



W E L C O M E T O

WEBER COUNTY

A stylized landscape illustration within a purple oval border. The scene features a yellow sun on the left, purple mountains, a blue river, and a grey building on the right. The foreground is dominated by a large, rounded hill with vertical stripes in shades of green and yellow. The background consists of grey, angular shapes representing distant mountains or hills.

WESTERN WEBER

EXPLORING OUR FUTURE

W



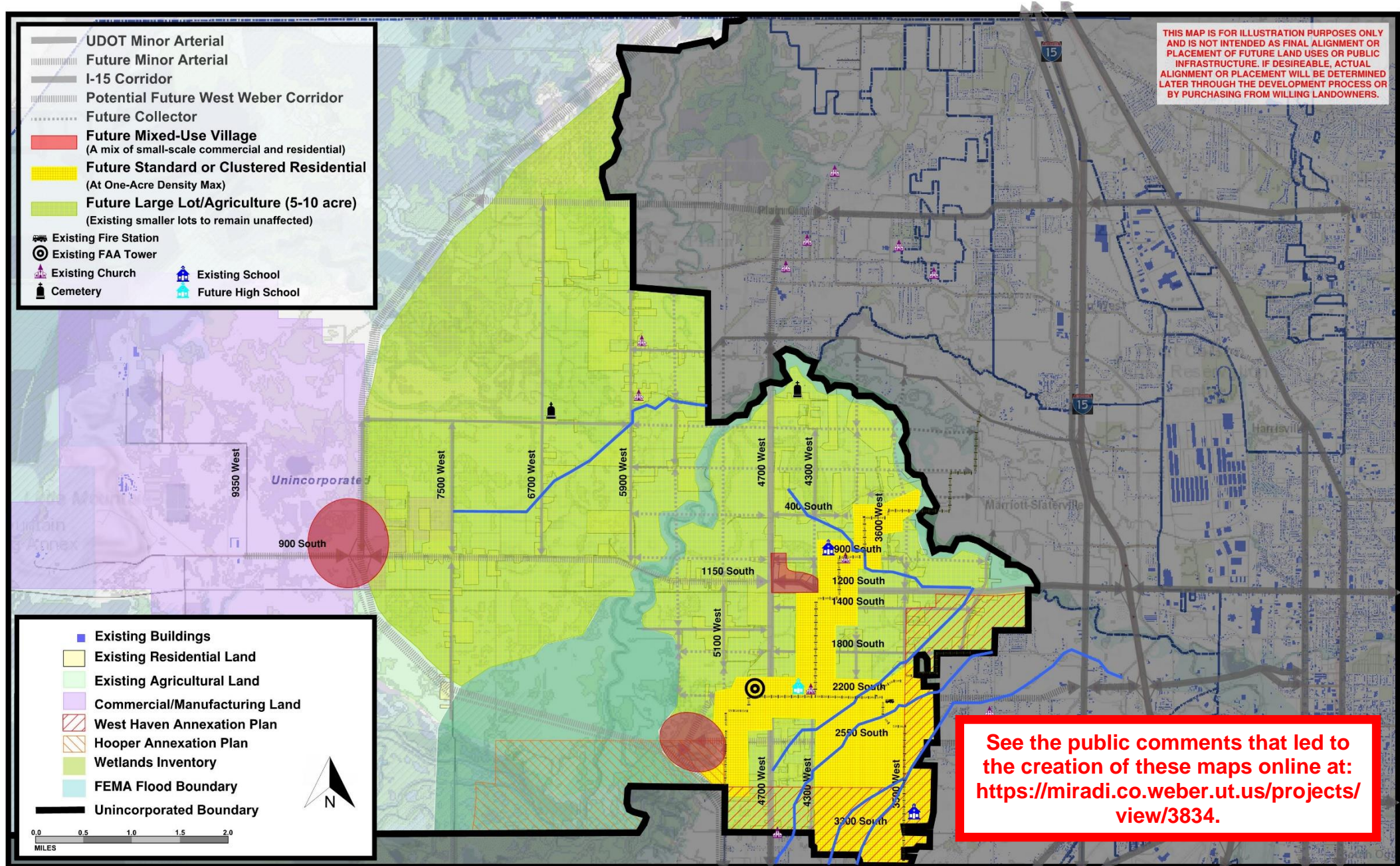
ER

EXP

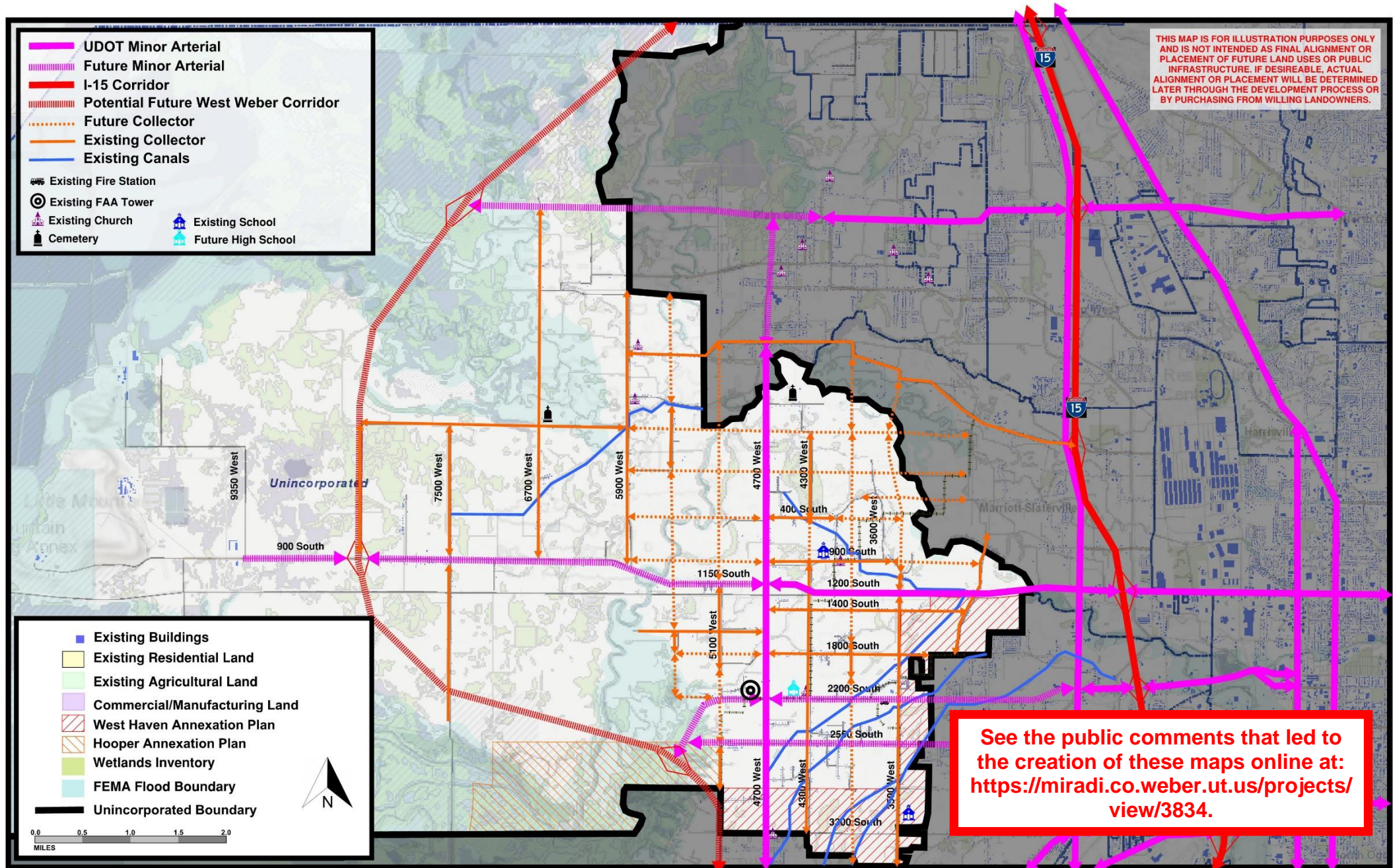
TURE

Maps Review

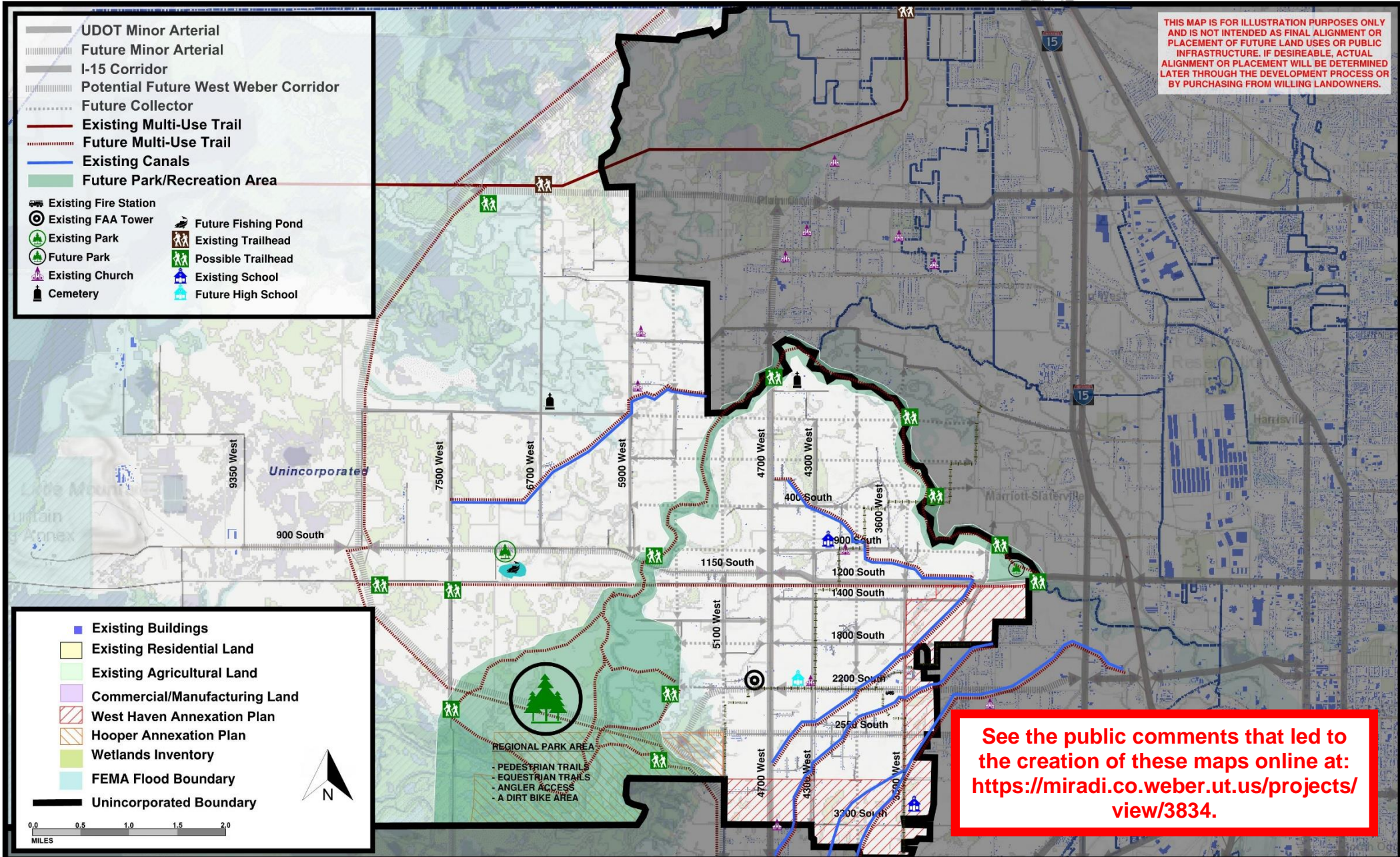
DRAFT LAND USE MAP



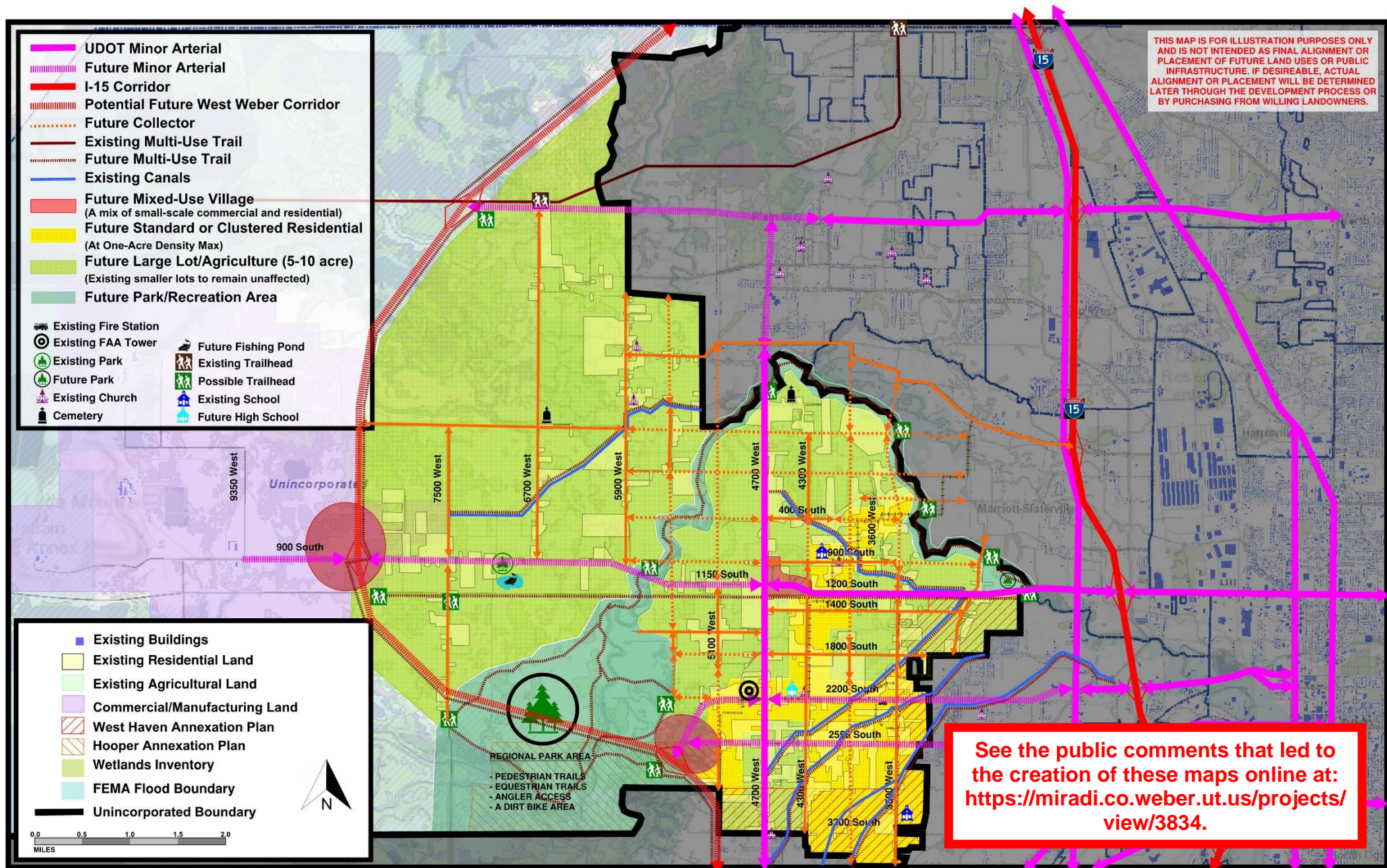
DRAFT TRANSPORTATION MAP



DRAFT PARKS AND RECREATION MAP



DRAFT COMBINATION MAP



Survey Review



Criticism:

The survey was too biased toward developers.

Presenter comments: The survey was indeed biased, but not necessarily toward developers. The survey was biased toward existing property rights and existing property owners. We as professional planners, and you as a citizen planners, have a legal and social responsibility to uphold the land rights that run with property and are a result of existing zoning and development regulations. Because the law currently allows an additional 16,000 dwelling units to be built on the lands of Western Weber County, we would be burying our heads in the sand if we tried to ignored them. Ignoring them does not cause them to go away. It just causes them to be created without our supervision, foresight, and community character in mind. Instead, it is our duty at this time to figure our how to best plan for them so we do not lose too much community character. For those who continue to say "allow not changes" you are in essence saying "do nothing." And if we do nothing, you will see the rights to those 16,000 dwelling units built however the developers choose to build them, and not how you would otherwise rather see them built. With this explanation hopefully it can be better understood that this is not about pandering to developers. Quite the contrary.

Presenter comments:

The following slides show the responses to Survey #2. This survey was distributed in paper form in Meeting #2 after a presentation about the facts of current development trends was given by County staff. The survey was then distributed online for a wider audience to respond. The responses from those in the meeting versus those who took the survey without the presentation are a little different.

Based on the written comments given for each survey question, it appears that a large number of online respondents misunderstand two fundamental principles that those who were present for the meeting do not:

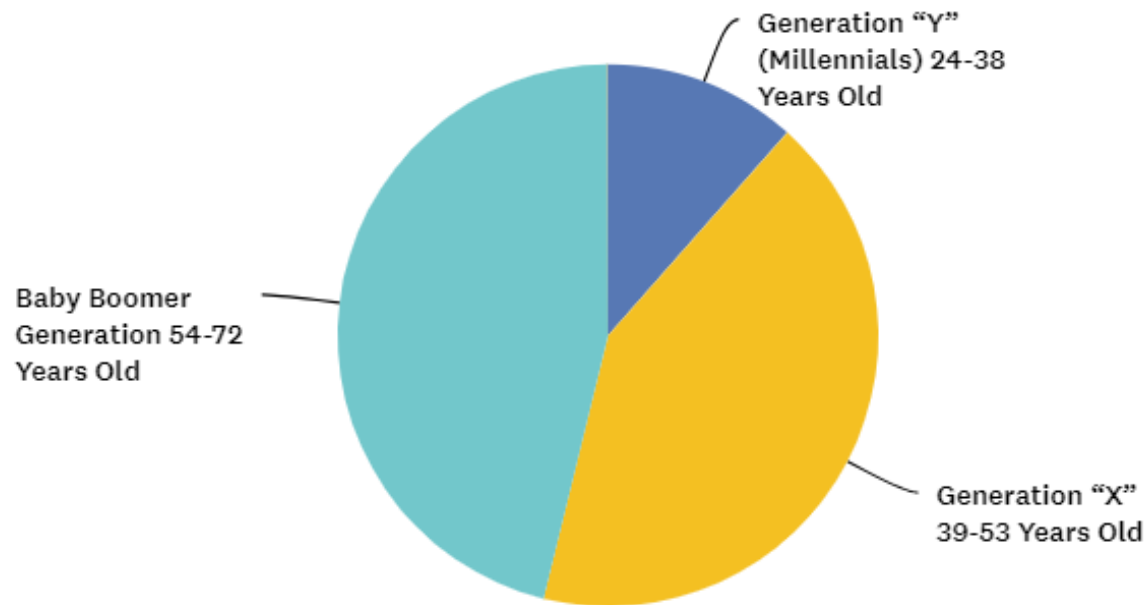
1) That even though the houses do not yet exist, the rights to build about 16,000 houses do exist throughout unincorporated Western Weber County. They've existed since at least the 1958 adoption of zoning laws. Those rights are not easily (or cheaply) taken away.

2) That development is the market's response to supply and demand and not within the County's legal authority to arbitrarily deny if it complies with the law.

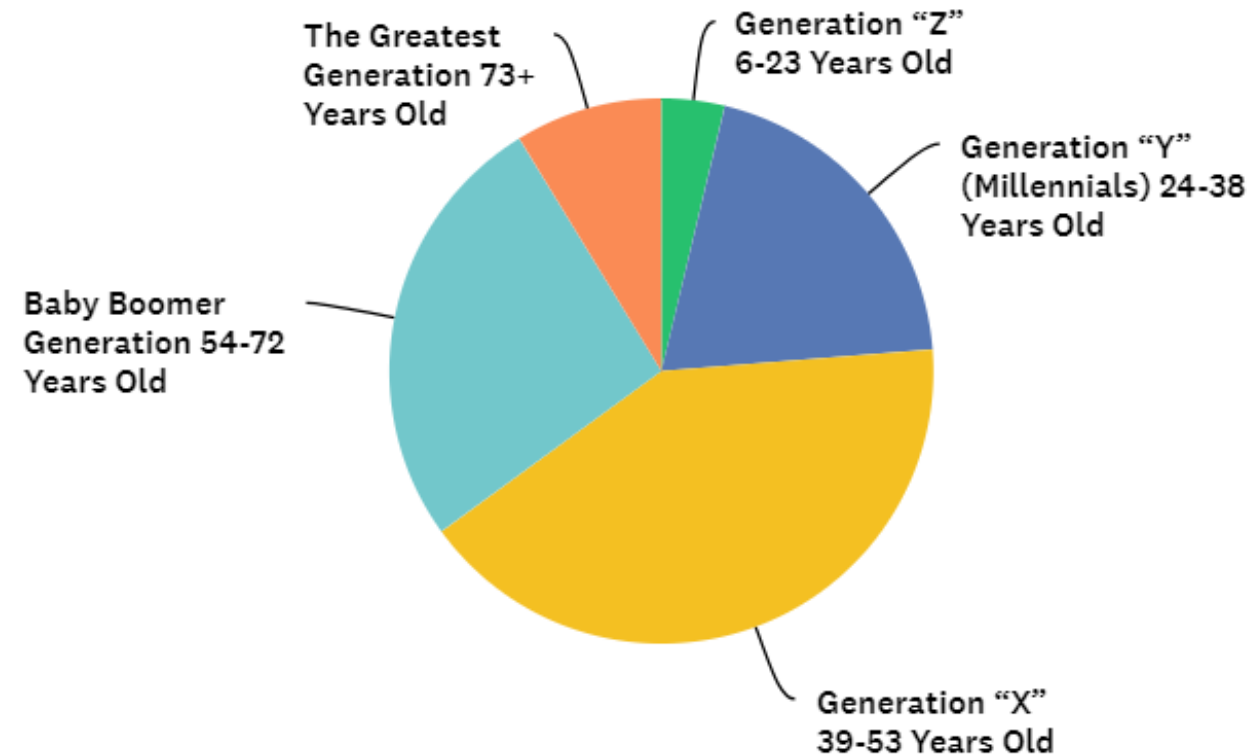
Given the difference in responses from those who were informed (in the meeting) and those who were not (online) the following slides show responses from both groups separately. To see all responses together please review the survey document under the "files" tab here: <https://miradi.co.weber.ut.us/projects/view/3834>.

What is your generation?

Meeting participants:

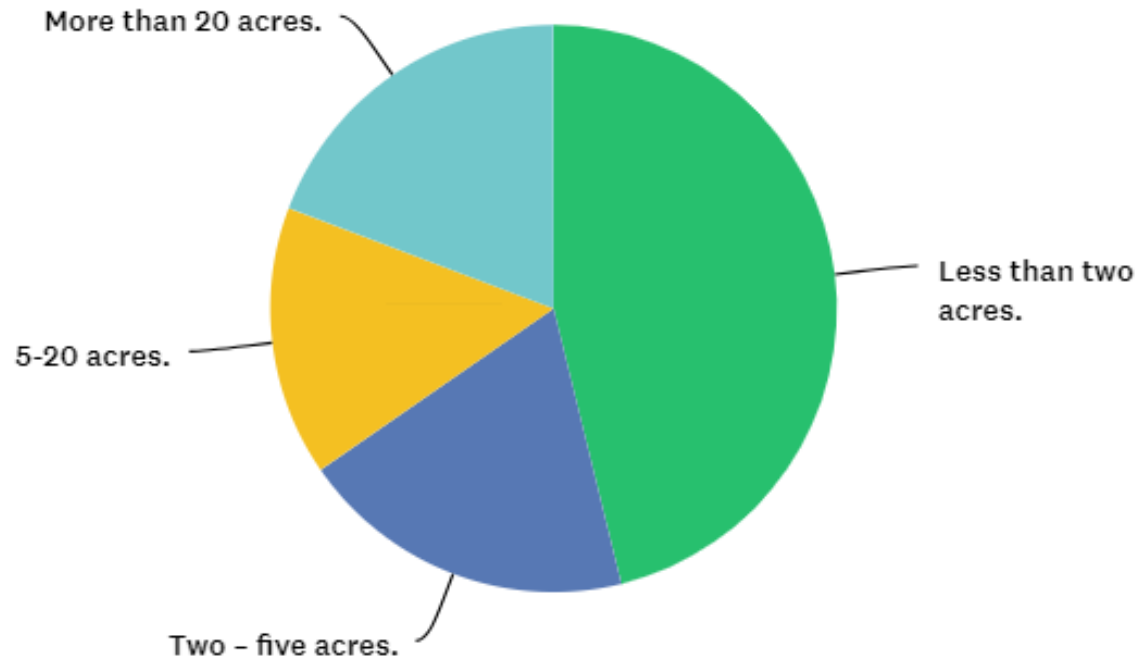


Online responses:

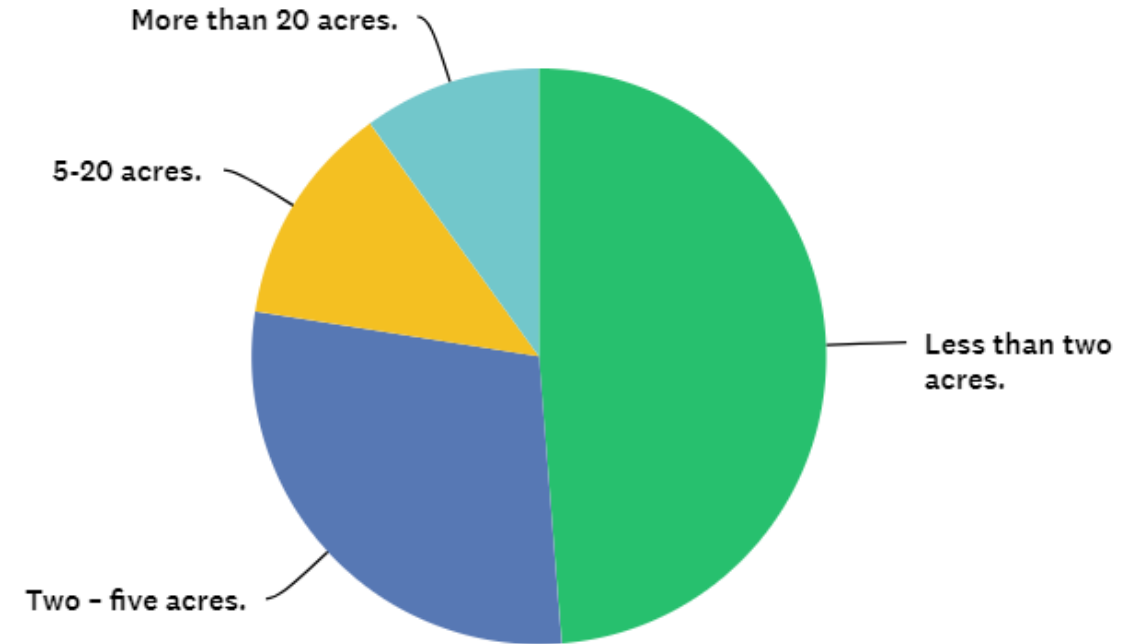


How many acres do you currently own in the unincorporated part of Western Weber County?

Meeting participants:

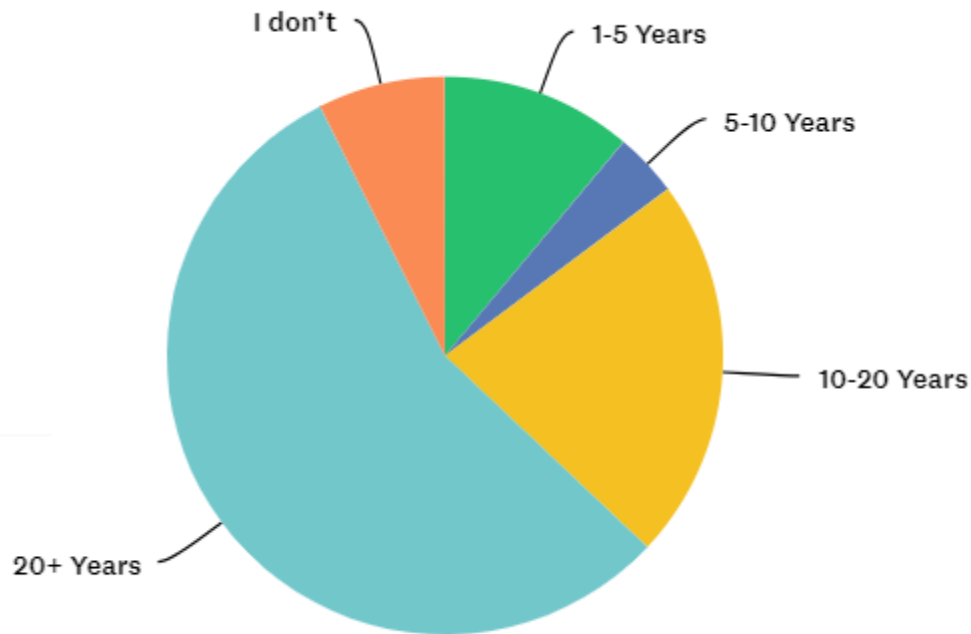


Online responses:

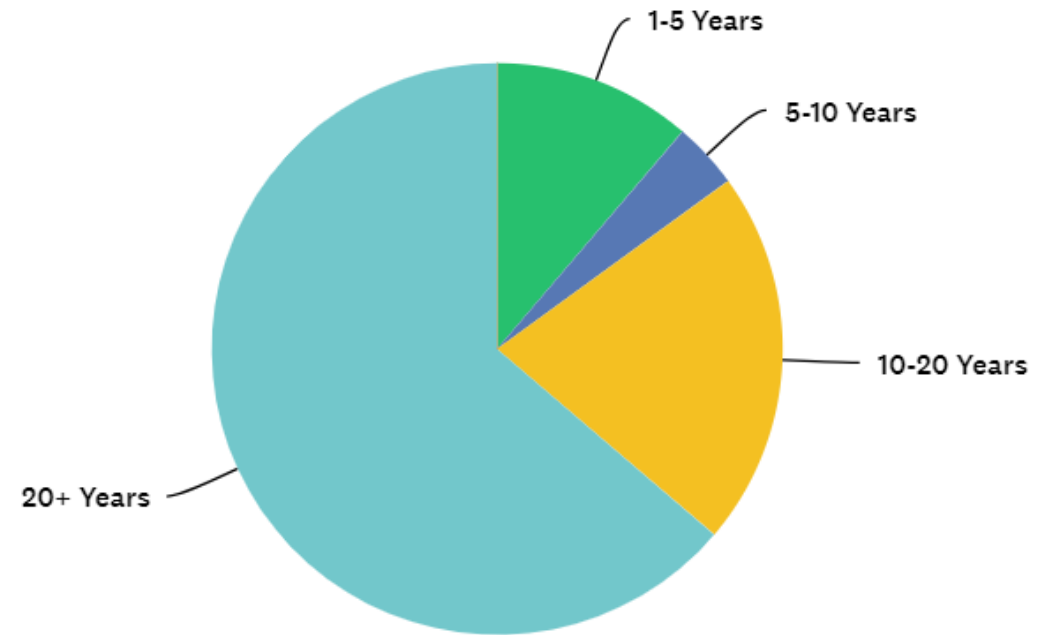


How long have you lived in Western Weber County?

Meeting participants:

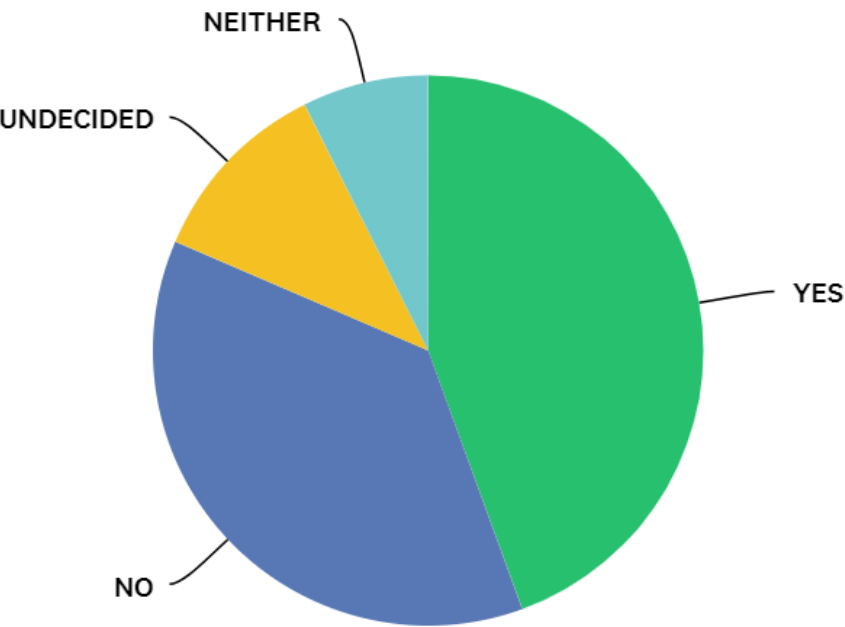


Online responses:

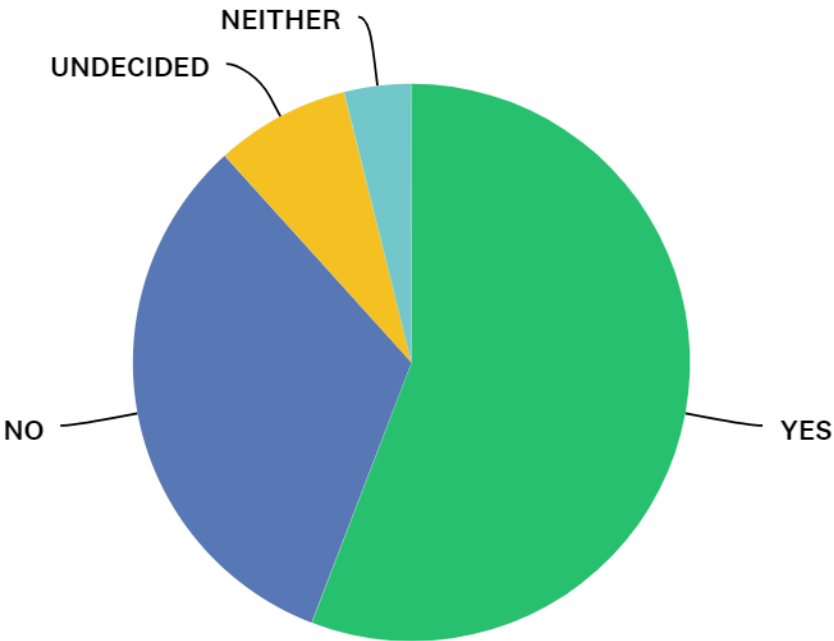


Would you favor downzoning land (significantly reducing development rights by increasing the minimum lot acreage) in your neighborhood?

Meeting participants:

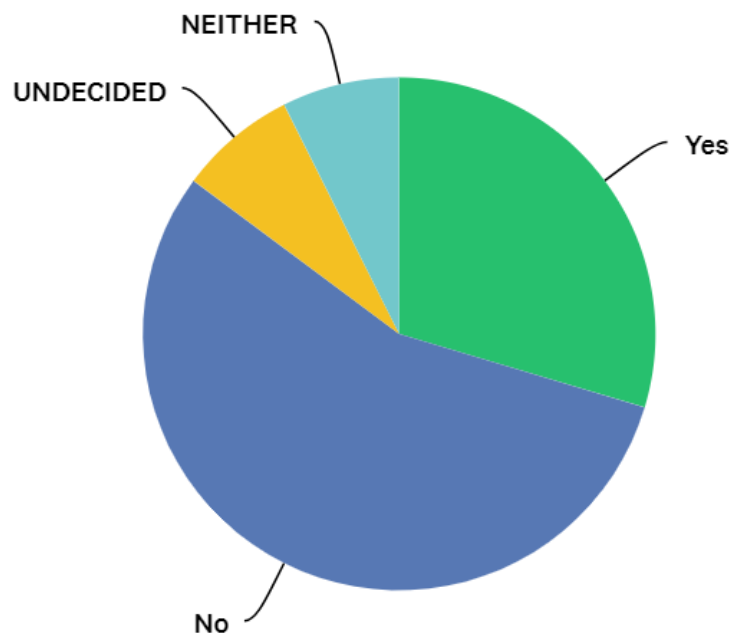


Online responses:

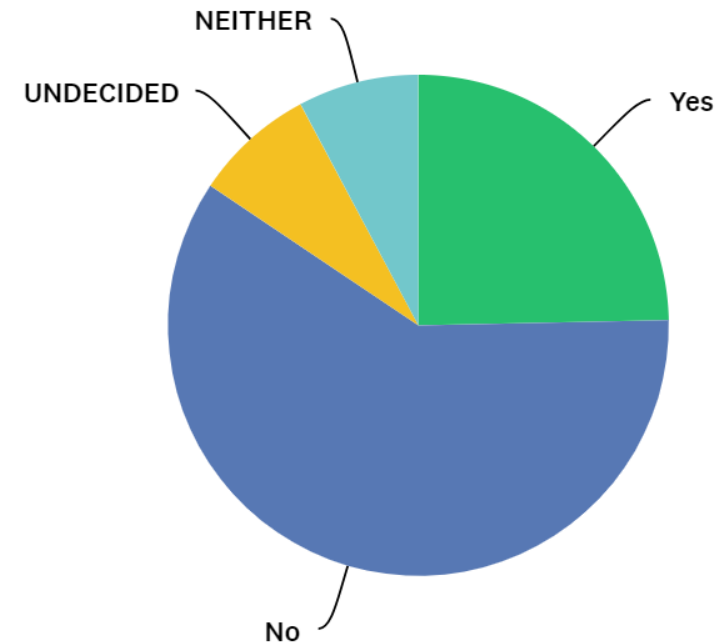


Would you rather development be clustered into smaller lots if it preserves open space and agriculture?

Meeting participants:

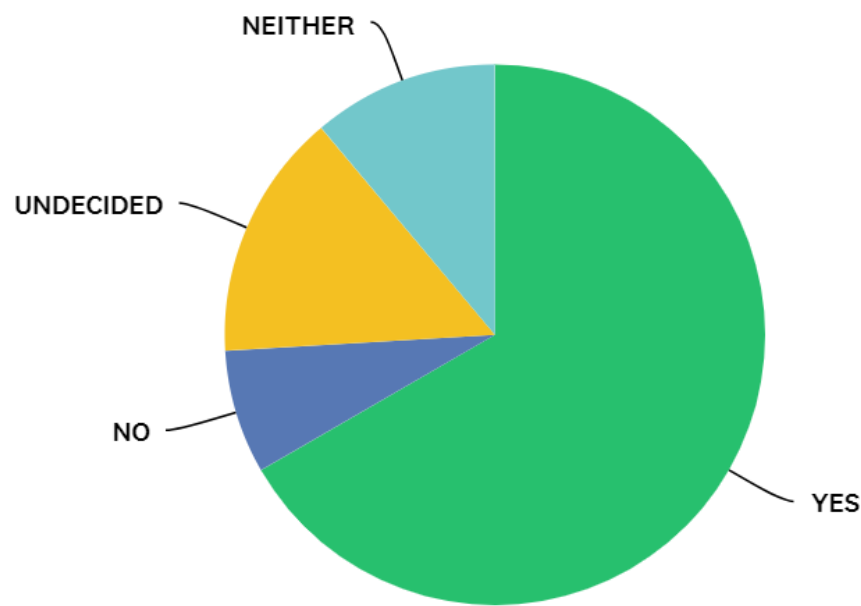


Online responses:

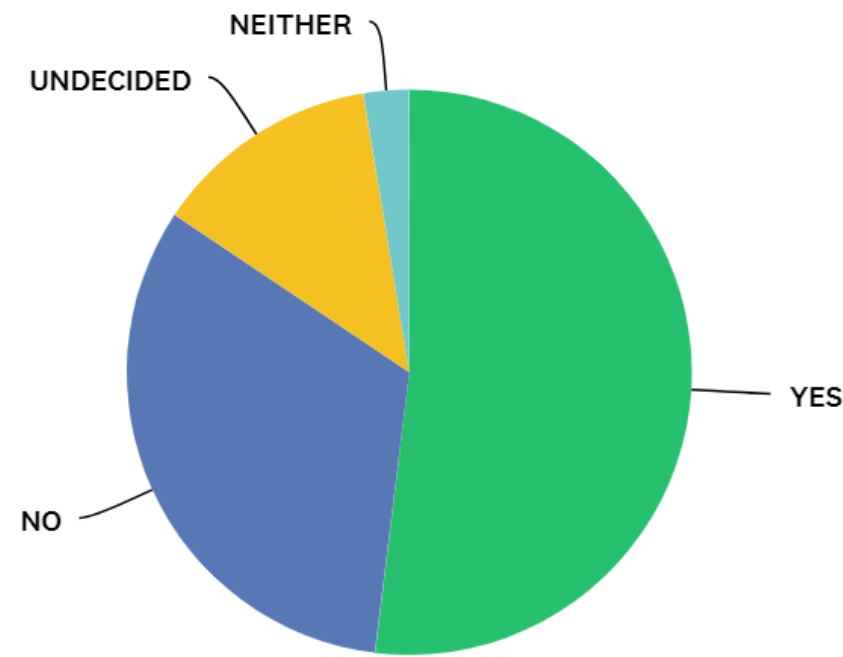


Are there areas in your community that are better suited for residential uses than others?

Meeting participants:



Online responses:

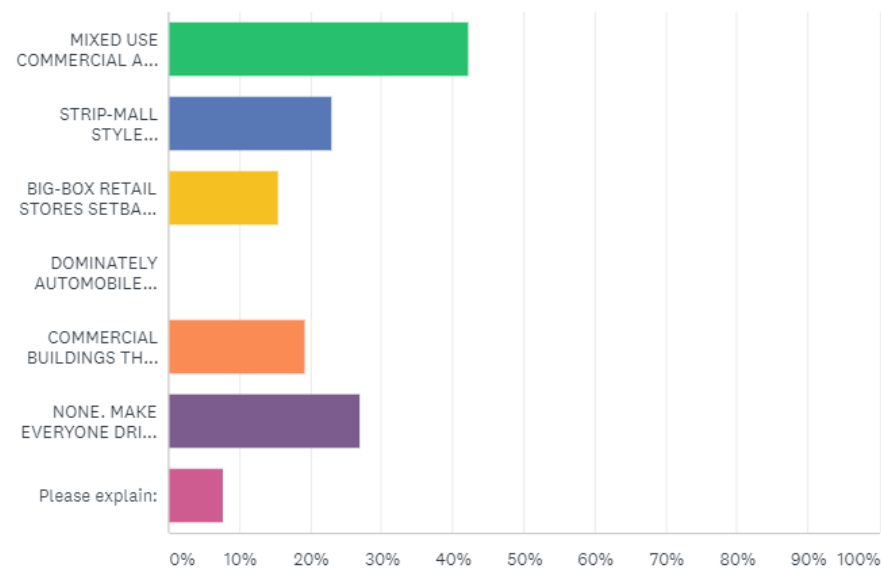


ANSWER CHOICES	RESPONSES
YES	66.67%
NO	7.41%
UNDECIDED	14.81%
NEITHER	11.11%

ANSWER CHOICES	RESPONSES
YES	51.95%
NO	32.47%
UNDECIDED	12.99%
NEITHER	2.60%

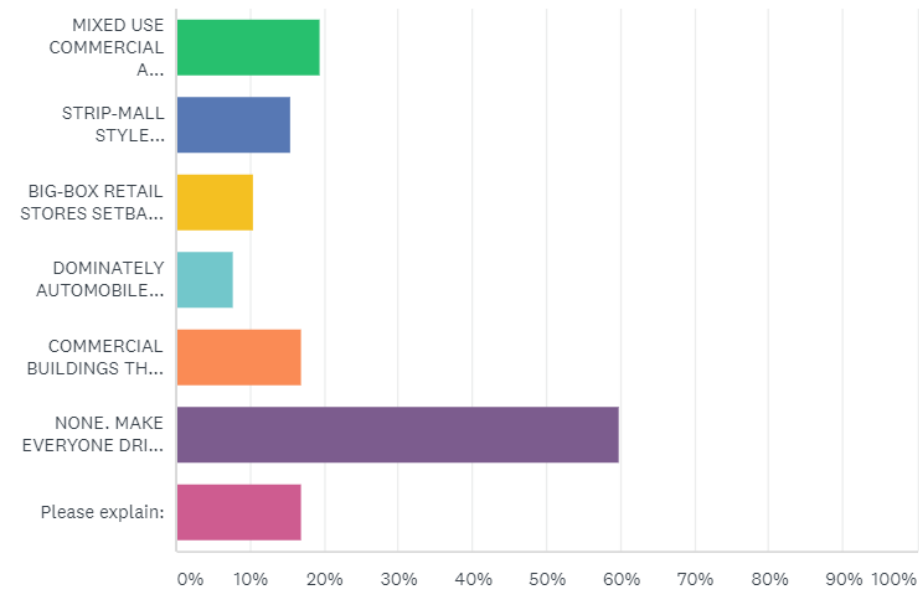
If 16,000 new future dwelling units end up being unavoidable then there will need to be services for them. Which of the following commercial development types would you favor?

Meeting participants:



ANSWER CHOICES	RESPONSE
MIXED USE COMMERCIAL AND RESIDENTIAL VILLAGES IN A COMPACT FOOTPRINT AND NOT SPREAD OUT.	42.31%
STRIP-MALL STYLE COMMERCIAL LINING MAJOR STREETS.	23.08%
BIG-BOX RETAIL STORES SETBACK FAR FROM THE STREET.	15.38%
DOMINATELY AUTOMOBILE ORIENTED COMMERCIAL, LIKE DRIVE-THROUGHS AND RETAIL THAT REQUIRES BIG PARKING AREAS.	0.00%
COMMERCIAL BUILDINGS THAT ARE CLOSE TO THE STREET AND CLOSE TO EACHOTHER; STREET PARKING AND REAR-BUILDING PARKING; WALKABLE STREETS WITH PUBLIC GATHERING PLACES.	19.23%
NONE. MAKE EVERYONE DRIVE SOMEWHERE ELSE.	26.92%

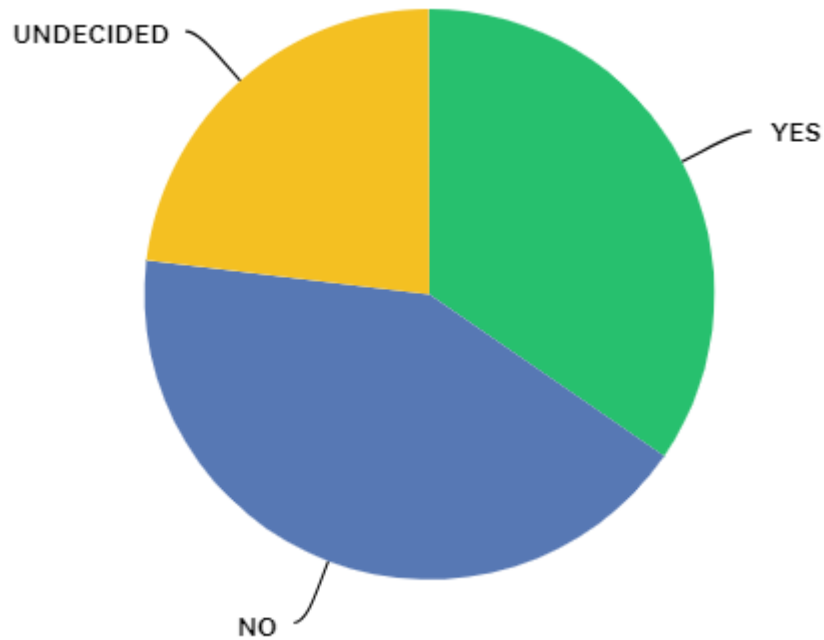
Online responses:



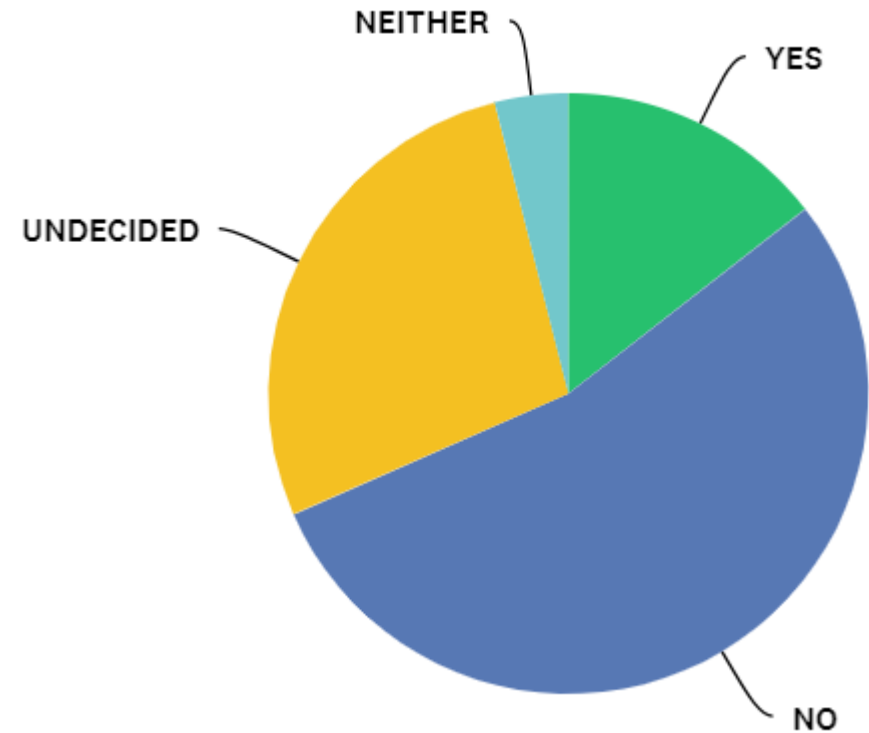
ANSWER CHOICES	RESPONSE
MIXED USE COMMERCIAL AND RESIDENTIAL VILLAGES IN A COMPACT FOOTPRINT AND NOT SPREAD OUT.	19.48%
STRIP-MALL STYLE COMMERCIAL LINING MAJOR STREETS.	15.58%
BIG-BOX RETAIL STORES SETBACK FAR FROM THE STREET.	10.39%
DOMINATELY AUTOMOBILE ORIENTED COMMERCIAL, LIKE DRIVE-THROUGHS AND RETAIL THAT REQUIRES BIG PARKING AREAS.	7.79%
COMMERCIAL BUILDINGS THAT ARE CLOSE TO THE STREET AND CLOSE TO EACHOTHER; STREET PARKING AND REAR-BUILDING PARKING; WALKABLE STREETS WITH PUBLIC GATHERING PLACES.	16.88%
NONE. MAKE EVERYONE DRIVE SOMEWHERE ELSE.	59.74%

The manufacturing area at Little Mountain is currently removed from quality transportation systems and other services. Would you favor more manufacturing or industrial areas elsewhere in Western Weber County to offset the demand on the Little Mountain area?

Meeting participants:

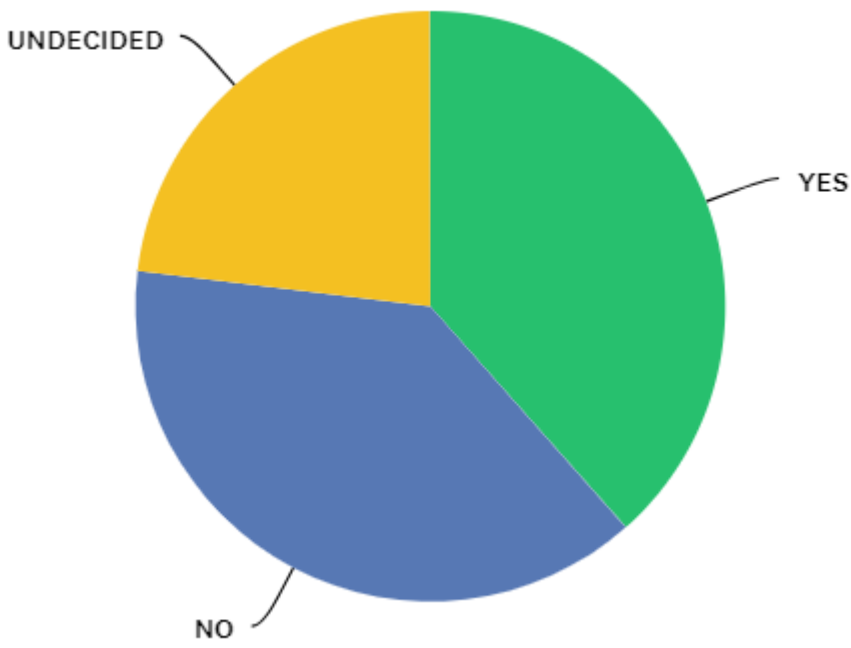


Online responses:

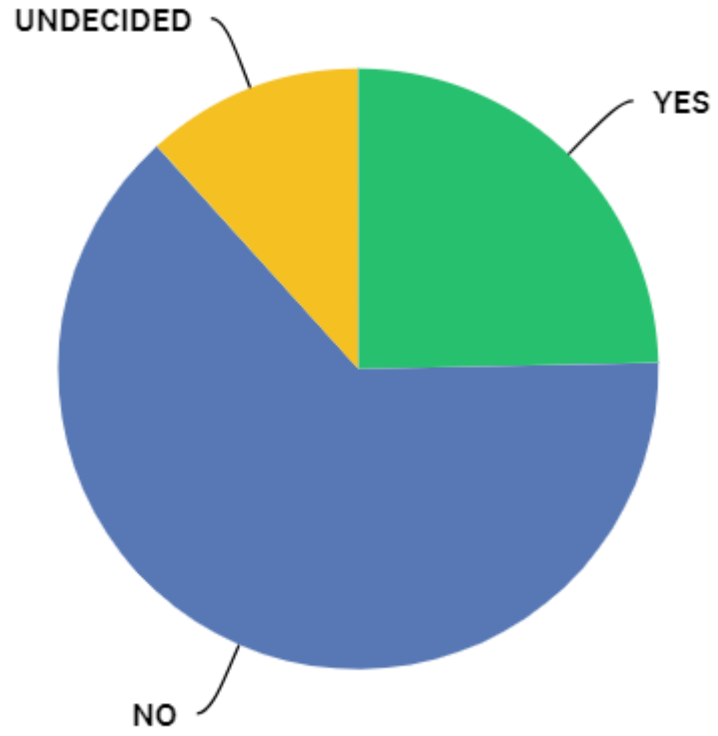


A tech park is an office complex development that supports the high-tech industry and usually offers high-wage jobs. Would you favor a tech park or other office park in Western Weber County?

Meeting participants:

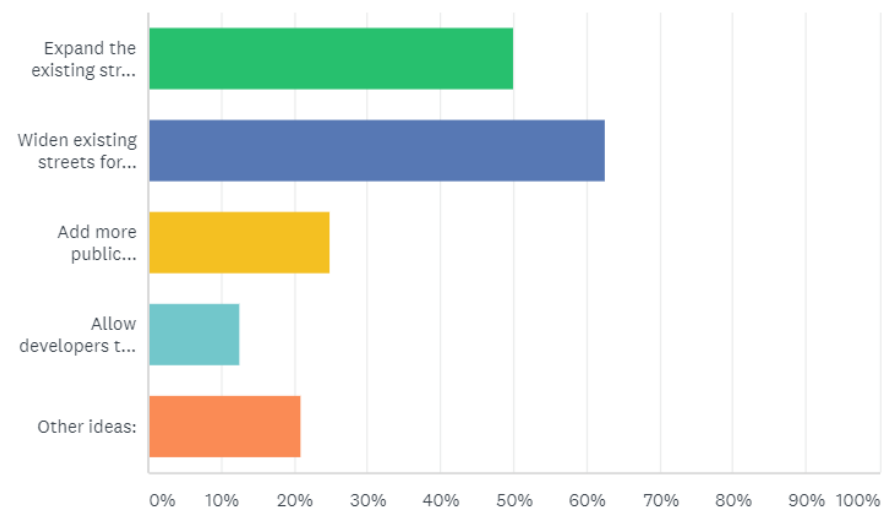


Online responses:



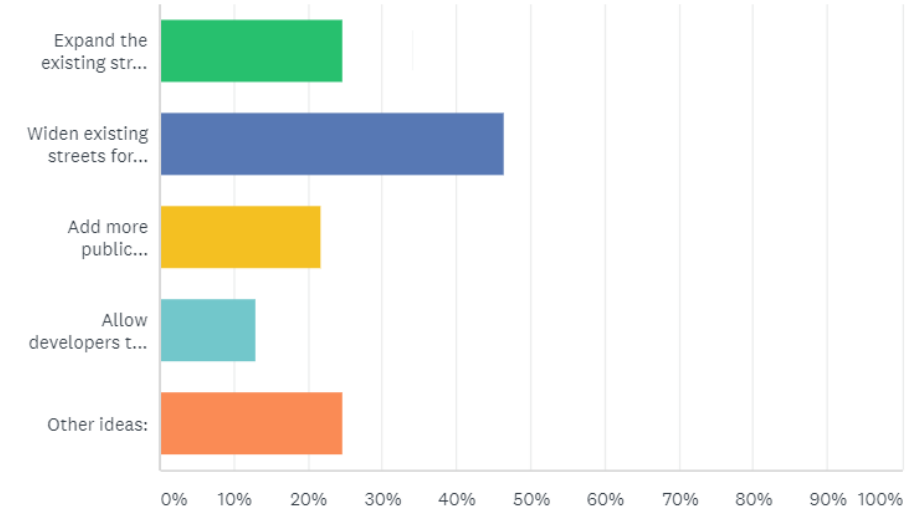
If 16,000 new future dwelling units end up being unavoidable, how would you like to see the future transportation systems?

Meeting participants:



ANSWER CHOICES	RESPONSE
Expand the existing street grid network using section line and quarter section lines for the streets.	50.00%
Widen existing streets for shoulders and turning lanes.	62.50%
Add more public transportation options.	25.00%
Allow developers to choose where to locate future streets and make future street connections first, then the County can fill in the gaps when travel demand warrants.	12.50%

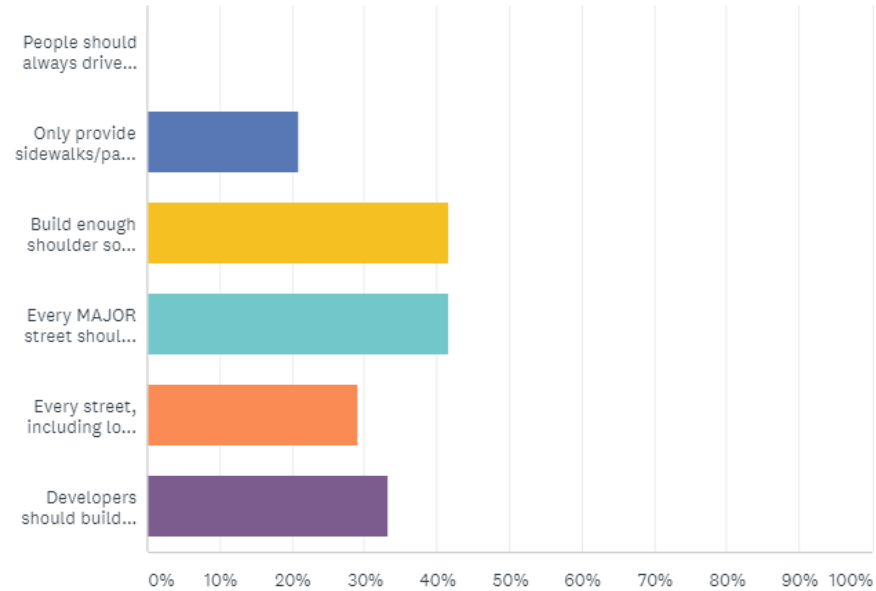
Online responses:



ANSWER CHOICES	RESPONSE
Expand the existing street grid network using section line and quarter section lines for the streets.	24.64%
Widen existing streets for shoulders and turning lanes.	46.38%
Add more public transportation options.	21.74%
Allow developers to choose where to locate future streets and make future street connections first, then the County can fill in the gaps when travel demand warrants.	13.04%

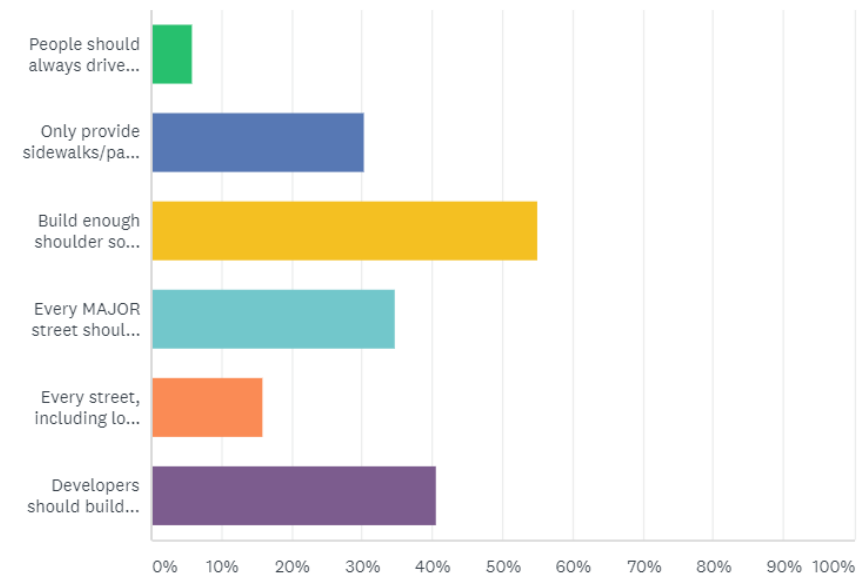
If 16,000 new future dwelling units end up being unavoidable, how would you like to see the future active transportation (pedestrians and bicycles) systems?

Meeting participants:



ANSWER CHOICES	RESPONSE
▼ People should always drive. There is no need for pedestrian or bicycle infrastructure.	0.00%
▼ Only provide sidewalks/pathways along popular school routes.	20.83%
▼ Build enough shoulder so that cyclists have a safe place to be.	41.67%
▼ Every MAJOR street should have a sidewalk or adjacent pathway to keep people out of the road.	41.67%
▼ Every street, including local neighborhood streets, should have a sidewalk or adjacent pathway to keep people out of the road.	29.17%
▼ Developers should build pathways in each subdivision that allows pedestrians to connect without using the street.	33.33%

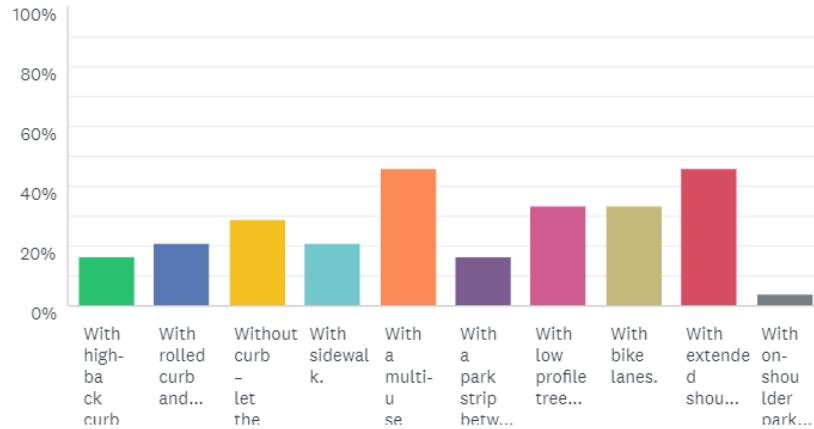
Online responses:



ANSWER CHOICES	RESPONSE
▼ People should always drive. There is no need for pedestrian or bicycle infrastructure.	5.80%
▼ Only provide sidewalks/pathways along popular school routes.	30.43%
▼ Build enough shoulder so that cyclists have a safe place to be.	55.07%
▼ Every MAJOR street should have a sidewalk or adjacent pathway to keep people out of the road.	34.78%
▼ Every street, including local neighborhood streets, should have a sidewalk or adjacent pathway to keep people out of the road.	15.94%
▼ Developers should build pathways in each subdivision that allows pedestrians to connect without using the street.	40.58%

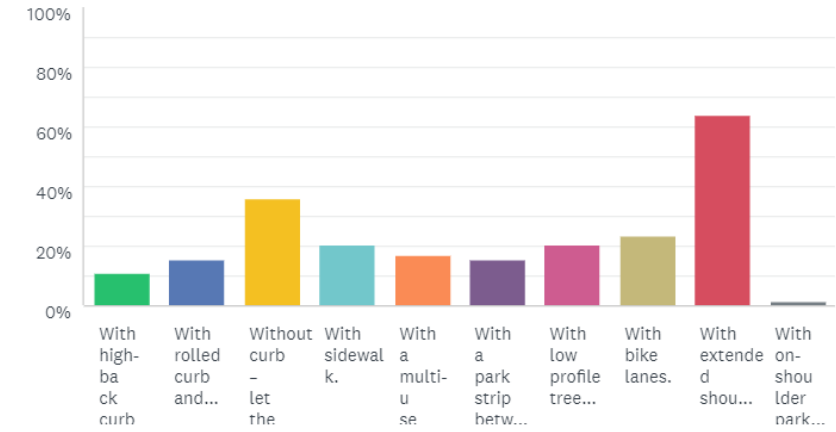
How would you like to see streets built?

Meeting participants:



ANSWER CHOICES	RESPONSES
With high-back curb and gutter. Image of high-back curb: https://gettingaroundsac.files.wordpress.com/2013/09/curbgutterdiagrams.jpg	16.67%
With rolled curb and gutter. Image of rolled curb: https://gettingaroundsac.files.wordpress.com/2013/09/curbgutterdiagrams.jpg	20.83%
Without curb - let the drainage flow into open ditches	29.17%
With sidewalk.	20.83%
With a multi-use pathway.	45.83%
With a park strip between the curb and the sidewalk or multi-use pathway.	16.67%
With low profile trees planted in the park strip for shade and aesthetics.	33.33%
With bike lanes.	33.33%
With extended shoulders to make space for farm implements and other non-traditional road users.	45.83%
With on-shoulder parking.	4.17%

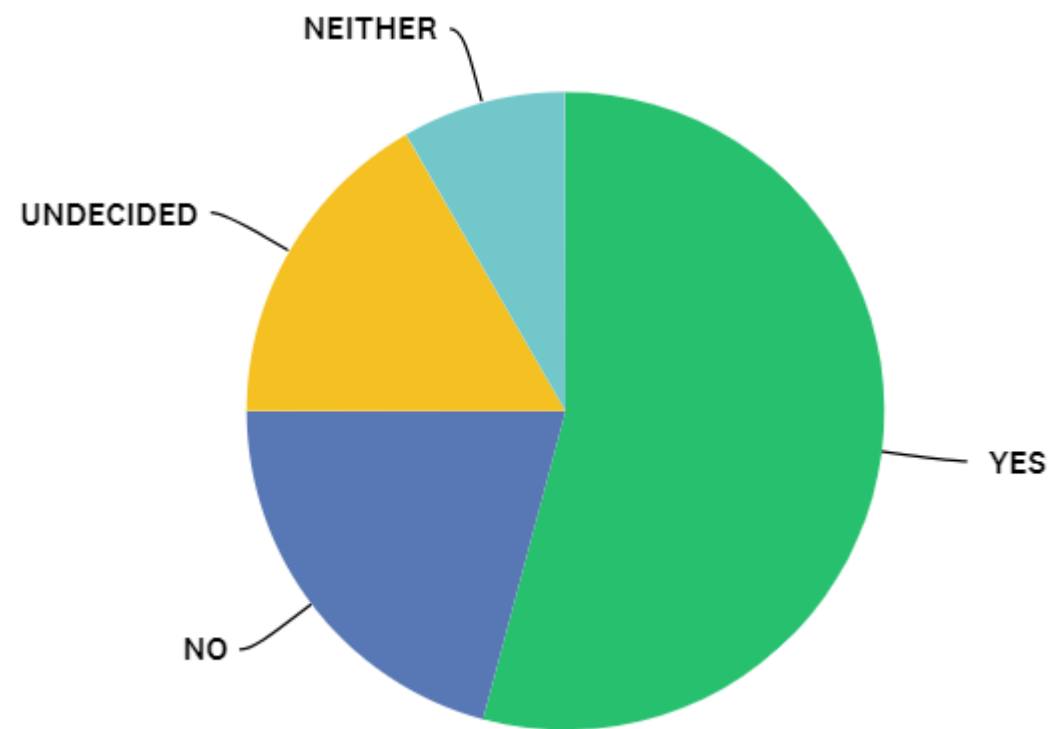
Online responses:



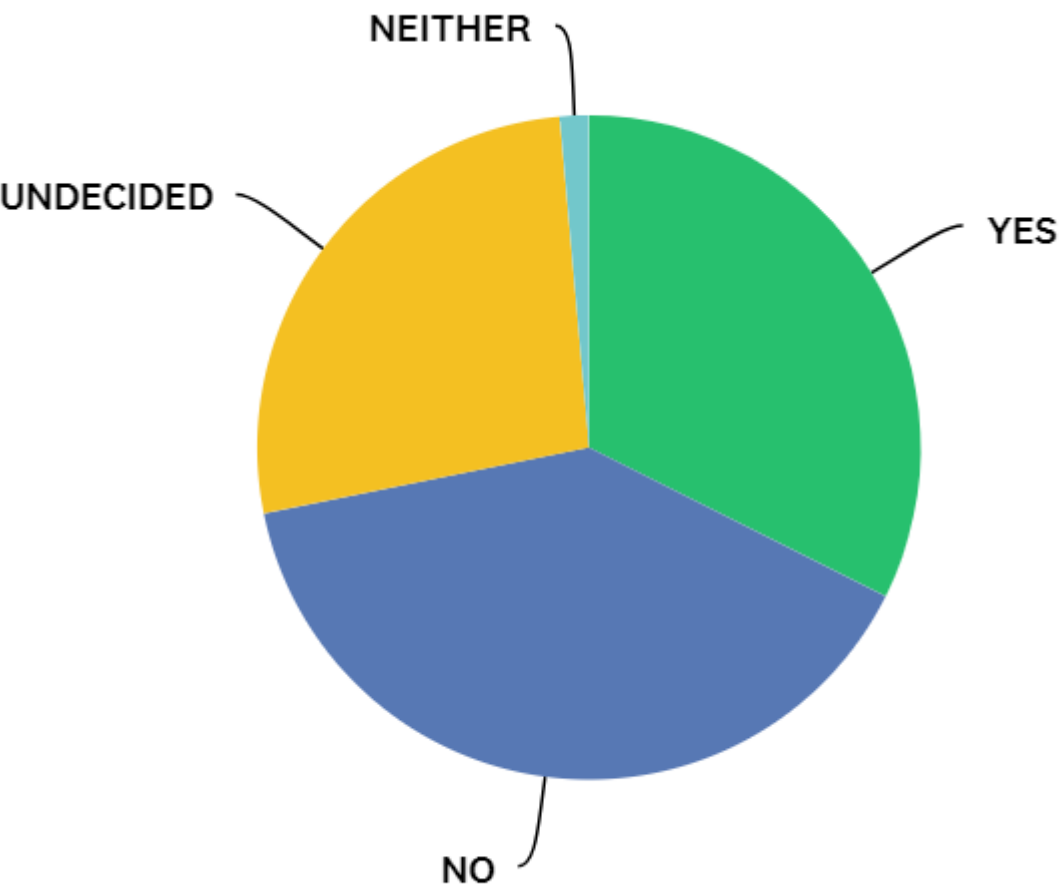
ANSWER CHOICES	RESPONSES
With high-back curb and gutter. Image of high-back curb: https://gettingaroundsac.files.wordpress.com/2013/09/curbgutterdiagrams.jpg	10.94%
With rolled curb and gutter. Image of rolled curb: https://gettingaroundsac.files.wordpress.com/2013/09/curbgutterdiagrams.jpg	15.63%
Without curb - let the drainage flow into open ditches	35.94%
With sidewalk.	20.31%
With a multi-use pathway.	17.19%
With a park strip between the curb and the sidewalk or multi-use pathway.	15.63%
With low profile trees planted in the park strip for shade and aesthetics.	20.31%
With bike lanes.	23.44%
With extended shoulders to make space for farm implements and other non-traditional road users.	64.06%
With on-shoulder parking.	1.56%

Do you support a second access to the manufacturing operations at Little Mountain?

Meeting participants:

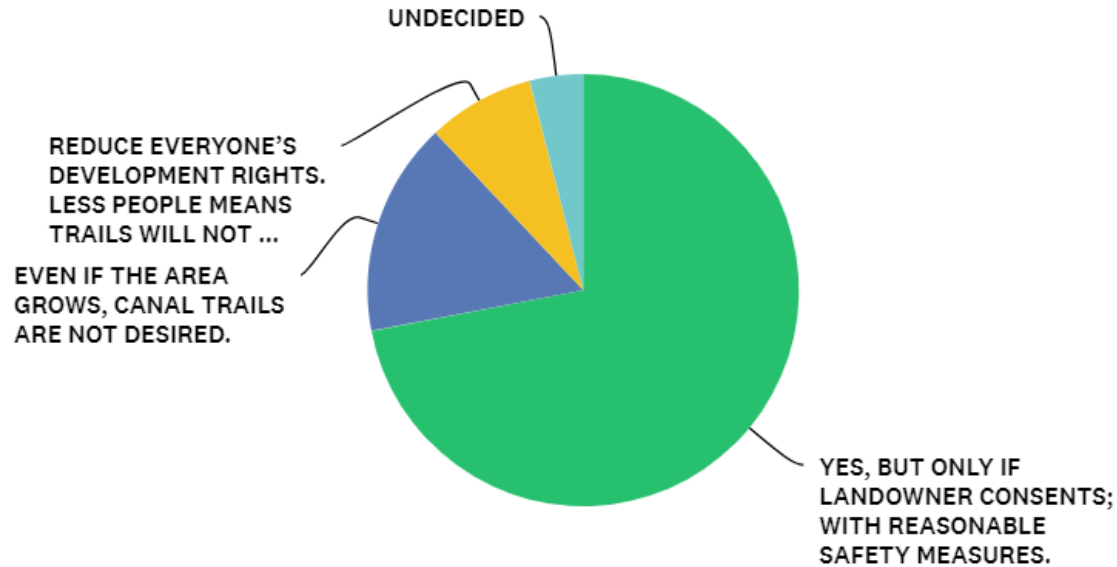


Online responses:

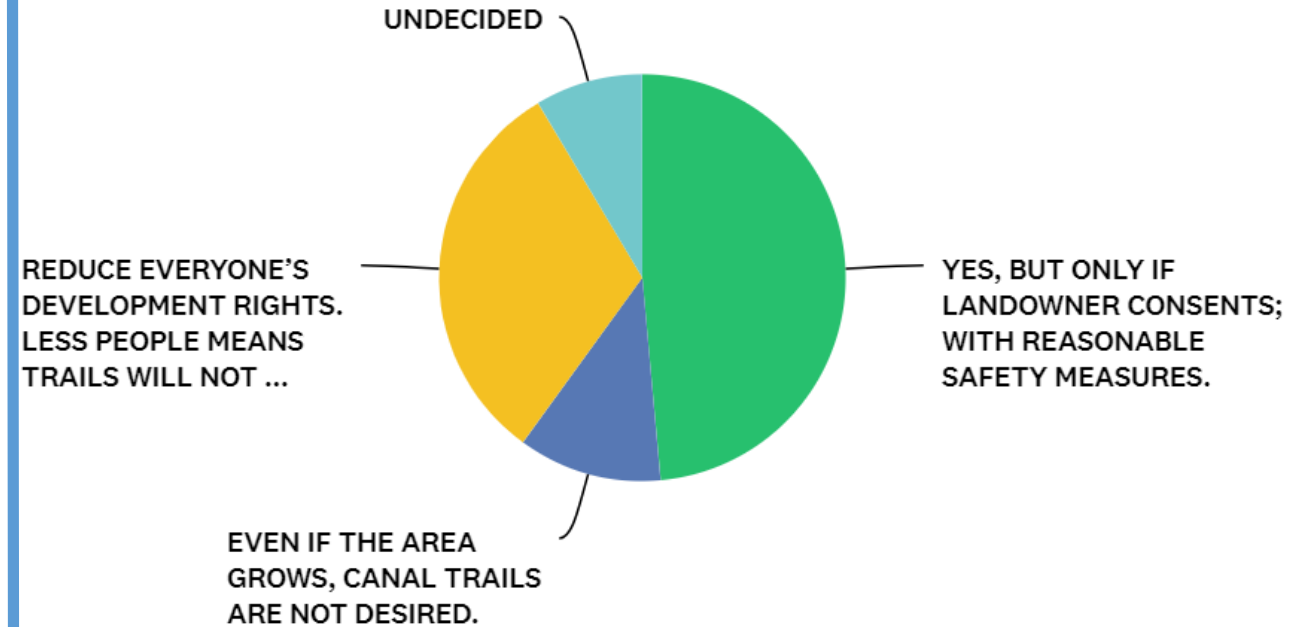


Do you support multi-use pathways along major canals?

Meeting participants:

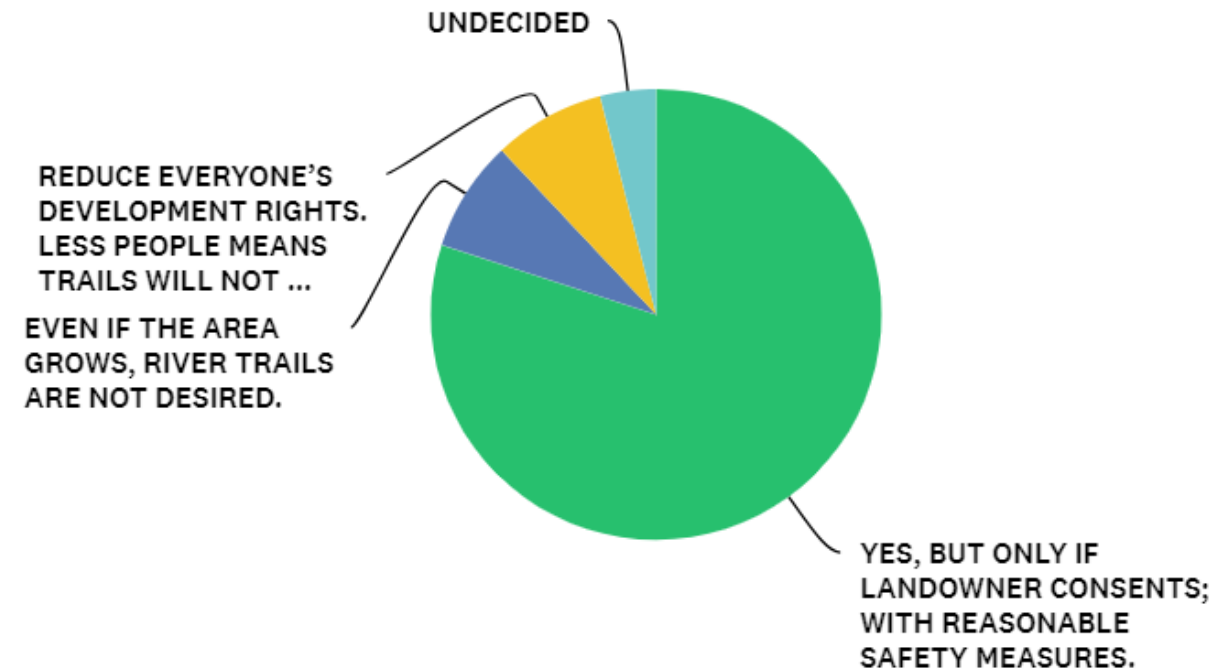


Online responses:

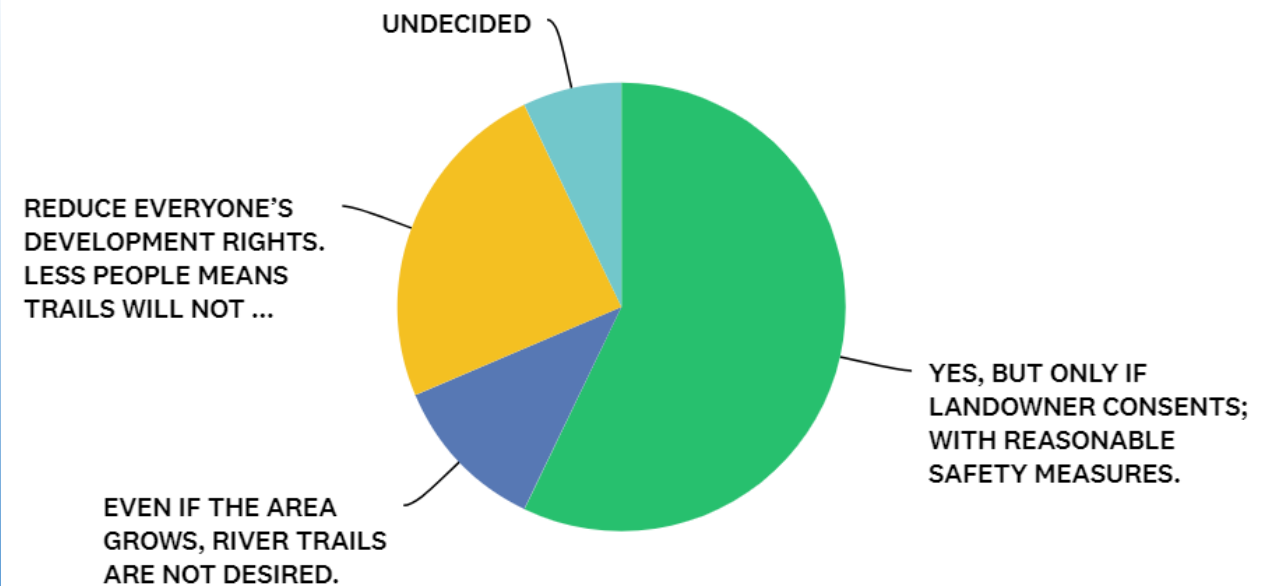


Do you support multi-use pathways along the Weber River?

Meeting participants:

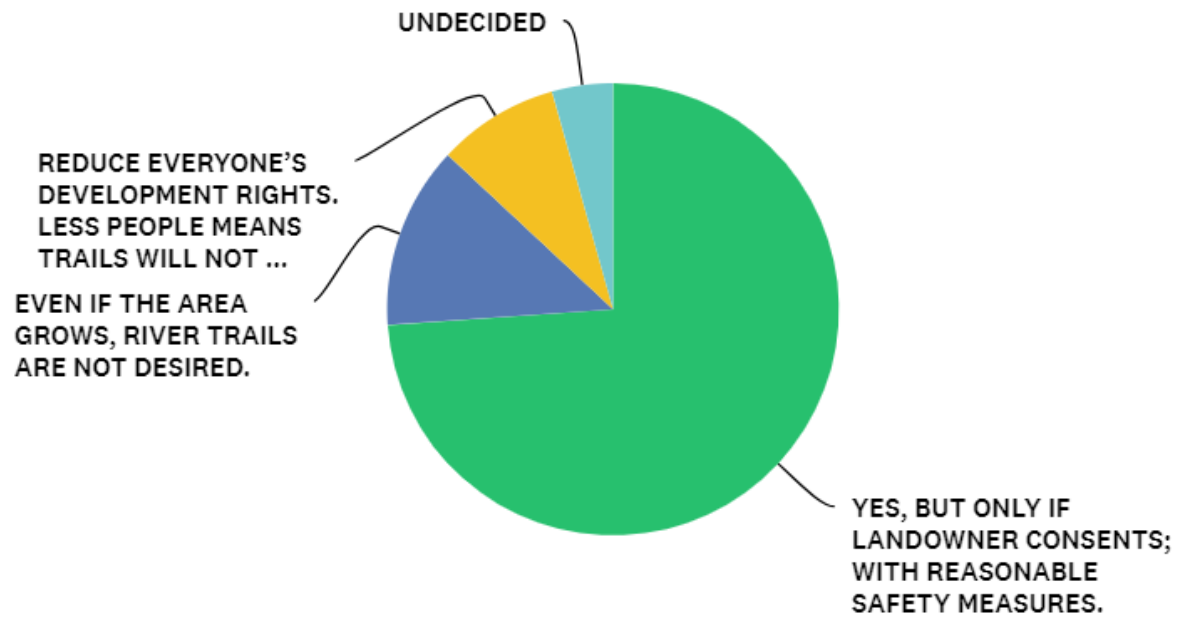


Online responses:

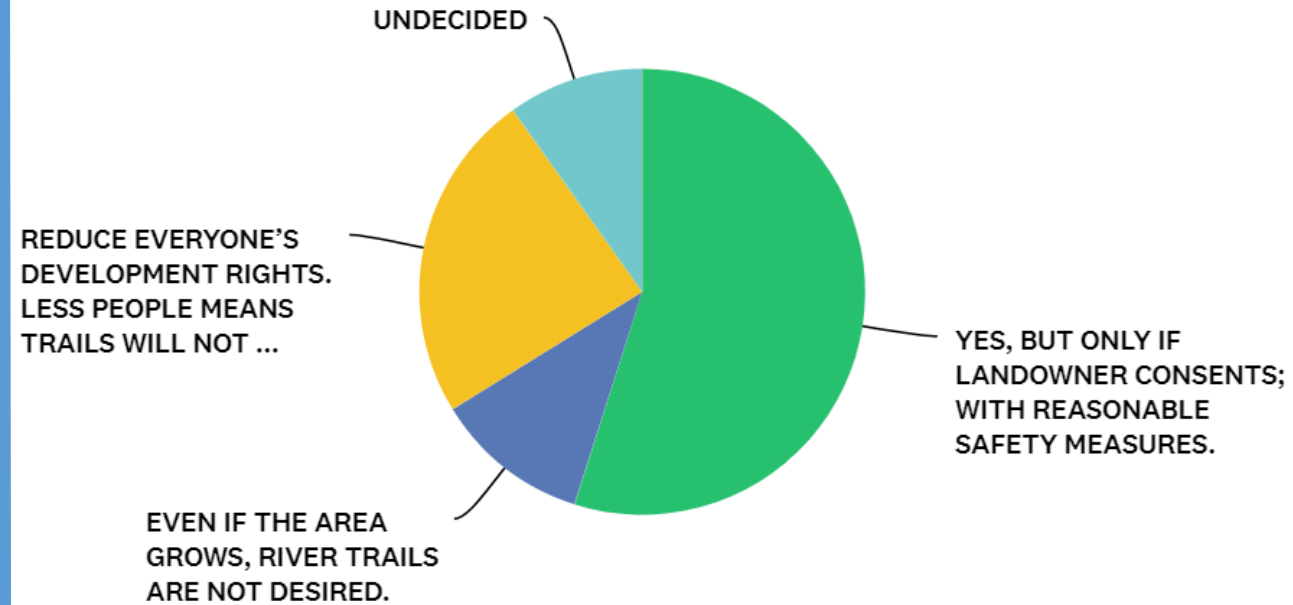


Do you support multi-use pathways along the Little Weber River?

Meeting participants:

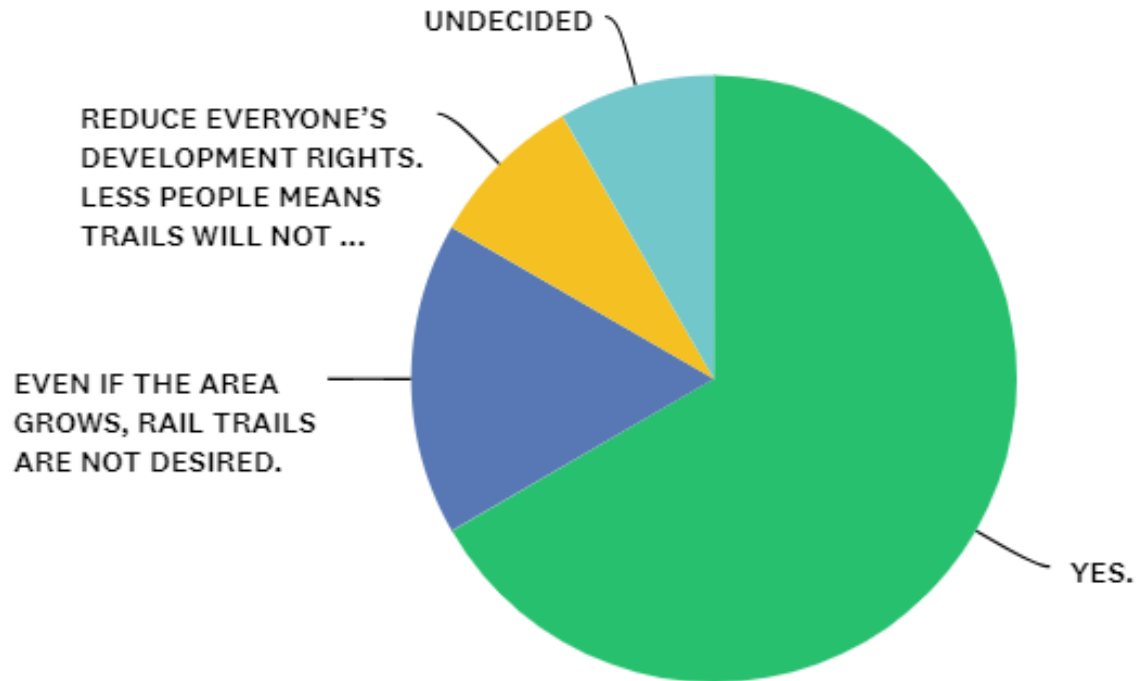


Online responses:

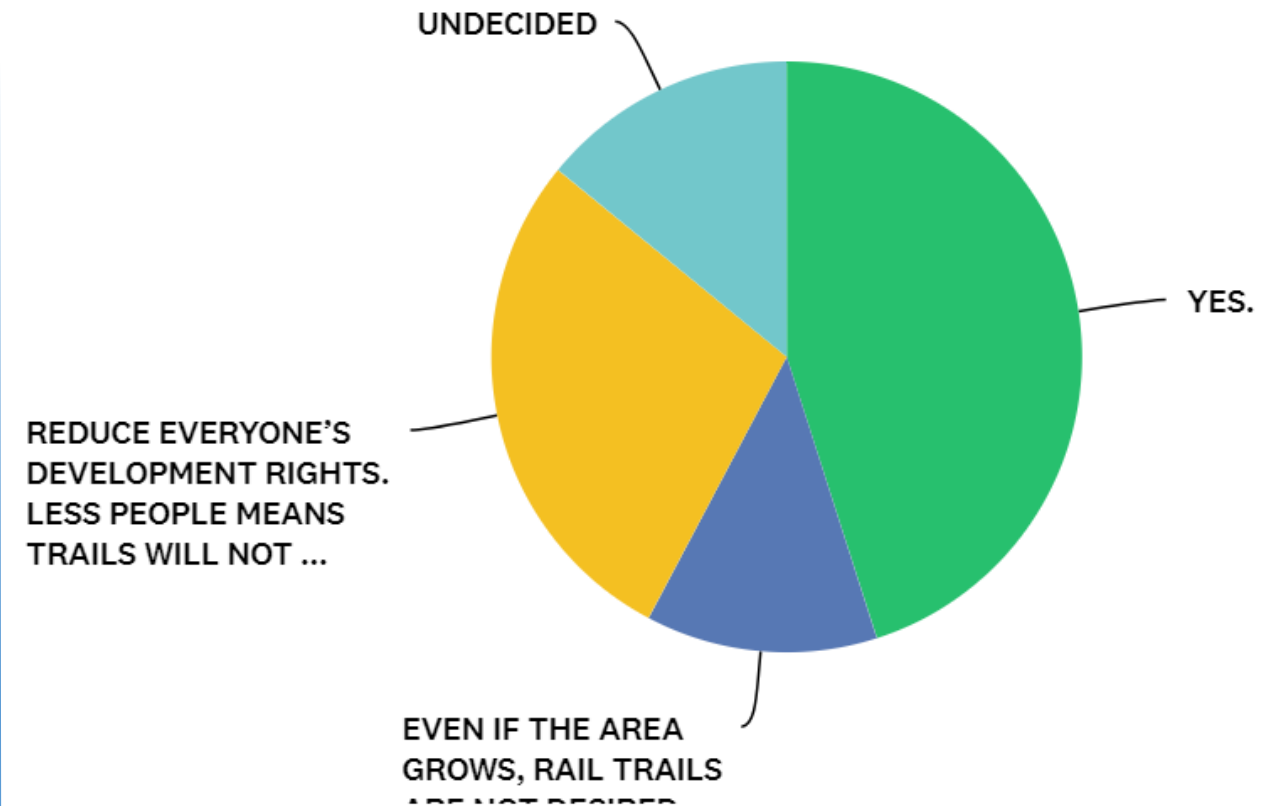


Do you support multi-use pathways along old rail beds?

Meeting participants:

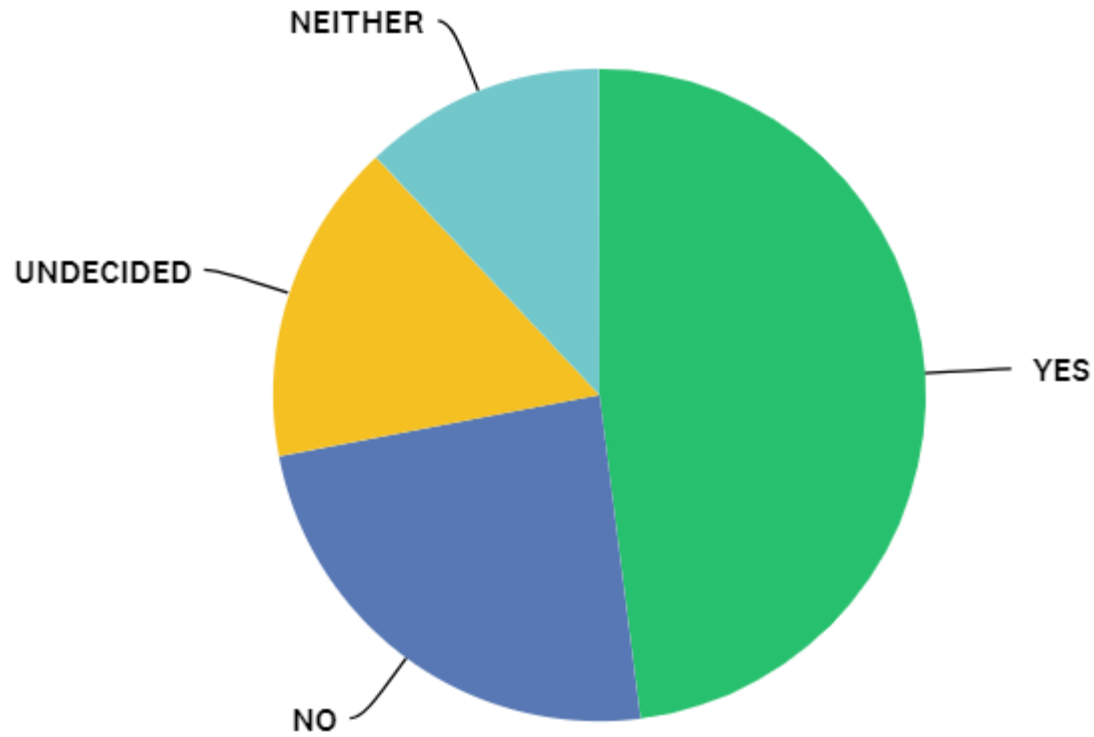


Online responses:

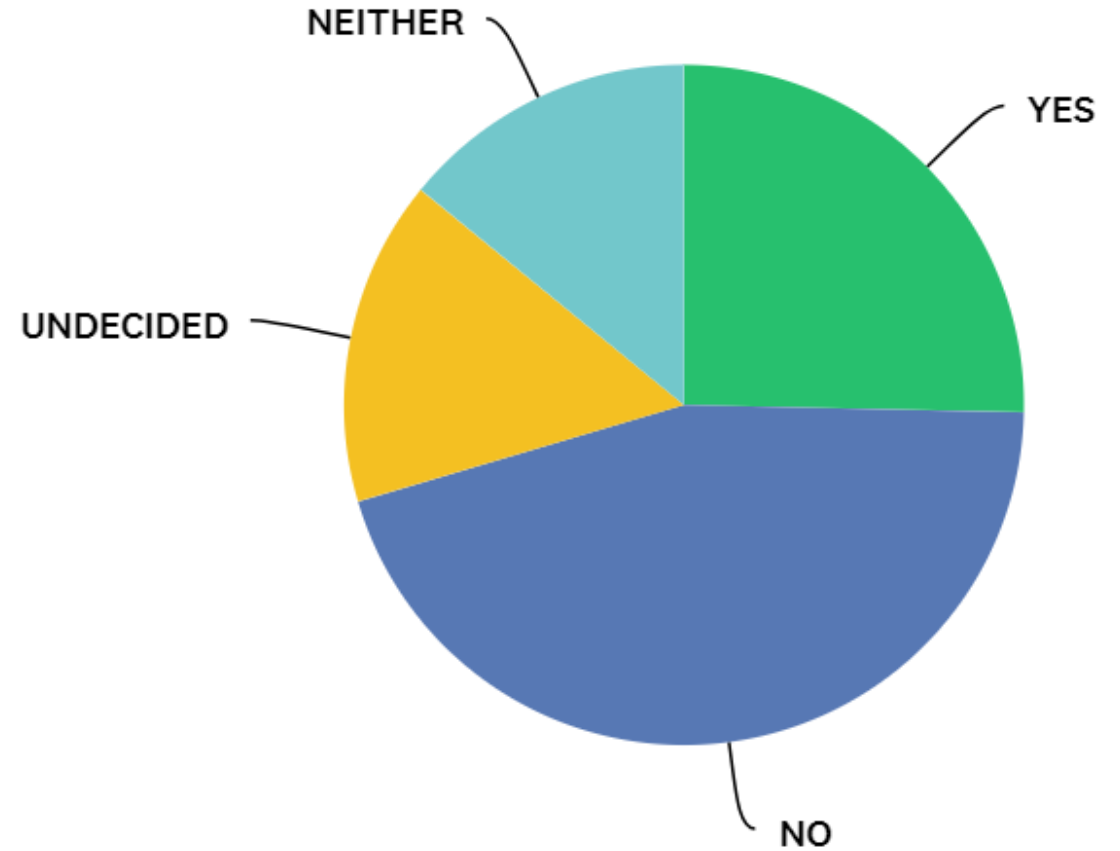


The current subdivision ordinance requires sidewalks along streets. In a subdivision, would you rather see a ten-foot-wide asphalt pathway instead of sidewalks running parallel to a street?

Meeting participants:

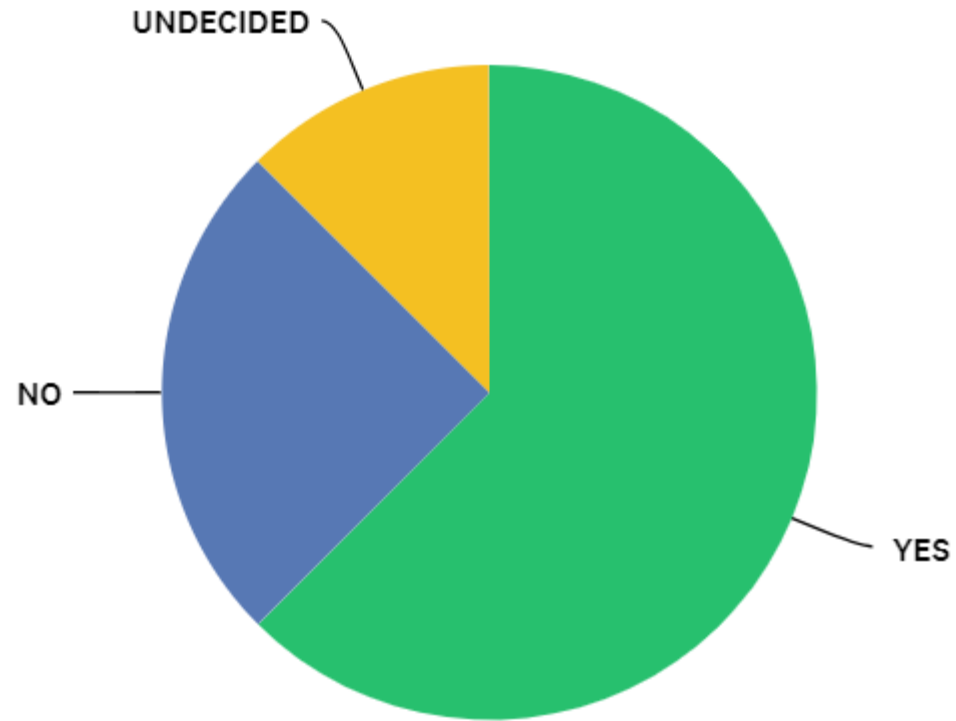


Online responses:

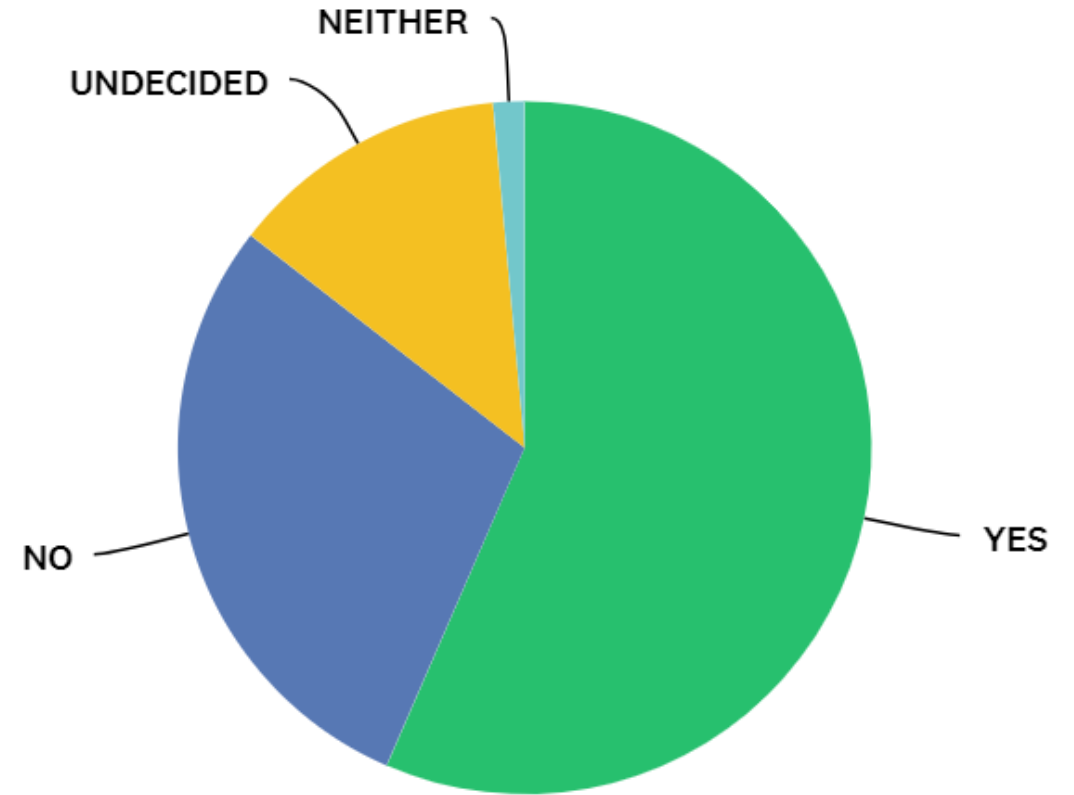


Many communities have determined that parks have a “level of service” based on how many people live in the community. As the population grows, would you favor more acreage being devoted for park uses in proportion to the population?

Meeting participants:

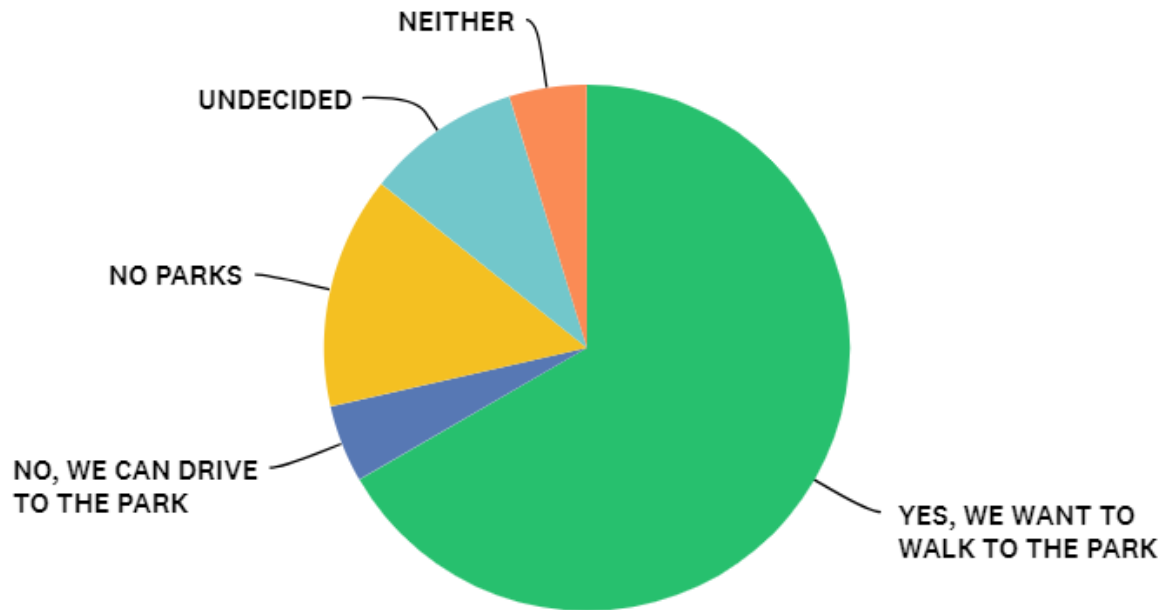


Online responses:

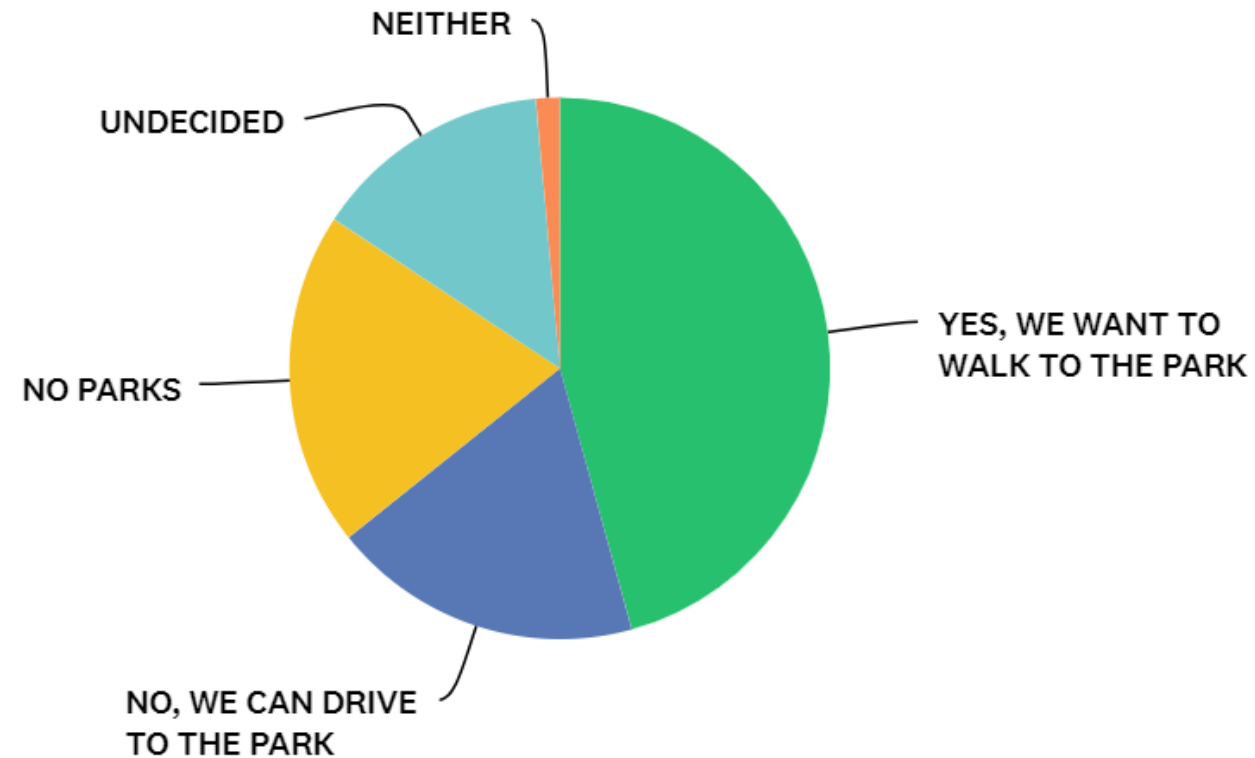


Should parks and neighborhoods be connected by pathways and/or sidewalks?

Meeting participants:



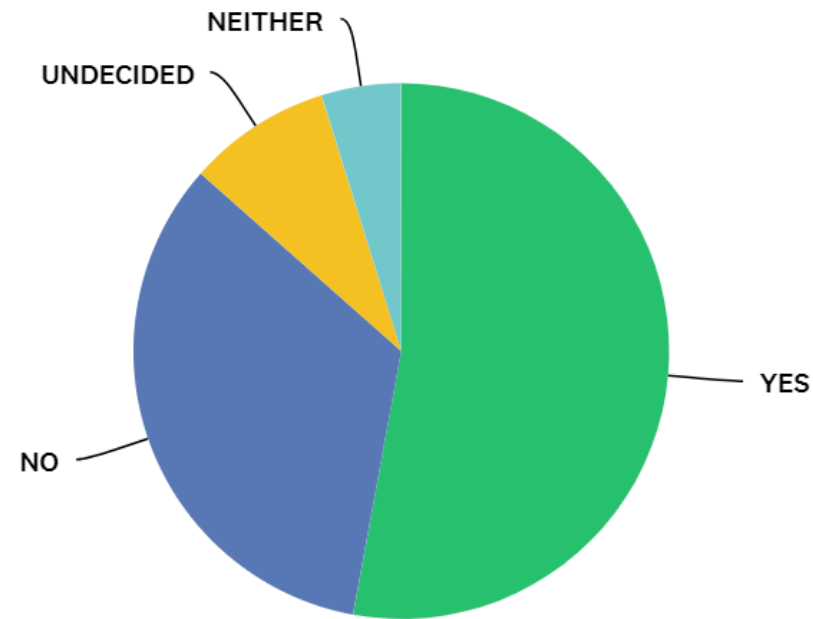
Online responses:



Property Rights vs Community

In Weber County, is it okay to
take away property rights in
order to preserve community?

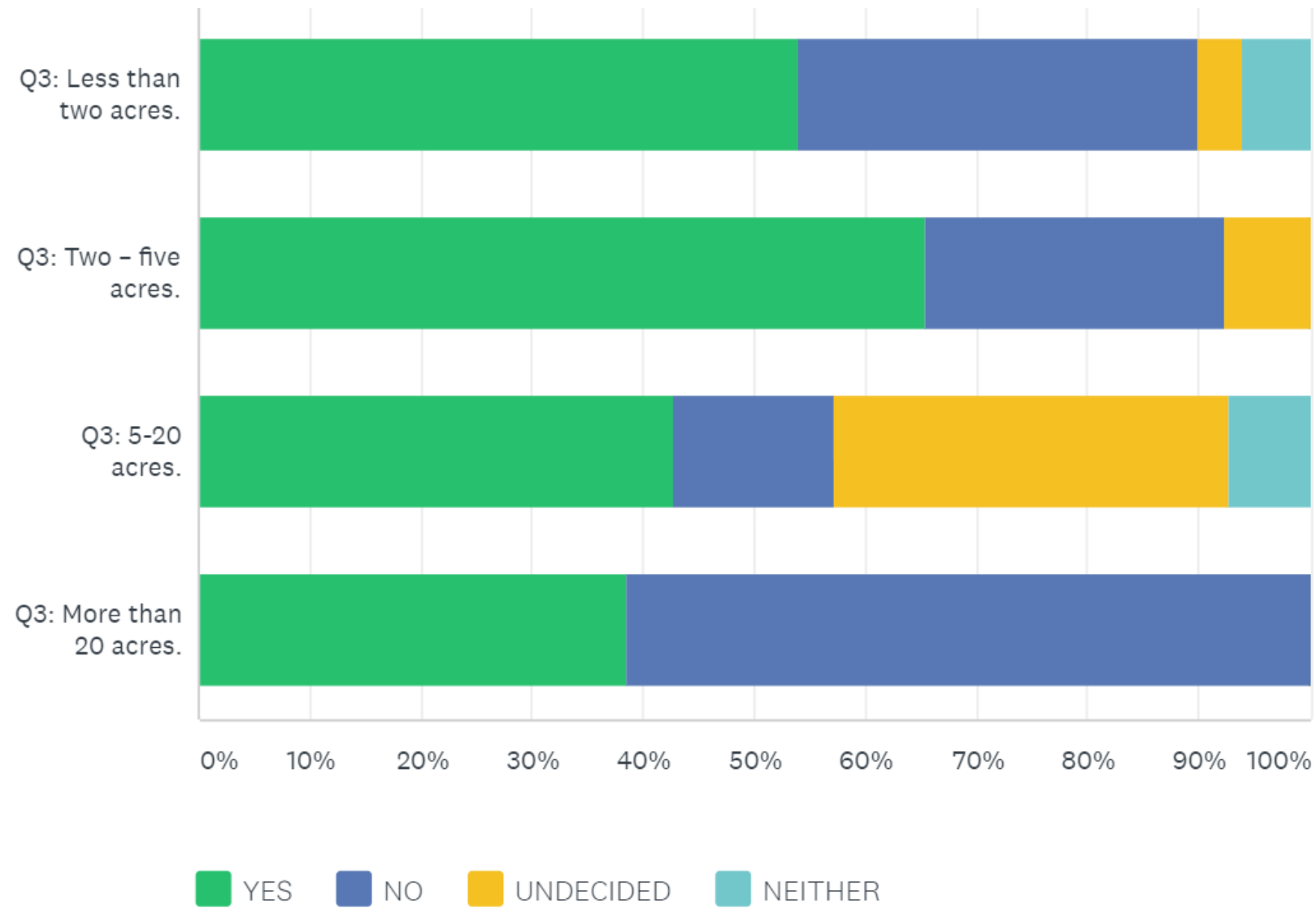
Would you favor downzoning land (significantly reducing development rights by increasing the minimum lot acreage) in your neighborhood?



ANSWER CHOICES	RESPONSES	
▼ YES	52.88%	55
▼ NO	33.65%	35
▼ UNDECIDED	8.65%	9
▼ NEITHER	4.81%	5
TOTAL		104

Would your answer change of
you owned the rights being
taken?

Would you favor downzoning land (significantly reducing development rights by increasing the minimum lot acreage) in your neighborhood?



All current residences in Western Weber County exist due to previously developed land rights. What if those rights were taken before they were ever developed?

Would you support a program
designed to purchase these
land rights back from the
owner?

PDR: Purchase of Development Rights.

- Funded by local tax?
- Funded by local land trust (nonprofit)?
- Makes owner whole for the 'taking' of his or her rights

If 16,000 more dwellings are added to Western Weber, neighborhood services will be necessary.

Would you support “moving” land rights from undeveloped land into areas that are likely to become commercial/service oriented?

- This would in effect decrease the impact of the development and save farmland.

Presenter comments: This would also make the landowner financially whole. It could be adopted as a mandate where the farmers are not allowed to develop, but are allowed to "sell" their right to develop - OR - it can be adopted as an option where the farmer can choose to sell the land for development, or just sell the rights and keep the land.

Cluster Subdivisions Truth or Myth?

Cluster Subdivisions Truth or Myth?

A cluster subdivision creates open space that will only be developed later.

Myth.

The open space in a cluster subdivision has an open space preservation easement dedicated to the public to ensure it is never developed.

Cluster Subdivisions Truth or Myth?

A cluster subdivision creates unusable open space parcels that no one can farm.

Myth.

The new cluster subdivision code (adopted this year) **REQUIRES** open space to be contiguous prime agricultural land. No more hard-to-access slivers of “open space.”

Cluster Subdivisions Truth or Myth?

A cluster subdivision is useless because they do not create open space parcels big enough to farm.

Myth.

The new cluster code requires at least 10 acres of open space for all agricultural preservation parcels. The bigger the subdivision area, the more acreage is required.

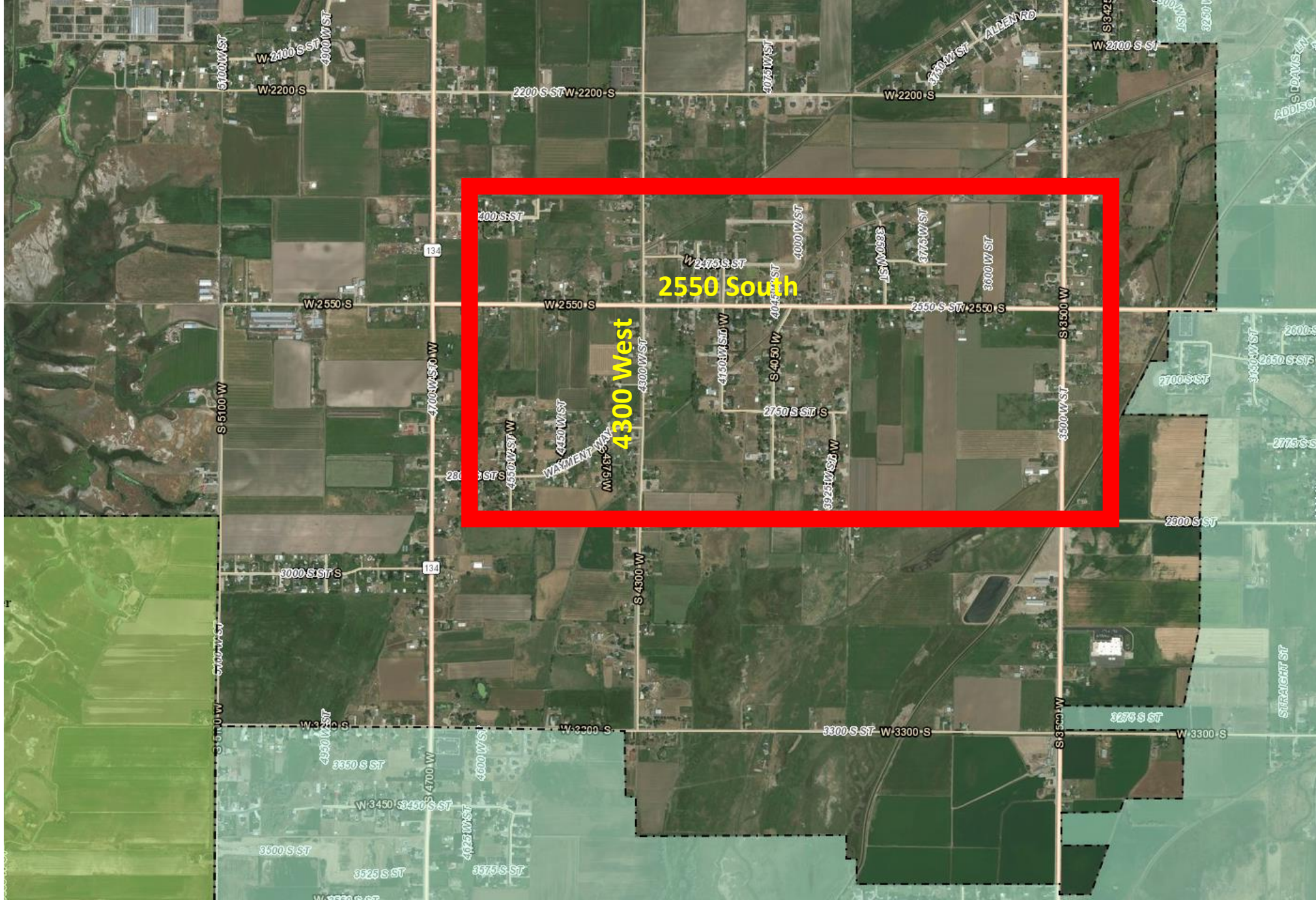
Cluster Subdivisions Truth or Myth?

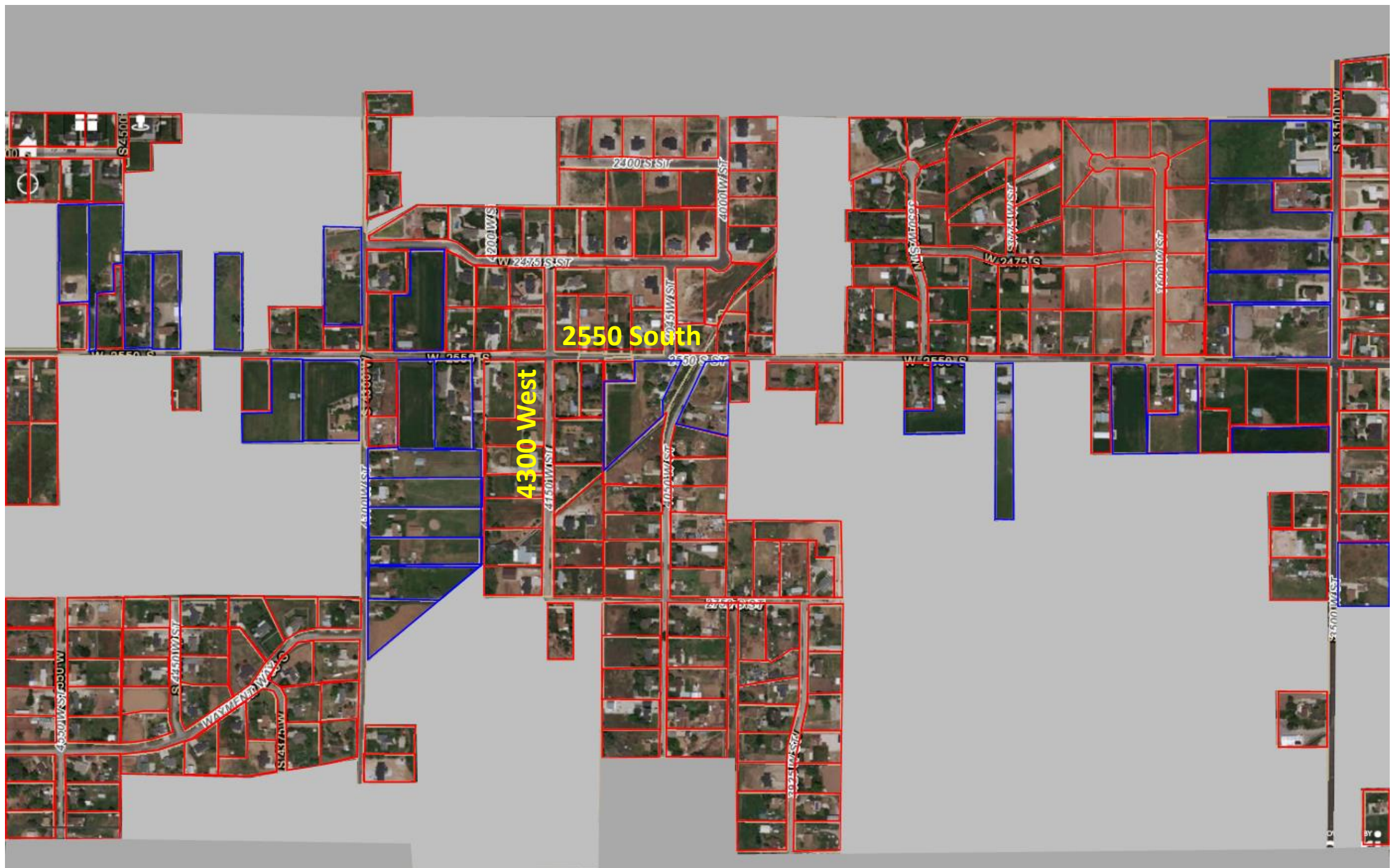
A cluster subdivision only creates high density housing that will bring in riff raff.

Myth.

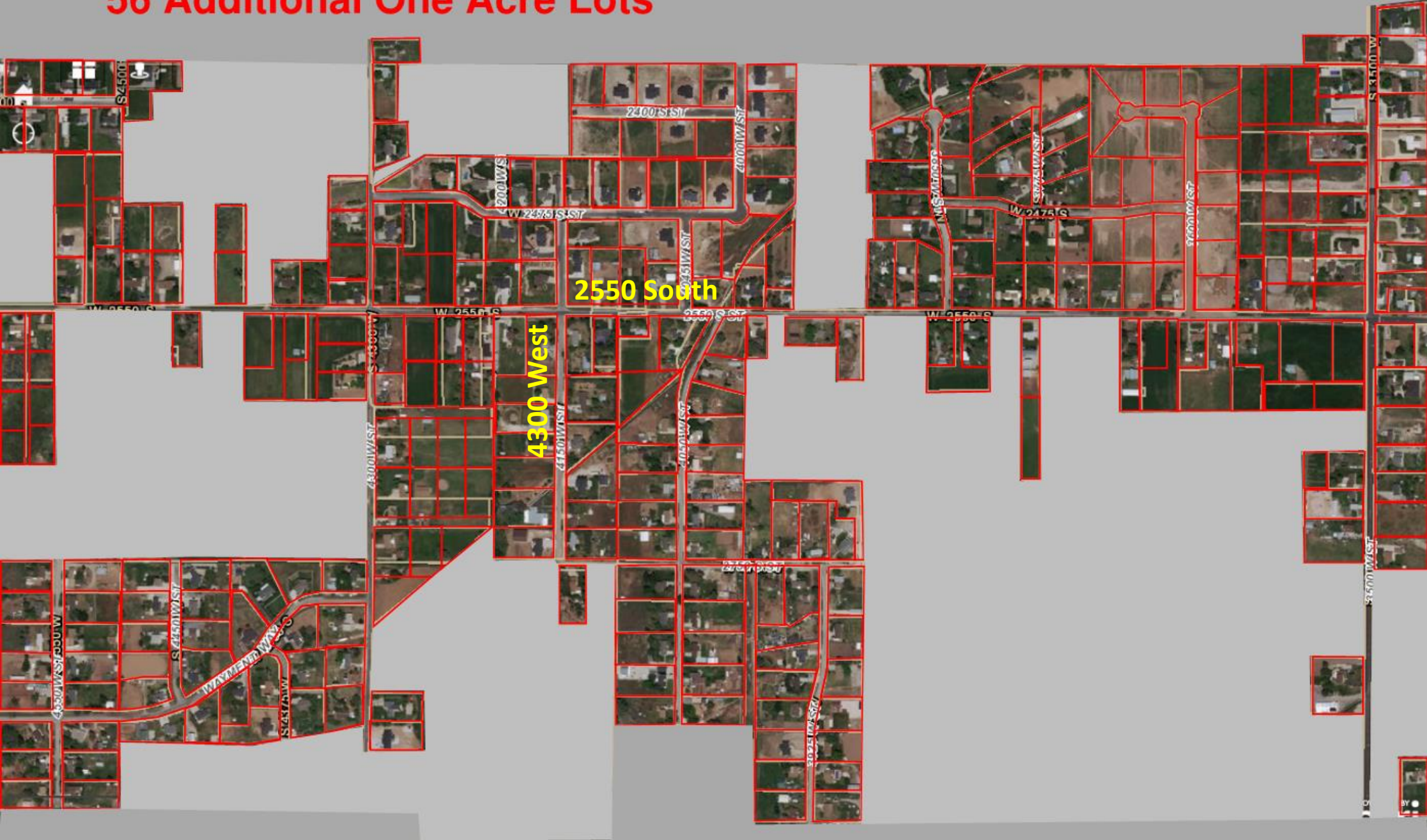
There are many developments across the Wasatch Front that are high-end housing on acreages less than an acre.

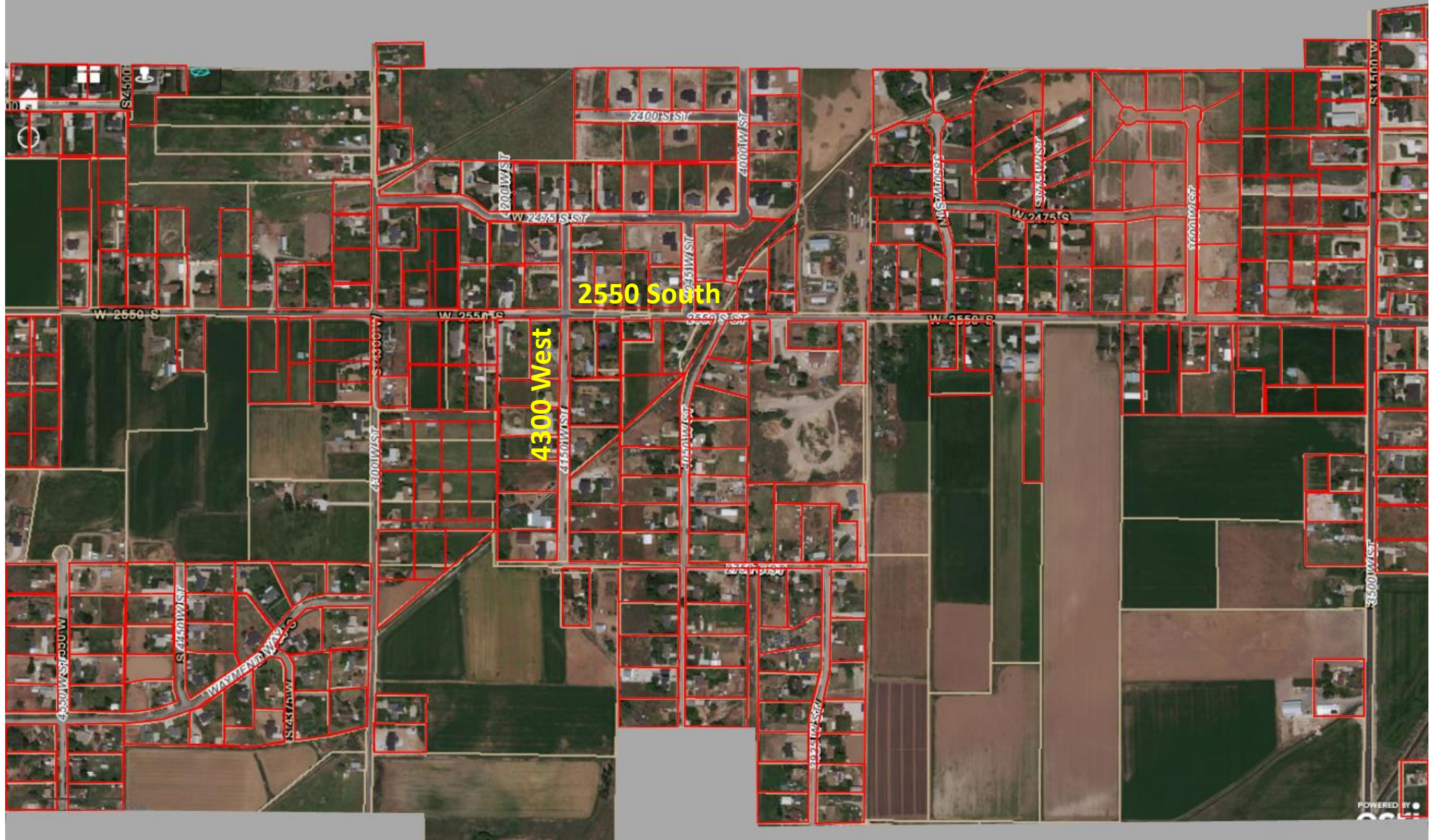
Visualizing Community at One Dwelling Unit per Acre



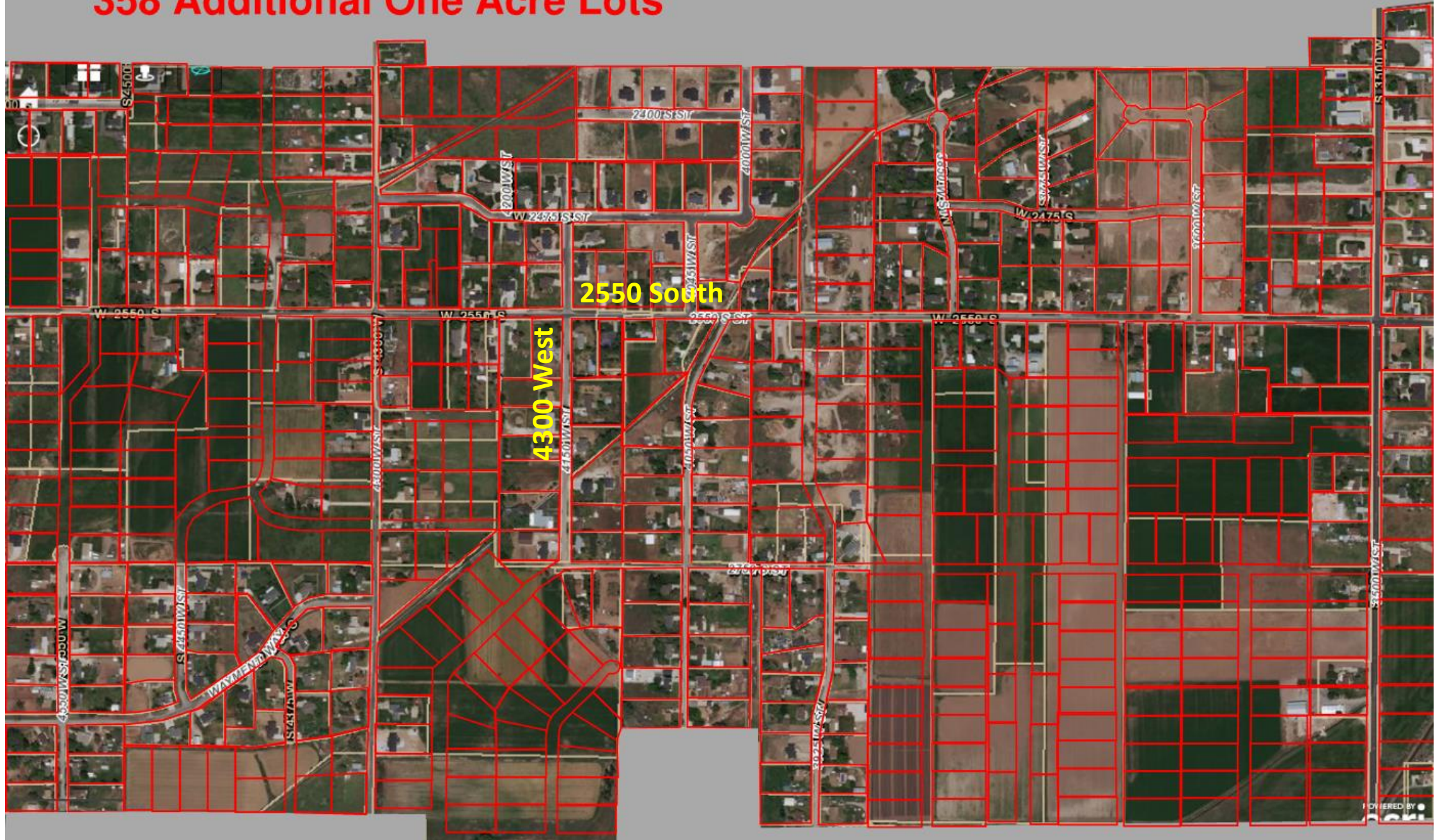


56 Additional One Acre Lots





358 Additional One Acre Lots





Plano, TX 0.6 units / acre



context



Tysons Corners, VA 0.9 units / acre



context



Prescott Valley, AZ 1.1 units / acre



context



Edinburg, NJ 1.1 units / acre



context



Grosse Pointe, MI 1.6 units / acre



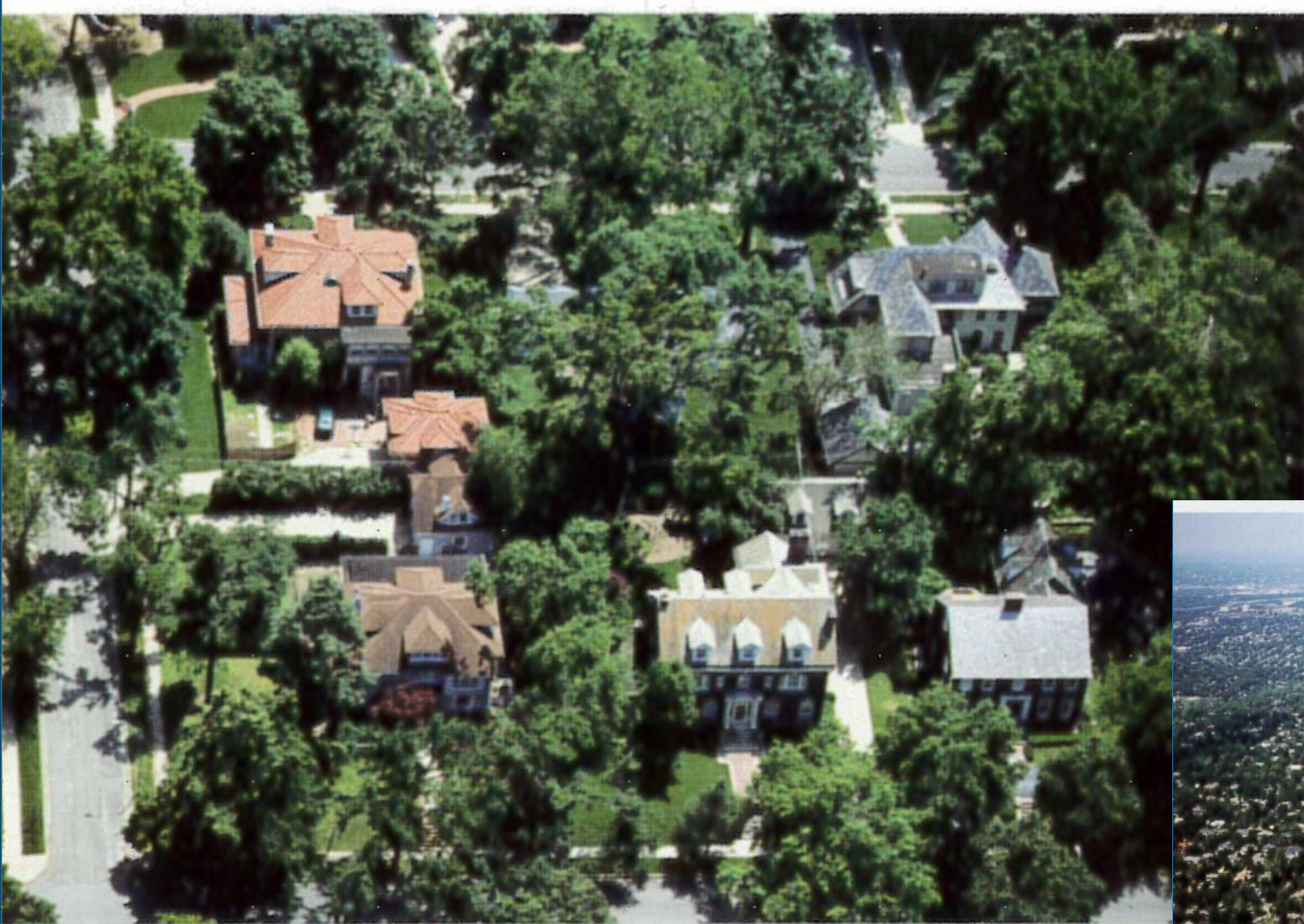
context



Boulder, CO 1.8 units / acre



context



Kansas City, MO 1.9 units / acre



context



Goodland, KS 2.5 units / acre

context

Survey #3

Presenter comments: Survey #3 was explained to the meeting attendees. The following slide has a weblink to it. If you would rather fill it out by hand please notify Charlie Ewert in the Planning Department. 801-399-8763. cewert@co.weber.ut.us. 2380 Washington BLVD, Suite 240, Ogden, UT 84401.

Survey Web Link:

[https://www.surveymonkey.com/r/
ZCSL3TN](https://www.surveymonkey.com/r/ZCSL3TN)

