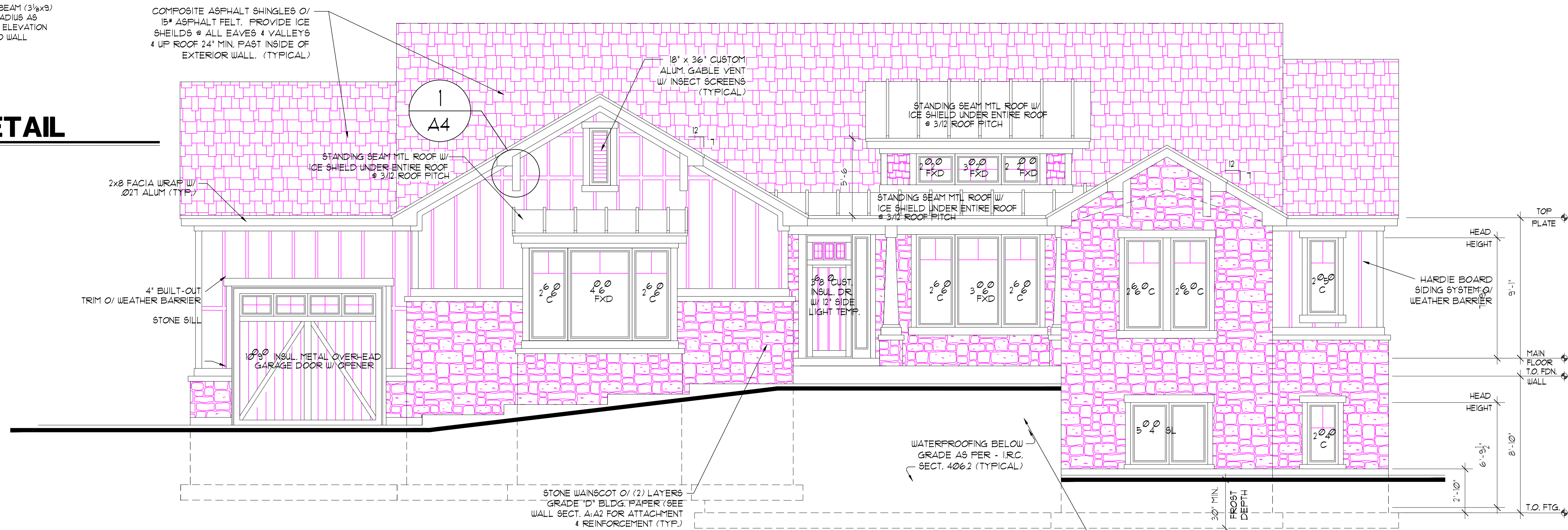


1 CORBEL DETAIL
SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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EXTERIOR ELEVATIONS

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A4

COMPOSITE ASPHALT SHINGLES OR 15# ASPHALT FELT. PROVIDE ICE SHIELDS @ ALL EAVES & VALLEYS & UP ROOF 24" MIN. PAST INSIDE OF EXTERIOR WALL. (TYPICAL)

1/16" APA RATED OSB SHEETING W/ 7/8" CLIPS @ UNSUPPORTED EDGES

ALUMINUM DRIP EDGE
1x4 FACIA OR 2x8 SUBFACIA WRAP W/ Ø32 ALUMINUM

CONT. VENTED ALUMINUM SOFFIT
2x4 BLOCKING BACK TO WALL

1/16" APA RATED OSB SHEETING SEE SHEARWALL SCHEDULE FOR NAILING
EIFS OR TYVEK STUCCO WRAP

CARDBOARD INSULATION STOPS MAINTAIN 1" AIRSPACE
TRUSSES OR RAFTERS
R-42 BLOWN INSULATION

H2.5 @ EACH TRUSS
HEADER SEE FRAMING
2x6 STUD WALL W/ STUDS @ 16" O.C. & R-13 BATT INSULATION

WINDOW SEE FLOOR PLAN

1 EAVE DETAIL
SCALE: 1" = 1'-0"

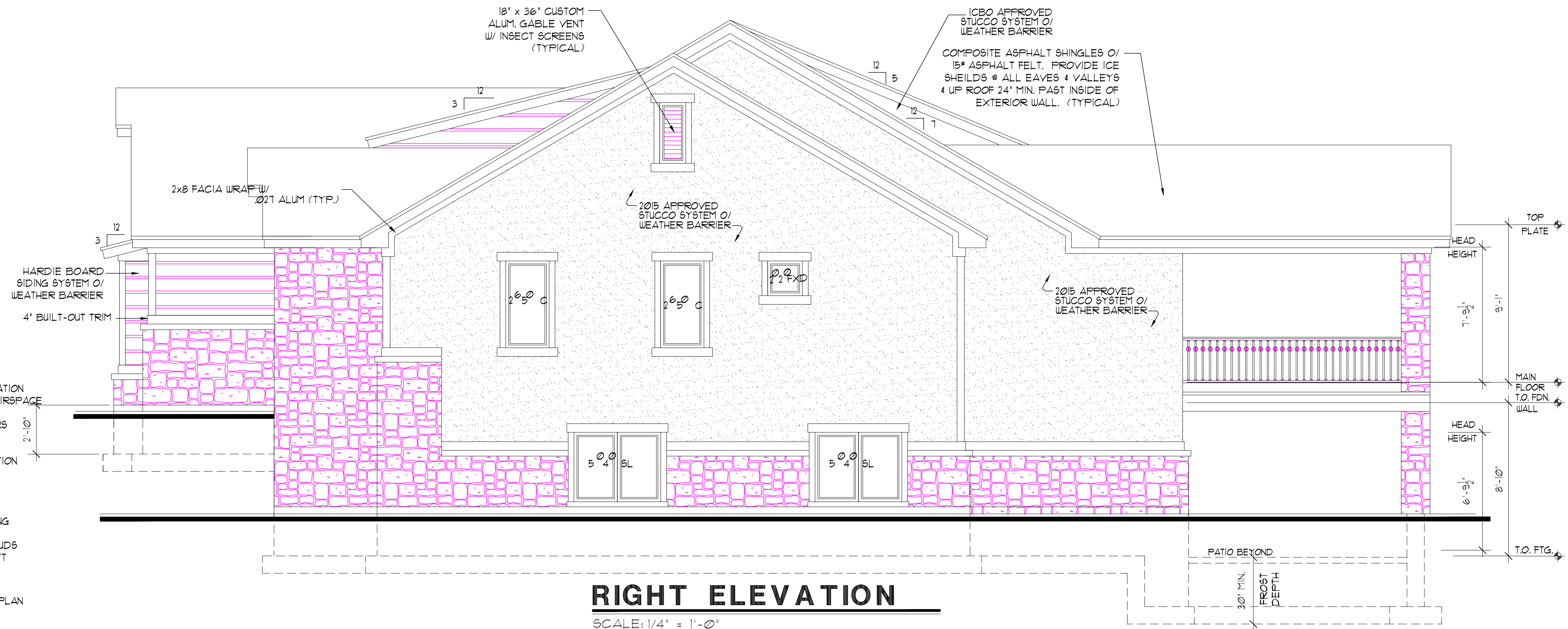
COMPOSITE ASPHALT SHINGLES OR 15# ASPHALT FELT. PROVIDE ICE SHIELDS @ ALL EAVES & VALLEYS & A MINIMUM OF 24" UP ROOF BEYOND INSIDE OF EXTERIOR WALL. (TYP.)

1/16" APA RATED OSB SHEETING W/ 7/8" CLIPS @ UNSUPPORTED EDGES
ALUMINUM DRIP EDGE
1x4 FACIA OR 2x8 SUBFACIA WRAP W/ Ø32 ALUMINUM

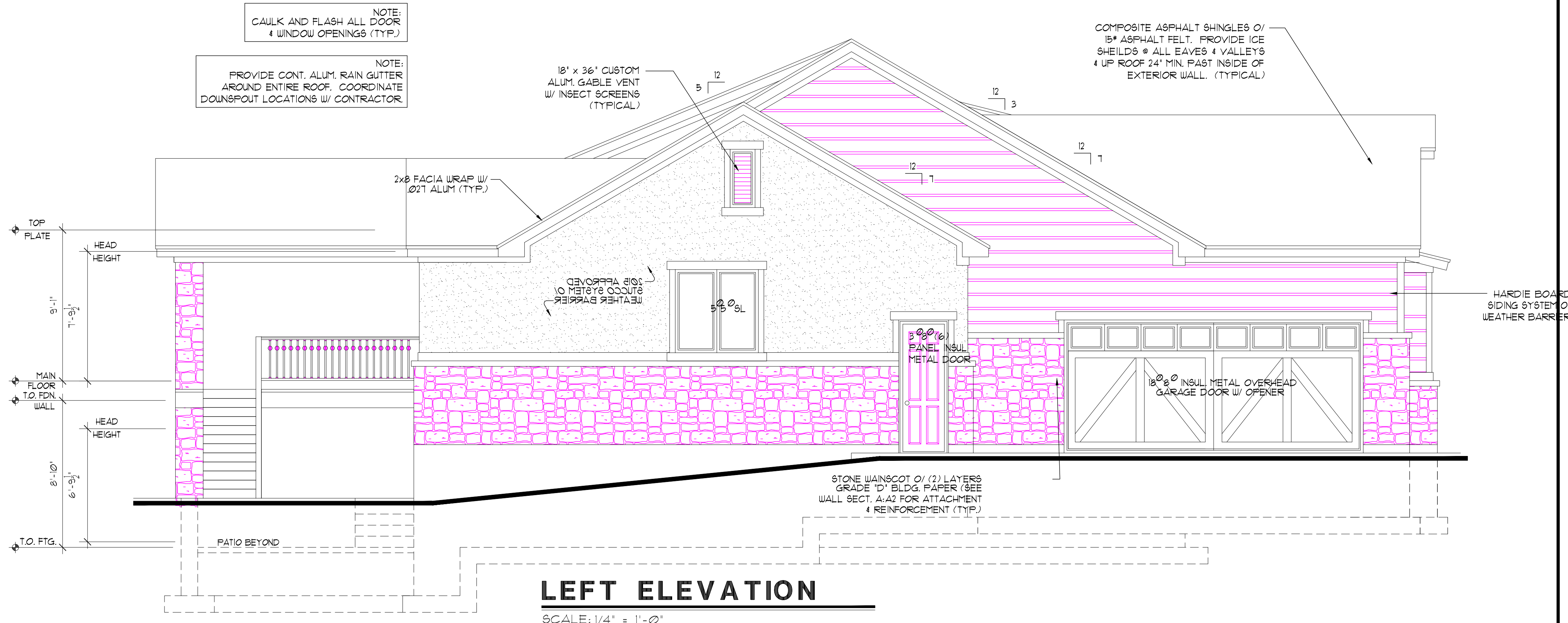
2x4 BLOCKING BACK TO WALL
CONT. VENTED ALUMINUM SOFFIT

2" MAX AIR GAP FOR VENTILATION
24" OVERHANG
12" BUILT UP EAVE HEIGHT
CARDBOARD INSULATION STOPS MAINTAIN 1" AIRSPACE
RAFTER/TRUSSES SEE FRAMING
INSULATION PER REG CHECK W/ 1" @ EACH RAFTER
HEADER/BEAM SEE FRAMING

2 EAVE DETAIL
SCALE: 1" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

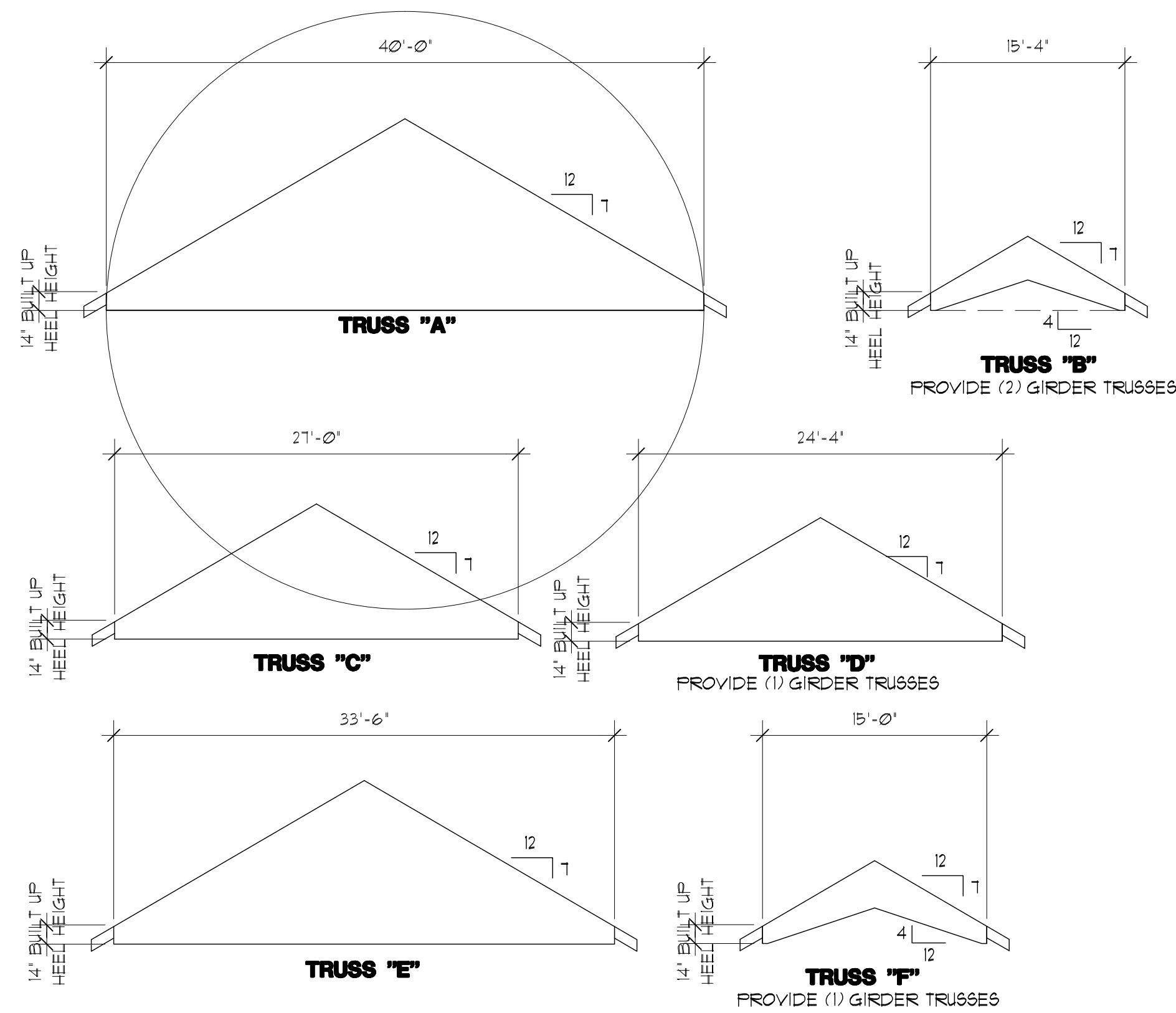


LEFT ELEVATION
SCALE: 1/4" = 1'-0"

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ENGINEER OF RECORD	YORX
CAD TECH	M.H.H.
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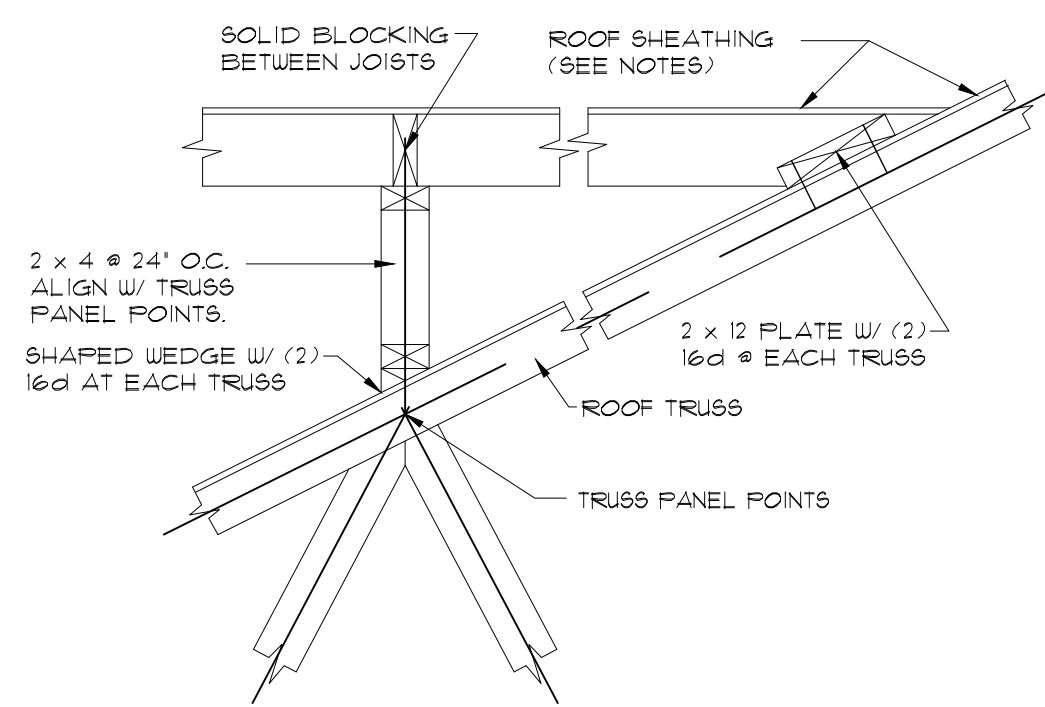
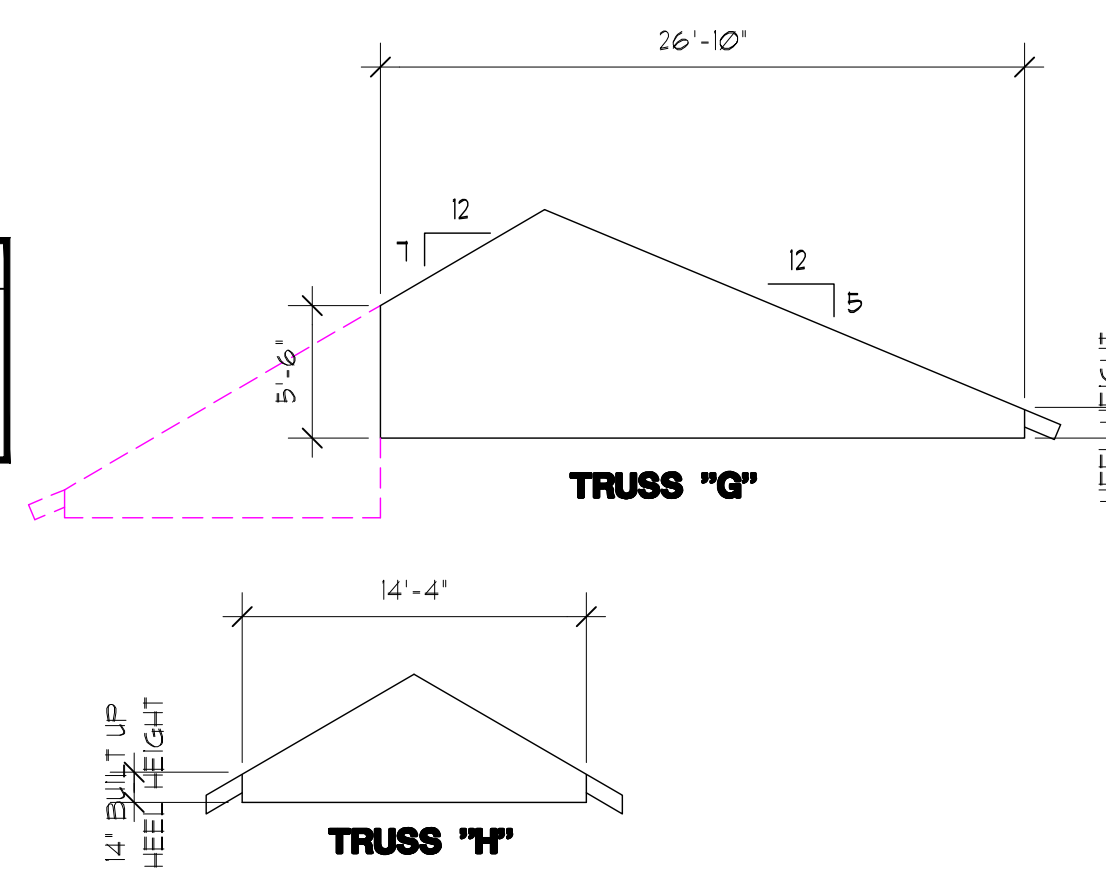


TRUSS TYPES

SCALE: 1/8" = 1'-0"

TRUSS NOTE:

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL TRUSS TYPES, SHAPES, SIZES, LAYOUT & PITCH, AND TO COORDINATE W/ ELEVATIONS AND SECTIONS PRIOR TO ORDERING FROM MANUFACTURER.



OVERBUILD DETAIL

SCALE: 3/4" = 1'-0"

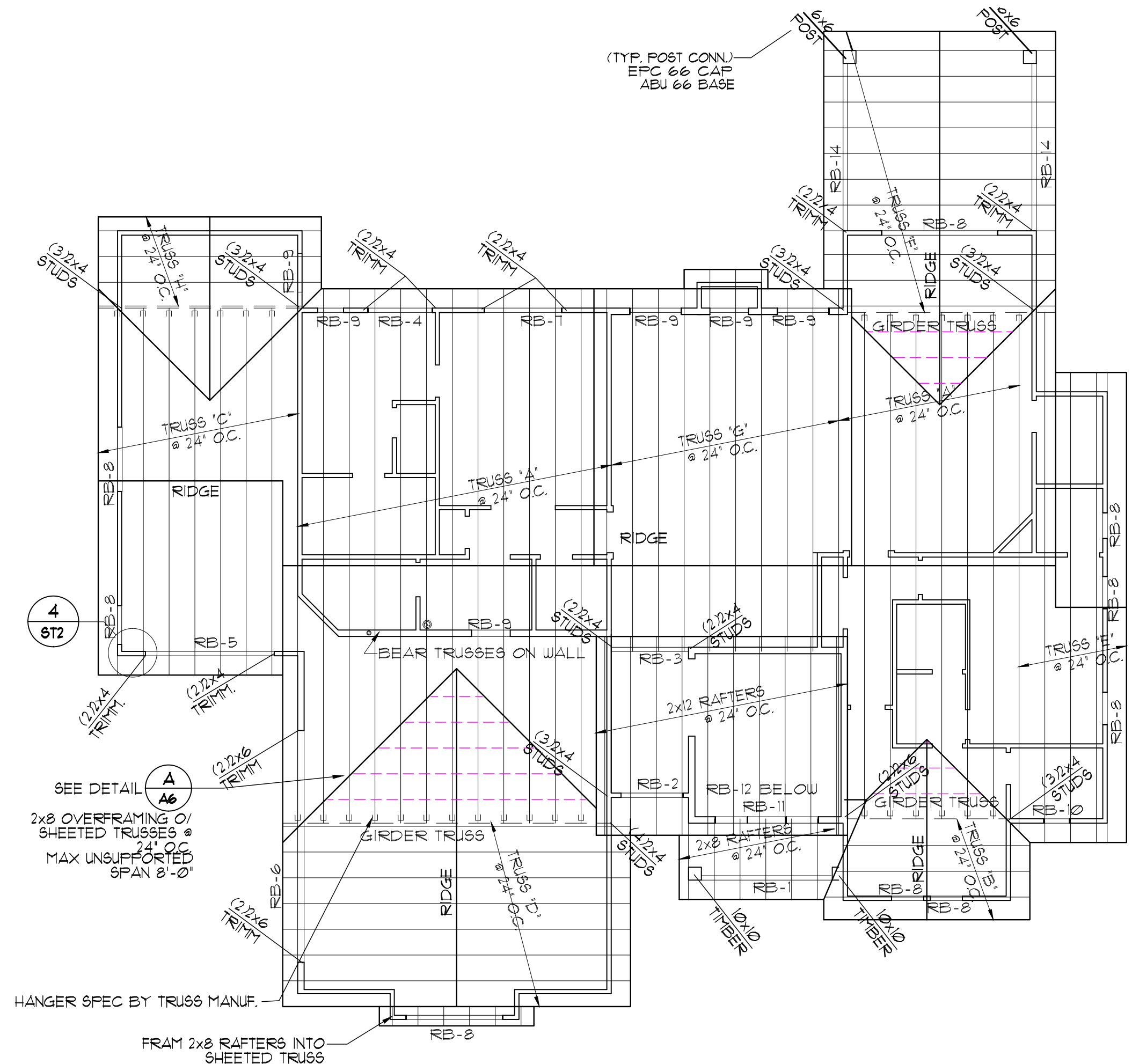
OVERFRAMING SCHEDULE

SPAN	FRAMING MEMBERS	40 LB SNOW LOAD
0' TO 8'	2 x 6's @ 24" O.C.	
8' TO 10'	2 x 8's @ 24" O.C.	
10' TO 12'	2 x 10's @ 24" O.C.	
12' TO 14'	2 x 12's @ 24" O.C.	

FOR RIDGE & HIP BEAMS USE (1) MEMBER ONE SIZE LARGER THAN MEMBER USED FOR RAFTERS. (IE. FOR A 2 x 6 RAFTER, USE A 2 x 8 FOR RIDGE & HIP BEAMS)

ROOF BEAM SCHEDULE

MARK	TYPE	SIZE	NOTES
RB-1	DIM.	6x10	TOP OF BEAM = BOTTOM OF RAFTERS OR (2) 2x4" x 9 1/2" LVL's
RB-2	DIM.	(2) 2x10's	TOP OF BEAM = BOTTOM OF RAFTERS
RB-3	L.V.L.	(2) 3/4" x 9 1/2"	TOP OF BEAM = BOTTOM OF RAFTERS SEE SECTION
RB-4	DIM.	(2) 2x10's	HEADER OR (2) 2x10's
RB-5	L.V.L.	(2) 3/4" x 11 3/8"	HEADER (EXT. TO END OF WALL PER DETAIL)
RB-6	GLB	5 1/2 x 18	HEADER OPT. (3) 16" LVL'S
RB-7	DIM.	(2) 2x10's	HEADER OPT. (2) 9 1/2" LVL'S
RB-8	DIM.	(2) 2x10's	
RB-9	DIM.	(2) 2x10's	HEADER
RB-10	DIM.	(2) 2x10's	HEADER
RB-11	DIM.	(2) 2x10's	HEADER
RB-12			
RB-13	DIM.	(2) 2x10's	HEADER
RB-14	L.V.L.	(2) 3/4" x 9 1/2"	TOP OF BEAM = BOTTOM OF TRUSSES
RB-15			
RB-16			

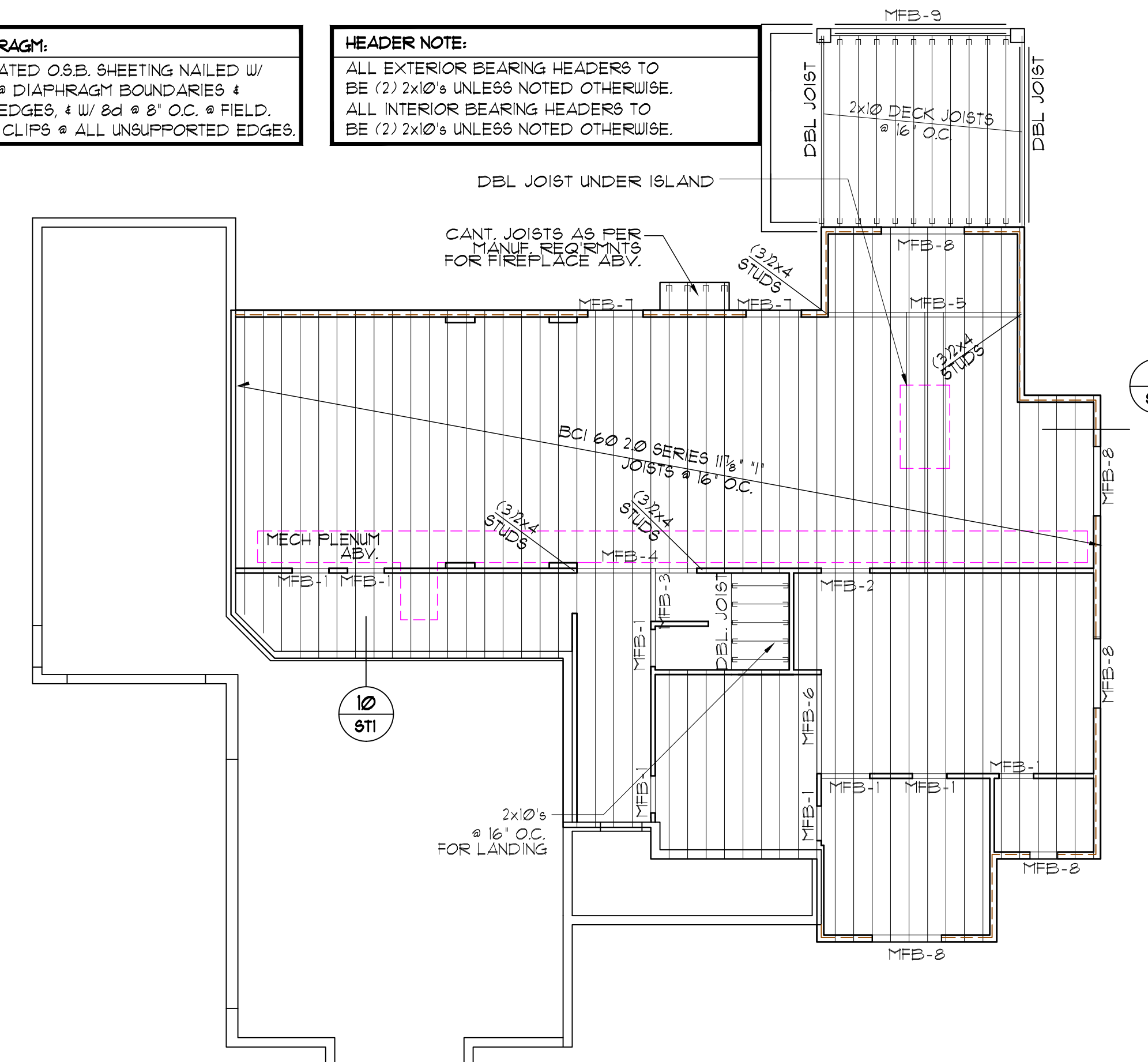


ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

ROOF DIAPHRAGM:
1/16" APA RATED OSB SHEETING NAILED W/ 8d @ 4" O.C. @ DIAPHRAGM BOUNDARIES & SUPPORTED EDGES, & W/ 8d @ 8" O.C. @ FIELD. PROVIDE 'H' CLIPS @ ALL UNSUPPORTED EDGES.

HEADER NOTE:
ALL EXTERIOR BEARING HEADERS TO BE (2) 2x10's UNLESS NOTED OTHERWISE. ALL INTERIOR BEARING HEADERS TO BE (2) 2x10's UNLESS NOTED OTHERWISE.



MAIN FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"

FLOOR DIAPHRAGM:
3/4" APA RATED T&G OSB SHEETING GLUED & NAILED W/ 8d @ 6" O.C. @ DIAPHRAGM BOUNDARIES & SUPPORTED EDGES & W/ 8d @ 12" O.C. @ FIELD.

HEADER NOTE:
ALL EXTERIOR BEARING HEADERS TO BE (2) 2x10's UNLESS NOTED OTHERWISE. ALL INTERIOR BEARING HEADERS TO BE (2) 2x10's UNLESS NOTED OTHERWISE.

FLOOR BEAM SCHEDULE

MARK	TYPE	SIZE	NOTES
MFB-1	DIM.	(2) 2x10's	TOP OF BEAM = BOTTOM OF JOISTS
MFB-2	DIM.	(2) 2x10's	TOP OF BEAM = BOTTOM OF JOISTS
MFB-3	L.V.L.	(1) 3/4" x 11 3/8"	TOP OF BEAM = TOP OF JOISTS
MFB-4	L.V.L.	(2) 3/4" x 9 1/2"	TOP OF BEAM = BOTTOM OF JOISTS
MFB-5	L.V.L.	(3) 3/4" x 11 3/8"	TOP OF BEAM = BOTTOM OF JOISTS OR (4) 3/4" x 9 1/2" LVL's
MFB-6	L.V.L.	(2) 3/4" x 11 3/8"	TOP OF BEAM = TOP OF JOISTS
MFB-7	L.V.L.	(2) 3/4" x 9 1/2"	HEADER
MFB-8	DIM.	(2) 2x10's	HEADER
MFB-9	GLB	3 1/2" x 12"	TOP OF BEAM = TOP OF DECK JOISTS EXT. GRADE
MFB-10			

BOLT TOGETHER W/ (2) ROWS 1/2" THRU-BOLTS @ 24" O.C.

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FRAMING PLANS, TRUSSES & BM. SCHED.
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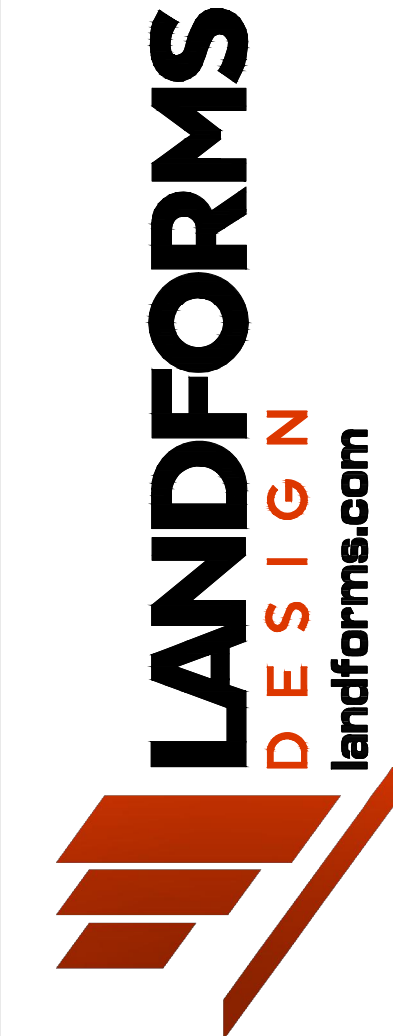
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ENGINEER OF RECORD	YORK
CAD TECH	M.H.H.
RELEASE DATE	9/25/18

A6

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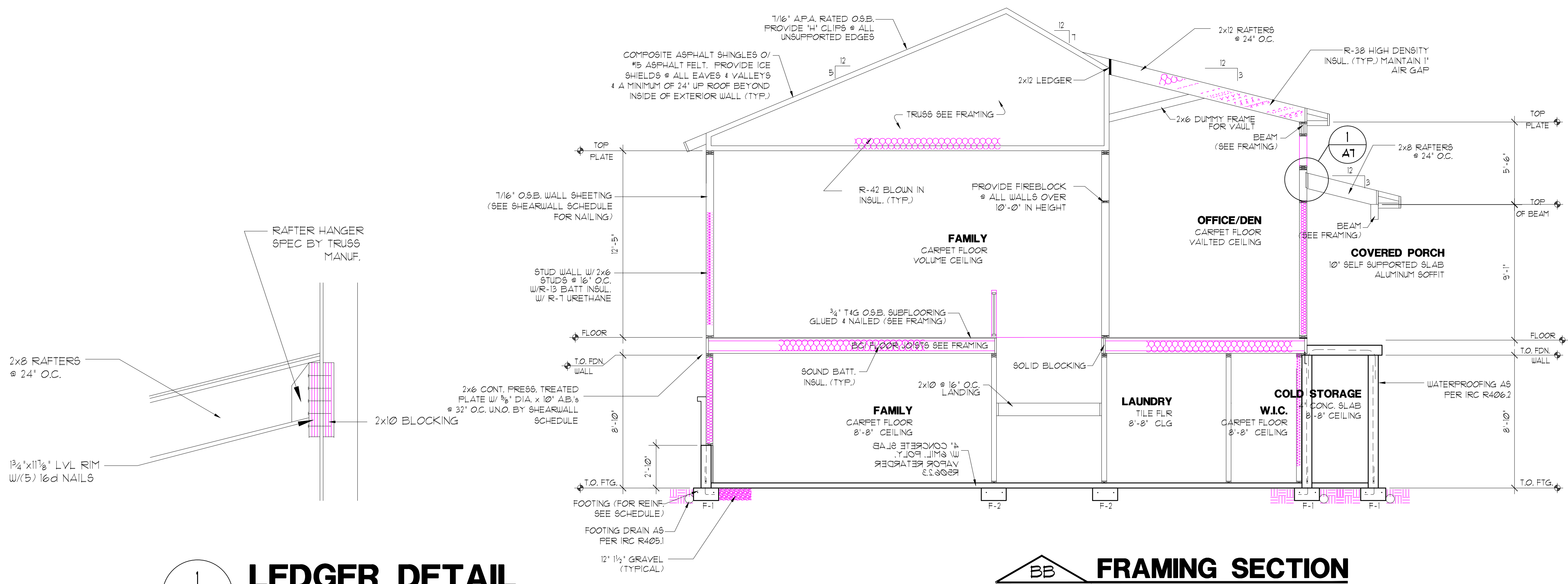


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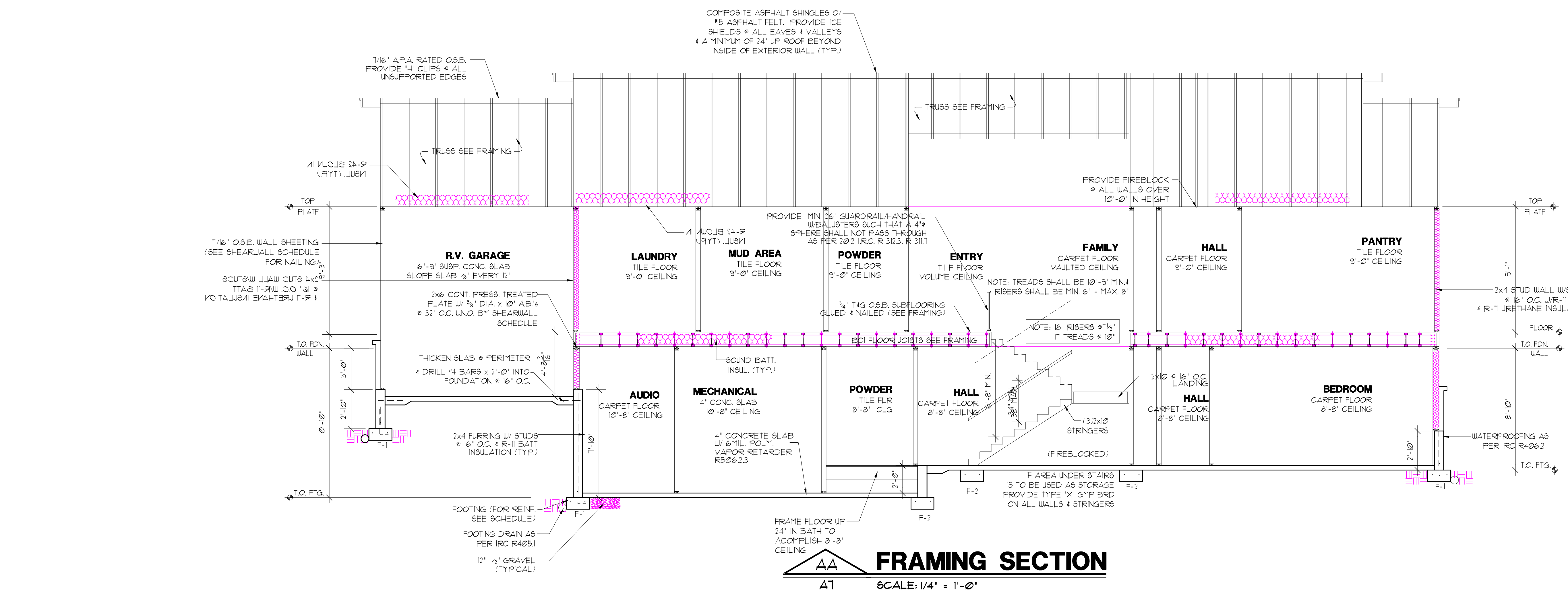
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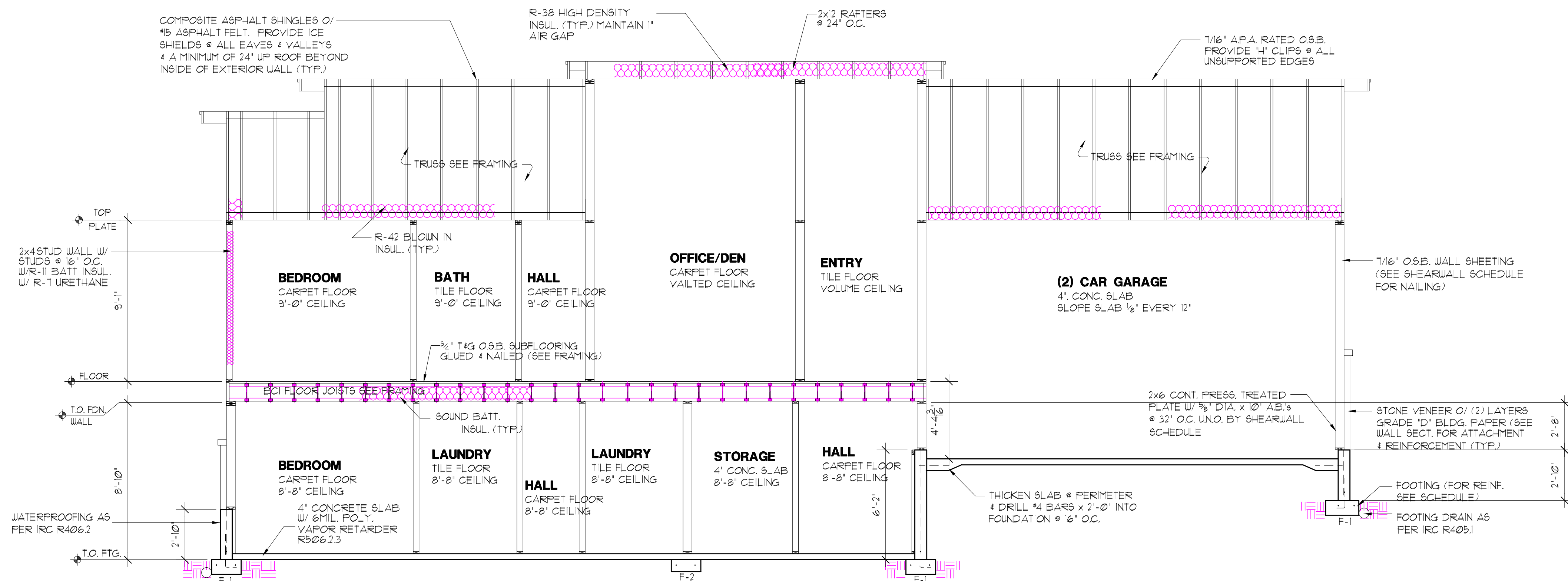
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A7

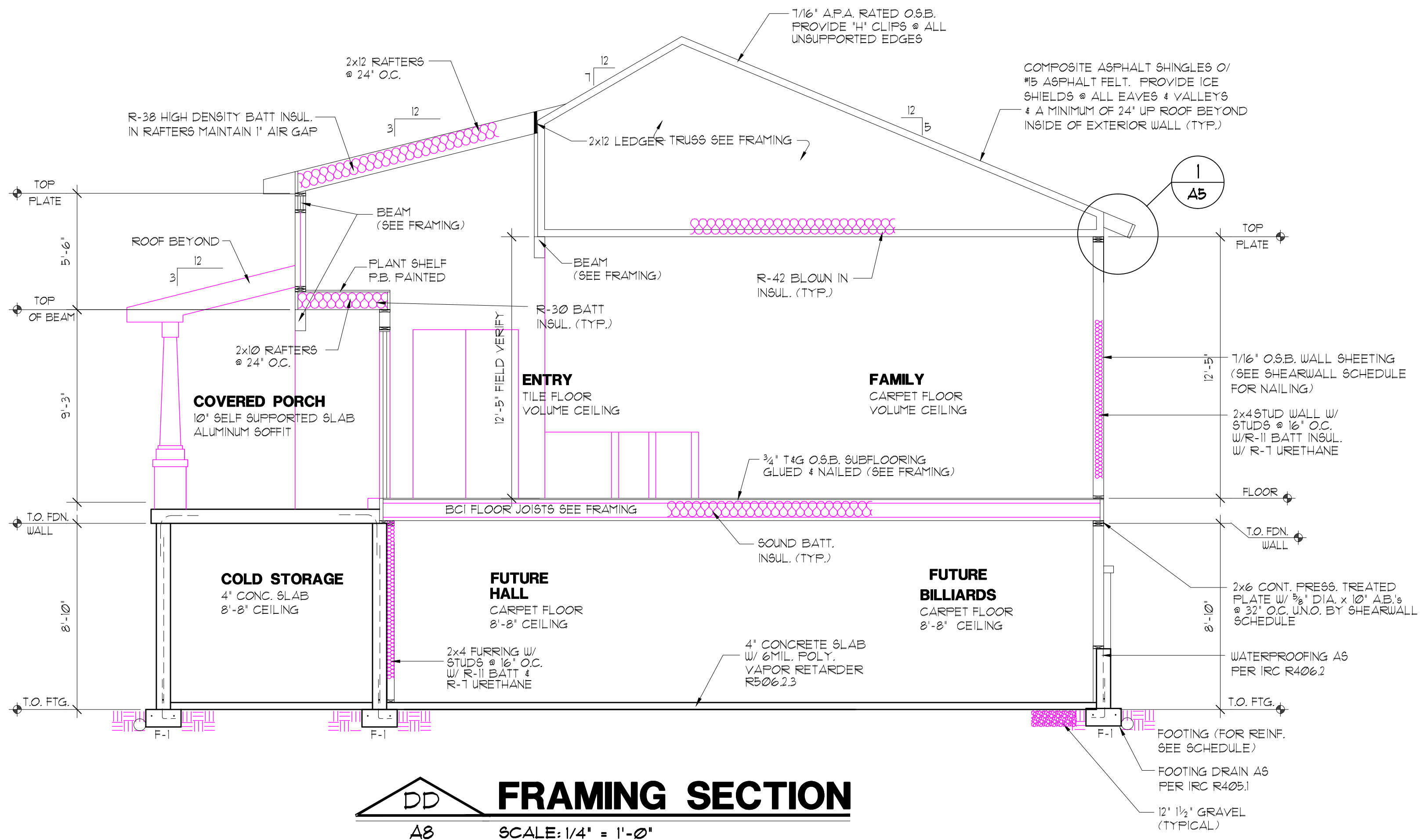


LEDGER DETAIL
 SCALE: 1/2" = 1'-0"





CC FRAMING SECTION
A8 SCALE: 1/4" = 1'-0"



DD FRAMING SECTION
A8 SCALE: 1/4" = 1'-0"

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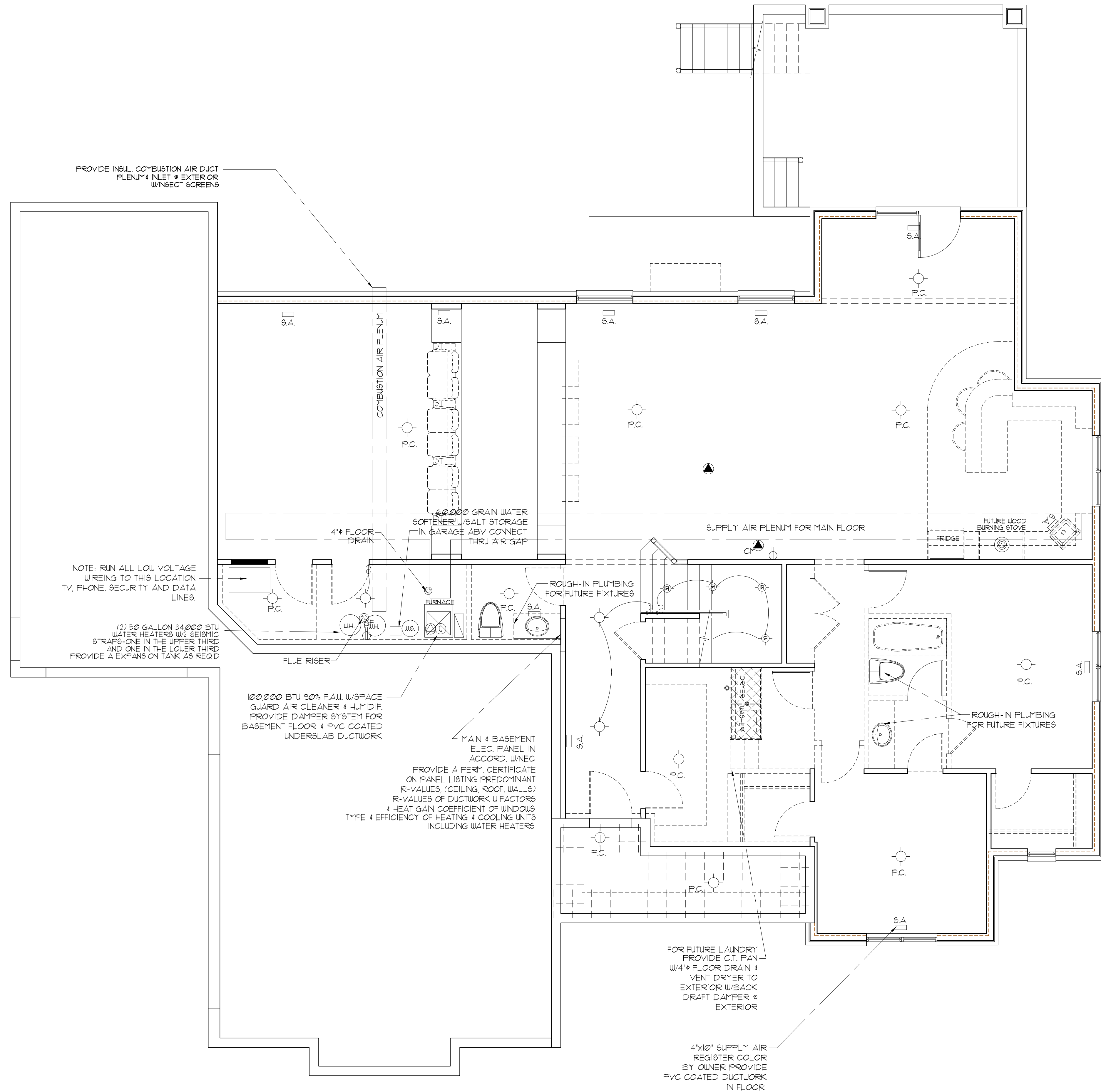
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PLUMBING GENERAL NOTES

1. ALL WORK PERFORMED SHALL COMPLY WITH ALL CURRENT NATIONAL AND LOCAL BUILDING CODES
2. PLUMBING CONTRACTOR TO OBTAIN CITY/STATE BUSINESS LICENSE BEFORE STARTING WORK.
3. PLUMBING CONTRACTOR SHALL PROVIDE 1/4" COPPER SUPPLY LINE FROM WATER METER TO FURNACE ROOM. WATER LINE TO BE PLACED UNDER SLAB WHERE APPLICABLE.
4. PLUMBING CONTRACTOR SHALL VERIFY SIZE & LOCATIONS OF UNDERGROUND UTILITIES. COORDINATE WITH ALL OTHER TRADES PRIOR TO MAKING FINAL CONNECTIONS.
5. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION OF ALL FIXTURES.
6. INTERIOR WASTE AND VENT LINES TO BE A.B.S.
7. INTERIOR COPPER TO BE TYPE M1 INSTALLED WITH PLASTIC ISOLATORS.
8. NO SUBSTITUTIONS FROM FIXTURE SCHEDULE ARE ALLOWED, EXCEPT BY OWNERS APPROVAL
9. PROVIDE C.P. ESCUTCHEONS AT PIPE SLEEVES FOR EXPOSED BARE PIPE. PACK ANNULUS AT 1 HOUR FIRE WALLS. PLUMBING LINES THROUGH GARAGE FIRE WALLS MUST BE METAL PIPING. THIS INCLUDES WASTE LINES, VACUUM LINES, AND SUPPLY LINES. AN APPROVED FIRE STOP MATERIAL MUST BE USED.
10. PROVIDE A PRESSURE REGULATOR AND SHUTOFF VALVE. FOR LOCATION SEE PLUMBING PLAN.
11. OFFSET ALL VENT STACKS IN ATTIC SPACE TO REAR OF ROOF WHERE POSSIBLE.
12. PROVIDE 16 GALLON PER FLUSH TOILETS & 2.5 GALLON PER MINUTE SHOWER HEADS.
13. PROVIDE EXPANSION TANKS FOR WATER HEATERS AS PER LOCAL JURISDICTION.
14. NO SLIP JOINT PLUMBING CONNECTIONS IN CONCEALED CONSTRUCTION AREAS (BATH TUBS).
15. INDIVIDUALLY INSULATE ALL PLUMBING SUPPLY AND DRAIN LINES IN AREAS SUBJECT TO FREEZING (EXTERIOR WALLS, ATTICS, CRAWL SPACES, GARAGES AND EXTERIOR WALLS). SPRAY IN URETHANE HAS BEEN SHOWN TO PREVENT FREEZING PROBLEMS.
16. PLUMBING PENETRATIONS THROUGH GARAGE FIRE WALLS MUST BE METAL PIPING OR HAVE AN APPROVED THROUGH PENETRATION FIRE STOP INSTALLED
17. PROVIDE ANTI-SCALD SHOWER VALVES ON ALL SHOWER AND TUB COMBINATION INSTALLATIONS.
18. PROVIDE 21" CLEARANCE IN FRONT OF SINKS, WATER CLOSETS, AND TUBS. PROVIDE 24" CLEARANCE IN FRONT OF SHOWER DOORS. SHOWER DOORS TO BE A MIN. OF 22" WIDE.
19. IF PLUMBING MANIFOLD SYSTEM IS BEING USED, SYSTEM MUST BE ACCESSIBLE BY LOCAL OFFICIALS
20. BATH TUBS & WHIRLPOOL TUB VALVES SHALL LIMIT THE TEMP. TO A MAX. OF 120° F.
21. ALL BASEMENT FIXTURES MUST PASS THROUGH A BACKWATER VALVE UNLESS IT IS EST. THAT A FIXTURE IN THE BASEMENT OR LOWEST LEVEL OF THE HOME IS NOT BELOW THE ELEVATION OF THE UPSTREAM MANHOLE COVER. THIS WILL REQUIRE BASEMENTS TO BE PLUMBED INDEPENDANTLY FROM UPPER FLOORS. BACKWATER VALVES MUST BE ACCESSIBLE.

MECHANICAL GENERAL NOTES

1. ALL WORK PERFORMED SHALL COMPLY WITH ALL CURRENT NATIONAL AND LOCAL BUILDING CODES
2. MECHANICAL CONTRACTOR TO OBTAIN CITY/STATE BUSINESS LICENSE BEFORE STARTING WORK.
3. MECHANICAL CONTRACTOR TO PROVIDE COMBUSTION AIR TO FURNACE AREA IN ACCORDANCE WITH CURRENT NATURAL GAS COMPANY SPECIFICATIONS. COMBUSTION AIR TO BE PLACED PER LOCATION SHOWN ON MECHANICAL PLAN. PROVIDE WHITE METAL EXTERIOR GRILLE.
4. ALL MECHANICAL SYSTEMS SHALL BE SIZED LARGE ENOUGH TO HEAT/COOL BASEMENTS WHEN FINISHED.
5. ALL SUPPLY AND RETURN AIR FLENUMS ARE SHOWN IN APPROXIMATE LOCATIONS. MECHANICAL CONTRACTOR TO PROVIDE EXPANSION TANKS IN ACTUAL LOCATIONS OF FLENUMS TO MINIMIZE FURR-DOWNS IN FUTURE BASEMENT AREA.
6. MECHANICAL CONTRACTOR TO PROVIDE 4" METAL DUCTING FROM REST ROOM FANS TO EXTERIOR WITH WHITE METAL TERMINATION CAP. SEE MECHANICAL PLAN FOR LOCATION.
7. FOR CONDENSER LOCATIONS SEE MECHANICAL PLANS.
8. VERIFY 'FIT' OF DUCTS AND PIPING PRIOR TO FABRICATION.
9. OFFSET FLU STACKS IN ATTIC SPACE TO REAR OF ROOF WHERE POSSIBLE. PAINT ALL FLU STACKS TO MATCH SHINGLE COLOR.
10. MECHANICAL CONTRACTOR TO PROVIDE 4" DIA. METAL DUCTING FROM DRYER LOCATION TO EXTERIOR WITH WHITE TERMINATION CAP. DUCTS TO BE METAL WITH SMOOTH INTERIOR SURFACES EQUIPPED W/BACK DRAFT DAMPERS. TERMINATE AT TH EXTERIOR OF THE BUILDING. AND NOT BE INSTALLED WITH SHEET METAL SCREWS. MAXIMUM DRYER DUCT LENGTH DETERMINED BY IRC M15.02.4
11. ALL GAS LINES MUST BE PRESSURE TESTED AT ROUGH INSPECTION. QUESTAR GAS NO LONGER PROVIDES THIS SERVICE AND IS THEREFORE REQUIRED BY THE HVAC CONTRACTOR AT ROUGH INSPECTION.
12. GAS LOG APPLIANCES WITHOUT A FLAME SAFEGUARD DEVICE (AUTO LIGHTING DEVICE OR PILOT) SHALL NOT BE PERMITTED. GAS LOGS AND GAS APPLIANCES SHALL HAVE A SHUT-OFF VALVE WITHIN 6 FEET OF THE APPLIANCE. -IRC G422D
13. FIREPLACE FLUES SHALL BE SEPARATED FROM ATTIC SPACES BY A SHAFT OF 1" SHEET ROCK OR 1/4" STRAND BOARD OR PLUMBWOOD.
14. CSST STAINLESS STEEL GAS LINE MAY BE USED BUT MUST BE SIZED AND APPROVED BEFORE INSTALLATION. ANY CSST INSTALLED MUST BE VISUALLY INSPECTED AND PRESSURE TESTED BEFORE BEING CONCEALED WITHIN CONSTRUCTION.
15. NO CLOTH TYPE DUCT TAPE IS ALLOWED. METALLIC OR FOIL TAPE MUST BE USED.
16. ALL JOINTS TRANSVERSE AND LONGITUDINAL SEAMS AND CONNECTIONS MUST BE PROPERLY SEALED WITH TAPE OR MASTIC.
17. GAS LINES SHALL NOT PASS THROUGH OR PENETRATE ANY DUCT OR FLENUM
18. GAS PIPING SHALL NOT PENETRATE A BUILDING FOUNDATION BELOW GRADE.
19. VENTS FOR FURNACES AND WATER HEATERS SHALL BE SIZED IN ACCORDANCE WITH THE GAMMA VENT TABLES 803 TO 804 AS LISTED IN THE 2012 IRC.
20. IF FORCED AIR UNIT IS LOCATED WHERE CONDENSATION MAY DAMAGE BUILDING COMPONENTS. A WATER DETECTION DEVICE MUST BE INSTALLED OR RUN SECONDARY LINE TO OBSERVABLE LOCATION.
21. RANGE HOODS THAT ARE CAPABLE OF EXHAUSTING AIR TO THE OUTSIDE IN EXCESS OF 400 CFM REQUIRE MAKEUP AIR.
22. DRYERS IN CLOSETS THAT ARE CAPABLE OF EXHAUSTING AIR TO THE OUTSIDE IN EXCESS OF 400 CFM REQUIRE MAKEUP AIR.



BASEMENT FLOOR ELECTRICAL, MECHANICAL, & PLUMBING PLAN

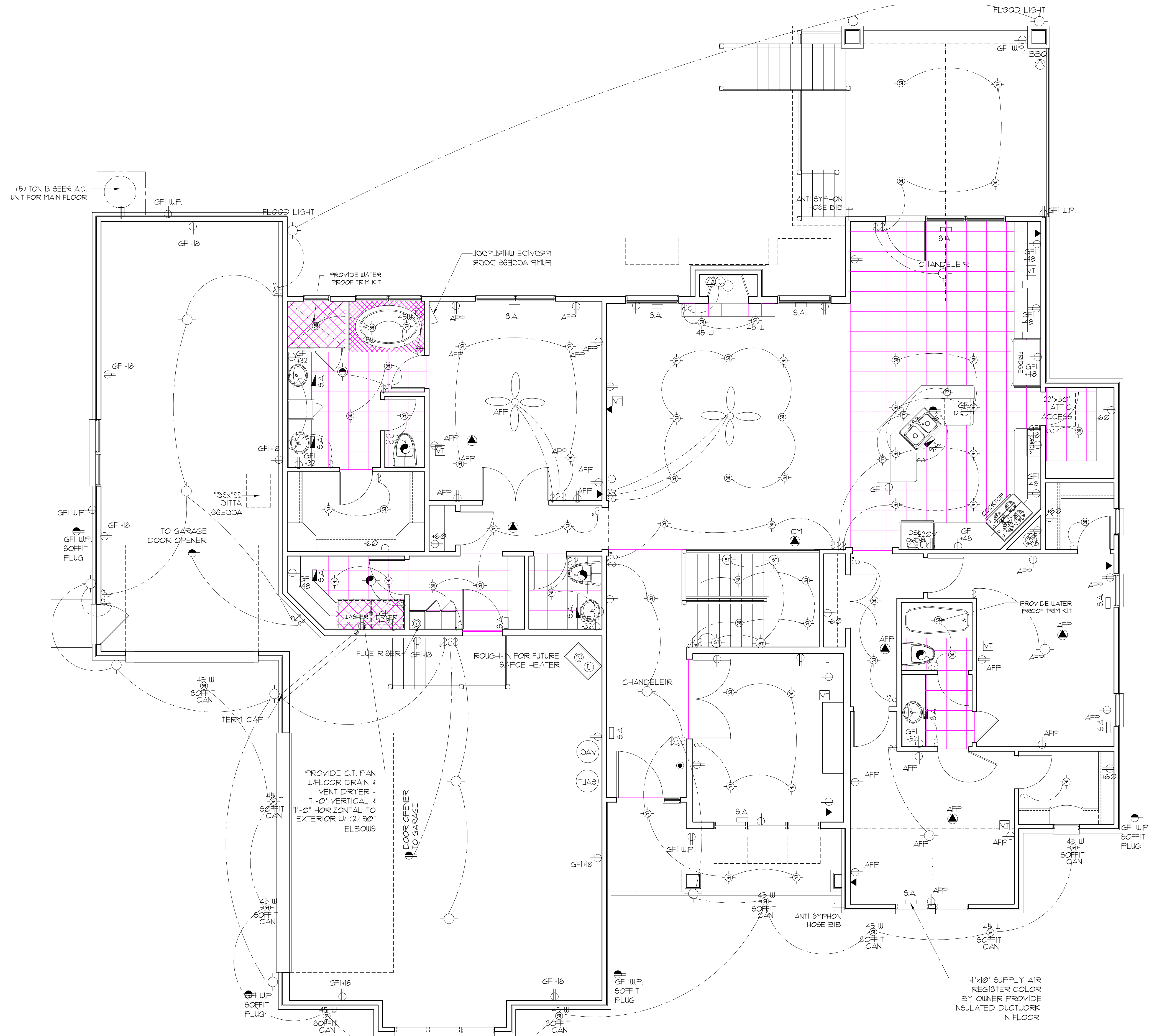
SCALE: 1/4" = 1'-0"

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CAD TECH	M.H.H.
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ELECTRICAL GENERAL NOTES

1. ALL WORK PERFORMED SHALL COMPLY WITH ALL NATIONAL AND LOCAL BUILDING CODES.
2. ELECTRICAL CONTRACTOR TO OBTAIN CITY/STATE BUSINESS LICENSE BEFORE STARTING WORK.
3. ALL TELEVISION OUTLETS ARE TO BE INSTALLED WITH A SEPARATE COAXIAL CABLE TO MECHANICAL ROOM. PROVIDE ANTENNA IN ATTIC WITH SINGLE COAXIAL CABLE TO MECHANICAL ROOM. PROVIDE COAXIAL CABLE FROM MECHANICAL ROOM TO EXTERIOR FOR FUTURE CABLE TELEVISION HOOKUP. HOOK UP TELEVISION CABLES IN MECHANICAL ROOM TO DESIRED (ANTENNA, CABLE) CHOICE. PROVIDE T.V. CONNECTION PANEL ON WALL IN MECHANICAL ROOM.
4. ELECTRICAL CONTRACTOR TO PROVIDE A MINIMUM OF 200 AMP SERVICE TO HOME.
5. ALL EXHAUST FANS SHALL BE VENTED TO EXTERIOR WITH METAL DUCT W/ BACK DRAFT DAMPER. PROVIDE WHITE METAL EXTERIOR TERMINATION CAP. EXHAUST FANS NOT TO BE DISCHARGED INTO VENTED SOFFITS.
6. ALL SMOKE DETECTORS SHALL BE WIRED TOGETHER FOR SIMULTANEOUS ALERT SOUNDING. DETECTORS SHALL ALSO BE WIRED TO BUILDING PRIMARY POWER WITH BATTERY BACKUP. ALL SLEEPING ROOMS AT ALL LEVELS TO HAVE SMOKE DETECTORS.
7. SIZE ELECTRICAL PANEL SUFFICIENTLY LARGE ENOUGH TO HANDLE FUTURE BREAKERS WHEN BASEMENT IS FINISHED.
8. PROVIDE (4) PAIR CABLE TO ALL TELEPHONE OUTLETS. HOME RUN ALL TELEPHONE LINES TO MECHANICAL ROOM. PROVIDE 66 STYLE PUNCH DOWN BLOCK WALL MOUNTED FOR FINAL CONNECTIONS.
9. ALL BATHROOM OUTLETS TO BE ON SEPARATE 20 AMP BREAKERS NOT TO EXCEED 2011 N.E.C. REQUIREMENTS.
10. CEILING FANS REQUIRE SPECIAL APPROVED BOXES AND ADDITIONAL FRAMING SUPPORT.
11. GARAGE ELECTRICAL OUTLETS TO BE 18" ABOVE FLOOR.
12. PROVIDE A CONCRETE ENCASED ELECTRODE (UFER GROUND) AT FIRST POINT OF DISCONNECT (METER) FOR USE AS A GROUNDING ELECTRODE FOR THE HOUSE WHICH MEETS REQUIREMENTS OF 2014 N.E.C. SECTION 250-50 (C). USE #4 REBAR WIRE TIED TO FOOTING STEEL.
13. ALL 125-VOLT, 15 AND 20 AMP RECEPTACLES INSTALLED INSIDE OR OUTSIDE OF A DWELLING SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. -IRC E4002.14
14. A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS. -N104.
15. ALL 15- AND 20- AMPERE RECEPTACLES IN EVERY KITCHEN FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUN ROOM, BEDROOM, RECREATION ROOM, OR SIMILAR ROOM OR AREA OF DWELLING UNITS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. -E4002.14 -E3901
16. ALL 125-VOLT, SINGLE PHASE, 15- OR 20- AMPERE RECEPTACLES INSTALLED IN GARAGES SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL. -E3902.2
17. IN KITCHEN, A MINIMUM OF (2) 20 AMP SMALL-APPLIANCE BRANCH CIRCUITS SHALL SERVE ALL WALL 4 FLOOR RECEPTACLE OUTLETS.
18. RECESSED LIGHTS MAY BE INSTALLED IN THE CEILING(S) (BUILDING ENVELOPE) OF ANY ATTIC TRUSS ONLY IF THE REQUIRED INSULATION DEPTH OR THICKNESS CAN BE INSTALLED OVER SUCH RECESSED LIGHTS. ALL SUCH RECESSED LIGHTS MUST BE IC RATED.
19. ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS, IN GARAGES, BATHS, UNFINISHED BASEMENTS AND OUTSIDE RECEPTACLES SHALL BE GFCI PROTECTED. -IRC E3902
20. PROVIDE AT LEAST TWO OUTSIDE GRADE LEVEL RECEPTACLES- ONE IN THE FRONT YARD AND ONE IN THE REAR YARD. -IRC E3901.1
21. ALL BRACH CIRCUITS THAT SUPPLY ELECTRICAL IN BEDROOMS NEED TO BE PROVIDED WITH ARC-FAULT PROTECTION. -IRC E3902.1



MAIN FLOOR ELECTRICAL, MECHANICAL, & PLUMBING PLAN

SCALE: 1/4" = 1'-0"

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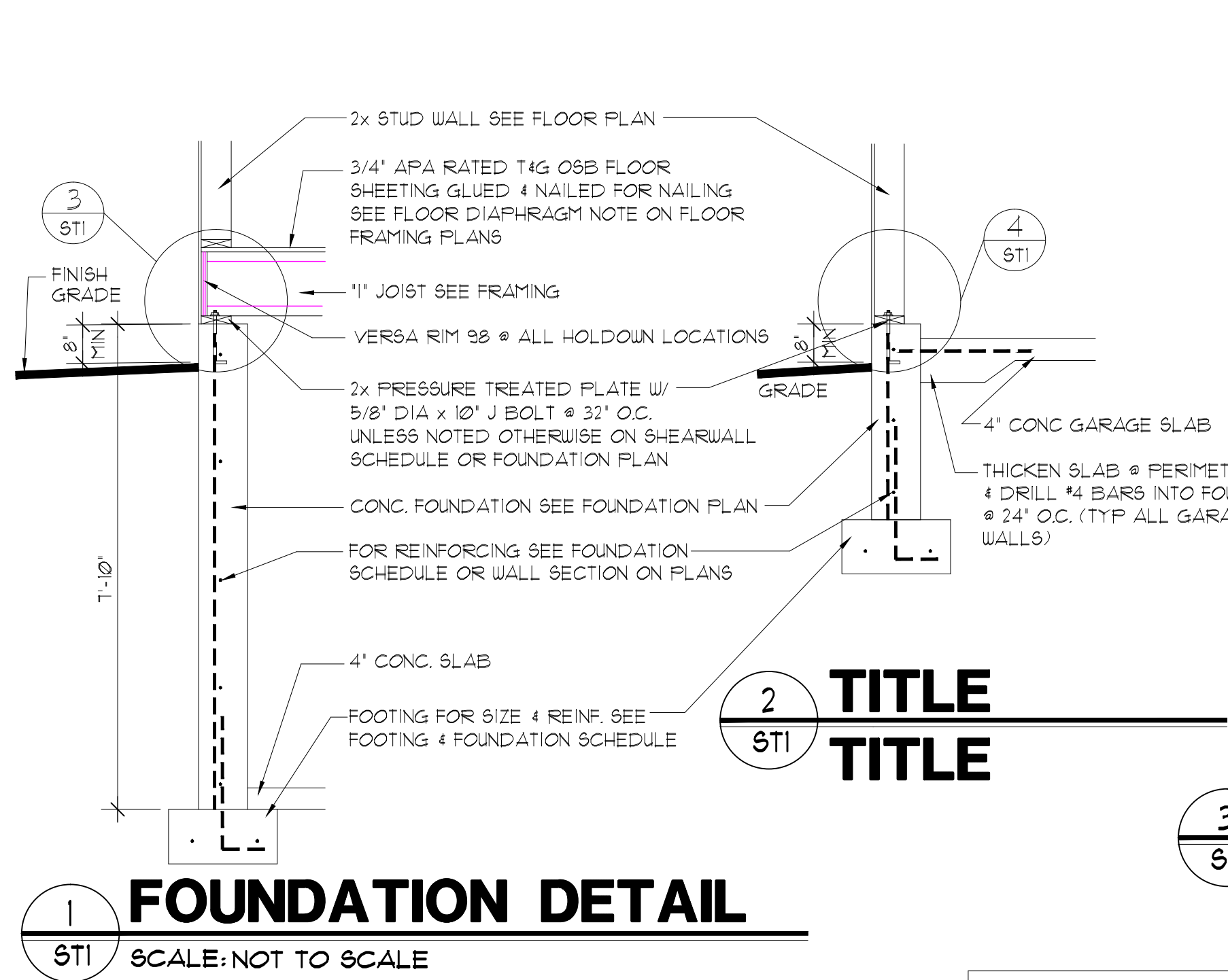
ELECTRICAL, MECH., AND PLUMBING PLAN
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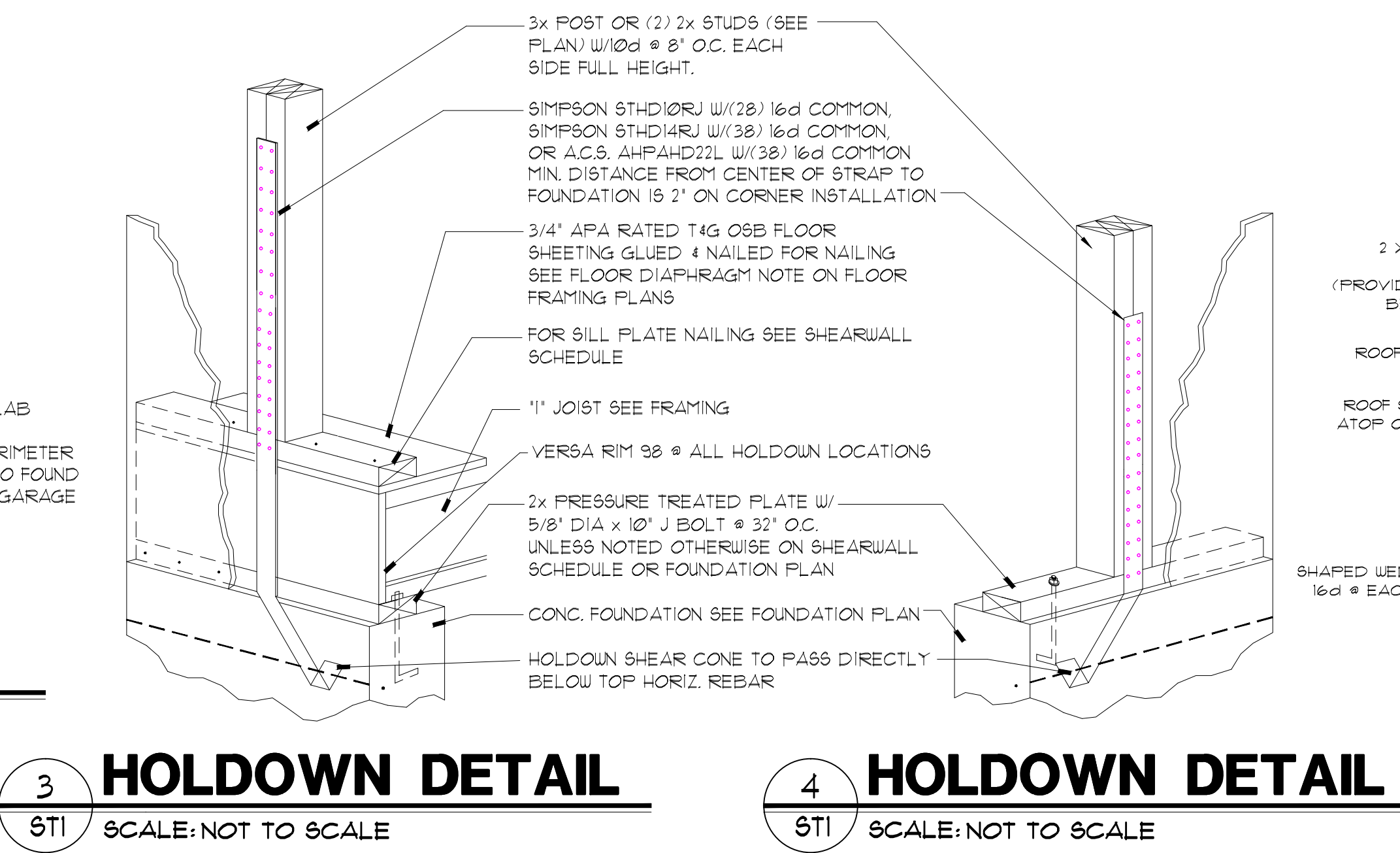
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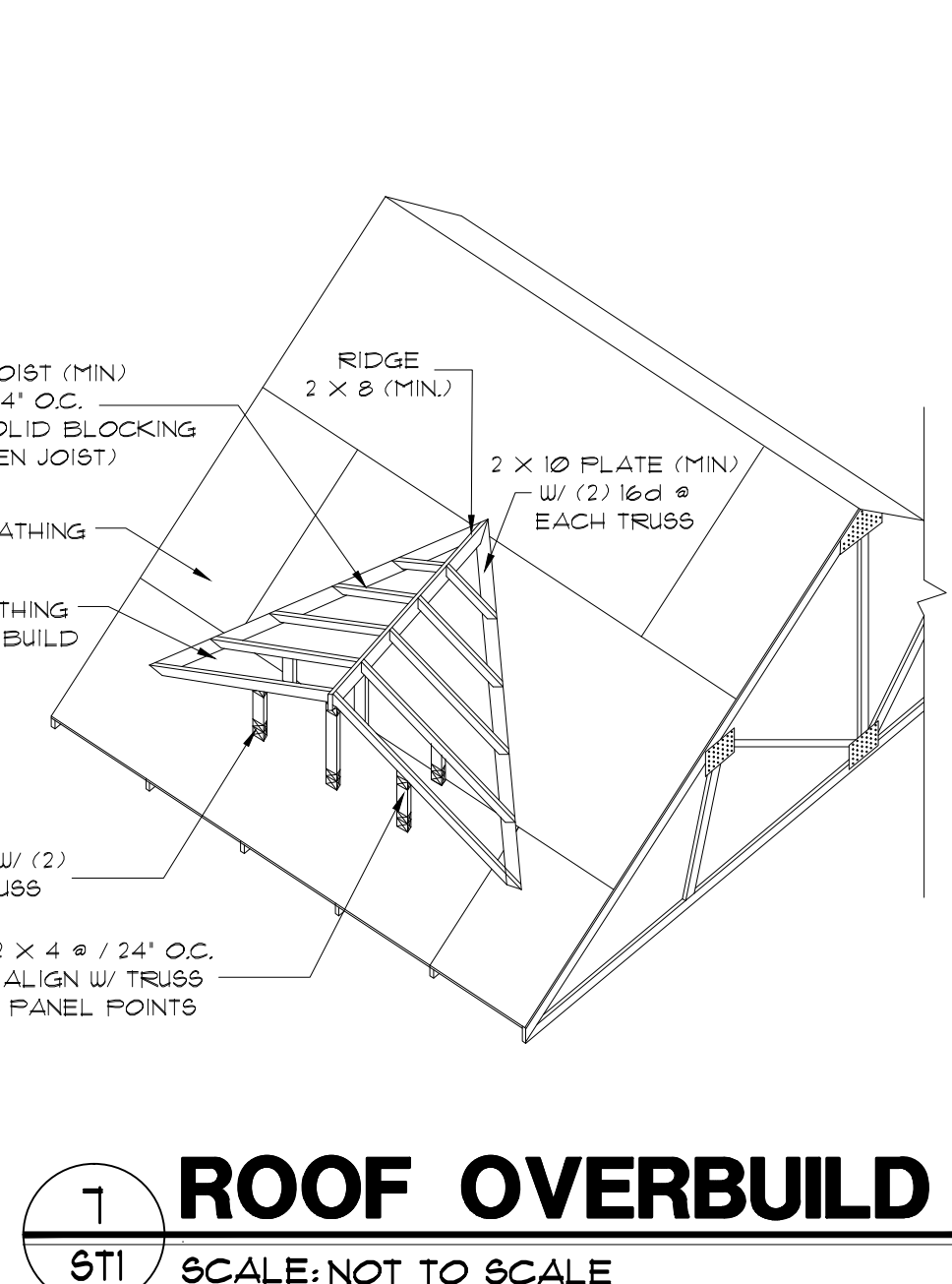
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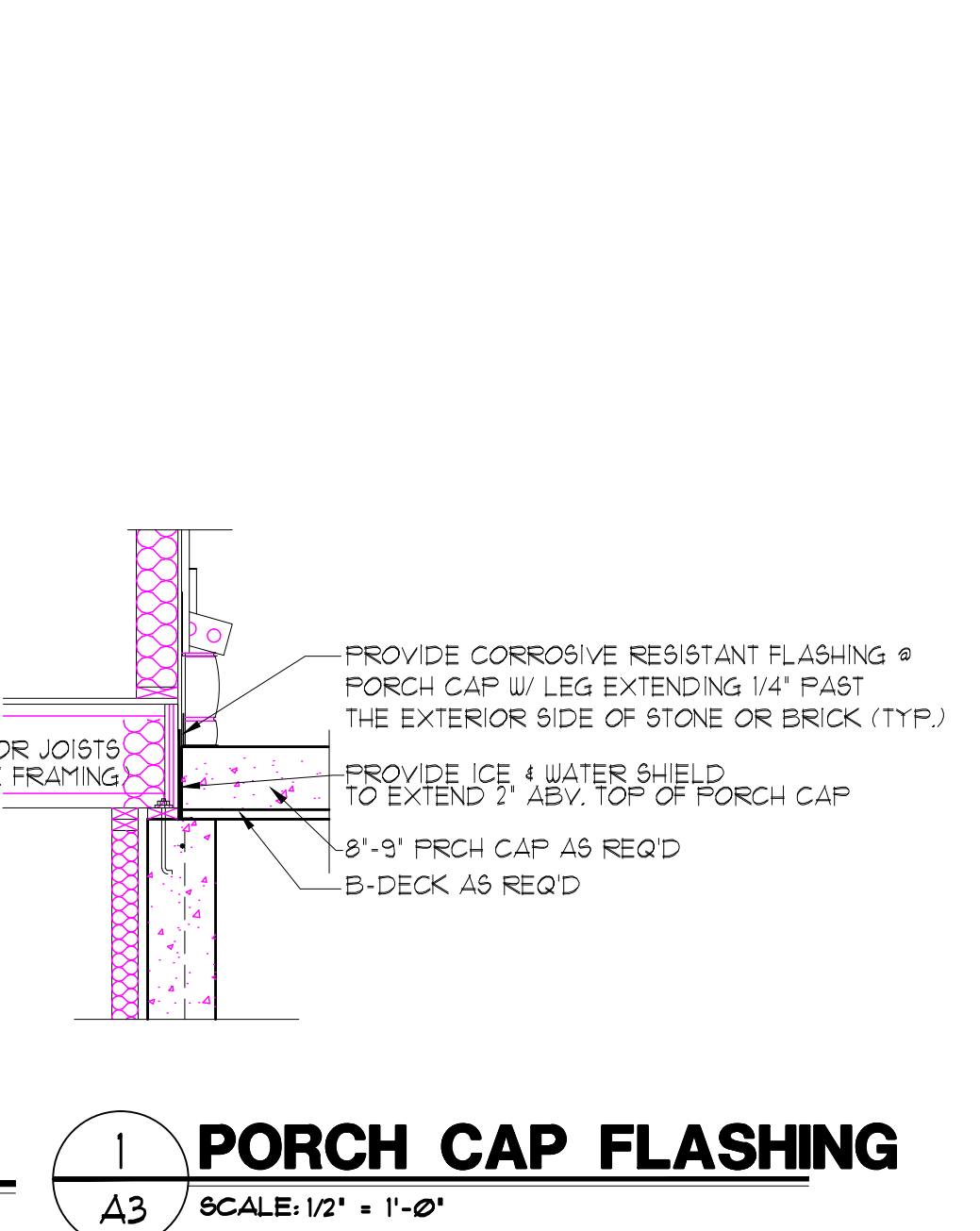
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ST1 SCALE: NOT TO SCALE



3 HOLDDOWN DETAIL
ST1 SCALE: NOT TO SCALE



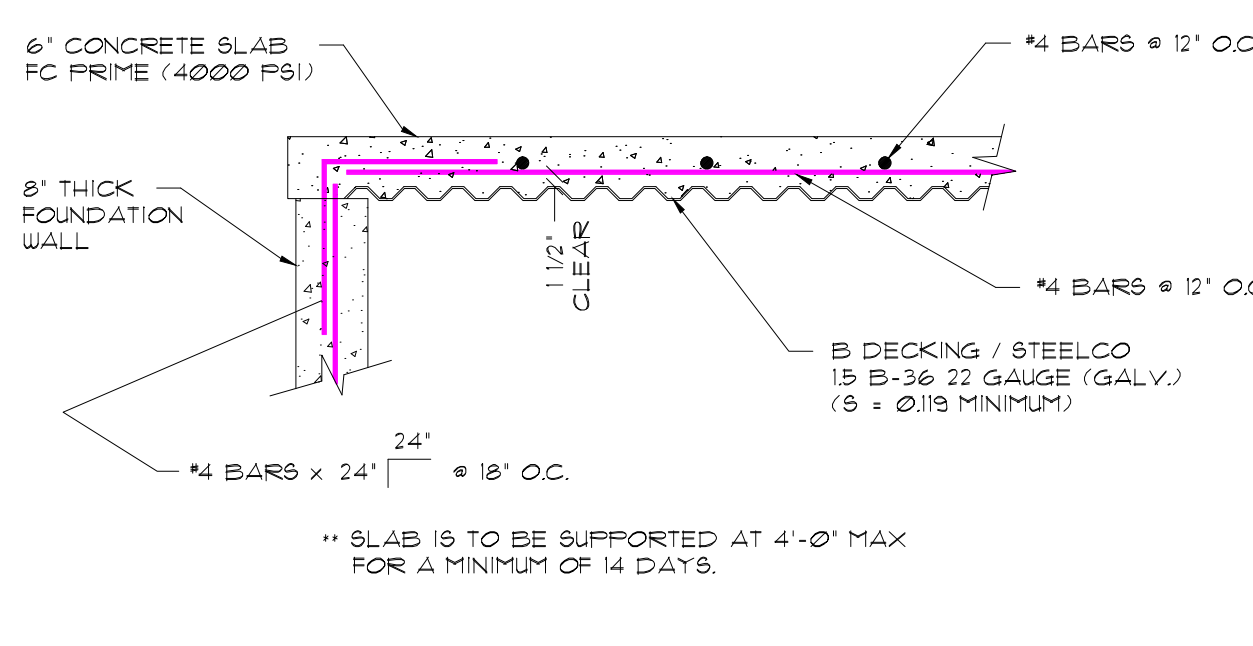
7 ROOF OVERBUILD
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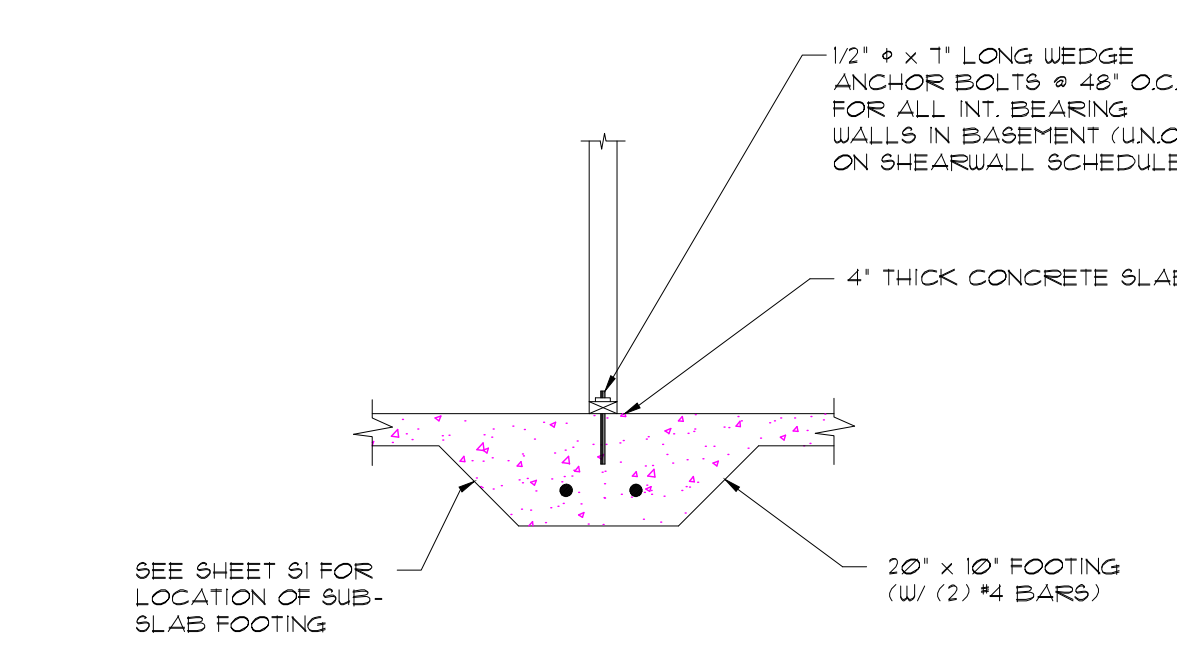
1 PORCH CAP FLASHING
A3 SCALE: 1/2\"/>

FOOTING & FOUNDATION NOTES:

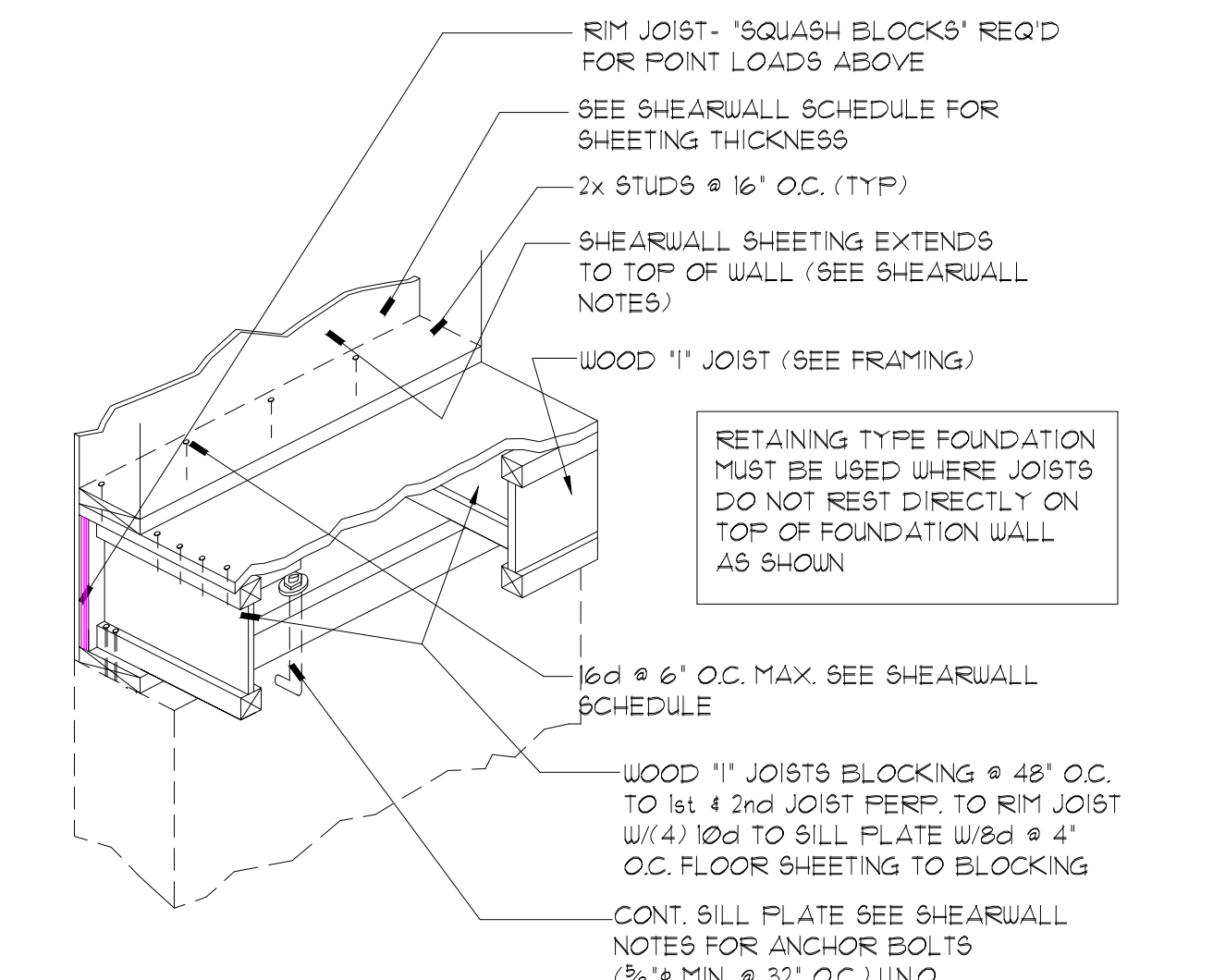
- F. -S INDICATES STEP IN FOOTING. SEE FTG STEP-DOWN DETAIL. ACTUAL LOCATIONS TO BE DETERMINED BY CONTRACTOR. FTG STEP-DOWN DETAIL MAY BE USED WHERE SHALLOWER FOOTING IS DOUBLED AND KEYS TO LOWER FOUNDATION WHERE APPLICABLE.
- FOUNDATION WALLS SHALL BE Laterally SUPPORTED UNTIL SUPPORT MEMBERS (FLOOR FRAMING AND SLABS) HAVE BEEN INSTALLED. SEE TYPICAL DETAILS AND GENERAL NOTES.
- FOOTINGS TO BE A MINIMUM OF 12\"/>



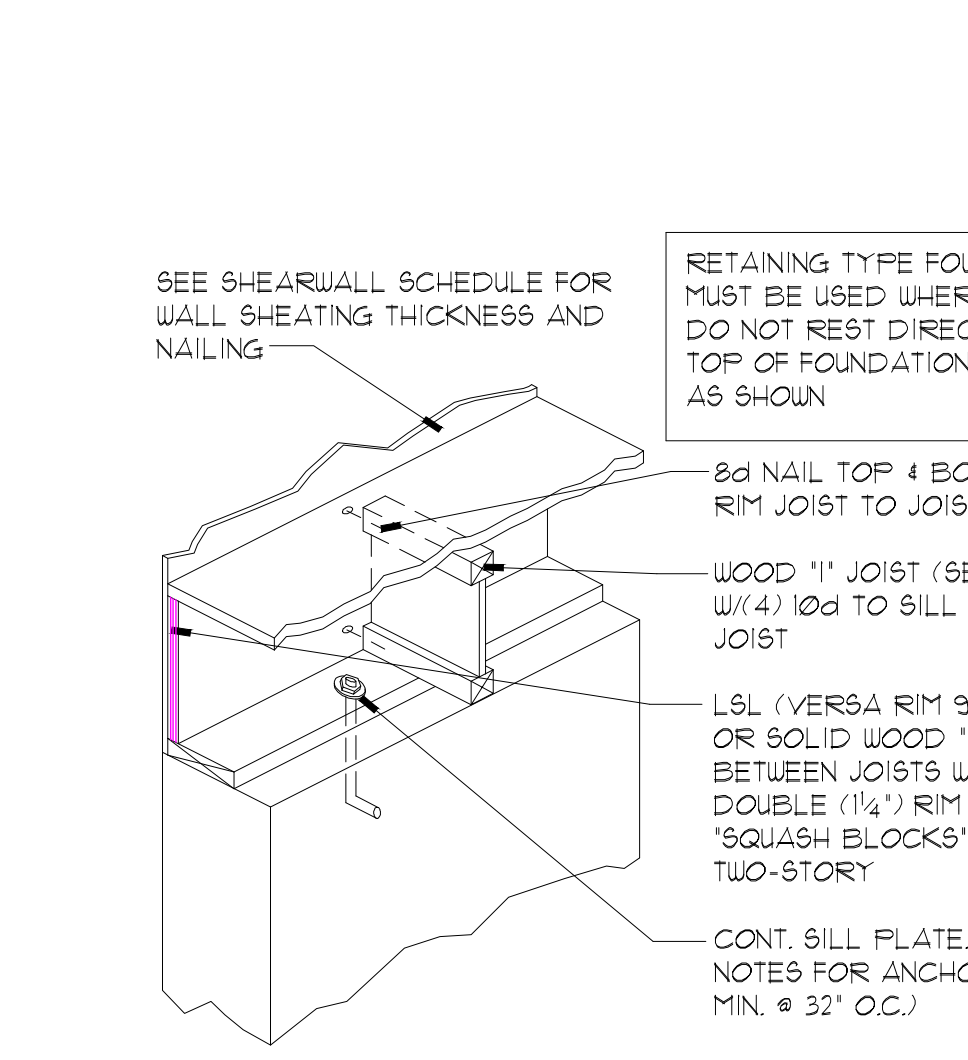
6 PORCH CAP DETAIL
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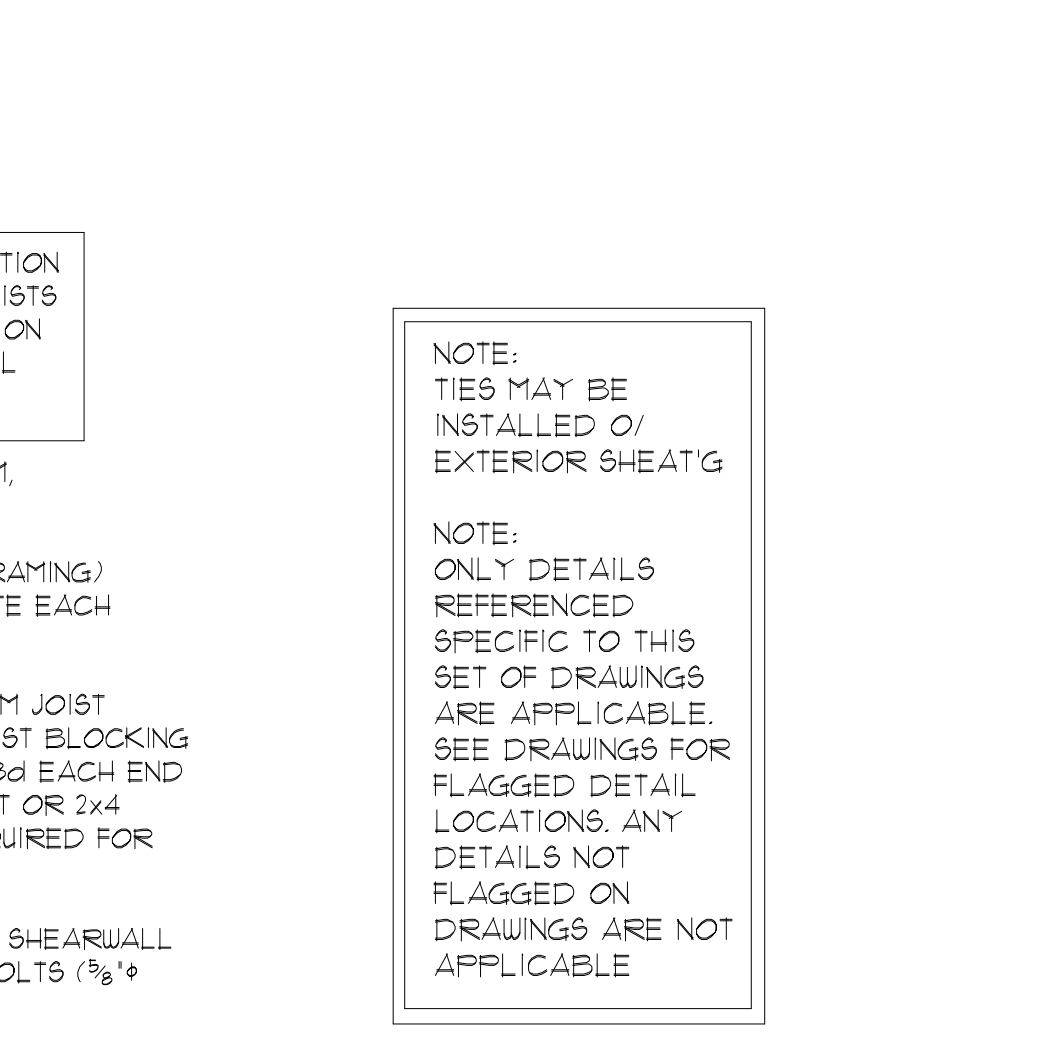
8 INT. BEARING WALL
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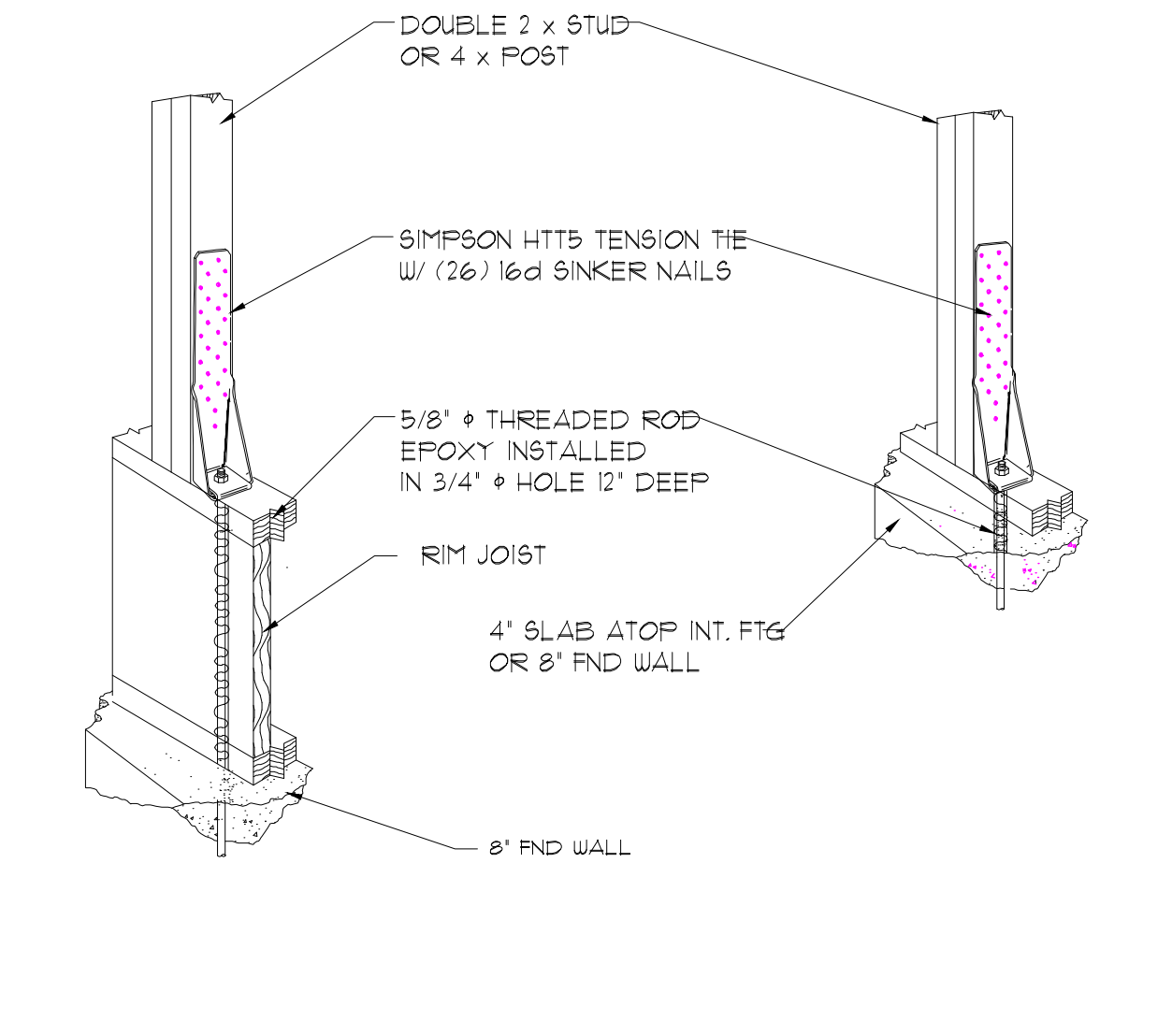
9 WOOD I-JOIST FRAMING
ST1 SCALE: 3/4\"/>



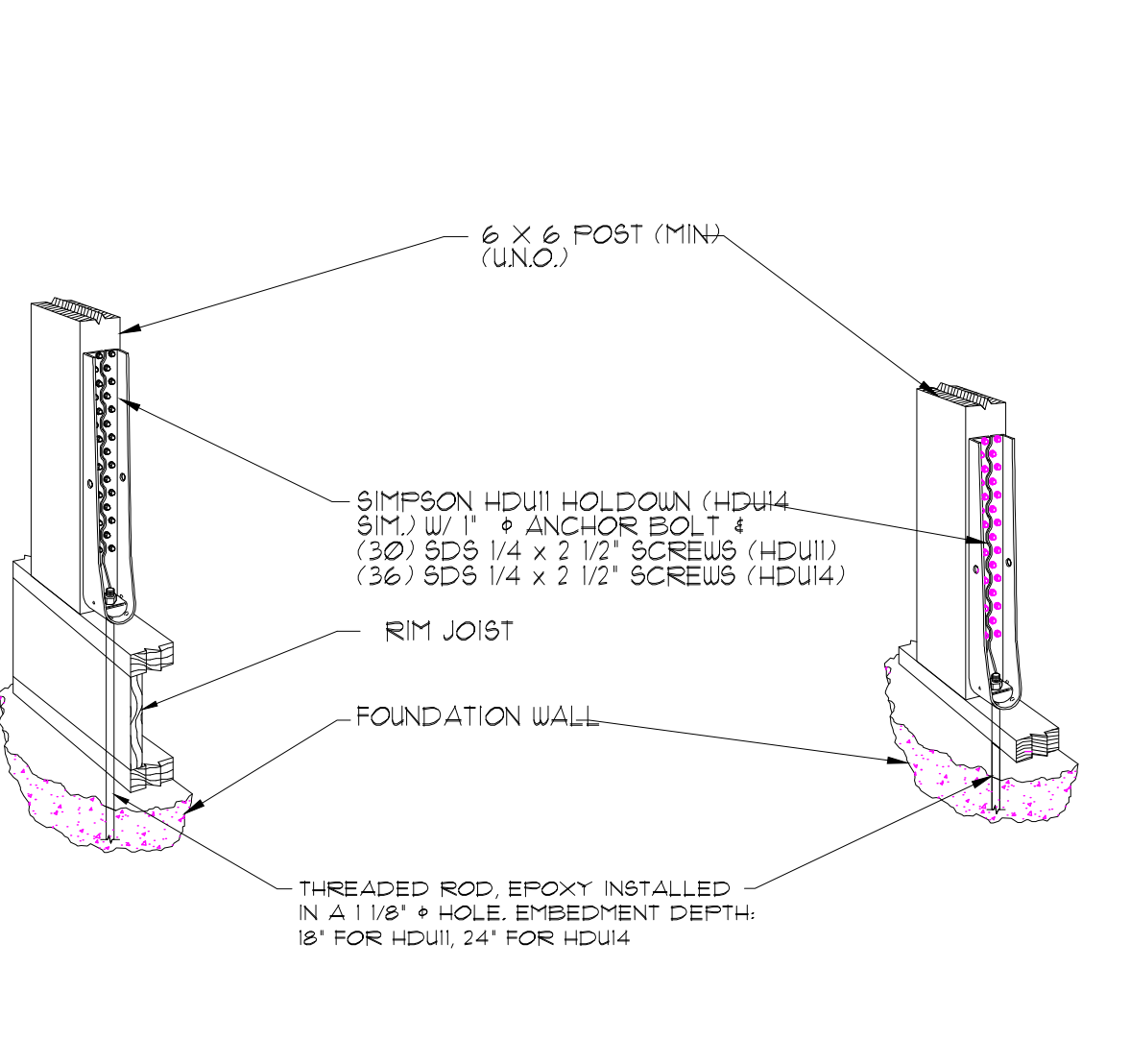
10 WOOD 'I' JOIST FRAMING
ST1 SCALE: 3/4\"/>



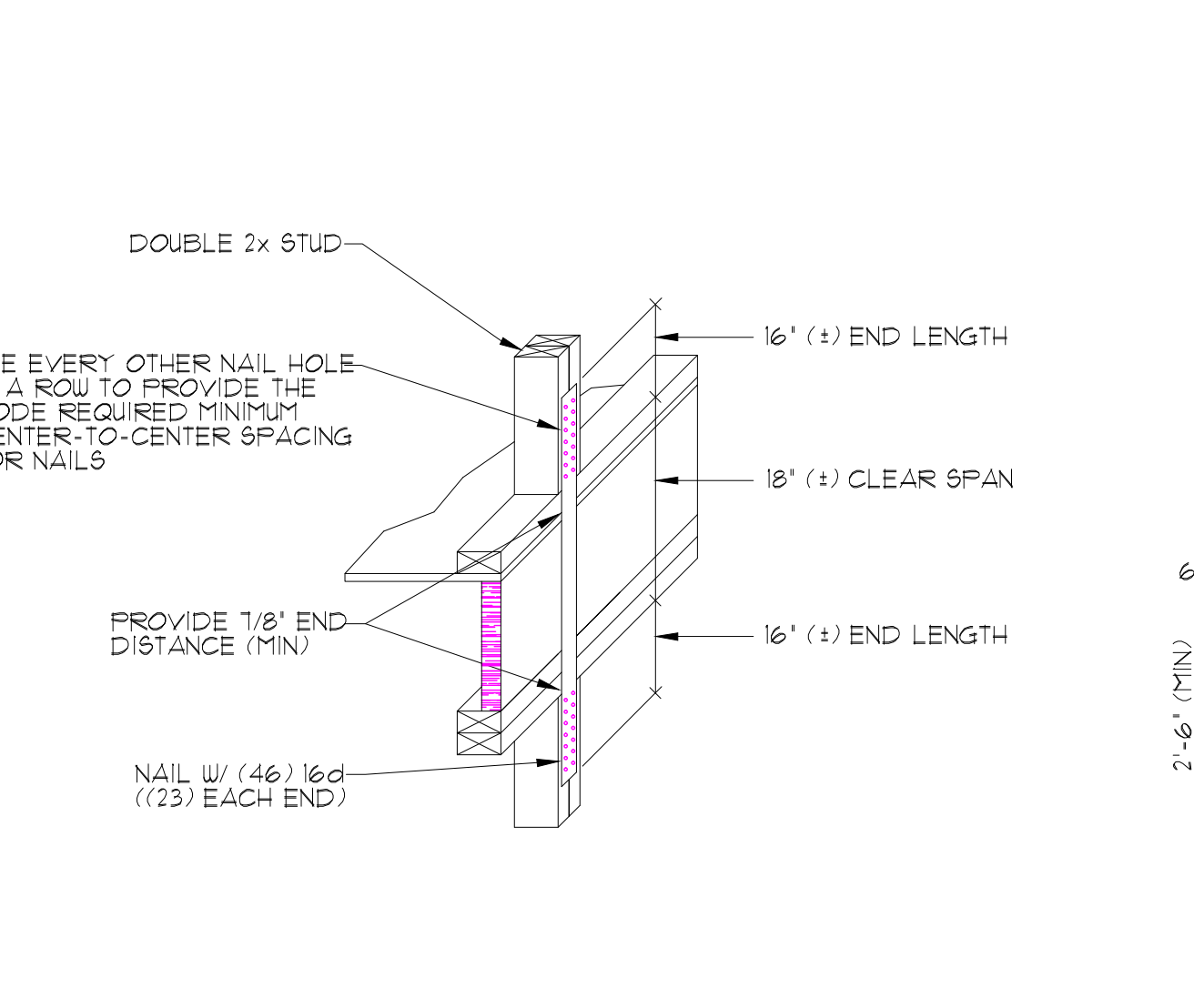
13a COLUMN DETAIL
ST1 SCALE: 1\"/>



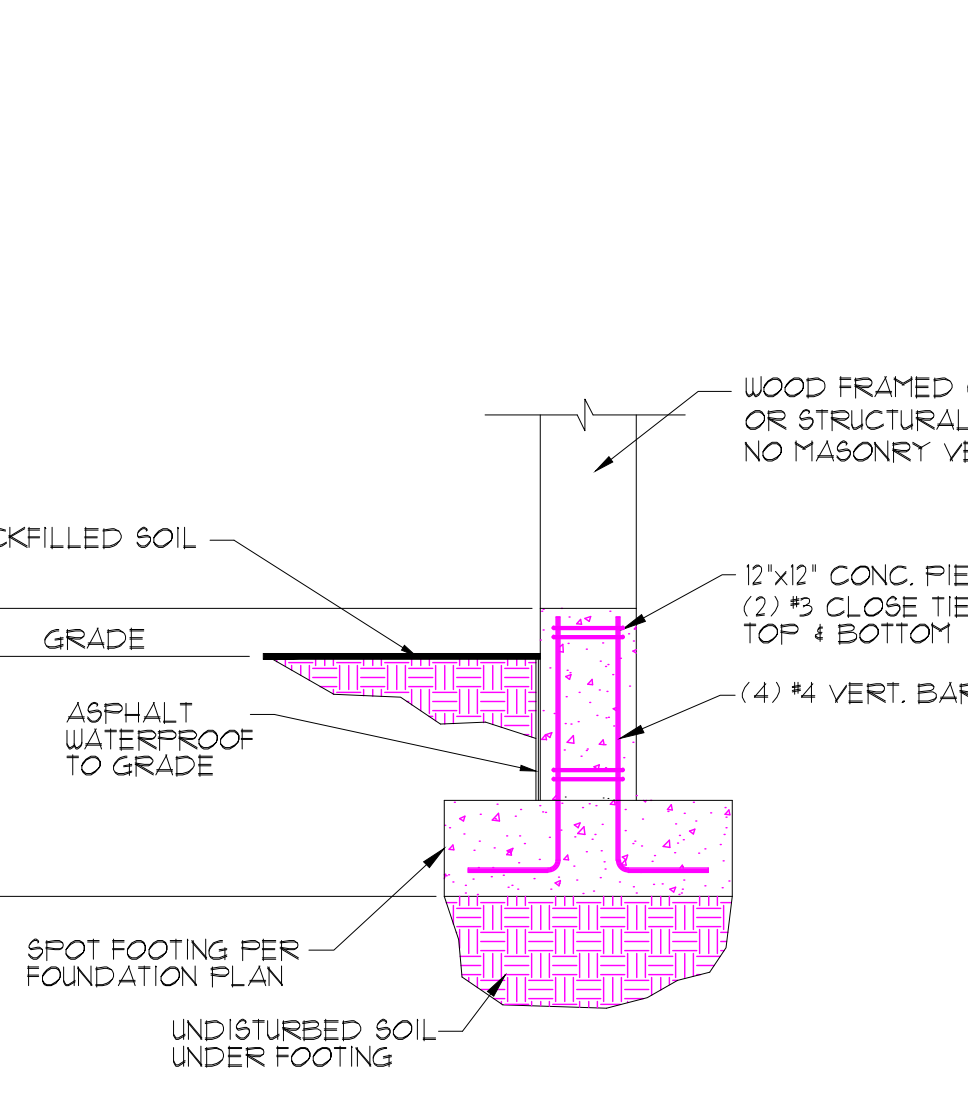
11 STRAP TIE DETAIL
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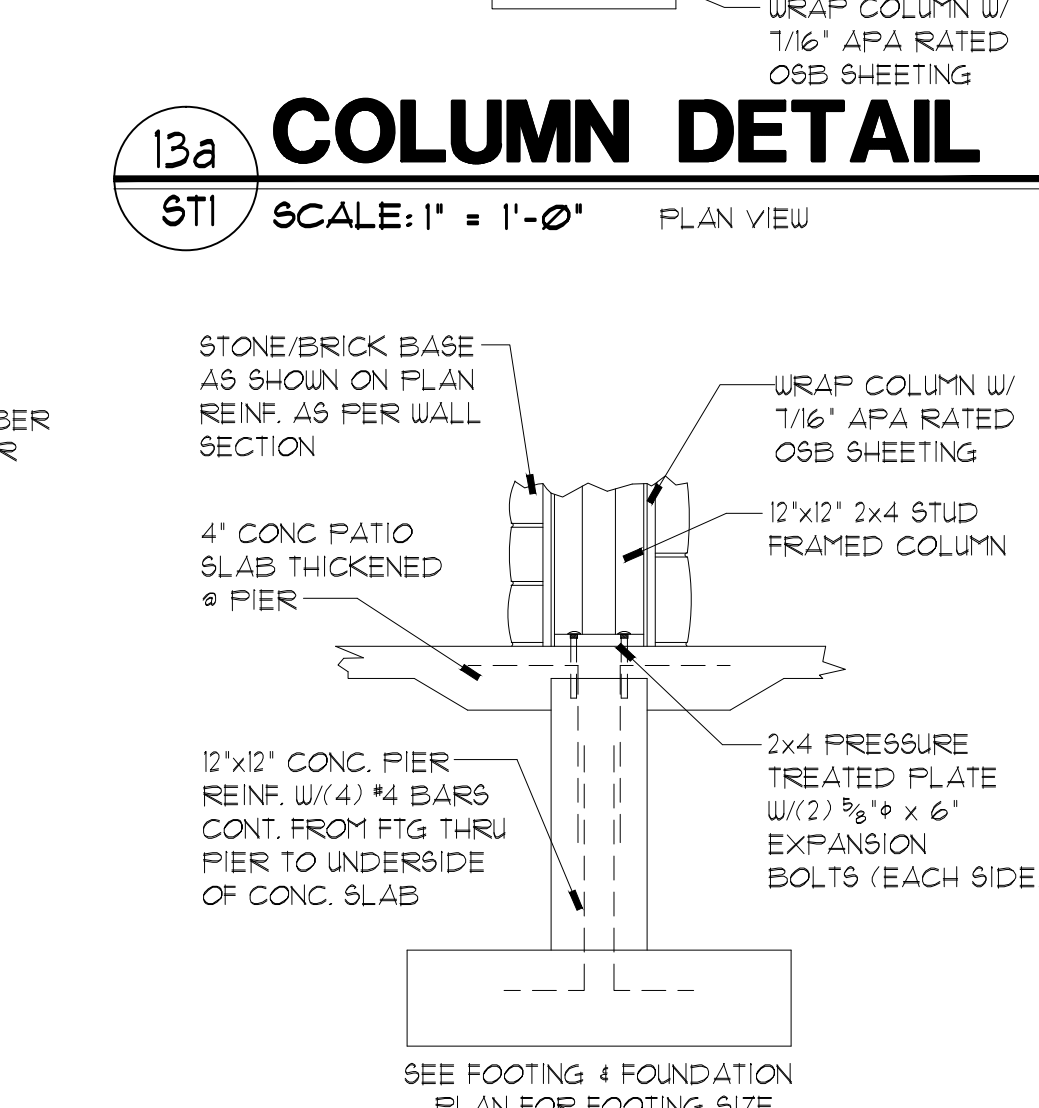
12 HOLDDOWN DETAIL
ST1 SCALE: NOT TO SCALE (NOT USED THESE DRAWINGS)



14 HOLDDOWN DETAIL
ST1 SCALE: NOT TO SCALE



15 COLUMN DETAIL
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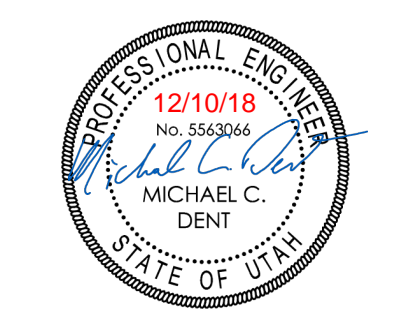
13b COLUMN DETAIL
ST1 SCALE: 1/2\"/>

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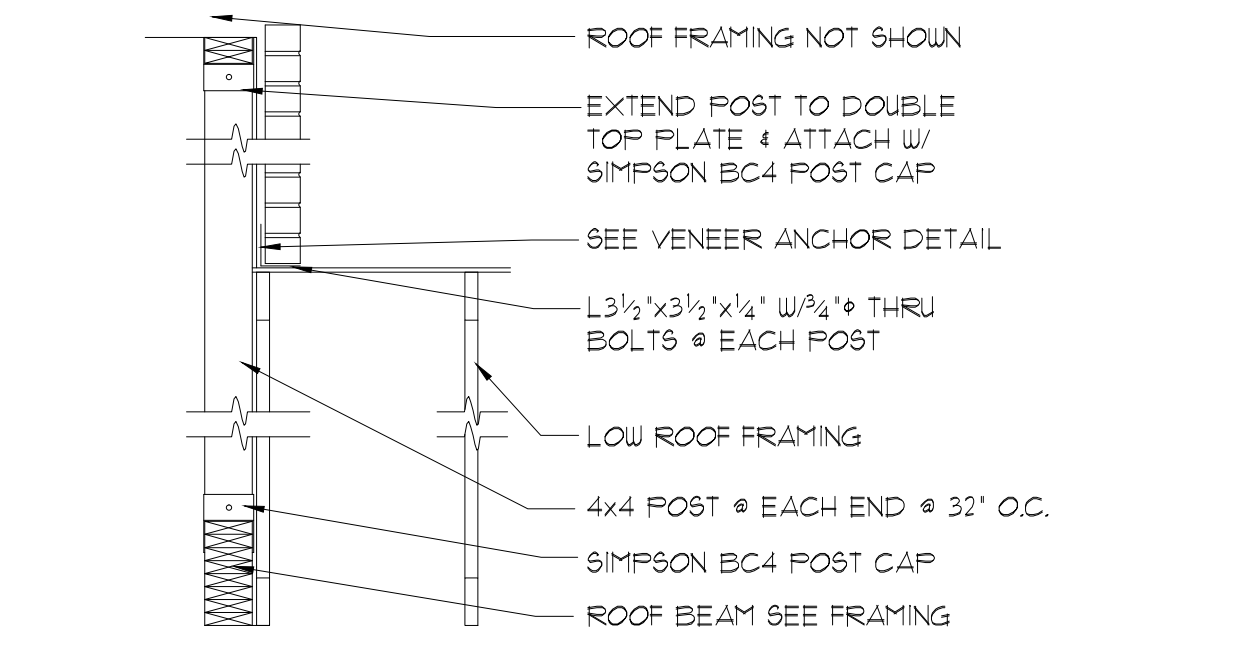
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ST1

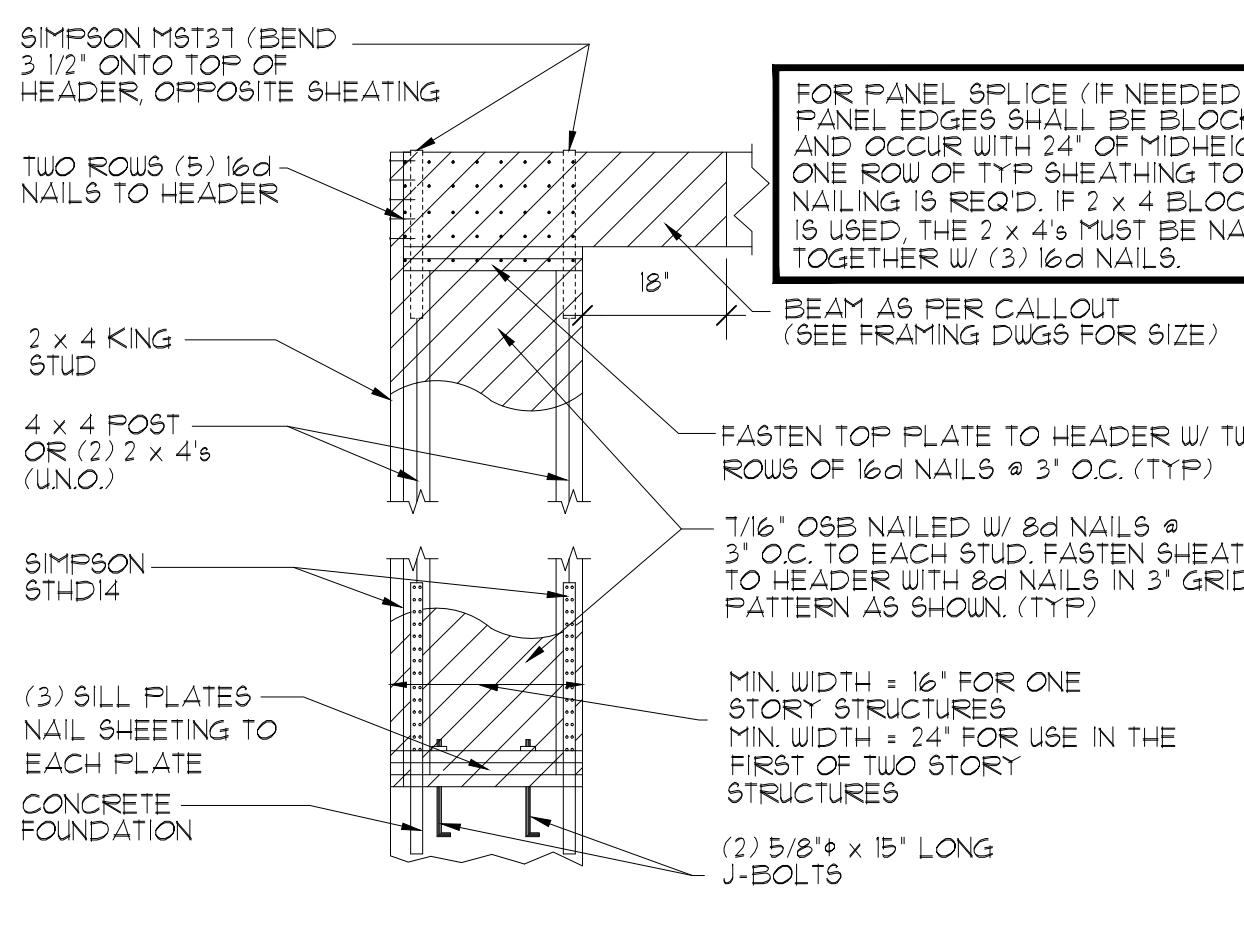
NAILING SCHEDULE (TABLE 204.9.1 IBC)	
CONNECTION	NAILING
1. JOIST TO SILL OR GIRDER, TOENAIL	3-2d
2. BRIDGING TO JOIST, TOENAIL EACH END	2-2d
3. 1" x 6" (25mm x 152mm) SUBFLOOR OR LESS TO EACH JOIST FACE NAIL	2-2d
4. WIDER THAN 1" x 6" (25mm x 152mm) SUBFLOOR TO EACH JOIST FACE NAIL	3-2d
5. 2" (51mm) SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d
6. SOLE PLATE TO JOIST OR BLOCKING, TYPICAL FACE NAIL SOLE PLATE TO JOIST OR BLOCKING, AT BRACED WALL PANELS	16d AT 16" (406mm) O.C. 3-16d PER 16" (406mm)
7. TOP PLATE TO STUD, END NAIL	2-16d
8. STUD TO SOLE PLATE	4-2d TOENAIL OR 2-16d, END NAIL
9. DOUBLE STUDS, FACE NAIL	16d @ 24" (610mm) O.C.
10. DOUBLED TOP PLATES, TYPICAL FACE NAIL DOUBLED TOP PLATES, LAP SPLICE	16d @ 16" (406mm) O.C. 2-16d
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	3-2d
12. RIM JOIST TO TOP PLATE, TOENAIL	2d @ 6" (152mm) O.C.
13. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	2-16d
14. CONTINUOUS HEADER, TWO PIECES	16d @ 16" (406mm) O.C. ALONG EACH EDGE
15. CEILING JOISTS TO PLATE, TOENAIL	3-2d
16. CONTINUOUS HEADER TO STUD, TOENAIL	4-2d
17. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
18. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d
19. RAFTER TO PLATE, TOENAIL	3-2d
20. 1" (25mm) BRACE TO EACH STUD AND PLATE, FACE NAIL	2-2d
21. 1" x 8" (25mm x 203mm) SHEATHING OR LESS TO EACH BEARING, FACE NAIL	2-2d
22. WIDER THAN 1" x 8" (25mm x 203mm) SHEATHING TO EACH BEARING, FACE NAIL	3-2d
23. BUILT-UP CORNER STUDS	16d @ 24" (610mm) O.C.
24. BUILT UP GIRDER AND BEAMS	20d @ 32" (813mm) O.C. @ TOP & BOTTOM & STAGGERED 2-20d @ ENDS AND @ EACH SPLICE
25. 2" (51mm) FLANKS	2-16d @ EACH BEARING
26. WOOD STRUCTURAL PANELS AND PARTICLEBOARD ² , SUBFLOOR, ROOF & WALL SHEATHING (TO FRAMING): 1/2" (12.7mm) AND LESS 19/32" - 3/4" (15mm - 19mm) 1/2" - 1" (22mm - 25mm) 1 1/8" - 1 1/4" (29mm - 32mm) COMBINATION SUBFLOOR-UNDERLAYMENT (TO FRAMING): 3/4" (19mm) AND LESS 1/8" - 1" (22mm - 25mm) 1 1/8" - 1 1/4" (29mm - 32mm)	6d ³ 2d ⁴ OR 2d ⁵ 2d ³ 10d ⁴ OR 2d ⁵
27. PANEL SIDING (TO FRAMING) ² , 1/2" (12.7mm) OR LESS 5/8" (16mm)	6d ⁶ 2d ⁶
28. FIBERBOARD SHEATHING ¹ , 1/2" (12.7mm) 25/32" (20mm)	No. 11 Ga. 8 6d ⁴ No. 16 Ga. 9 No. 11 Ga. 8 2d ⁴ No. 16 Ga. 9
29. INTERIOR PANELING 1/4" (6.4mm) 3/8" (9.5mm)	4d ¹⁰ 6d ¹¹

NOTE:
TIES MAY BE INSTALLED ON EXTERIOR SHEAT'G

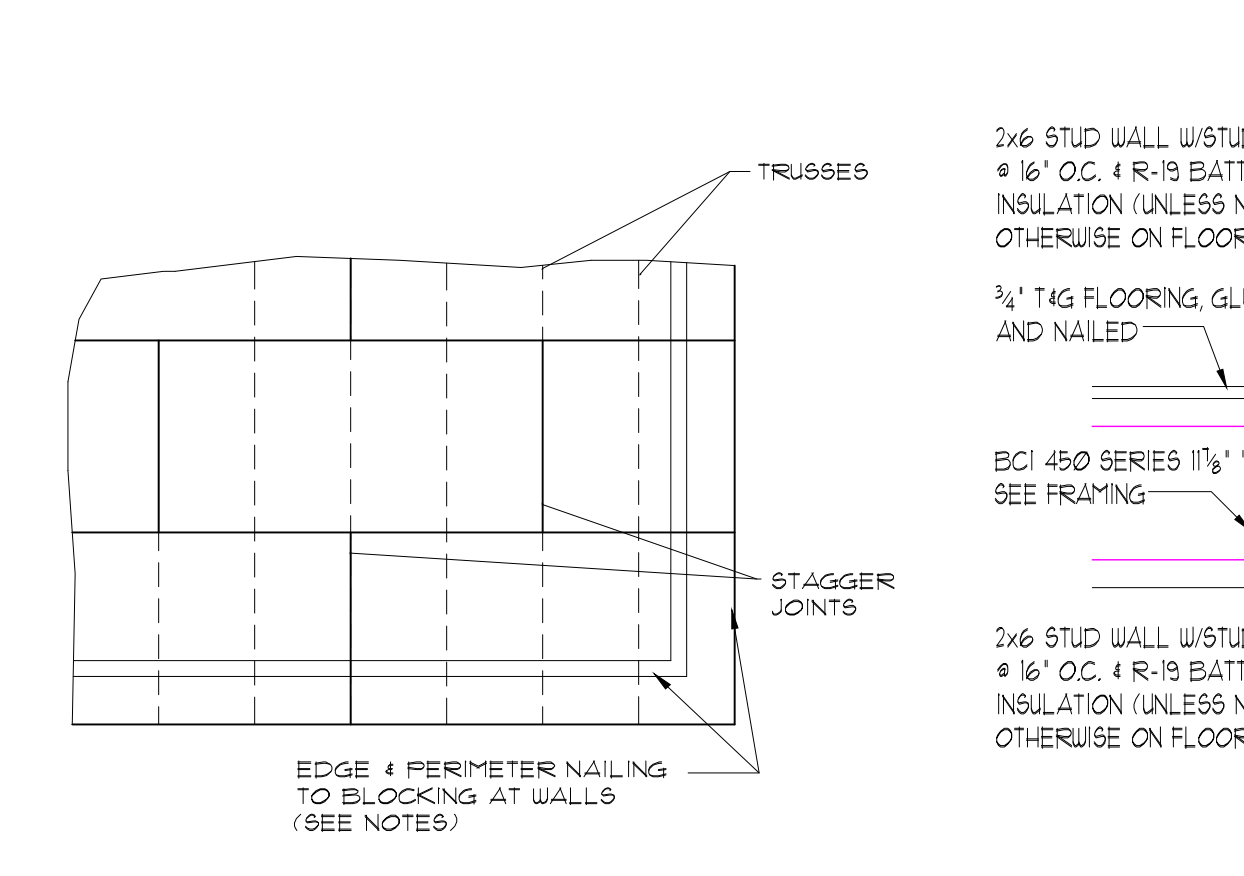
NOTE:
ONLY DETAILS REFERENCED SPECIFIC TO THIS SET OF DRAWINGS ARE APPLICABLE SEE DRAWINGS FOR DETAIL FLAG LOCATIONS ANY DETAILS NOT FLAGGED ON DRAWINGS ARE NOT APPLICABLE



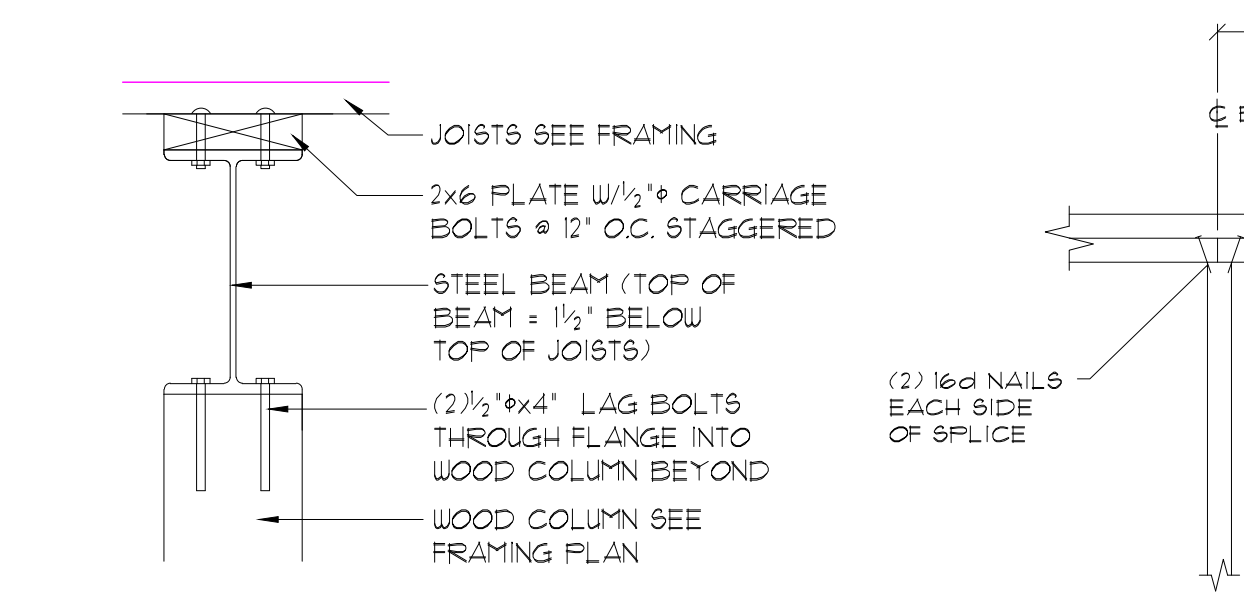
1 VENEER O/ LOW ROOF
ST2 SCALE: NTS



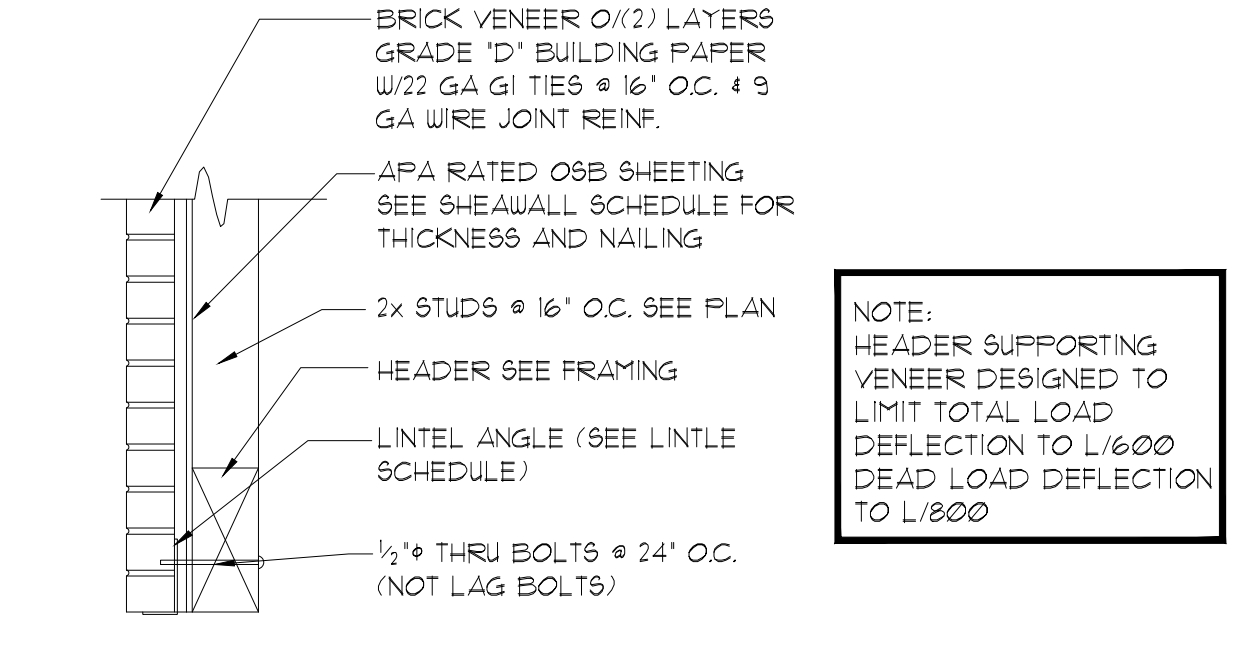
4 PORTAL FRAME DETAIL
ST2 SCALE: NTS



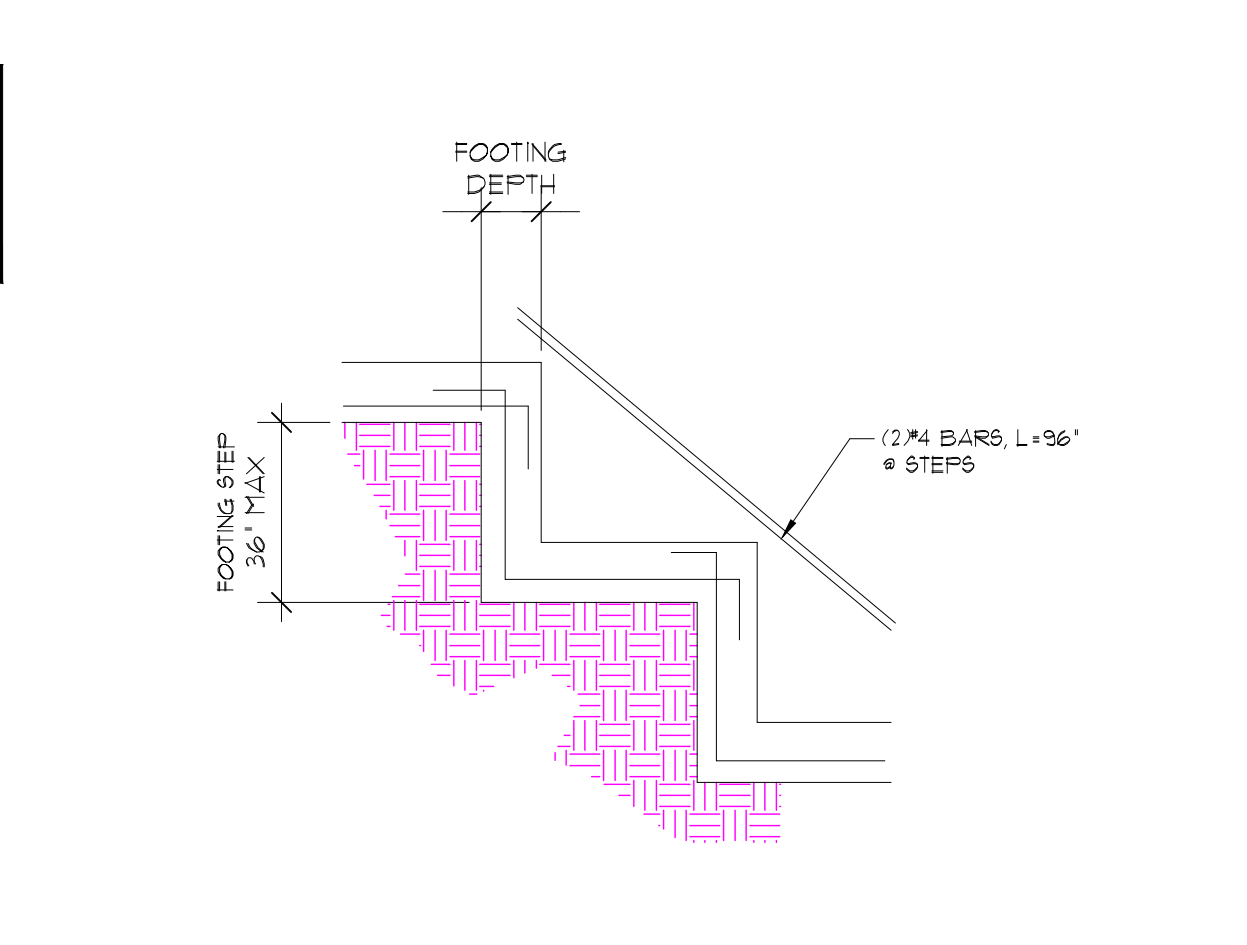
8 ROOF SHEATHING
ST2 SCALE: NTS



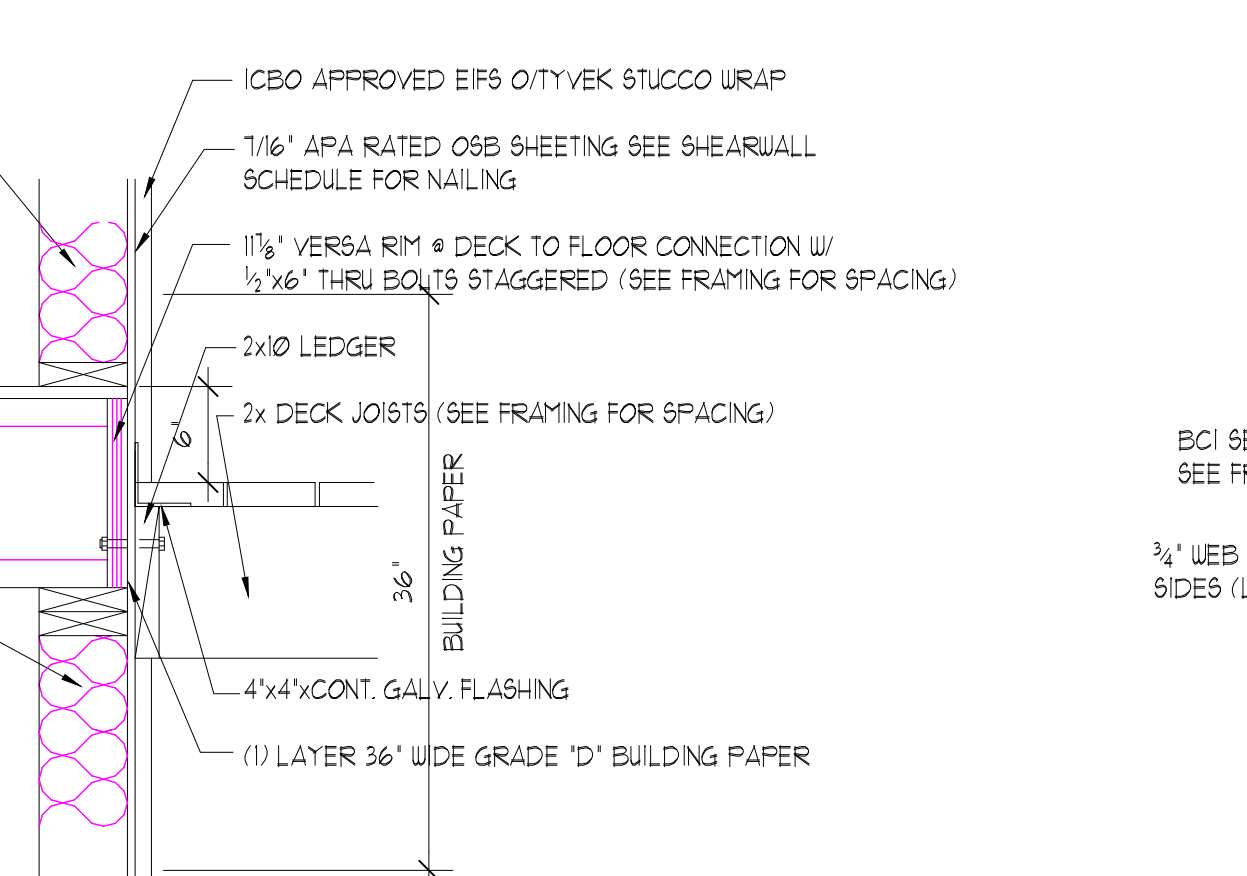
9 TITLE TITLE TO WOOD COL.
ST2 SCALE: NTS



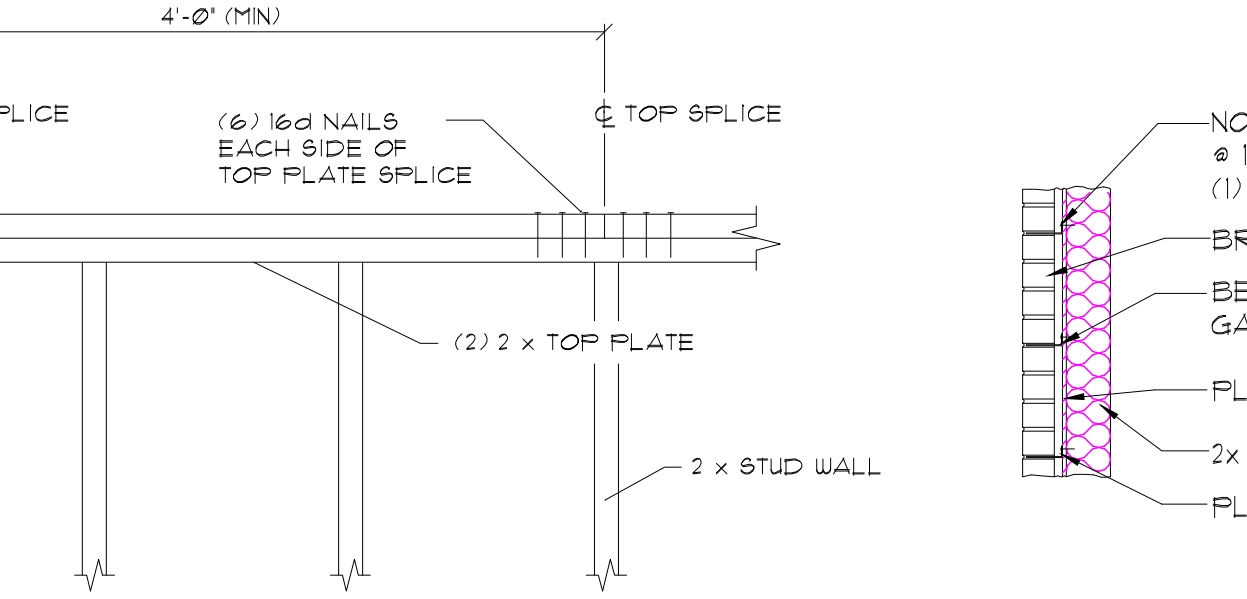
2 GARAGE HEADER DETAIL
ST2 SCALE: NTS



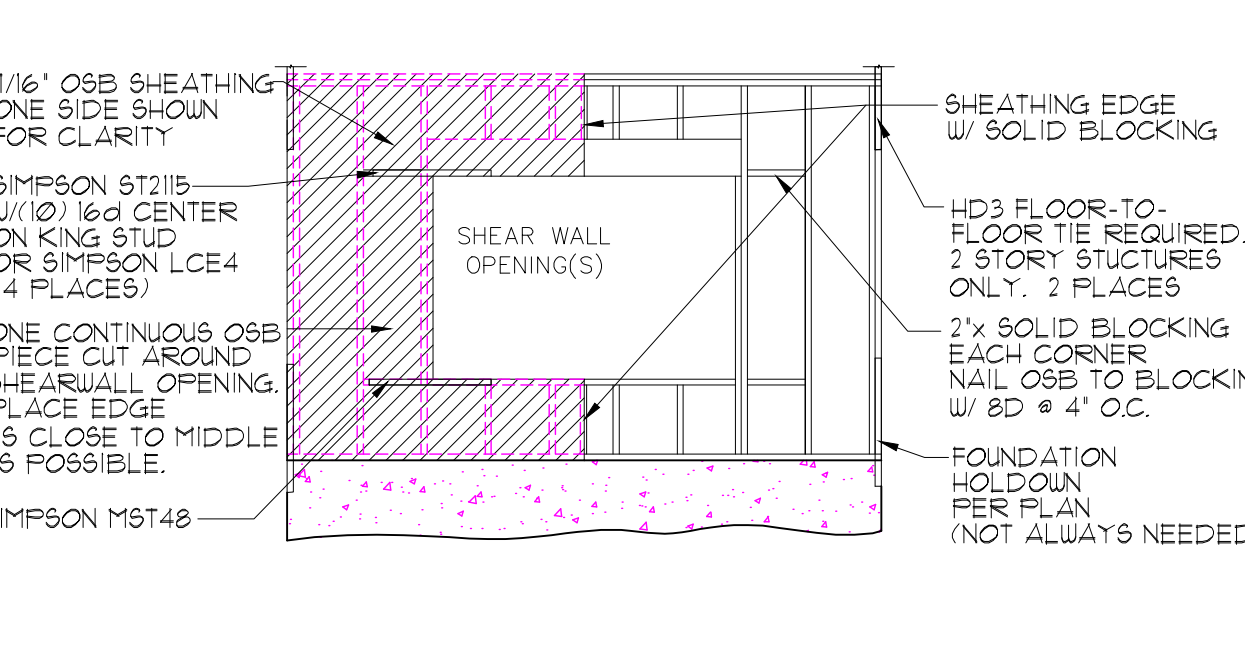
6 STEP FTG. DETAIL
ST2 SCALE: NOT TO SCALE



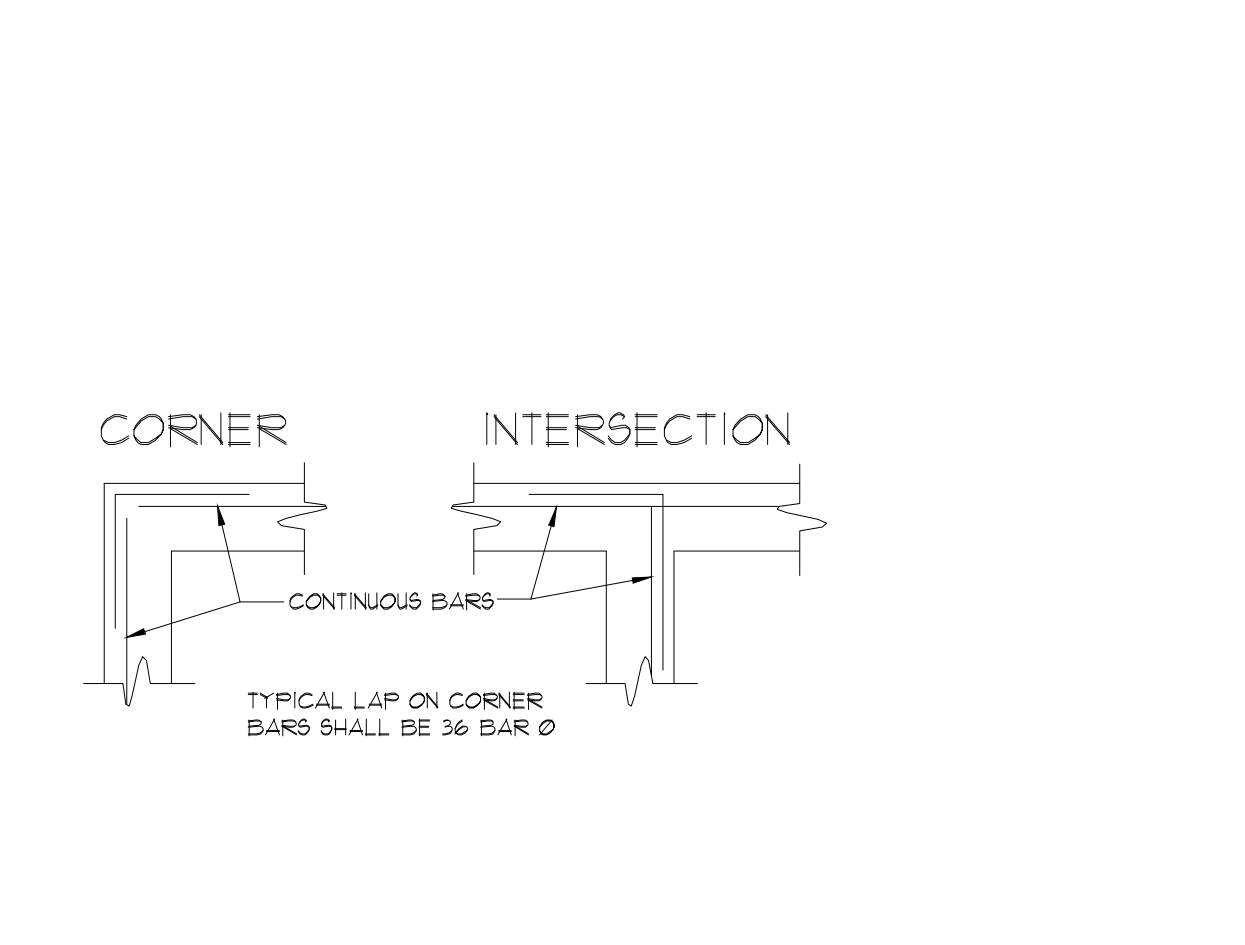
11 DECK TO FLOOR DETAIL
ST2 SCALE: 1" = 1'-0"



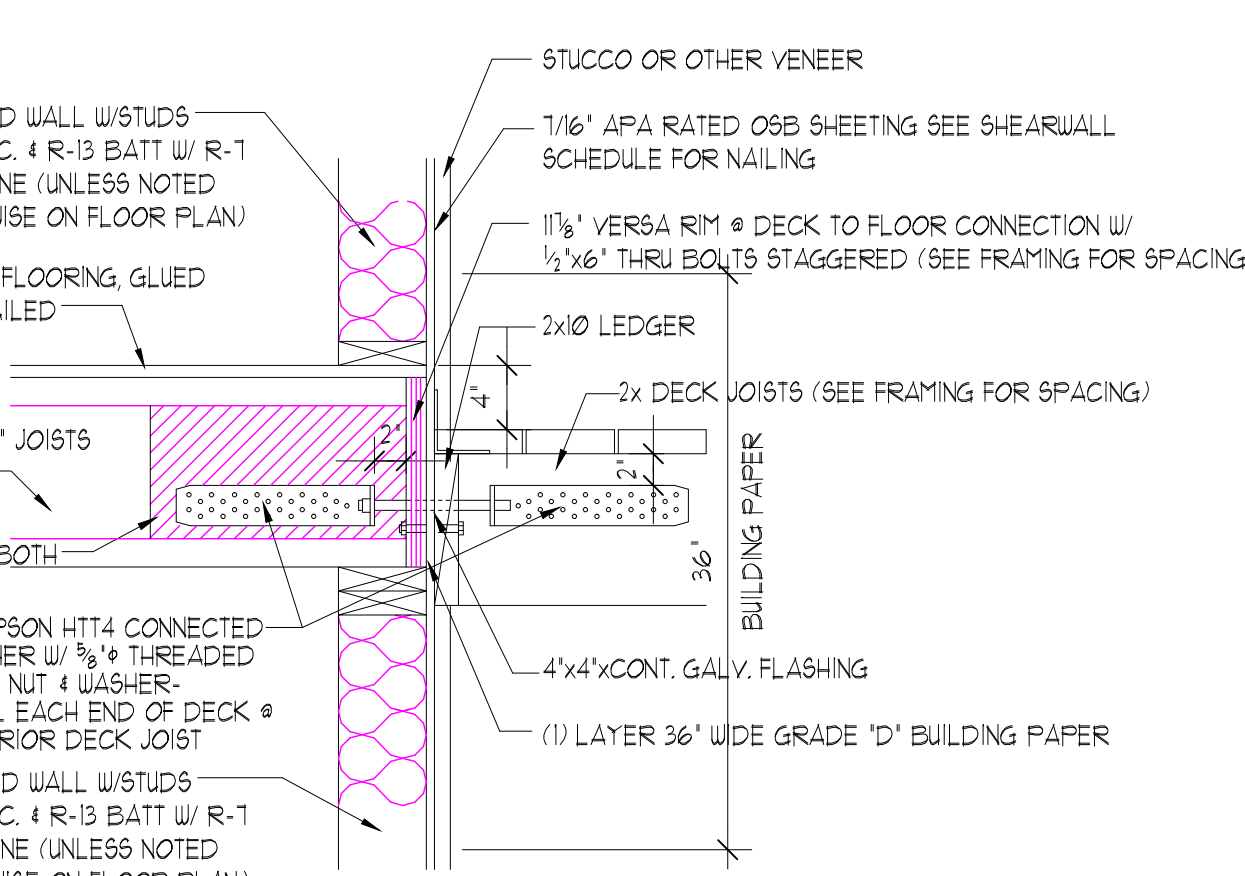
10 TOP PLATE SPLICE
ST2 SCALE: NTS



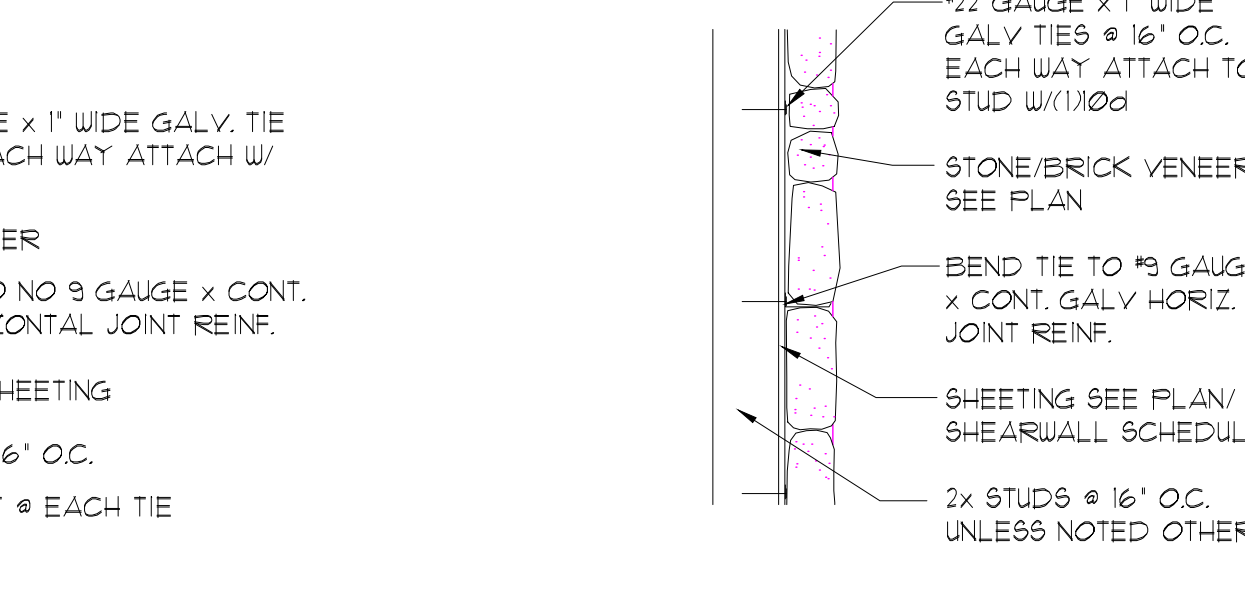
3 SHEARWALL REINF.
ST2 SCALE: 3/4" = 1'-0"



7 CONC. CORNER DETAIL
ST2 SCALE: NOT TO SCALE



14 HTT4 DETAIL
ST2 SCALE: 1" = 1'-0" (NOT USED)



13 TITLE TITLE ANCHOR DETAIL
ST2 SCALE: NTS

NOTE:
HEADER SUPPORTING VENEER DESIGNED TO LIMIT TOTAL LOAD DEFLECTION TO L/600 DEAD LOAD DEFLECTION TO L/800

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10-19-18		ADDRESS



ENGINEER OF RECORD	YORK
CAD TECH	M.H.H.
RELEASE DATE	9/25/18

ST2