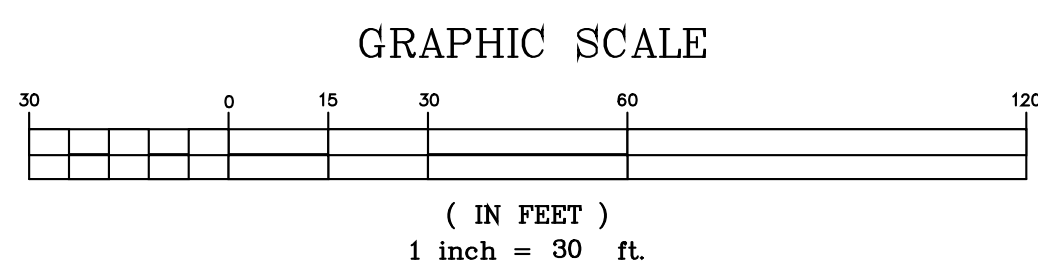


SITE PLAN - ACCURITE INC.

A PART OF THE SOUTHEAST QUARTER OF SECTION 36
TOWNSHIP 6 NORTH, RANGE 2 WEST
SALT LAKE BASE AND MERIDIAN.
WEBER COUNTY, UTAH
MAY, 2018



STORM WATER FACILITIES LEGEND

P-1	PLACE 105' OF 12" PVC SDR-35 @ 0.50% SL.
CB-1	PLACE 18"X48" CATCH BASIN W/GRATE FL= 4314.52
P-2	PLACE 85' OF 12" PVC SDR-35 @ 0.20% SL.
CB-2	PLACE 18"X48" CATCH BASIN W/GRATE FL= 4314.95
P-3	PLACE 85' OF 12" PVC SDR-35 @ 0.20% SL.
CB-3	PLACE 18"X48" CATCH BASIN W/GRATE FL= 4315.37

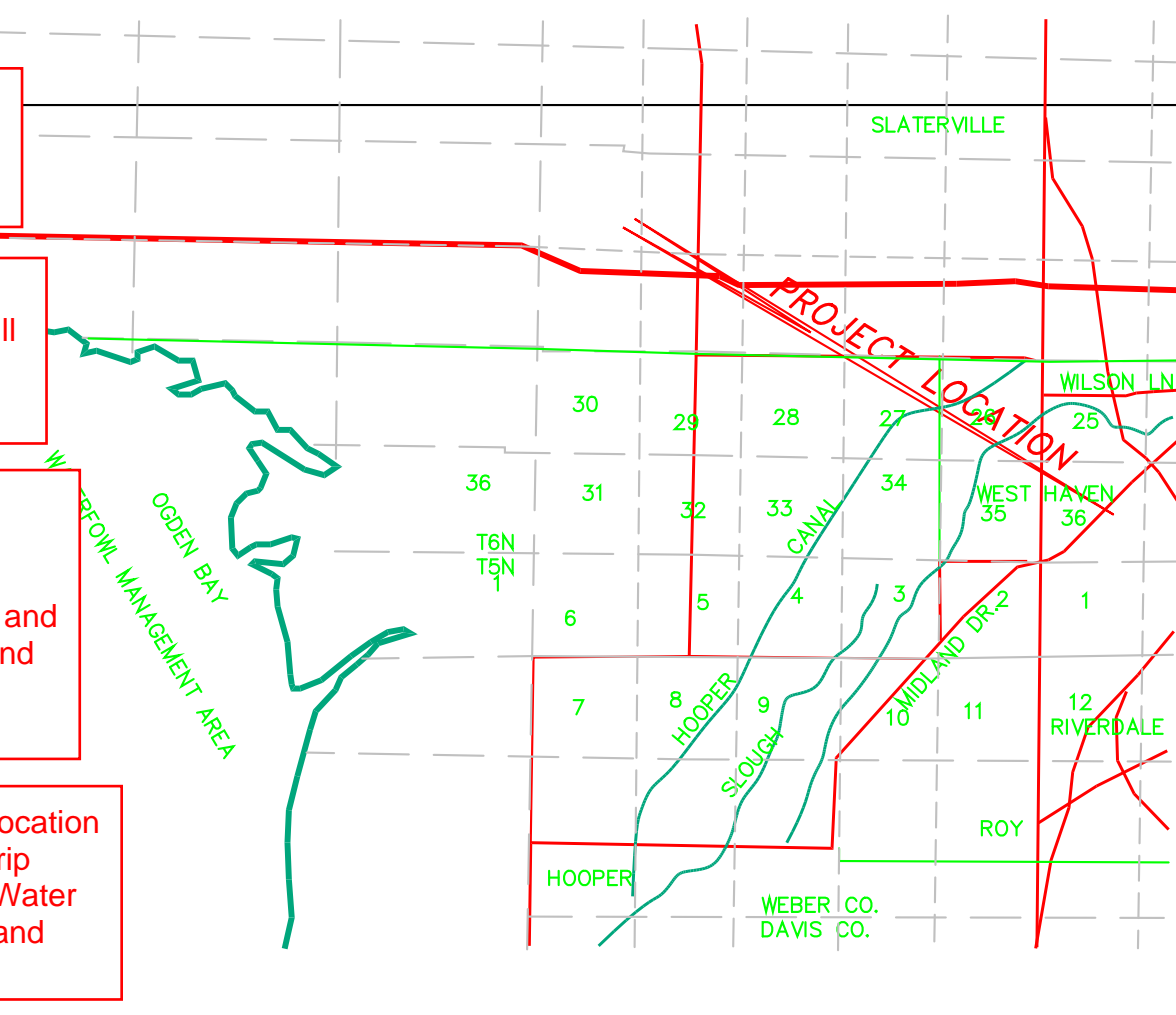
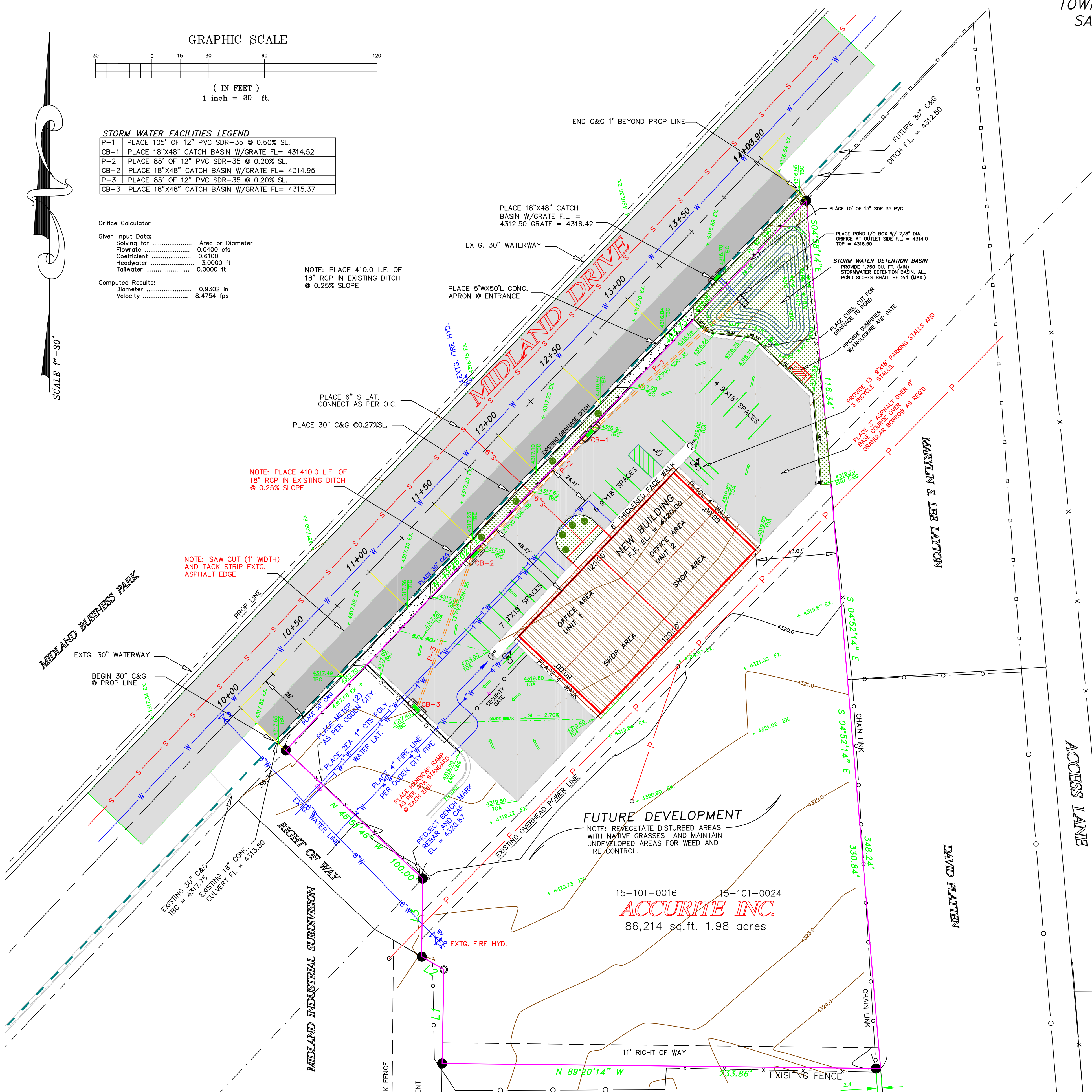
Orifice Calculator

Given Input Data:	Area or Diameter
Flowrate	0.0400 cfs
Coefficient	0.6100
Headwater	3.0000 ft
Tailwater	0.0000 ft
Computed Results:	
Diameter	0.9302 in
Velocity	8.4754 fps

NOTE: PLACE 410.0 L.F. OF 18" RCP IN EXISTING DITCH @ 0.25% SLOPE

NOTE: PLACE 410.0 L.F. OF 18" RCP IN EXISTING DITCH @ 0.25% SLOPE

NOTE: SAW CUT (1' WIDTH) AND TACK STRIP EXTG. ASPHALT EDGE



- Will there be any parking lot lighting? If so, please include on site plan.
- Parking requirements for warehouses are two spaces per three employees. Please specify how many employees will be on a shift at any time.
- Please provide the number, location, color, size, height, lighting, and landscaping of outdoor advertising signs and structures in relation to the creation of traffic hazards, the blanketing of adjacent property signs and the appearance and harmony with other signs and structures with the project and with adjacent development.
- Please provide the method of irrigation and approximate location of the water meter, point of connection, sprinkler and/or drip irrigation heads, and any blow-out or winterizing system. Water conserving methods, such as bubblers and drip systems and electronic timer devices are encouraged.
- Please provide the number and type of mature and planted size of all landscape plantings.
- Turf grass, if used, shall be limited to no more than 50 percent of the landscaping requirement.

SITE PLAN NOTES:

IF A LAND DRAIN HAS BEEN INSTALLED TO THE LOT, IT SHALL EXTEND TO THE BUILDING AND CONNECT TO A FOOTING DRAINAGE SYSTEM (I.R.C. R405.1)

INSURE 5% SLOPE (6" VERTICLE IN 10' HORIZONTAL) AWAY FROM BUILDING FOR PROPER DRAINAGE (I.R.C. R405.1)

BERMS OR SWALES MAY BE REQUIRED ALONG PROPERTY LINES TO PREVENT STORM WATER FROM FLOWING TO ADJACENT PROPERTIES / LOTS

ALL STORM WATER, DIRT, AND DEBRIS SHALL BE CONTAINED ONSITE DURING CONSTRUCTION

DIVERT SURFACE DRAINAGE TO APPROVED COLLECTION AREAS OR AS INDICATED ON APPROVED SITE PLAN

CURB, GUTTER, SIDEWALK AND STREET SHALL BE MAINTAINED FREE OF MUD, DIRT, AND CONSTRUCTION MATERIALS AND DEBRIS EACH DAY PER CITY ORDINANCE

DEBRIS BARRIERS TO BE PLACED AND MAINTAINED AROUND ANY STORM DRAIN INLET ADJACENT TO OR IMMEDIATELY DOWNSTREAM FROM SITE DURING CONSTRUCTION

RE-SEEDING INFORMATION

SHEEP FESCUE, QUATRO, WESTERN WHEATGRASS, BARTON/SHORT MIX
Requires NO watering. Excellent for re-vegetation in dry areas around new construction sites and around homes to control erosion and enhance natural beauty. Will tolerate short periods of flooding and also endure long periods of drought. Coverage: 10 lbs per acre or .25 lbs per 1000 sqft.

OR

SMOOTH BROME, LINCOLN, PUBESCENT WHEATGRASS, LUNA/TALL MIX
Requires NO watering. Excellent for re-vegetation in dry areas around new construction sites and around homes to control erosion and enhance natural beauty. Will tolerate short periods of flooding and also endure long periods of drought. Coverage: 10 lbs per acre or .25 lbs per 1000 sqft.

RE-SEEDING WINDOW
A. SEEDING WINDOW: COMPLETE ALL GENERAL ROADSIDE SEEDING WITHIN THE APPROPRIATE SEEDING WINDOW.
1. POSTPONE SEEDING UNTIL THE FOLLOWING YEAR IF THE SEEDING IS NOT COMPLETED WITHIN THE GIVEN WINDOW.
2. EXCEPTION TO THIS WINDOW UNDER CERTAIN CONDITIONS MAY BE OBTAINED THROUGH CITY ENGINEER.

ELEVATION	SEEDING WINDOW
4000FT TO 6,000FT	SEPT. 15 TO DEC 1

GENERAL CULINARY WATER INSTALLATION NOTES:

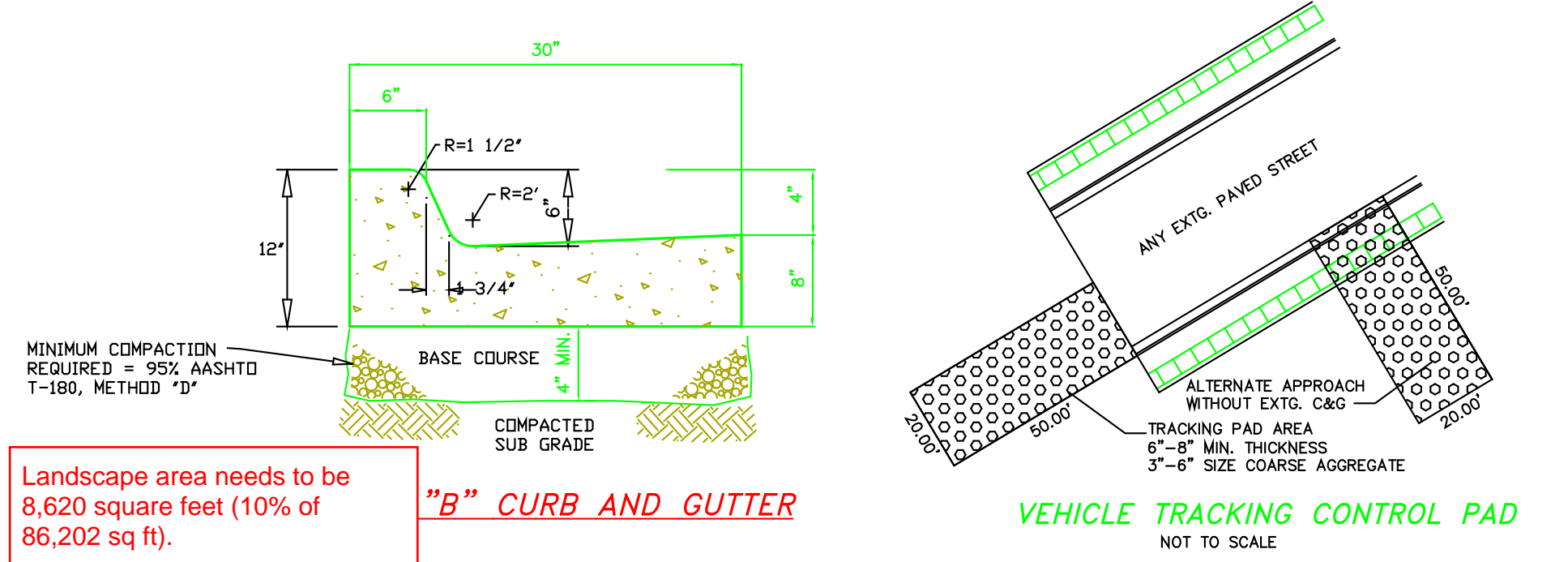
ALL WORK TO COMPLY WITH RULES 309-500 THROUGH 309-550 OF THE UTAH ADMINISTRATIVE CODE.

ALL MATERIALS WHICH MAY CONTACT DRINKING WATER SHALL BE ANSI-CERTIFIED AS MEETING THE REQUIREMENTS OF NSF STANDARD 61

PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARDS C600-93 FLUSHING, DISINFECTION AND MICRO BIOLOGICAL TESTING SHALL CONFORM TO AWWA - C651 REQUIREMENTS

10' MINIMUM SEPARATION (PIPE EDGE TO PIPE EDGE) - SEWER AND WATER MAIN

ALL OPEN ENDS OF ALL PIPELINES UNDER CONSTRUCTION SHALL BE COVERED AND EFFECTIVELY SEALED AT THE END OF DAY'S WORK SO AS TO PREVENT THE ENTRY OF ANY CONTAMINANTS INTO PIPELINE. REFER TO R309-550-8(9) OF THE UAC.



Landscape area needs to be 8,620 square feet (10% of 86,202 sq ft).



PROJECT INFO:
LOT AREA = 86,202 sq.ft. 1.98 acres
BUILDING DIMENSIONS = 60'X120'
BUILDING AREA = 7,200 SQ. FT.
LANDSCAPE AREA = 5,003 sq.ft. 0.115 acres
PAVEMENT AREA = 18,336 sq.ft. 0.42 acres

EROSION CONTROL AND RE-VEGETATION:

INLET PROTECTION

A. USE SILT FENCE ANYTIME WHERE NATURAL GROUND IS UPSLOPE FROM ANY NATURAL DRAINAGE, OR IRRIGATION CHANNEL TO PREVENT SEDIMENT FROM BEING DISCHARGED INTO STREAMS. NO SEDIMENT DISCHARGE INTO DRAINAGES OR IRRIGATION DITCHES DUE TO ROAD OR BUILDING CONSTRUCTION WILL BE PERMITTED.

B. STRAW MAT OR STRAW BAILS ARE REQUIRED ON ALL CUT/FILL SLOPES FOR EROSION CONTROL.

C. WITH REGARD TO BUSINESS CONSTRUCTION, AREAS OF DISTURBED VEGETATION SHALL BE RESTORED TO NATIVE AND LANDSCAPED CONDITIONS WITHIN 2 YEARS FOLLOWING THE COMPLETION OF CONSTRUCTION OF THE BUILDING. BASED ON AN ENGINEERING EVALUATION, TEMPORARY MEASURES MAY BE REQUIRED PRIOR TO THE 2 YEAR LIMIT.

MOUNTAIN ENGINEERING
2250 W OLD HIGHWAY ROAD
MORGAN, UTAH 84050
TEL (801) 876-3978 FAX 876-3979

REVISIONS	COMMENTS
DATE	BY
10/17	JWH
10/17	JWH

DESIGNED BY: K.W.H., J.W.H.
DRAWN BY: J.W.H.
DATE: MAY, 2018

REGISTERED PROFESSIONAL ENGINEER
181301
KIRK W. HOLYOAK
STATE OF UTAH

FOR: BLAKE FIELDING, FEARLESS LAND, L.L.C. 2003 S CAMERON DRIVE, WEST HAVEN, UTAH 84015

SITE PLAN - ACCURITE INC.

A PART OF THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY WEBER COUNTY, UTAH.

DRAWING NO. ME 08-53
SHEET 1 OF 1
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