



# Land Use Permit

## Weber County Planning Commission

2380 Washington Blvd. STE 240  
Ogden, UT 84401  
Phone: (801) 399-8791 FAX: (801) 399-8862  
webercountyutah.gov/planning

**Permit Number: LUP36-2019**

Permit Type: Structure  
Permit Date: 01/25/2019

### Applicant

**Name:** Kandis  
**Business:**Roper Buildings  
**Address:**  
, UT  
**Phone:** 801-689-3630

### Owner

**Name:** Bryce Froerer  
**Business:**  
**Address:** 8273 E Cottonwood Ln  
Huntsville, UT 84310  
**Phone:** 801-510-1089

### Parcel

**Parcel:** 210660003  
**Zoning:**FV-3 **Area:** 5.38 **Sq Ft:** **Lot(s):** 3 **Subdivision:** Cottonwood Rivers Sub  
**Address:** 8273 E COTTONWOOD LN HUNTSVILLE, UT 84317 **T - R - S - QS:** 6N - 2E - 20 - NE

### Proposal

<b>Proposed Structure:</b> Pole Barn Ag Ex	<b>Building Footprint:</b> 1440
<b>Proposed Structure Height:</b> 24	<b>Max Structure Height in Zone:</b> 25
<b># of Dwelling Units:</b> 1	<b># of Accessory Bldgs:</b> 3
<b># Off Street Parking Req'd:</b>	<b>*Is Structure &gt; 1,000 Sq. Ft?</b> No
	<b>*If True Need Certif. Statement</b>

### Permit Checklist

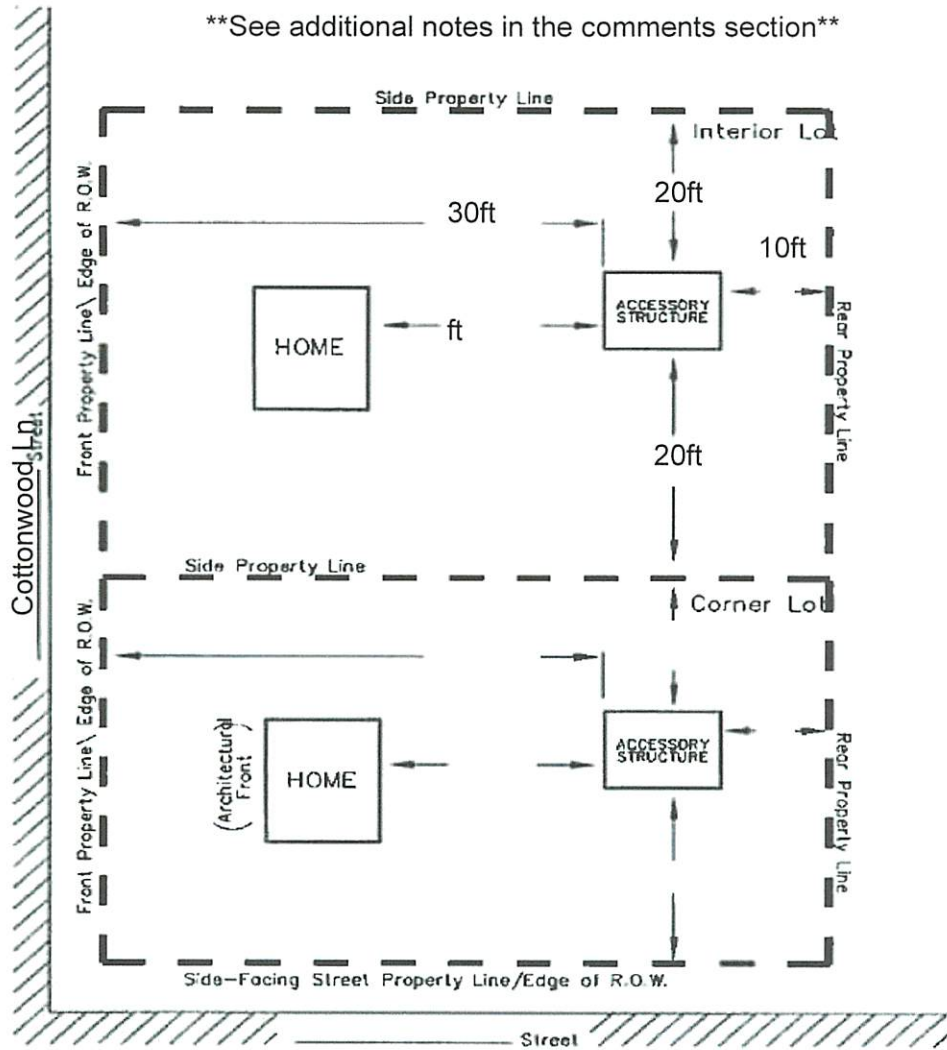
<b>Access Type:</b> Public Own Front	<b>Alternative Access File #</b>
<b>Greater than 4218 ft above sea level?</b> Yes	<b>Wetlands/Flood Zone?</b> No
<b>Additional Setback Req'd. ?</b> No	<b>Meet Zone Area Frontage?</b> Yes
<b>&gt; 200 ft from paved Road?</b> Yes	<b>Hillside Review Req'd?</b> No
<b>Culinary Water District:</b>	<b>Waste Water System:</b>

### Comments

Land use requirements have been met for this large accessory structure pole barn. The owner has completed the Weber County Agricultural Building Permit Exemption Application and has shown compliance with requirements.

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### Structure Setback Graphic: Storage Shed, Detached Garage, Etc.



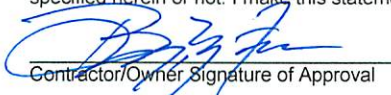
## MINIMUM YARD SETBACKS Storage Shed, Detached Garage, Etc.

### NOTICE FOR APPLICANT (Please Read Before Signing)

Proposals for the installation of an individual water supply and for a sanitary waste disposal system (septic tank) for any structure designed for human occupation must be approved by Weber County Health Department prior to installation.

Felix Lleverino                      01/25/2019  
 Planning Dept. Signature of Approval                      Date

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this land use will be complied with whether specified herein or not. I make this statement under penalty of perjury.

                      2/4/2019  
 Contractor/Owner Signature of Approval                      Date