



# Staff Report for Administrative Approval

Weber County Planning Division

## Synopsis

### Application Information

**Application Request:** Consideration and action on a request for design review approval of a new Golden West Credit Union facility located at 2461 N Hwy 158, Eden, UT 84310

**Type of Decision:** Administrative

**Applicant:** Golden West Credit Union

**File Number:** DR# 2019-05

### Property Information

**Approximate Address:** 2461 N Hwy 158 Eden, UT, 84310

**Project Area:** 43,558 square feet (1 acre)

**Zoning:** CV-2

**Existing Land Use:** Vacant

**Proposed Land Use:** Commercial

**Parcel ID:** 22-098-0003, 22-046-0071

**Township, Range, Section:** Township 7 North, Range 1 East, Section 34 NW

### Adjacent Land Use

<b>North:</b> Commercial	<b>South:</b> Commercial
<b>East:</b> Hwy 158	<b>West:</b> Agricultural

### Staff Information

**Report Presenter:** Tammy Aydelotte  
taydelotte@co.weber.ut.us  
801-399-8794

**Report Reviewer:** SB

## Applicable Ordinances

- Weber County LUC Title 104, Chapter 21 – Commercial Valley Zone (CV-2) Zone
- Weber County LUC Title 108, Chapter 1 - Design Review
- Weber County LUC Title 108, Chapter 2 - Ogden Valley Architectural, Landscape and Screening Design Standards
- Weber County LUC Title 108, Chapter 16 – Ogden Valley Outdoor Lighting
- Parking
- Signage
- 

## Summary and Background

The applicant is requesting an administrative design review approval of a new Golden West Credit Union facility and the associated installation of a parking lot and access off of Hwy 158. The project area is approximately one acre.

## Analysis

**Design Review:** The CV-2 Zone requires a design review (as outlined in LUC §108-1) to ensure that the general design, layout, and appearance of commercial sites and buildings is orderly and harmonious with the surrounding neighborhood. LUC §108-1-2 states that design review applications for buildings in the CV-2 zone with a footprint of less than 75,000 square feet may be reviewed and approved by the Planning Director.

As part of a design review, the Planning Director shall consider applicable codes and impose conditions that mitigate deficiencies if necessary. Consideration is given to the following:

- *Traffic safety and traffic congestion:*
  - The proposal is not anticipated to increase traffic or to cause any traffic safety hazards. The proposed addition will include a customer parking lot. An access off of Hwy 158 will be deeded to the County, with the understanding that the applicant/owner will maintain this access until

such time as this connection is extended to Valley Junction Drive, after which the County will assume responsibility.

- *Outdoor advertising:*
  - The proposal will include the following signage:
  - A ground monument sign (103" x 93"), an entrance sign (36' x 30'), and a wall sign (9' 4.5" x 49").
  - A 4.3' x 10' wall sign on the west elevation, a 4' x 9.5' wall sign on the south elevation
  - A 36" x 30" entrance sign
- *Outdoor Lighting Plan:*
  - Proposed outdoor lighting will include recessed entryway lighting, lane lights, whose total lumen output doesn't exceed 7 lumens. All parking lot lighting shall be shielded, and contained within the boundaries of the parcel. No LED lighting has been proposed as part of this project. No light shall be sourced from the on-site ATM, that can be seen from off-premises. All exterior lighting shall comply with the Ogden Valley Outdoor Lighting Ordinance (LUC 108-16).
- *Landscaping:*
  - The site maintains the landscaping requirements outlined in LUC §108-2-5 through conservation of existing trees along the southern boundary and installation of both an irrigation system and landscaping of live plants (trees, shrubs, turf), as well as decorative wood mulch. Minimum landscaping area requirement is 8,712 square feet, proposed landscape area is 17,835 square feet (40% of project site). A parkstrip must be installed consisting of a native grass mixture that is low growing. Automatic irrigation of the parkstrip landscaping shall be located outside of the parkstrip. Parkstrip landscaping shall not be included in the total area and turf grass percentage requirements (LUC 108-2-5)
- *Building and site layout:*
  - The site plan shows that the project area is within an existing building footprint and is compliant with the following zoning site development standards:
    - Minimum lot area: None;
    - Minimum lot width: None;
    - Minimum front yard setback: None
    - Minimum side yard setback: None;
    - Minimum rear yard setback: None

The proposal meets the architectural standards with the use of muted earth tones. The front is a stone veneer and a hearty board vertical siding. Mirrored glazing is prohibited on the building. The metal window framing is clear anodized aluminum, which is allowed per LUC 108-2-4.

The proposal is located adjacent to the Mad Moose Cafe, and a vacant Wells Fargo Bank off of Highway 158 in Eden.

Parking – The proposed parking lot shall be paved with asphalt or concrete surface (LUC 108-8-7). There are a total of 28 total parking spaces included with this proposal.

Screening – Trash dumpsters shall be completely screened from the street or public view by a six foot screening device on three sides. The fourth side shall be a gate constructed of opaque materials. The screening device for a metal dumpster shall be placed adjacent to or on a concrete pad six inches in thickness. The pad shall match the existing grade in paving and provide for positive drainage (LUC 108-2-7).

- *Utility easements, drainage, and other engineering questions:*

- The proposal must meet all review agency requirements, including the requirements outlined in the Engineering Division's review.

### Conformance to the General Plan

The proposal conforms to the Ogden Valley General Plan by continuing commercial development within existing commercial and village areas (pg. 25 Ogden Valley General Plan, Commercial Development Goal 1).

### Staff Recommendation

The Planning Division recommends approval of file# DR 2019-05, subject to all review agency requirements and the following conditions:

1. All proposed lighting must comply with the Ogden Valley Lighting requirements, as outlined in LUC§ 108-16, and will be verified at building permit review and prior to issuance of C of O.
2. Any proposed signage must comply with the Ogden Valley Sign Ordinance in LUC § 110-2, and will be reviewed at building permit review.
3. The paved pedestrian path to the east of the project site must remain undisturbed.
4. Installation of improvements will be done by the owner/applicant. An escrow will be required for any unfinished improvements and landscaping shall be received by the County Engineer prior to issuance of C of O.

The recommendation for approval is based on the following findings:

1. The proposal complies with applicable County codes.
2. The proposed project conforms to the Ogden Valley General Plan.

### Administrative Approval

Administrative approval of DR 2019-05 is granted based upon its compliance with the Weber County Land Use Code. This approval is subject to the requirements of applicable review agencies and the conditions of approval listed in this staff report.

Date of Administrative Approval: \_\_\_\_\_

\_\_\_\_\_  
Rick Grover  
Weber County Planning Director

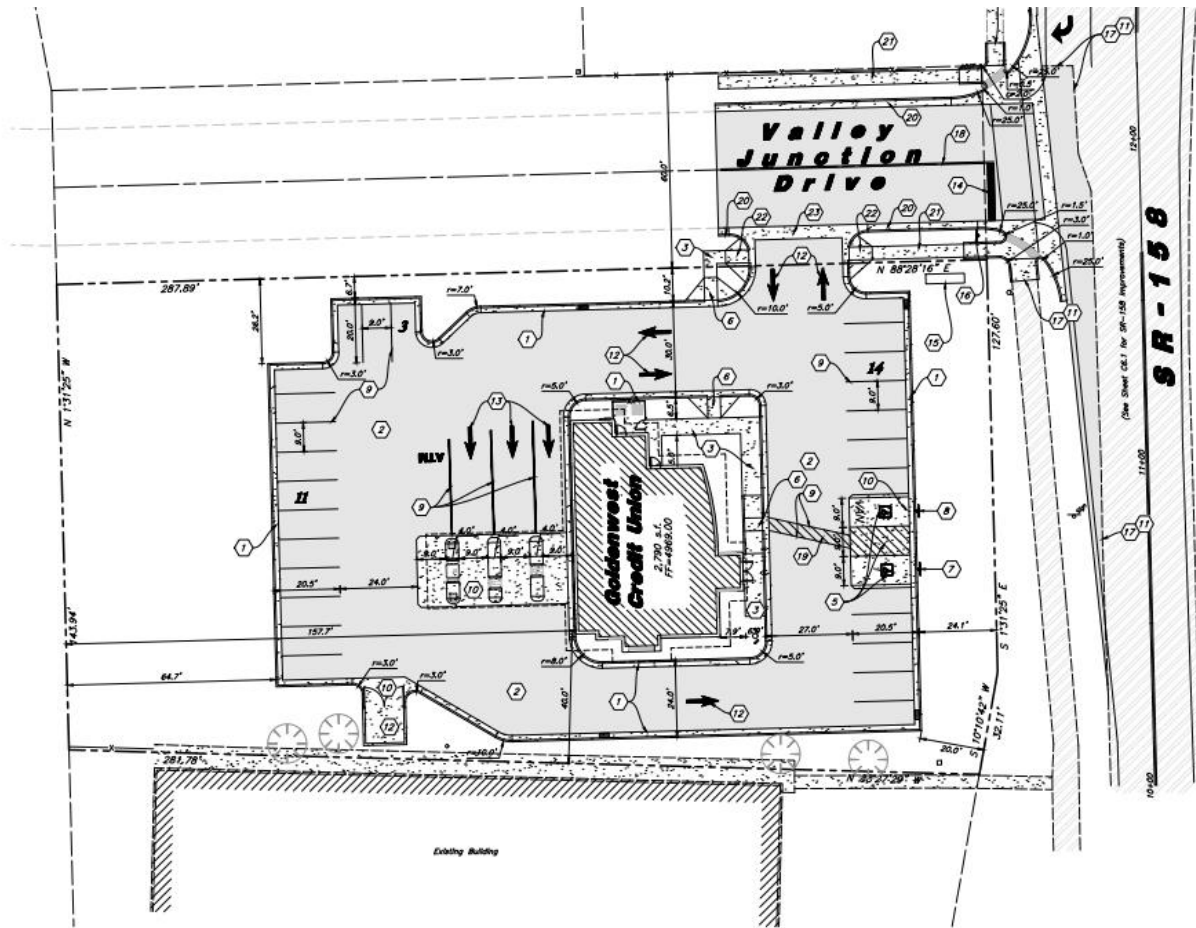
### Exhibits

- A. Site Plan.
- B. Images of Proposed Changes.

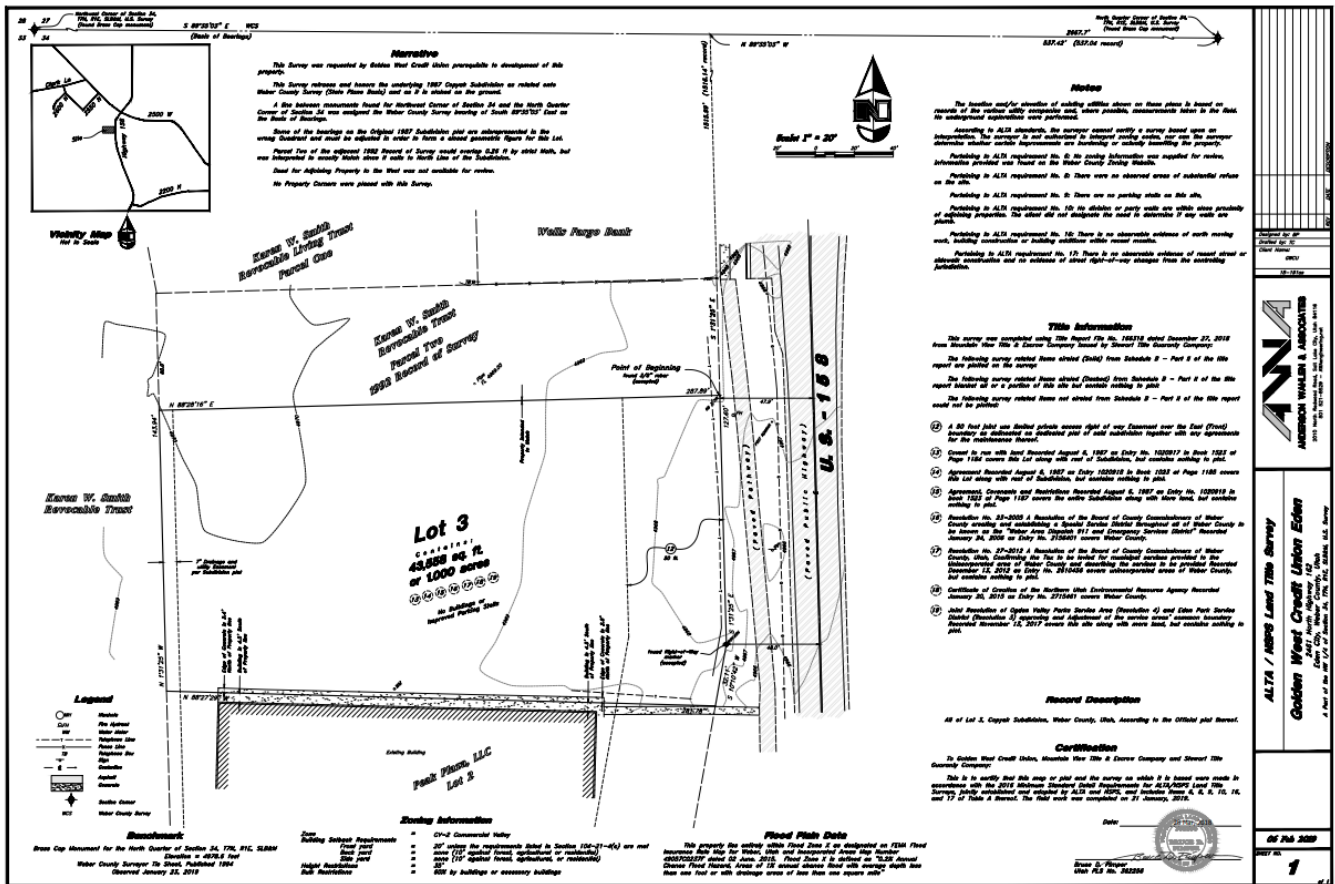
# Area Map



# Exhibit A - Site Plan



# Exhibit B - Proposal



**Narrative**

This Survey was requested by Golden West Credit Union pursuant to development of this property.

The Survey reflects and locates the underlying 1987 Deed Subdivision as related with Water County Survey (Three Three South) and as it is shown on the ground.

All the bearings measurements found for Northwest Corner of Section 24 and the South Quarter Corner of Section 24 was assigned the Water County Survey bearing of South 87°53'10" East on the basis of location.

Some of the bearings on the Original 1987 Subdivision plat are ambiguous in the way they are written and must be revised in order to form a closed geometric figure for the lot.

Part of the adjacent 1982 Second of Survey would overlap 0.28 ft by one inch, but was abandoned in favor of the 1987 line of the Subdivision.

Land for Right-of-Way Property in the West was not available for review.

No Property Corners were found with this Survey.

**Notes**

The location and/or situation of existing utilities shown on these plans is based on records of the public utility companies and, where possible, measurements taken in the field to underground utilities.

According to ALIS requirements, the surveyor cannot verify a survey based upon an interpretation. The surveyor is not authorized to interpret existing utility, but will the surveyor determine whether existing information is favorable or unfavorable to the property.

According to ALIS requirement No. 8, no existing information was requested for review. Information provided was based on the Water County Survey Records.

According to ALIS requirement No. 8, there were no observed areas of substantial refusal on this site.

According to ALIS requirement No. 8, there are no parking stalls on this site.

According to ALIS requirement No. 10, the location of party walls are within state jurisdiction of neighboring properties. The effect of this rule does not depend on the nature of the walls or their use.

According to ALIS requirement No. 10, there is no observable evidence of earth moving work, building construction or building activities within stated months.

According to ALIS requirement No. 10, there is no apparent evidence of recent utility or other work.

According to ALIS requirement No. 10, there is no apparent evidence of recent utility or other work.

- Title Information**
- This survey was requested under Title Report No. 182216 dated December 27, 2016 from Mountain Title & Escrow Company based on the Golden West Credit Union Survey.
- The following survey related items are cited (Cited) from Subdivision B - Part 8 of the title report are listed on the survey.
- The following survey related items are cited (Cited) from Subdivision B - Part 8 of the title report listed on or a portion of this site but contain nothing to plat.
- The following survey related items are cited from Subdivision B - Part 8 of the title report and are listed on the plat.
- 1. A 50-foot wide utility easement across right of way easement over the East Third of Section 24 as shown on Subdivision B-Part 8 of the title report together with any easements for the easement thereon.
  - 2. Grant to run with West Parcel August 5, 1927 as City No. 122017 in Book 1282 of Page 1582 covers the lot along with rest of Subdivision, but contains nothing to plat.
  - 3. Agreement December 8, 1927 as City No. 122018 in Book 1282 of Page 1582 covers the lot along with rest of Subdivision, but contains nothing to plat.
  - 4. Agreement December 8, 1927 as City No. 122019 in Book 1282 of Page 1582 covers the lot along with rest of Subdivision, but contains nothing to plat.
  - 5. Resolution No. 23-2013 A Resolution of the Board of County Commissioners of Water County, Oregon, and Mountain Title & Escrow Company dated August 14, 2013 in Book 1282 of Page 1582 covers the lot along with rest of Subdivision, but contains nothing to plat.
  - 6. Resolution No. 27-2013 A Resolution of the Board of County Commissioners of Water County, Oregon, and Mountain Title & Escrow Company dated August 14, 2013 in Book 1282 of Page 1582 covers the lot along with rest of Subdivision, but contains nothing to plat.
  - 7. Continuation of Certificate of the Mountain Title Environmental Review Agency recorded January 20, 2015 as City No. 271041 covers Water County.
  - 8. Joint Resolution of Oregon Valley Public Service Area (Resolution 4) and Eden Park Service District (Resolution 1) regarding the adjustment of the service area's "service boundary" recorded November 12, 2017 covers this site along with more land, but contains nothing to plat.

**Record Description**

#8 of Lot 3, Croyed Subdivision, Water County, 1984, According to the Official plat Record.

**Certification**

I, Golden West Credit Union, Mountain Title & Escrow Company and Mountain Title & Escrow Company.

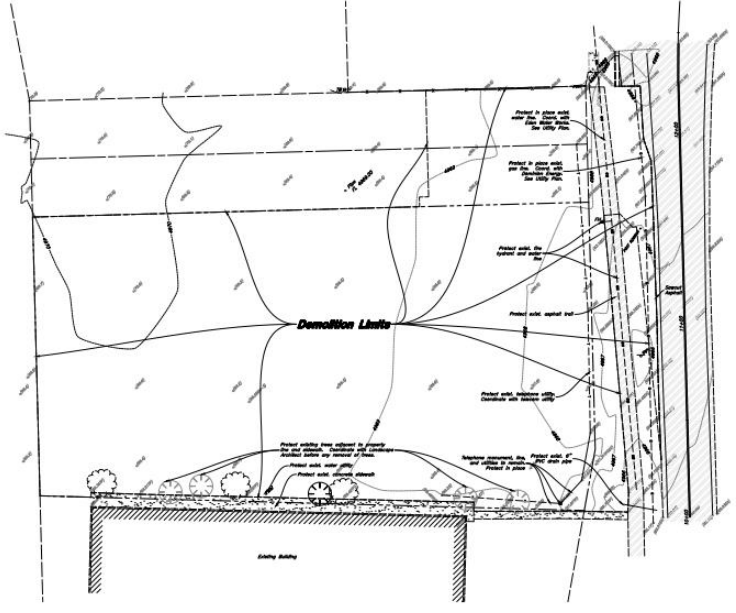
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standards and Procedures for ALIS/ALPS Land Title Surveys, fully established and adopted by ALIS and ALPS, and include Items A, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ.

ALTA / ALPS Land Title Survey  
 Golden West Credit Union  
 Mountain Title & Escrow Company  
 1000 NE Oregon Street, Suite 200, Medford, OR 97504  
 Phone: (541) 753-1111  
 Fax: (541) 753-1112  
 Email: info@mtescrow.com  
 Website: www.mtescrow.com

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 Website: www.mtescrow.com

Scale 1" = 30'



- General Demolition Notes**
1. Demolition shall be in accordance with the provisions of the City of Denver, Colorado.
  2. Prior to any demolition, the contractor shall obtain all necessary permits from the City of Denver.
  3. All utility lines shall be marked and protected prior to any demolition work.
  4. All debris shall be removed from the site and disposed of in accordance with applicable laws and regulations.
  5. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Denver.
  6. The contractor shall be responsible for maintaining all necessary safety measures during the demolition process.
  7. All demolition work shall be completed within the specified time frame.
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  15. The contractor shall be responsible for maintaining all necessary safety measures during the demolition process.

DEMOLITION

The location and/or elevation of utility lines shall be marked and protected prior to any demolition work. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Denver. The information is not to be relied on as being true or complete.



Demolition Plans

**Goldenwest Credit Union - Eden**

3 Apr 2009

**CL1**

Site Data

Site Area = 45,598 sq. ft. (0.00)

Landscaping Area Provided = 23,500 sq. ft. (0.53)

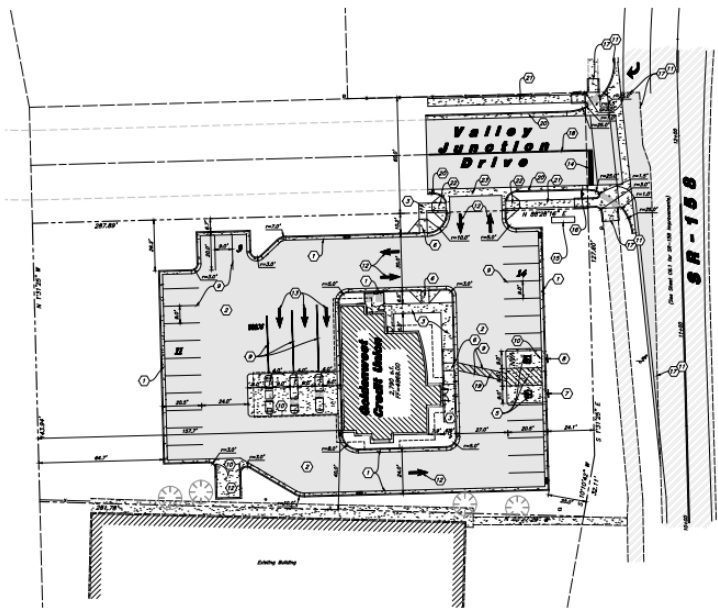
Impervious Area Provided = 23,500 sq. ft. (0.53)

Building Area = 2,500 sq. ft. (0.06)

Parking Required = 25 sq. ft. x 200 = 5,000

Parking Provided = 20 stalls @ 4,000

Scale 1" = 30'



- Site Construction Notes**
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Know what's below.  
Call 811 before you dig.  
www.call811.org

Demolition Plans

**Goldenwest Credit Union - Eden**

3 Apr 2009

**CL1**









**NORTH ELEVATION**  
 01 3/8" = 1'-0"



**EAST ELEVATION**  
 02 3/8" = 1'-0"



**SOUTH ELEVATION**  
 01 3/8" = 1'-0"



**WEST ELEVATION**  
 02 3/8" = 1'-0"

· **Scope of Work** · · · · ·

*Wall Signs*



WEST



THIS DRAWING IS DESIGNED BY AND IS THE SOLE PROPERTY OF FREEDOM LED SIGNS. SAID DRAWING IS NOT TO BE EXHIBITED TO ANYONE OUTSIDE YOUR ORGANIZATION, REPRODUCED, OR COPIED BY ANYONE UNLESS AUTHORIZATION IS OBTAINED FROM AN OFFICER OF



FREEDOM LED SIGNS INC IN WRITING.

· **Scope of Work** · · · · ·

*Wall Signs*

*South and East elevations to be same size*



EAST



SOUTH



THIS DRAWING IS DESIGNED BY AND IS THE SOLE PROPERTY OF FREEDOM LED SIGNS. SAID DRAWING IS NOT TO BE EXHIBITED TO ANYONE OUTSIDE YOUR ORGANIZATION, REPRODUCED, OR COPIED BY ANYONE UNLESS AUTHORIZATION IS OBTAINED FROM AN OFFICER OF

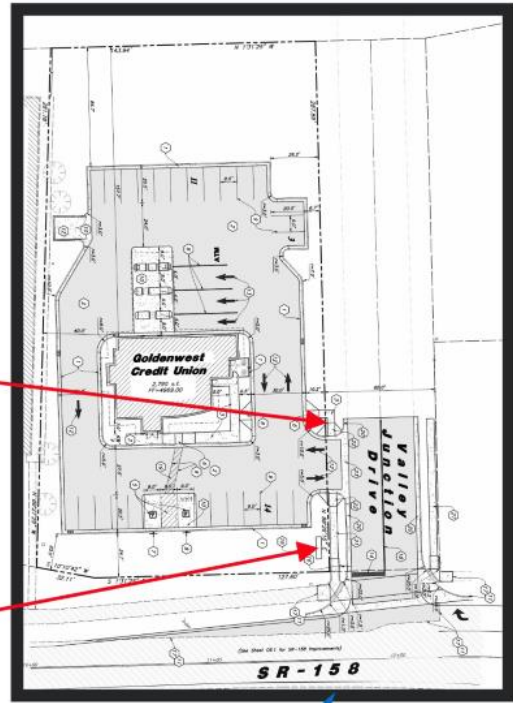


FREEDOM LED SIGNS INC IN WRITING.

• **Scope of Work** • • • • •

*Monument Sign to go near north entrance of property*

*Directional to be non lit  
Plex faces with vinyl graphics.*



**PRODUCT ID: 4942**

Outdoor Blank-out LED Direct-view Sign

**MODEL**  
TCL1028GR-100



**DIMENSIONS**  
10" H x 26" W x 2.5" D (est. 6.509 lbs)

**CLASS**  
CLASS: TCL Series  
Control Method: Switch (not included) or external relay.

**CONSTRUCTION**  
Cabinet: 1-piece, corrosion resistant, extruded aluminum frame, 2.5" deep.  
Face Material: 1/8" impact resistant, smoke-tinted polycarbonate (5109)  
Faces: Single-Faced Sign  
Finish: Duraanodic Bronze  
Mounting Channel:

**ELECTRICAL**  
Flashing: Not Included  
Input Voltage: 120-277 VAC  
UL/cUL Listed: Listed for wet locations

**MESSAGE**  
Illumination: Super bright direct view LEDs. Message blanks out when off.  
Sign Messages: See message table below

MESSAGE	LED/COLOR	HEIGHT	AMPS
OPEN	Green Wide Angle LED	6.0"	0.072/0.031
CLOSED	Red Wide Angle LED	6.0"	0.051/0.022

NOTE: Above messages are independently controlled.

**Signal-Tech**  
4985 Pittsburgh Ave.  
Erie, PA 16509  
Phone: (877) 547-9900  
Fax: (814) 835-2300  
Email: sales@signal-tech.com  
Website: www.signal-tech.com

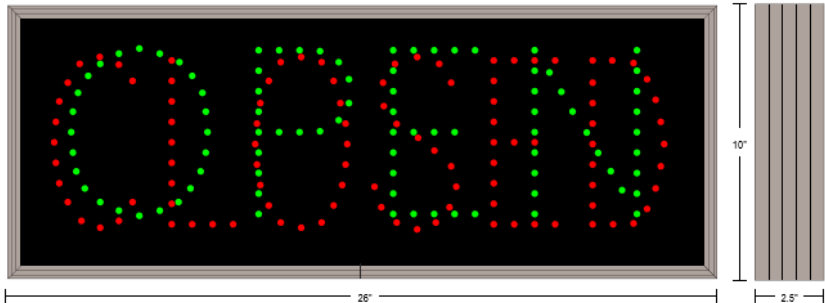


Proudly Made in the USA

Copyright © 2014 Signal-Tech

**Product View**

NOTE: Sign image may not exactly represent the finished product. For illustration purposes only.



**Sample Display Options**



07122019 1 DP

