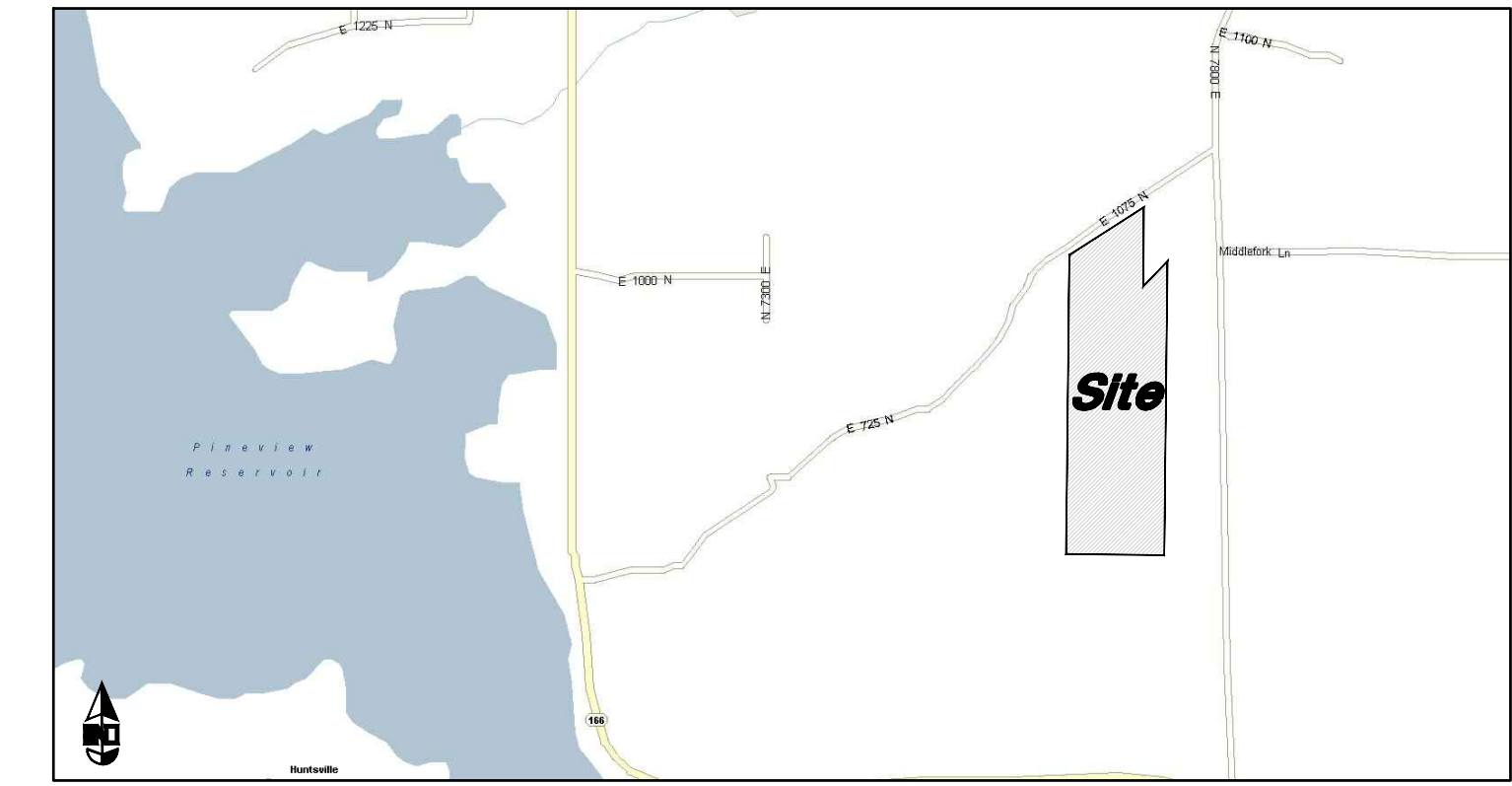


# Shepherd Estates Subdivision

A part of the Northeast Quarter of Section 7, T6N, R2E, SLB&M, U.S. Survey  
Huntsville City, Weber County, Utah  
January 2019



VICINITY MAP  
Not to Scale

## PRELIMINARY DESCRIPTION

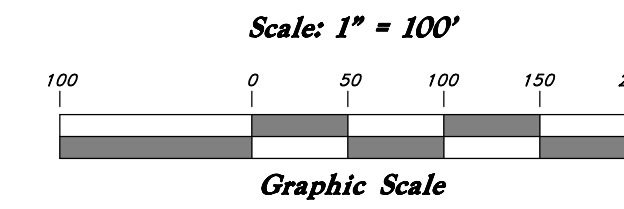
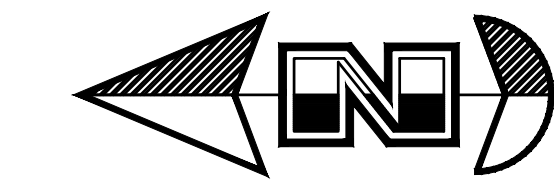
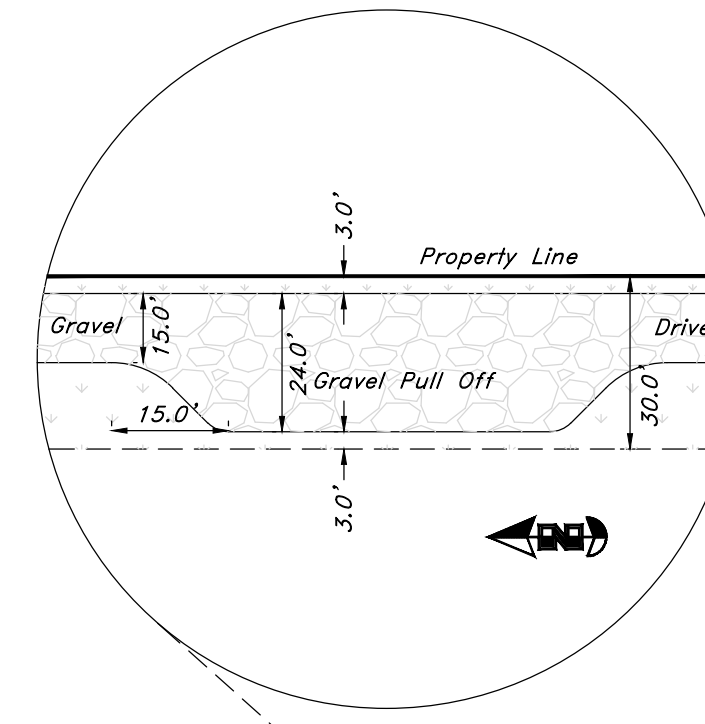
A part of the Northeast Quarter of Section 7, Township 6 North, Range 2 East, Salt Lake Base and Meridian, Huntsville City, Weber County, Utah:

Beginning at a point that is 964.92 feet North 89°42'32" West along the Section Line, 549.72 feet South 58°56'28" West and 438.00 feet South 1°48'28" West from the Northeast Corner of said Section 7; and running thence South 0°50'43" West 321.48 feet to the Northwest Corner of the Shadow & Jensen LLC Property; thence along said Westerly and Southerly Lines the following two (2) courses: (1) South 0°49'36" West 1526.08 feet and (2) North 89°01'46" East 551.06 feet to the Westerly Right of Way Line of 7800 East Street; thence South 0°58'14" East 66.00 feet along said Right of Way Line to the Northerly Line of the George and Joan Clawson Property; thence South 89°01'46" West 1160.15 feet along said Northerly Line to the Easterly Line of the Ogden Valley Land Partners LC Property; thence North 0°43'34" East 1974.53 feet to the Centerline of Stoker Lane Extended Southwesterly from the Poverty Plats Subdivision and Rose Subdivision said Line being the Southerly Boundary of the Wendy B. Parker et al Property; thence North 57°23'33" East 540.71 feet along said Centerline Extension to the Westerly Line of the Sanford Moss and Laurie Porter Property; thence along said Westerly and Northerly Lines the following two (2) courses: (1) South 0°15'32" West 499.66 feet and (2) North 44°47'01" East 222.02 feet to the Point of Beginning.

Contains: 29.402 Acres more or less

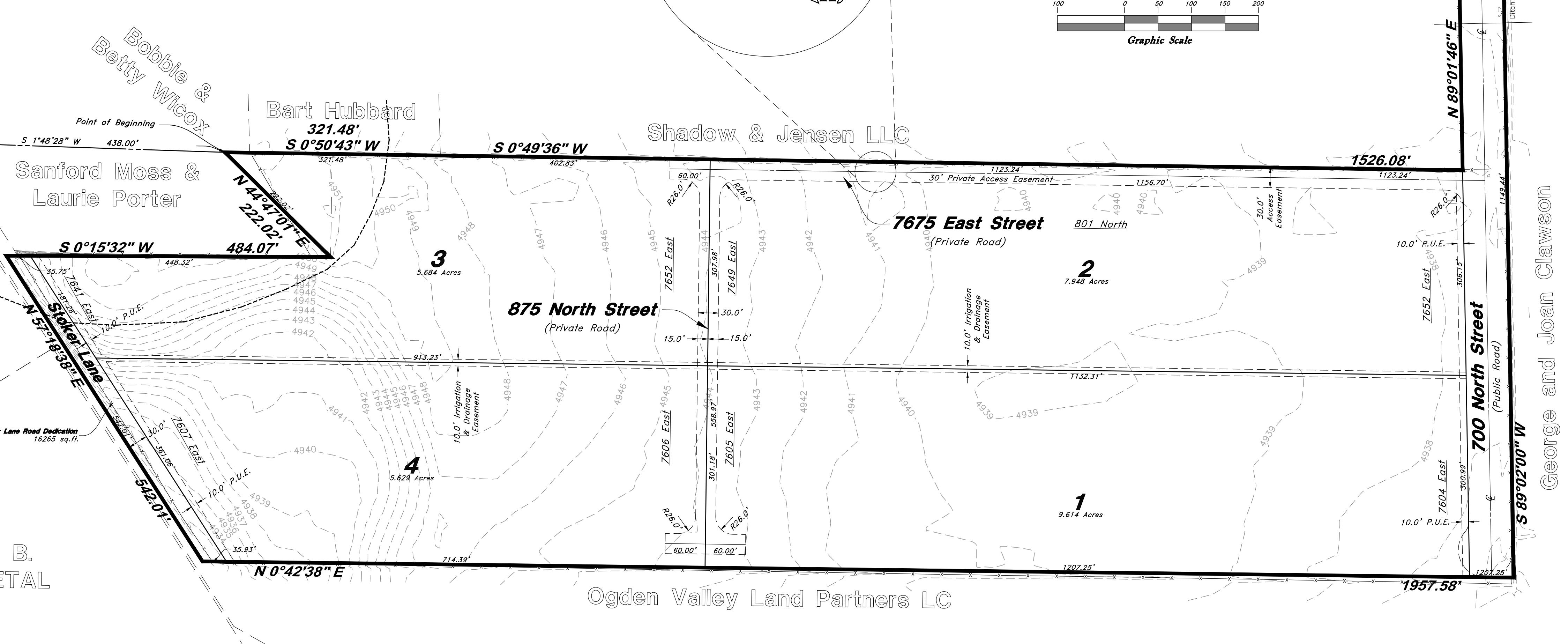
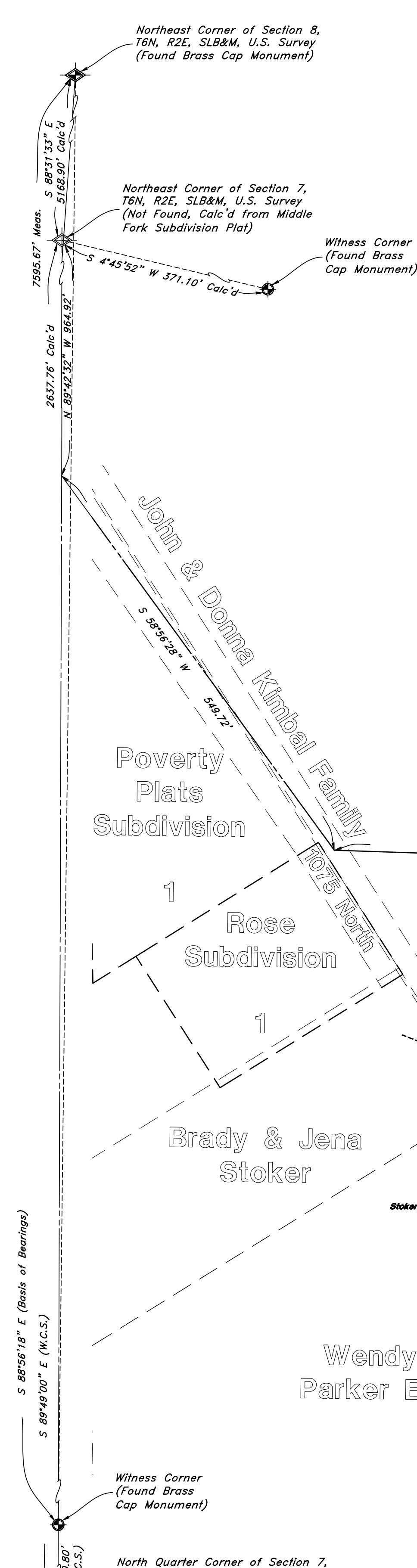
## NOTES

- Recommendations on the Geotech Report shall be followed during any construction of this site.
- Fire Flow for Subdivision shall be 1000 GPM.
- A temporary address marker shall be required at the building site during construction.
- Any Fire Access roads to any property shall have a minimum clear width of 20 feet (face of curb to face of curb) and a vertical clearance of 13 foot 6 inches and shall be capable of supporting a 75,000 pound load. Roads that are less than 26 feet in width shall be posted with "NO PARKING FIRE LANE" on both sides of the roadway. Roads more than 26 but less than 32 feet in width shall be posted on one side of the roadway. (Roadways and signage shall comply with appendix D of the 2015 International Fire Code as adopted by Weber Fire District).
- Fire access roads for this project shall be completed and approved prior to any combustible construction. Temporary roads shall meet the same requirements for height, width and imposed loads as permanent roads.
- All required fire hydrants and water systems shall be installed, approved and fully functional prior to any combustible material construction.
- The owner shall designate a person to be the fire prevention program superintendent who shall be responsible for the fire prevention program and ensure that it is carried out through completion of the project. The fire prevention program superintendent shall have the authority to enforce the provisions of this chapter and other provisions as necessary to secure the intent of this chapter. Where Guard service is provided, the superintendent shall be responsible for the guard service. The fire prevention program superintendent shall develop and maintain an approved prefire plan in cooperation with the fire chief. The fire chief and the fire code official shall be notified of changes affecting the utilization of information contained in such prefire plans. (see IFC 3308)
- All roads shall be designed, constructed, surfaced and maintained so as to provide an all-weather driving surface.
- Fire department apparatus access is required for each lot.
- Geological hazards studies may be required for development within the potential geologic hazards area.
- The minimum pavement widths are 24' if no curb and gutter are installed or 32' from lip to lip of curb and gutter.

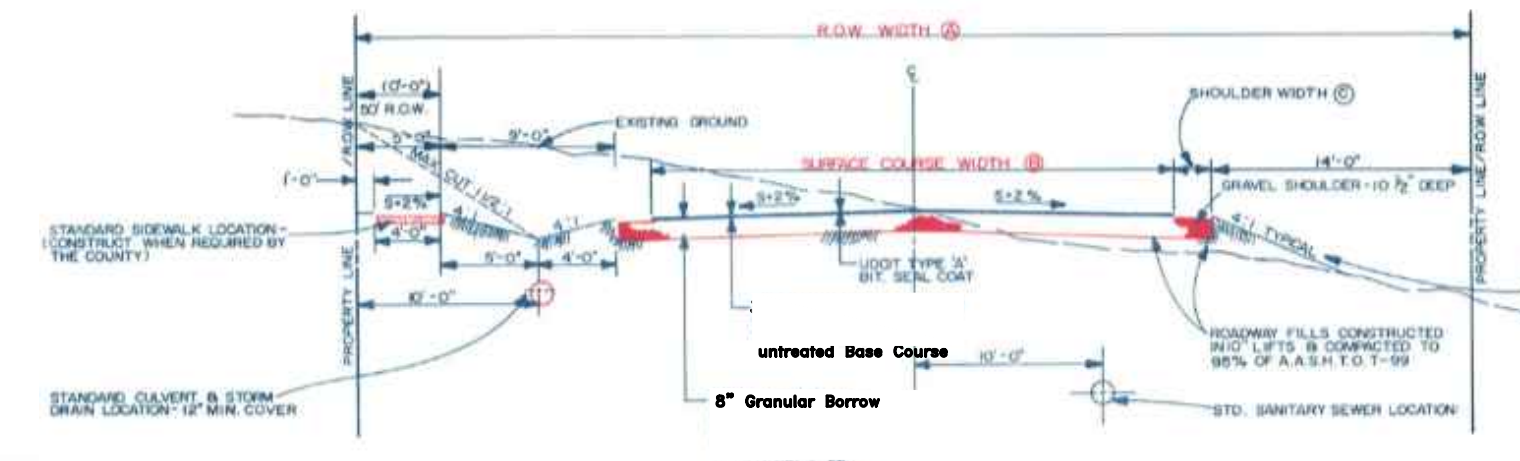


## LEGEND

- Centerline
- UGT - Buried Telephone line
- OHT - Overhead Telephone line
- OHP - Overhead Power line
- UGP - Power line
- S - Sanitary Sewer line
- W - Culinary Water line
- G - Gas line
- SD - Storm Drain line
- SW - Secondary Waterline
- LD - Land Drain line
- IW - Irrigation Waterline
- F - Fence
- PM - Power Meter
- Post
- Water Meter
- Gas Meter
- Power Meter
- Telephone Box
- Sewer Manhole
- Drain Manhole
- Water Manhole
- Cleanout Box
- TA - Top of Asphalt
- EA - Edge of Asphalt
- NC - Natural Ground
- LG - Lip of Gutter
- SP - Service Pole
- LP - Light Pole
- PP - Power Pole
- TP - Telephone Pole
- FH - Fire Hydrant
- DIT - Flowline of Ditch
- TOE - Toe of Slope
- TOP - Top of Slope
- CO - Cleanout
- FC - Fence
- DMH - Flowline
- DMH x99.00 - Drain Manhole
- Spot Elevation
- Contour
- Asphalt
- Concrete
- Building
- Catch Basin
- C.M.P. - Corrugated Metal Pipe
- R.C.P. - Reinforced Concrete Pipe
- CONC - Edge of Concrete
- RWALL - Retaining Wall
- SMH - Sewer Manhole
- WY - Water Valve
- CB - Catch Basin
- DY - Diversion Box
- TC - Top of Curb
- SW - Sidewalk
- GUY - Guy Wire
- GAS - Gas line Marker
- BLDG - Building Corner
- NG - Fire Hydrant
- NG - Natural Ground
- WV - Water Valve
- LP - Light Pole
- Power Pole w/guy
- Deciduous Tree
- Coniferous Tree
- ARP - Area Reference Point
- Building Columns
- LS - Landscaping



1100 NORTH STREET  
STANDARD RURAL ROADWAY SECTION  
Not to Scale



STREET DESIGNATION	SLOW WIDTH (ft)	SUBGRADE COURSE WIDTH (ft)	SHOULDER WIDTH (ft)
1) MINOR ARTERIAL OR PRIVATE ROADWAYS	30'	30'	4'
STANDARD RESIDENTIAL	60'	34'	4'
COLLECTOR	66'	36'	5'
2) MINOR ARTERIAL	80'	44' (30') 2)	4-3)
3) MAJOR ARTERIAL	100' (CONSULT COUNTY ENGINEER FOR SPECIFIC REQUIREMENTS)		

- 1) MAJOR STREET PERMITTED UPON SPECIAL PERMITS BY THE COUNTY PLANNING COMMISSION AND IS SUBJECT TO NECESSARY ROAD WIDENING.
- 2) COUNTY ENGINEER SHALL PROVIDE DETAILED DESIGN ON INTERESTING STREETS WITHIN THE CITY OF HUNTSVILLE.
- 3) THIS WIDTH MAY BE USED IN THE DIRECTION OF THE COUNTY ENGINEER WHEN THE WIDTH APPLICABLE IS NOT NECESSARY.

ENGINEER:  
Great Basin Engineering, Inc.  
c/o Andy Hubbard, PLS  
5746 South 1475 East Suite 200  
Ogden, Utah 84405  
(801) 394-4515

DEVELOPER:  
Jeff Shepherd  
1519 East 6225 South  
Ogden 84405  
(801) 725-5143

# PRELIMINARY PLAN

**GREAT BASIN ENGINEERING**  
 5746 SOUTH 1475 EAST SUITE 200, OGDEN, UTAH 84405  
 WWW.GREATBASINENGINEERING.COM

**Preliminary Plan**  
**Shepherd Estates Subdivision**  
 Approximately 1075 North 7800 East  
 Huntsville City, Weber County, Utah  
 A part of Section 7, T6N, R2E, SLB&M, U.S. Survey

4 Feb, 2019  
 SHEET NO.  
**1**  
 16N733 - AP



**GENERAL NOTES (SEE ALL SHEETS):**

- All construction must meet or exceed Weber County Standards and Specifications.
- Culinary Water services will be extended 10' beyond Right-of-way line and placed 5' uphill from the sewer.
- Sanitary Sewer will be extended 10' beyond the Right-of-way line 10.0' inside the lot from the lowest corner.
- Saw Cut Existing Asphalt to provide a smooth clean edge.
- All Utility trenches within the Street right of way shall have a County approved imported granular backfill.
- Loop pressurized culinary and secondary waterlines and service laterals to maintain cover and separation between pipes and finished grade.
- All flood irrigation structures on the property will need to be removed.
- Street light locations to be staked by Weber County Public Works prior to footings being poured.
- Minimum of 3-foot distance from any point of fire hydrant and any possible obstruction.
- Manholes are to indicate proper system, sewer, storm drain, land drain.
- Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
- Gas lines, telephone lines, and cable TV lines are not a part of these plans unless otherwise noted.
- Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
- Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible to construct any vertical adjustments necessary to clear sewer, storm drain or other utilities as necessary. Including valve boxes and hydrant spools to proper grade.
- Contractor to install all traffic and address signage to Manual on Uniform Traffic Control Devices (MUTCD) specs.
- The developer shall be responsible to grade each lot such that runoff water is directed to fronting roads. Grading shall ensure that the runoff from each lot does not drain onto neighboring lots or properties.
- Home connections to Land Drains System must be above the elevation of the pond.
- The roadways must be constructed according to the requirements of the Geotechnical Report and West Point City Standards.
- Field verify and adjust curb to maintain a minimum of 1.5% and a maximum of 4.0% cross slope or overlay existing asphalt to ensure proper drainage prior to construction of curb and gutter.

**GENERAL UTILITY NOTES (SEE ALL SHEETS):**

- Coordinate all utility connections to building with plumbing plans and building contractor.
- Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
- All catch basin and inlet box grates are to be bicycle proof.
- All inlet boxes located in curb and gutter are to be placed parallel to the curb and gutter and set under the frame and grate. Improperly placed boxes will be removed and replaced at no additional cost to the owner. Precast or cast in place boxes are acceptable.
- Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
- Gas lines, telephone lines, and cable TV lines are not a part of these plans unless otherwise noted.
- Water meters are to be installed per county standards and specifications. It will be the contractor's responsibility to install all items required.
- Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible to construct any vertical adjustments necessary including valve boxes and hydrant spools to proper grade.
- Field verify all existing and/or proposed Roof Drain/Roof Drain down spout connections to Storm Water System with Civil, Plumbing & Architectural plans. Notify Engineer of any discrepancies.
- All gravity flow utility lines shall be installed prior to any pressurized utilities unless written permission is obtained from the engineer of record before construction begins.
- A Fire Flow Test must be performed prior to Building Permits.

**UTILITY PIPING MATERIALS:**

All piping to be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

**CULINARY SERVICE LATERALS**

- 3/4" to 2" diameter pipe - Type K Copper
- Over 2" diameter pipe - AWWA C-900 Class 150 pipe

**WATER MAIN LINES AND FIRE LINES**

- Pipe material as shown on utility plan view or to meet city standards.
- All Fire Hydrants to have a Foot Valve at main line connection/

**SANITARY SEWER LINES**

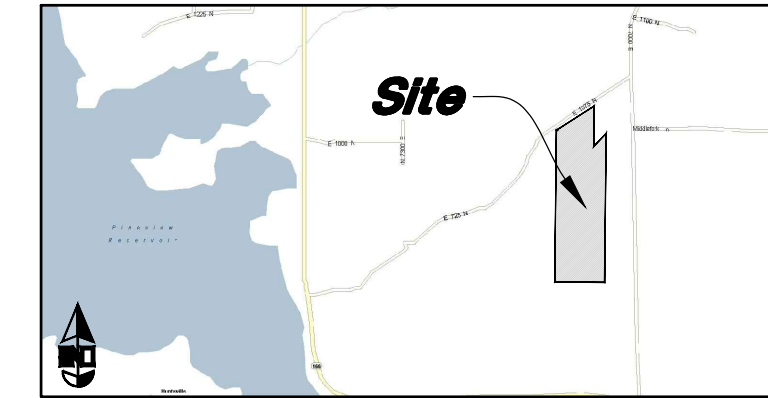
- All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D 3034, Type PSM, SDR 35

**STORM DRAIN LINES**

- 10" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
- 12" to 21" pipes - Concrete Pipe, ASTM C14, Class III up to 13' of cover. For greater than 13' feet of cover, use reinforced concrete pipe and classes listed below.
- 24" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III up to 13' of cover, Class IV for 13' to 21' of cover, Class V for 21' to 32' of cover, and Special Design for cover greater than 32 feet.

# Shepherd Estates Subdivision

A part of the Northeast Quarter of Section 7, T6N, R2E, SLB&M, U.S. Survey  
Weber County, Utah  
February 2019

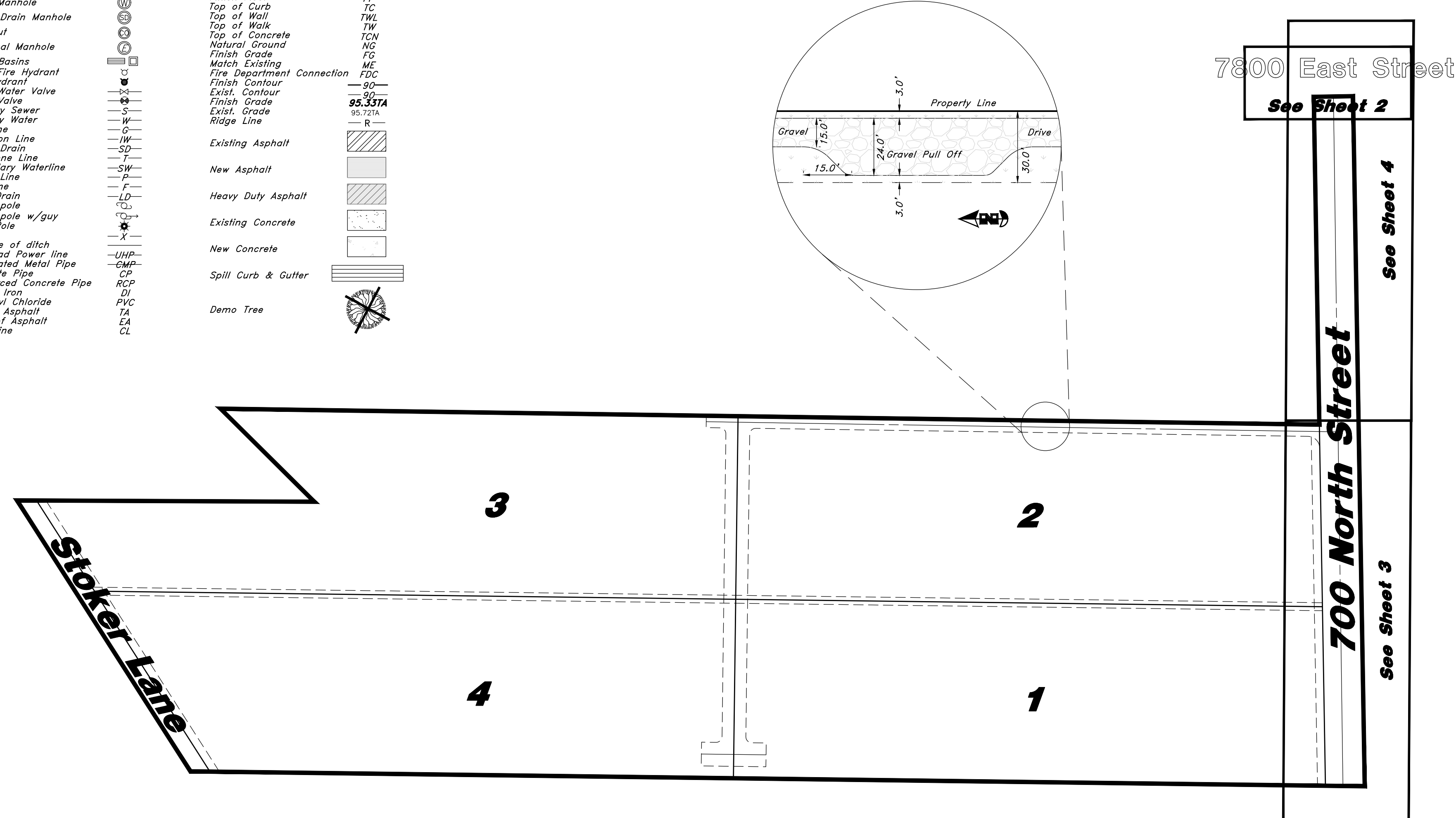


VICINITY MAP  
Not to Scale

## Legend

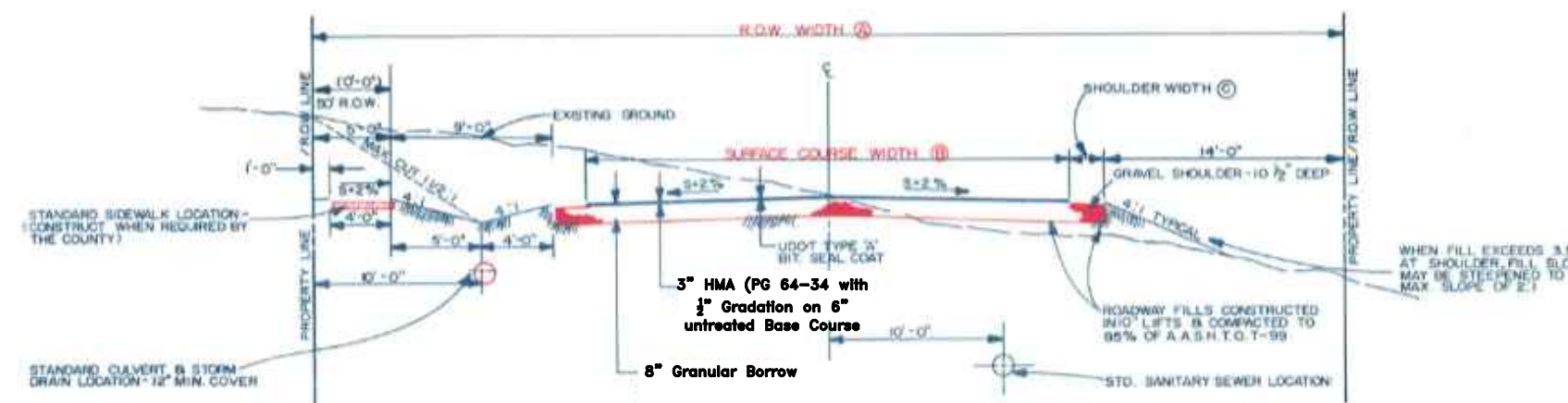
(Note: All items may not appear on drawing)

San. Sewer Manhole	⊙	Flowline	FL
Water Manhole	⊙	Finish Floor	FF
Storm Drain Manhole	⊙	Top of Curb	TC
Cleanout	⊙	Top of Wall	TWL
Electrical Manhole	⊙	Top of Walk	TW
Catch Basins	⊙	Top of Concrete	TCN
Exist. Fire Hydrant	⊙	Natural Ground	NG
Fire Hydrant	⊙	Finish Grade	FG
Exist. Water Valve	⊙	Match Existing	ME
Water Valve	⊙	Fire Department Connection	FDC
Sanitary Sewer	—S—	Exist. Contour	—90—
Culinary Water	—C—	Finish Grade	95.337A
Gas Line	—G—	Exist. Contour	95.723A
Irrigation Line	—IW—	Exist. Grade	—R—
Storm Drain	—SD—	Ridge Line	—R—
Telephone Line	—T—	Existing Asphalt	[Hatched]
Secondary Waterline	—SW—	New Asphalt	[Solid Grey]
Power Line	—P—	Heavy Duty Asphalt	[Hatched]
Fire Line	—F—	Existing Concrete	[Dotted]
Land Drain	—LD—	New Concrete	[Solid White]
Power pole w/guy	⊙	Spill Curb & Gutter	[Hatched]
Light Pole	⊙	Demo Tree	[Circle with X]
Fence	—X—		
Flowline of ditch	—UHP—		
Overhead Power line	—OWP—		
Corrugated Metal Pipe	—CMP—		
Concrete Pipe	—CP—		
Reinforced Concrete Pipe	—RCP—		
Ductile Iron	—DI—		
Polyvinyl Chloride	—PVC—		
Top of Asphalt	—TA—		
Edge of Asphalt	—EA—		
Centerline	—CL—		



**700 NORTH STREET  
STANDARD RURAL ROADWAY SECTION**

Not to Scale



STREET DESIGNATION	R.O.W. WIDTH (A)	SURFACE COURSE WIDTH (B)	SHOULDER WIDTH (C)
MINOR ARTERIAL OR PRIVATE ROADS	50'	24'	4'
STANDARD RESIDENTIAL	60'	24'	4'
COLLECTOR	60'	24'	4'
MINOR ARTERIAL	80'	44' (10' ±)	4' ±
MAJOR ARTERIAL	100' (CONSTRUCT COUNTY ENGINEER FOR SPECIFIC REQUIREMENTS)		

- MINOR STREET ADMITTED UPON REVIEW, PERMISSION BY THE COUNTY ENGINEER IS REQUIRED. IF NECESSARY, MUST HAVE SUR ROW.
- COUNTY ENGINEER SHALL PROVIDE STREET WIDTH AND SURFACE COURSE WIDTH PER COUNTY ENGINEER.
- THIS WIDTH MAY BE USED IN THE DIRECTION OF TRAVEL INDICATED BY THE ARROW. SIGNAGE WIDTH IS NOT NECESSARY.

**CAUTION NOTICE TO CONTRACTOR**  
The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.

**PRIVATE ENGINEER'S NOTICE TO CONTRACTORS**  
The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Call before you Dig  
Avoid cutting underground utility lines. It's costly.



1-800-662-4111

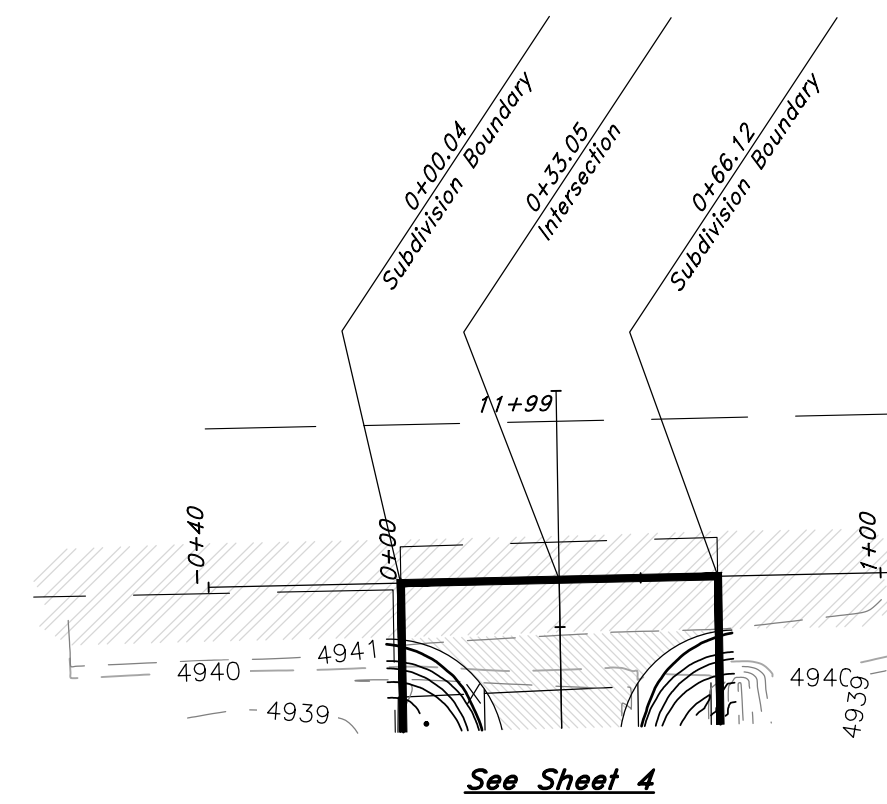
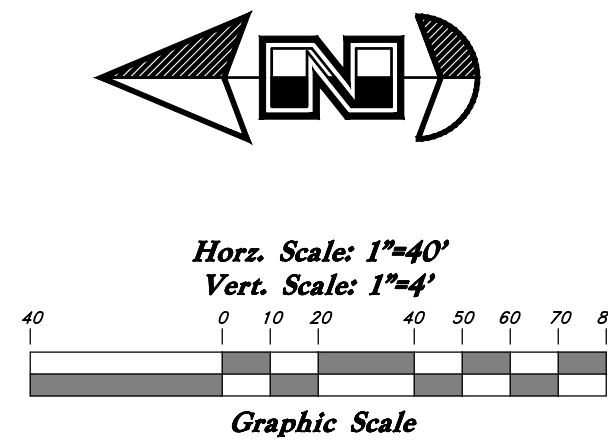
**GREAT BASIN ENGINEERING**  
5746 SOUTH 1475 EAST OGDEN, UTAH 84403  
MAIN (801)394-4515 S.L.L.C. (801)521-0222 FAX (801)392-7544  
WWW.GREATBASINENGINEERING.COM

**Cover Sheet**  
**Shepherd Estates Subdivision**  
Approximately 1075 North, 7800 West  
Weber County, Utah  
A part of Section 7, T6N, R2E, SLB&M, U.S. Survey

4 Feb, 2019  
SHEET NO. **1**  
16N733 - AM

TENTATIVE FINAL



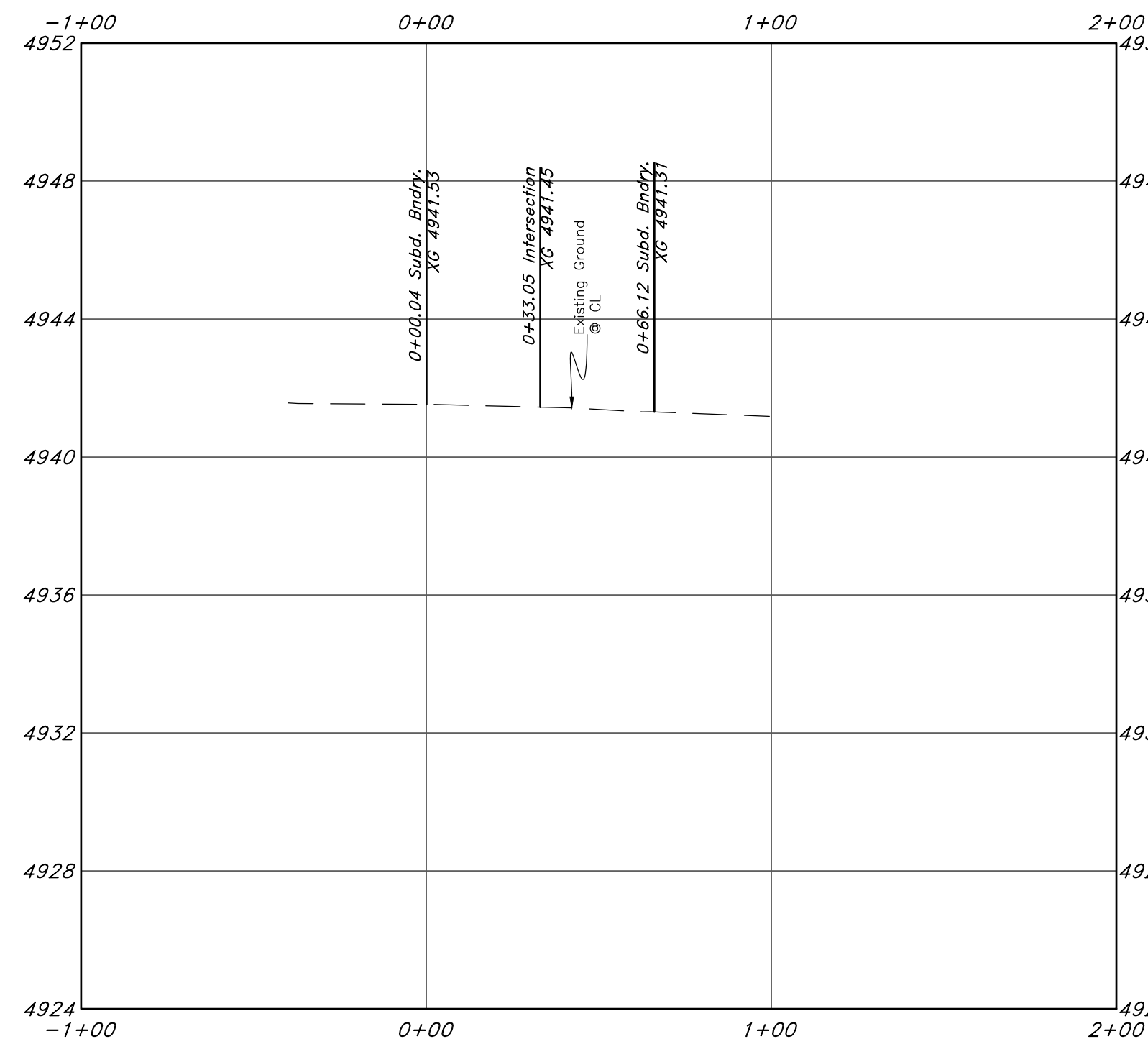


### Legend

(Note: All items may not appear on drawing)

- San. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve
- Sanitary Sewer
- Culinary Water
- Gas Line
- Irrigation Line
- Storm Drain
- Telephone Line
- Secondary Waterline
- Power Line
- Fire Line
- Land Drain
- Power pole
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- Polyvinyl Chloride
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Walk
- Top of Concrete
- Natural Ground
- Finish Contour
- Exist. Contour
- Finish Grade
- Exist. Grade
- Ridge Line
- Direction of Flow
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Concrete
- Open Face
- Curb & Gutter

## 7800 East Street



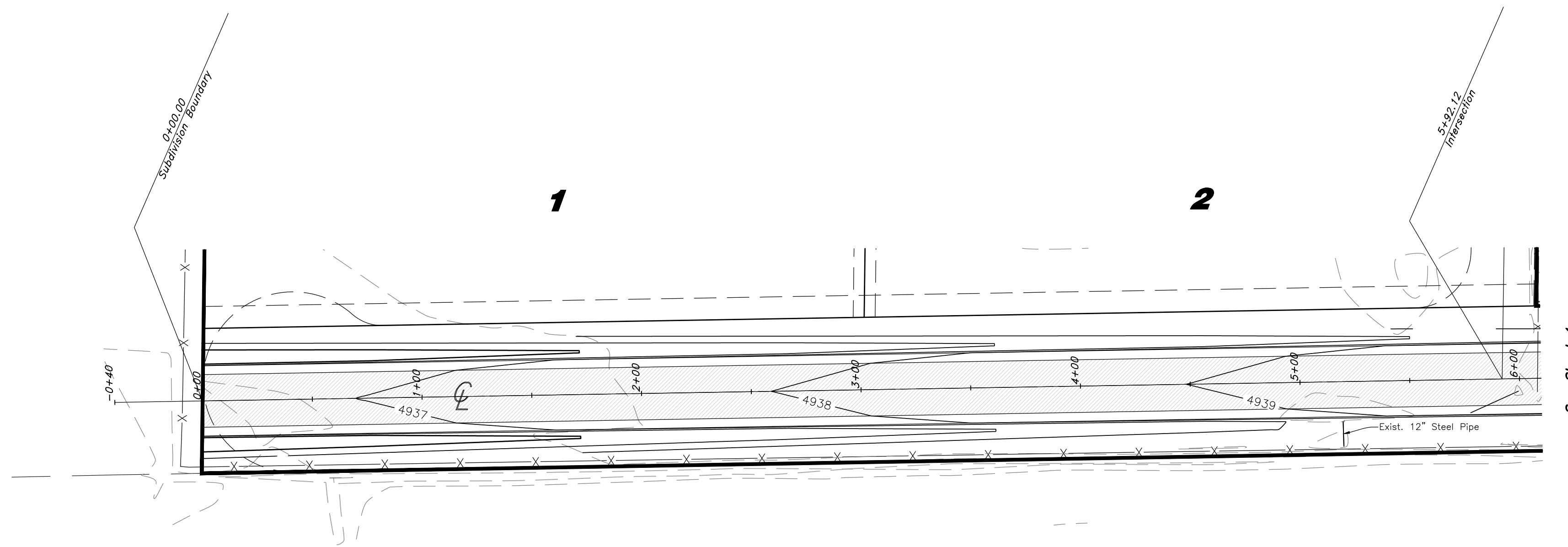
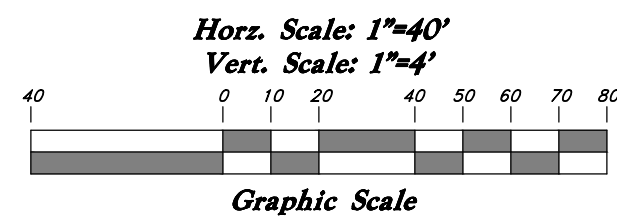
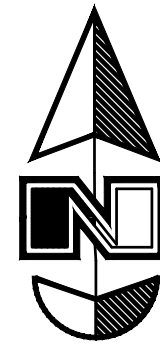
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**Plan and Profile**  
**Shepherd Estates Subdivision**  
 Approximately 1075 North, 7800 West  
 Weber County, Utah  
 A part of Section 7, T6N, R2E, S18&M, U.S. Survey

4 Feb, 2019  
 SHEET NO.  
**2**  
 16N733 - AM



TENTATIVE FINAL

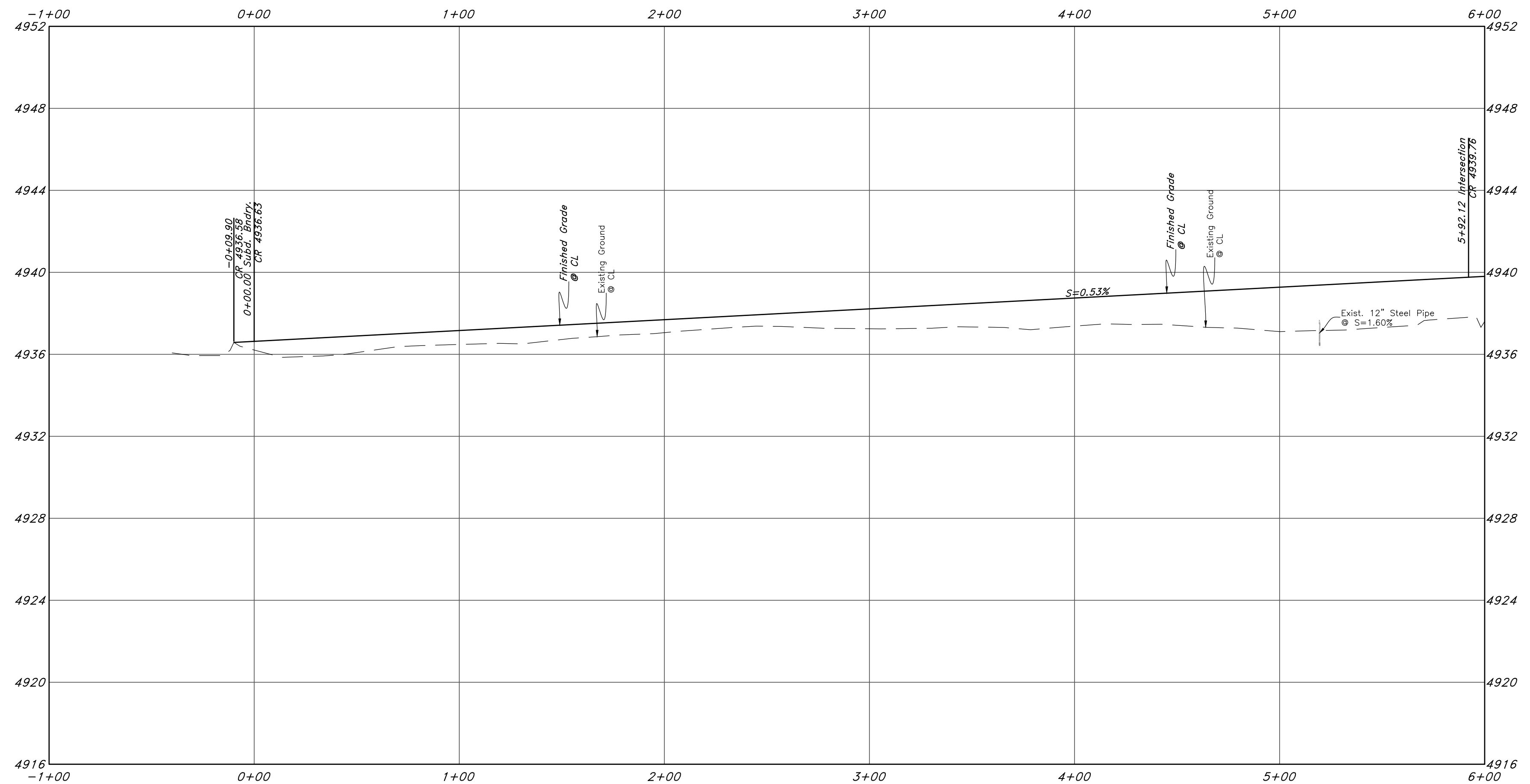


# 700 North Street

## Legend

(Note: All items may not appear on drawing)

- San. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve
- Sanitary Sewer
- Culinary Water
- Gas Line
- Irrigation Line
- Storm Drain
- Telephone Line
- Secondary Waterline
- Power Line
- Fire Line
- Land Drain
- Power pole
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- Polyvinyl Chloride
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Walk
- Top of Concrete
- Natural Ground
- Finish Contour
- Exist. Contour
- Finish Grade
- Exist. Grade
- Ridge Line
- Direction of Flow
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Concrete
- Open Face
- Curb & Gutter



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1-800-662-4111

TENTATIVE FINAL

Plan and Profile

Shepherd Estates Subdivision

Approximately 1075 North, 7800 West  
Weber County, Utah  
A part of Section 7, T6N, R2E, S18&M, U.S. Survey

4 Feb, 2019

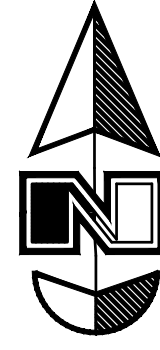
SHEET NO.

3

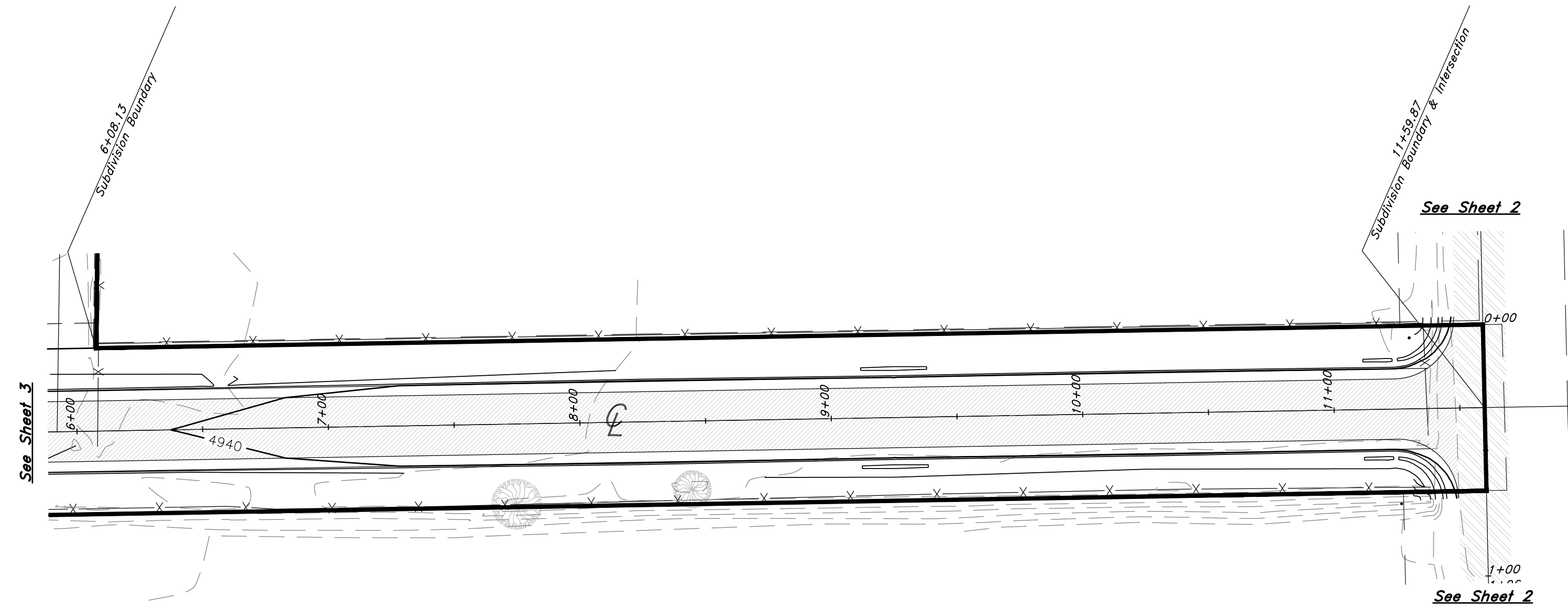
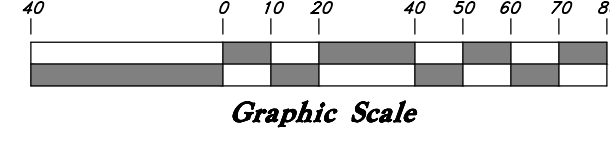
16N733 - AM

**GREAT BASIN ENGINEERING**  
 5746 SOUTH 1475 EAST OGDEN, UTAH 84403  
 MAIN (801)394-4515 S.L.C. (801)521-0222 FAX (801)392-7544  
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REV. DATE DESCRIPTION



Horz. Scale: 1"=40'  
Vert. Scale: 1"=4'

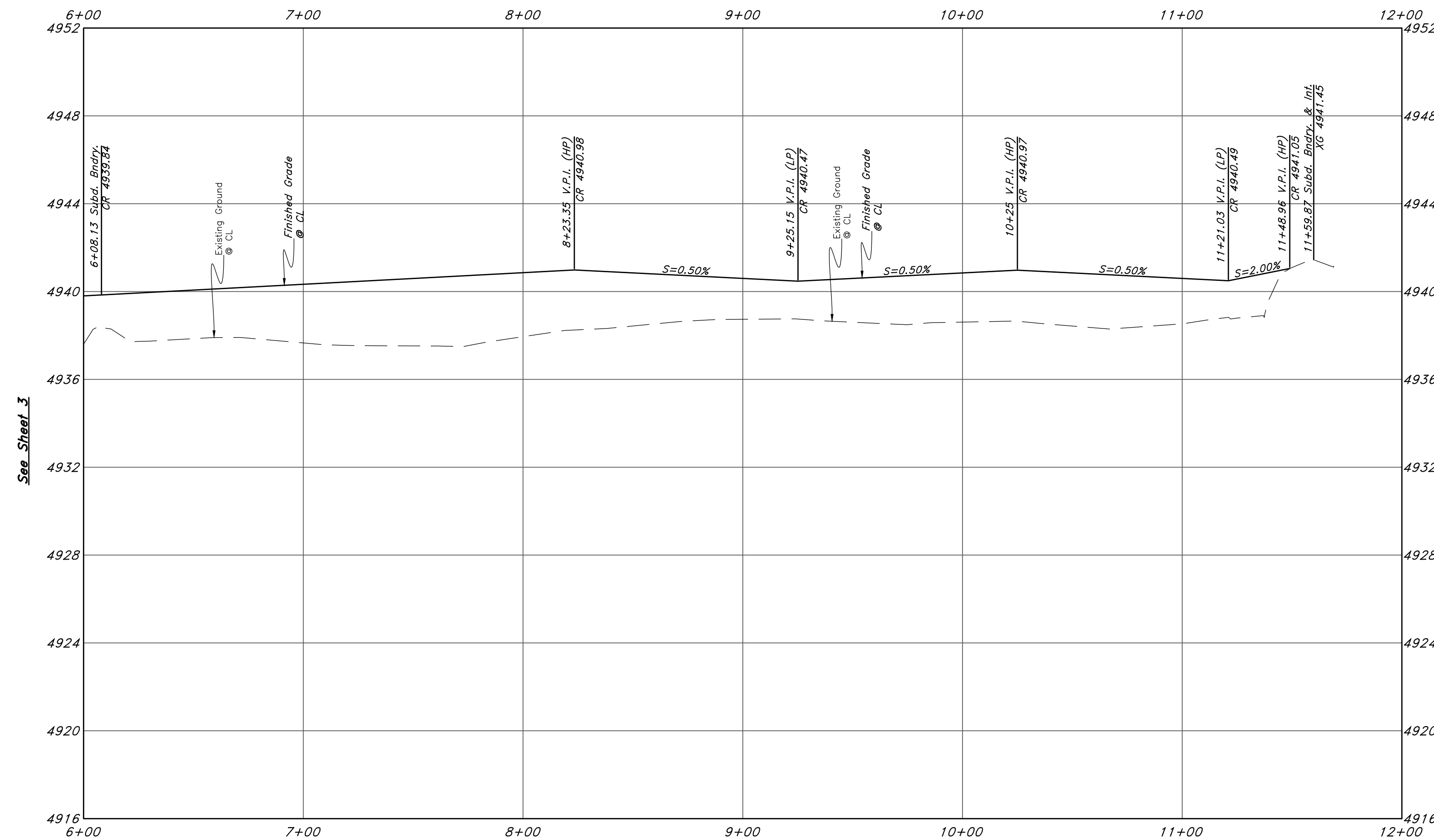


# 700 North Street

## Legend

(Note: All items may not appear on drawing)

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- Storm Drain Manhole
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
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- Heavy Duty Asphalt
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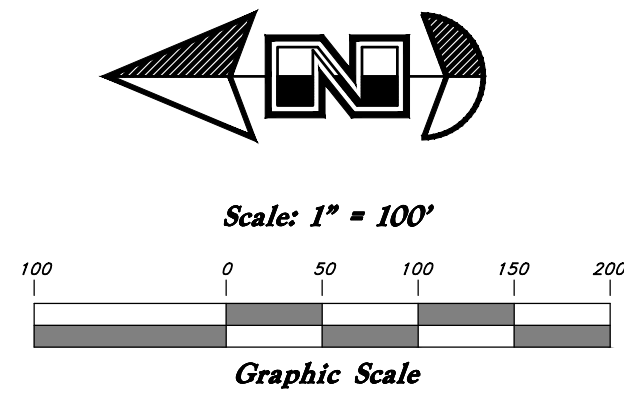
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4 Feb, 2019  
 SHEET NO.  
**3**  
 1-800-662-4111  
 16N733 - AM

TENTATIVE FINAL





**GENERAL GRADING NOTES:**

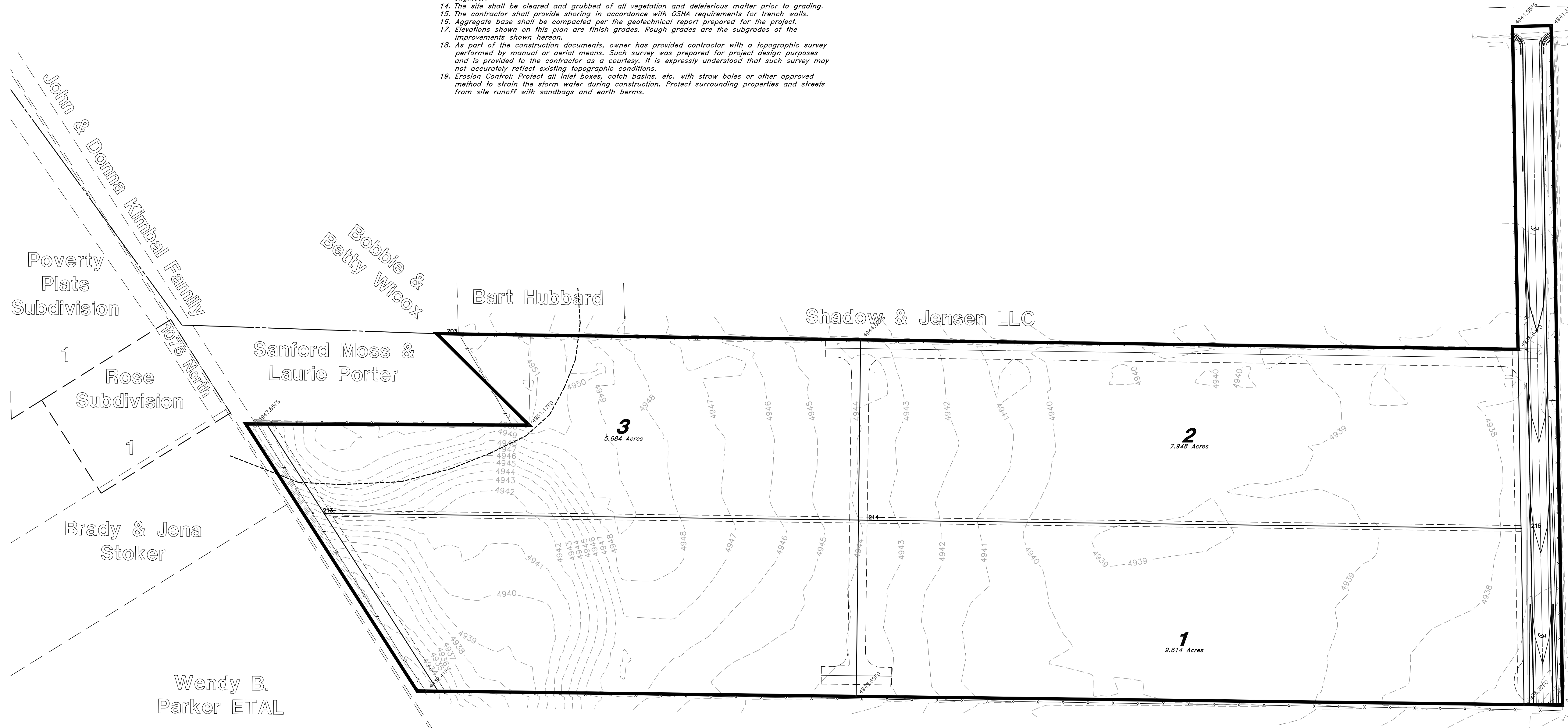
- All work shall be in accordance with the County Public Works Standard.
- Cut slopes shall be no steeper than 2 horizontal to 1 vertical.
- Fill slopes shall be no steeper than 2 horizontal to 1 vertical.
- Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by the geotechnical engineer.
- Areas to receive fill shall be properly prepared and approved by the County Inspector and geotechnical Engineer prior to placing fill.
- Fills shall be benched into competent material as per specifications and geotechnical report.
- All trench backfill shall be tested and certified by the site geotechnical engineer per the grading code.
- A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
- The final compaction report and certification from the geotechnical engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
- Dust shall be controlled by watering.
- The location and protection of all utilities is the responsibility of the permittee.
- Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading project.
- All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the county engineer.
- The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
- The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
- Aggregate base shall be compacted per the geotechnical report prepared for the project.
- Elevations shown on this plan are finish grades. Rough grades are the subgrades of the improvements shown hereon.
- As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
- Erosion Control: Protect all inlet boxes, catch basins, etc. with straw bales or other approved method to strain the storm water during construction. Protect surrounding properties and streets from site runoff with sandbags and earth berms.

**CURB AND GUTTER CONSTRUCTION NOTES:**

- Open face gutter shall be constructed where drainage is directed away from curb.
- Open face gutter locations are indicated by shading and notes on site and grading plan.
- It is the responsibility of the surveyor to adjust top of curb grades at the time construction staking.
- Refer to the typical details for a standard and open face curb and gutter for dimensions.
- Transitions between open face and standard curb and gutter are to be smooth. Hand form these areas if necessary.

**ADA NOTES:**

Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If grades on plans do not meet this requirement notify Consultants immediately. The Client, Contractor, and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of the ADA and/or FHAA.



**LEGEND**

—C—	Centerline
-UGT-	Buried Telephone line
-OHT-	Overhead Telephone line
-OHP-	Overhead Power line
-UGP-	Power line
-S-	Sanitary Sewer line
-W-	Culinary Water line
-G-	Gas line
-SD-	Storm Drain line
-SW-	Secondary Waterline
-LD-	Land Drain line
-IW-	Irrigation Waterline
-X-X-	Fence
•	Post
⊙	Water Meter
⊙	Gas Meter
⊙	Power Meter
⊙	Telephone Box
⊙	Sewer Manhole
⊙	Drain Manhole
⊙	Water Manhole
⊙	Cleanout Box
TA	Top of Asphalt
EA	Edge of Asphalt
NC	Natural Ground
LG	Lip of Gutter
SP	Service Pole
LP	Light Pole
PP	Power Pole
TP	Telephone Pole
FH	Fire Hydrant
DIT	Flowline of Ditch
TOE	Toe of Slope
TOP	Top of Slope
CO	Cleanout
FC	Fence
FLW	Flowline
DMH	Drain Manhole
x99.00	Spot Elevation
—	Contour
Asphalt	Asphalt
Concrete	Concrete
Building	Building
Catch Basin	Catch Basin
C.M.P.	Corrugated Metal Pipe
R.C.P.	Reinforced Concrete Pipe
CONC	Edge of Concrete
RWALL	Retaining Wall
SMH	Sewer Manhole
WV	Water Valve
CB	Catch Basin
DV	Diversion Box
TC	Top of Curb
SW	Sidewalk
GUY	Gas line Marker
BLDG	Building Corner
NG	Natural Ground
WV	Water Valve
LP	Light Pole
•	Power Pole w/guy
⊙	Deciduous Tree
⊙	Coniferous Tree
ARP	Area Reference Plat
LS	Building Columns
LS	Landscaping

**CAUTION NOTICE TO CONTRACTOR**  
 The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.

**PRIVATE ENGINEER'S NOTICE TO CONTRACTORS**  
 The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

**GREAT BASIN ENGINEERING**  
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 801.392.7544  
 WWW.GREATBASINENGINEERING.COM

**Grading Plan**  
**Shepherd Estates Subdivision**  
 Approximately 1075 North 7800 East  
 Huntsville City, Weber County, Utah  
 A part of Section 7, T6N, R2E, SLB&M, U.S. Survey

REV	DATE	DESCRIPTION

4 Feb, 2019  
 SHEET NO.  
**5**  
 1-800-662-4111

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