

ORDINANCE NUMBER 2018-15

AN ORDINANCE AMENDING THE WEBER COUNTY ZONING MAP TO REZONE PROPERTY ON  
7500 WEST FROM A-3 TO A-2

**WHEREAS**, the Weber County Board of Commissioners have adopted a zoning map for the unincorporated areas of Weber County; and

**WHEREAS**, the Weber County Board of Commissioners have received an application to amend the adopted zoning map for certain properties along 7500 West; and

**WHEREAS**, after a duly noticed public hearing, the Western Weber Planning Commission have given a favorable recommendation for the zoning map amendment to the Weber County Board of Commissioners; and

**WHEREAS**, after a duly noticed public hearing, the Weber County Board of Commissioners have determined that the zoning map amendment complies with the intent of the West Central Weber County General Plan; and

**WHEREAS**, the Board of Weber County Commissioners have also determined that the proposed zoning map amendment is not detrimental to the health, safety, and general welfare of the area; and

**WHEREAS**, the Board of Weber County Commissioners have determined that this is an appropriate time and this is an appropriate location for the proposed zoning map amendment; and

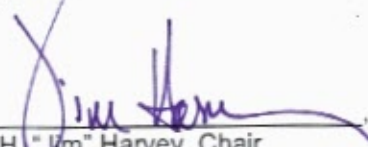
**WHEREAS**, as part of their consideration, the Weber County Board of Commissioners have determined that strict compliance with a concept plan is unnecessary to facilitate the intent of the general plan or the purpose and intent of the existing or proposed new zone;

**NOW THEREFORE**, the Weber County Board of Commissioners ordains an amendment to the Weber County Zoning Map to rezone property from the A-3 zone to the A-2 zone at approximately 1935 South, 7500 West. The graphic representation of the rezone is included and incorporated herein as Exhibit A. The legal description of the rezone is included as Exhibit B. In the event there is conflict between the two, the graphic representation shall prevail. In the event the legal description is found by a licensed surveyor to be invalid or incorrect, the corrected legal description shall prevail as the description herein, if recommended by the County Surveyor. The rezone shall extend to the centerline of the pavement of 7500 West along the entire frontage of the properties.




This ordinance shall become effective fifteen (15) days after publication.

Passed, adopted, and ordered published this 11<sup>th</sup> day of September, 2018, by the Weber County Board of Commissioners.

BOARD OF COUNTY COMMISSIONERS OF WEBER COUNTY

By , James  
H. "Jim" Harvey, Chair

Commissioner Harvey voted  
Commissioner Ebert voted  
Commissioner Jenkins voted

ATTEST:


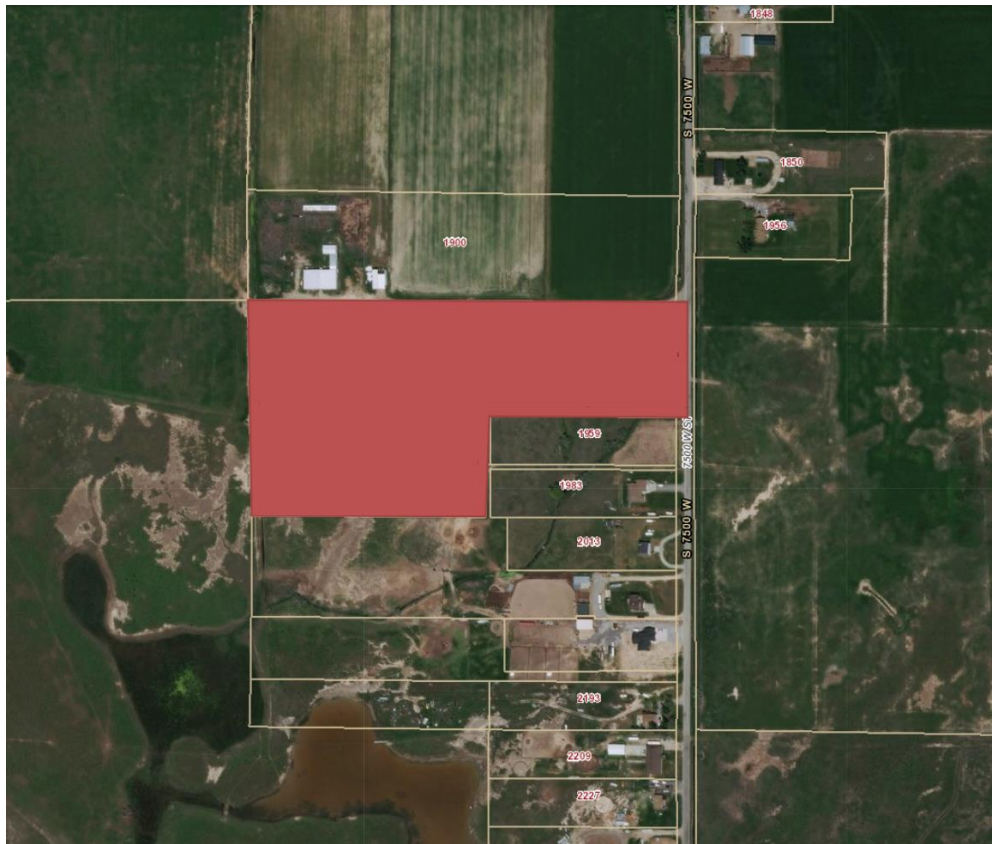
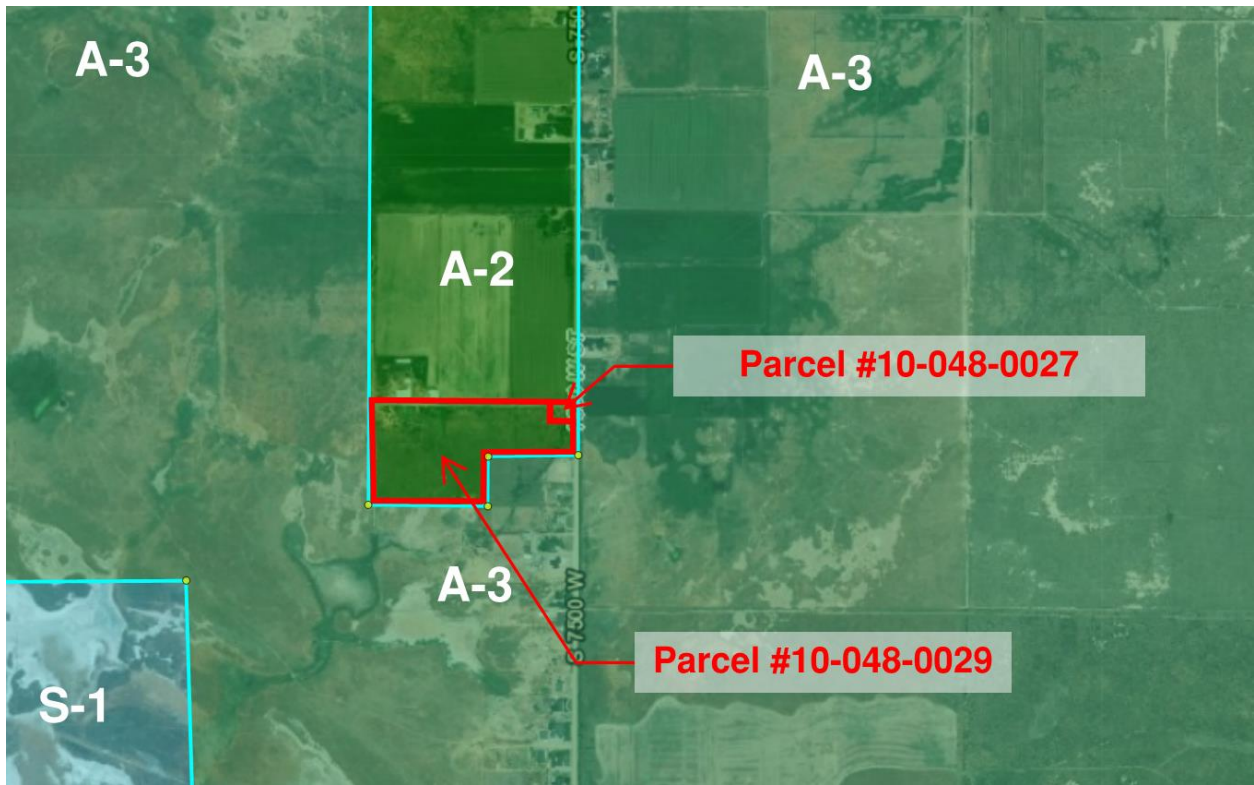
  
Ricky Hatch, CPA  
Weber County Clerk/Auditor

Exhibit A

Graphic Representations  
Rezoning from A-3 to A-2



**Exhibit B**

**Legal Descriptions  
Rezoning from A-3 to A-2**

**Parcel #10-048-0029:**

PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 6 NORTH, RANGE 3 WEST, SALT LAKE MERIDIAN: BEGINNING AT THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER SECTION, THENCE SOUTH 495 FEET, THENCE WEST 595.80 FEET; THENCE SOUTH 165 FEET, THENCE WEST 724.20 FEET, THENCE NORTH 660 FEET, THENCE EAST 1320 FEET TO POINT OF BEGINNING. TOGETHER WITH A RIGHT OF WAY FOR INGRESS AND EGRESS OVER THE FOLLOWING: BEGINNING AT A POINT 1815 FEET SOUTH FROM THE NORTHEAST CORNER OF SAID SECTION 27, AND RUNNING THENCE SOUTH 15 FEET; THENCE WEST 595.8 FEET; THENCE NORTH 15 FEET; THENCE EAST 595.8 FEET TO THE POINT OF BEGINNING. EXCEPTING THEREFROM: RESERVING A LIFE ESTATE TO THE GRANTOR FOR THE FOLLOWING DESCRIBED PARCEL ONLY: BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 6 NORTH, RANGE 3 WEST, SALT LAKE BASE & MERIDIAN, AND RUNNING THENCE WEST 150 FEET ALONG THE NORTH LINE OF SAID QUARTER QUARTER, THENCE SOUTH 150 FEET, THENCE EAST 150 FEET TO THE EAST LINE OF SAID QUARTER QUARTER THENCE NORTH 150 FEET TO THE POINT OF BEGINNING. (E#2711391) LESS AND EXCEPT: DAVIS MEATS SUBDIVISION. PG 155

**Parcel # 10-048-0027:**

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 6 NORTH, RANGE 3 WEST, SALT LAKE BASE & MERIDIAN, AND RUNNING THENCE WEST 150 FEET ALONG THE NORTH LINE OF SAID QUARTER QUARTER, THENCE SOUTH 150 FEET, THENCE EAST 150 FEET TO THE EAST LINE OF SAID QUARTER QUARTER THENCE NORTH 150 FEET TO THE POINT OF BEGINNING. LIFE ESTATE (E#2711391) [NOTE: A DIVISION OF PROPERTY TOOK PLACE ON THIS PARCEL WITHOUT WRITTEN AUTHORIZATION AS REQUIRED BY UCA TITLE 10, CHAPTER 9a, PART 6.] [NOTE: BECAUSE THE DESCRIPTION OF RECORD DID NOT CONTAIN AN AREA FOR THIS PARCEL THE AREA FOR THIS PARCEL WAS CALCULATED BY THE RECORDERS OFFICE FOR TAX PURPOSES.]