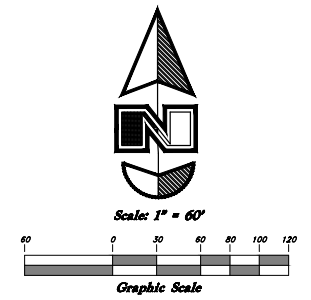


LEGEND			
—E—	Centerline	TOP	Top of Slope
—UGT—	Buried Telephone line	CO	Cleanout
—OHT—	Overhead Telephone line	FC	Fence
—OHP—	Overhead Power line	Flowing	Flowing
—OHP—	Overhead Power line	DMH	Drain Manhole
—S—	Sanitary Sewer line	x99.00	Spot Elevation
—W—	Water line	Contour	Contour
—SD—	Storm Drain line	Asphalt	Asphalt
—SW—	Secondary Waterline	Concrete	Concrete
—LD—	Land Drain line	Building	Building
—IW—	Irrigation Waterline	Catch Basin	Catch Basin
—X—X—	Fence	C.M.P.	Corrugated Metal Pipe
—X—X—	Fence	R.C.P.	Reinforced Concrete Pipe
—X—X—	Fence	CONC	Edge of Concrete
—X—X—	Fence	RWALL	Retaining Wall
—X—X—	Fence	SMH	Sewer Manhole
—X—X—	Fence	WY	Water Valve
—X—X—	Fence	CD	Catch Basin
—X—X—	Fence	DV	Drain Valve
—X—X—	Fence	TC	Top of Curb
—X—X—	Fence	SW	Sidewalk
—X—X—	Fence	GAS	Gas Line Marker
—X—X—	Fence	GUY	Guy Wire
—X—X—	Fence	BLDG	Building Corner
—X—X—	Fence	Fire Hydrant	Fire Hydrant
—X—X—	Fence	NG	Natural Ground
—X—X—	Fence	Water Valve	Water Valve
—X—X—	Fence	Light Pole	Light Pole
—X—X—	Fence	Power Pole w/guy	Power Pole w/guy
—X—X—	Fence	Deiduous Tree	Deiduous Tree
—X—X—	Fence	Coniferous Tree	Coniferous Tree
—X—X—	Fence	Area Reference Plat	Area Reference Plat
—X—X—	Fence	Building Columns	Building Columns
—X—X—	Fence	Landscaping	Landscaping

PRELIMINARY DESCRIPTION

A part of Section 9, Township 6 North, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, Weber County, Utah.
 Beginning at a point on the Northwest corner of McFarland Subdivision, said point being 919.59 feet South 89°26'19" East and 999.47 feet North 0°33'41" East from the South Quarter Corner of said Section 9; and running thence South 89°03'35" East 84.69 feet to a point of curvature; thence Northerly along the arc of a 173.90 foot Radius curve to the left a distance of 177.70 feet (Delta Angle equals 58°32'52", Center bears North 1°02'03" East, Long Chord bears North 61°45'37" East 170.07 feet); thence North 32°48'50" East 114.77 feet to a point of curvature; thence Northerly along the arc of a 175.00 foot Radius curve to the right a distance of 61.14 feet (Delta Angle equals 20°01'00", Center bears South 57°15'19" East, Long Chord bears North 42°45'11" East 60.83 feet); thence North 52°45'41" East 63.20 feet to a point of curvature; thence Northerly along the arc of a 175.00 foot Radius curve to the left a distance of 54.24 feet (Delta Angle equals 17°45'32", Center bears North 37°14'19" West, Long Chord bears North 43°52'55" East 54.02 feet); thence North 33°19'25" East 65.44 feet, thence South 56°40'35" East 222.19 feet to a point of curvature; thence Southerly along the arc of a 375.00 foot Radius curve to the left a distance of 227.11 feet (Delta Angle equals 34°42'00", Center bears North 33°19'25" East, Long Chord bears South 74°01'35" East 223.66 feet); thence North 88°37'25" East 53.32 feet to a point of curvature; thence Northerly along the arc of a 75.00 foot Radius curve to the left a distance of 107.01 feet (Delta Angle equals 81°45'10", Center bears North 1°22'35" West, Long Chord bears North 47°44'49" East 98.16 feet); thence North 6°52'14" East 3.15 feet; thence South 73°36'46" East 112.87 feet to a point on the arc of a curve; thence Southerly along the arc of a 3561.68 foot Radius curve to the left a distance of 286.42 feet (Delta Angle equals 4°36'27", Center bears North 49°12'42" East, Long Chord bears South 43°21'07" East 286.34 feet) to a point on the arc of a curve; thence Southerly along the arc of a 15.00 foot Radius curve to the left a distance of 9.34 feet (Delta Angle equals 35°40'18", Center bears North 44°20'40" East, Long Chord bears South 63°29'29" East 9.19 feet); thence South 81°19'38" East 39.36 feet to a point of curvature; thence Southerly along the arc of a 175.65 foot Radius curve to the right a distance of 258.77 feet (Delta Angle equals 84°24'30", Center bears South 6°31'04" West, Long Chord bears South 41°16'41" East 236.00 feet); thence South 0°55'35" West 297.84 feet; thence North 89°04'21" West 1063.11 feet to the East line of McFarland; thence North 0°56'30" East 362.41 feet to the North line of McFarland Subdivision; thence along said Northerly Line the following three (3) courses: (1) North 89°03'35" West 272.12 feet to a point on the arc of a curve; (2) Southerly along the arc of a 225.00 foot Radius curve to the right a distance of 152.93 feet (Delta Angle equals 38°56'33", Center bears North 38°00'08" West, Long Chord bears South 71°28'08" West 150.00 feet) and (3) North 89°03'35" West 84.69 feet to the point of beginning.
 Contains 752,439 Sq. Ft. or 17.274 Acres



East Quarter Corner of Section 9, T6N, R2W, SLB&M, U.S. Survey

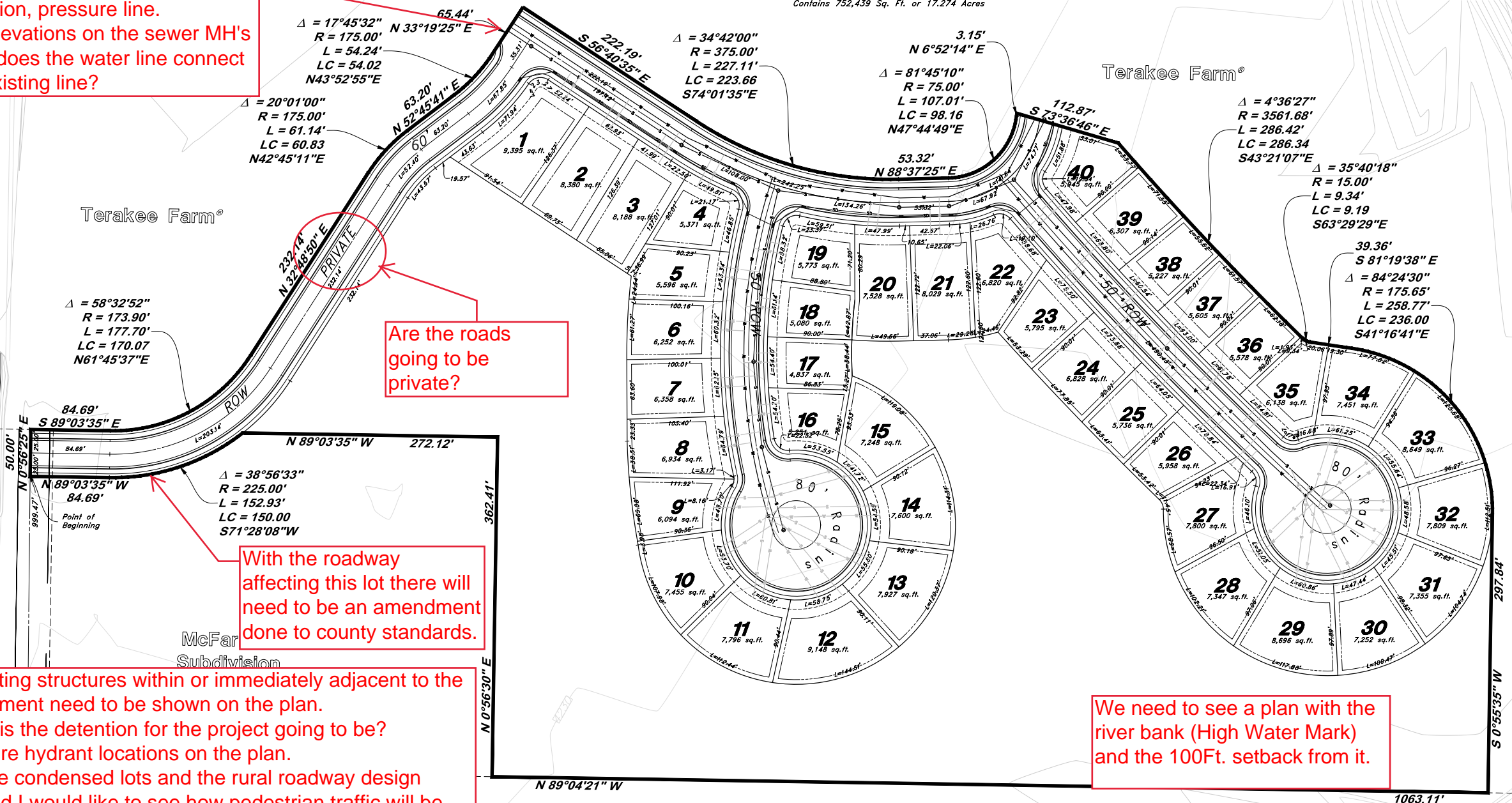
Where does the sewer go to? Lift Station, pressure line. Need elevations on the sewer MH's Where does the water line connect to an existing line?


Are the roads going to be private?

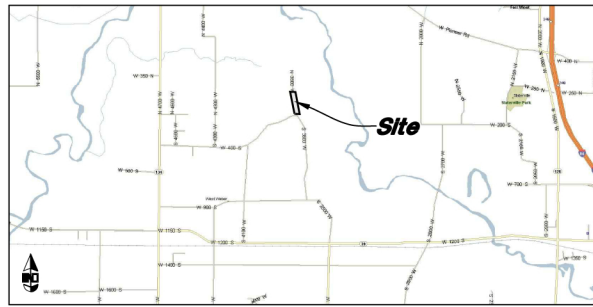
With the roadway affecting this lot there will need to be an amendment done to county standards.

-All existing structures within or immediately adjacent to the development need to be shown on the plan.
 -Where is the detention for the project going to be?
 -Show fire hydrant locations on the plan.
 -With the condensed lots and the rural roadway design proposed I would like to see how pedestrian traffic will be handled should a deferral be granted.

We need to see a plan with the river bank (High Water Mark) and the 100Ft. setback from it.



DATE	
REV	
GREAT BASIN ENGINEERING	
	
5746 SOUTH 1475 EAST OGDEN, UTAH 84403 MAIN (801)394-4515 S.L.C. (801)521-0222 WWW.GREATBASINENGINEERING.COM	
Phase 1 Terakee Farm @ PRUD Subdivision Approx 700 North 3600 West Weber County, Utah A part of Section 9, T6N, R2W, SLB&M, U.S. Survey	
6 Nov, 2017	
SHEET NO. 2 of 2	
16N704 - Prelim - Phase 1	

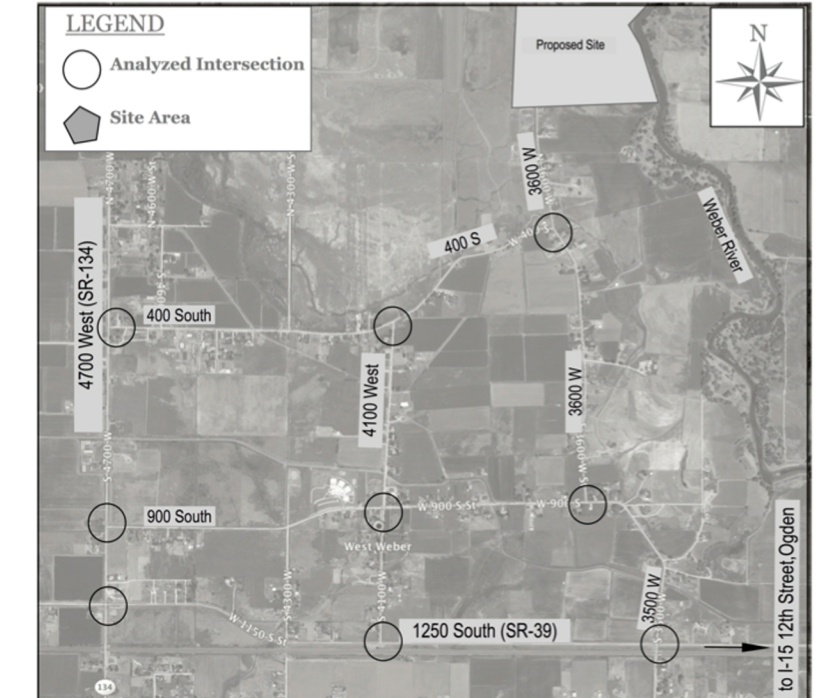
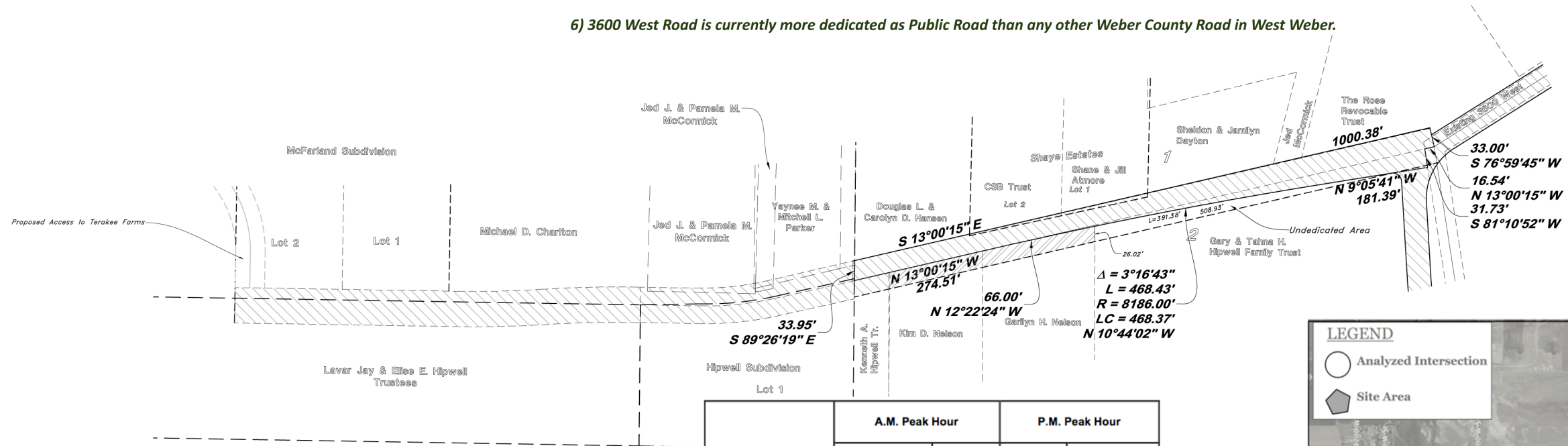
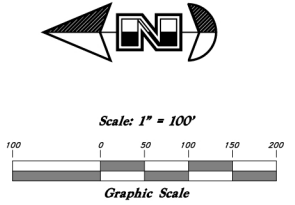


VICINITY MAP
Not to Scale

- Legend**
- Monument to be set
 - (Rad.) Radial Line
 - (N/R) Non-Radial Line
 - PUE Public Utility Easement
 - PU&DE Public Utility & Drainage Easement
 - x-x- Fence
 - Set Hub & Tack
 - ▲ will be set Nail in Curb
 - ⊙ Extension of Property
 - ⊙ Set 5/8" x 24" Long Rebar & Cap w/ Lathe
 - ▨ Area Dedicated as Weber County Road Through multiple Subdivision Recordings and/or existing Right of Use Right of Way.
 - ▨ Area dedicated through Weber County Commission Public Meetings, Weber County Engineering Department Directives and Conditional Uses
 - Undedicated Area

3600 West Road Layout

- 1) Developer worked with the Weber County Commission, Weber County Engineering Department, and Weber County Surveyor to dedicate parcel #15-044-0008 as Weber County Road completed and recorded on February 15, 2017.
- 2) 78% of 3600 West Road is currently dedicated as public right of way; adding in right of use right of way increases current road dedication to approximately 98%.
- 3) Other Weber County Roads in West Weber are approximately 10% formally dedicated as public right of way; adding in right of use right of way increases current road dedication to approximately 60%.
- 4) No less than twelve (12) additional Subdivisions have been approved and recorded by Weber County along 3600 West Road.
- 5) In 1999 and again in 2007 the owners of Weber County Land Parcels 15-044-0029 and 15-044-0030 have declared in Weber County Public Forums that the frontage of these parcels are "County Road." Through formal letters and recordings the Weber County Engineer has required the owners of these parcels to dedicate 30 feet of frontage as Public Road.
- 6) 3600 West Road is currently more dedicated as Public Road than any other Weber County Road in West Weber.



CONCLUSIONS AND RECOMMENDATIONS

All intersections in the study area are under capacity and function at a level-of-service (LOS) "A". The intersections are still at an LOS "A" when evaluating with the additional traffic projected from the development.

As shown in this report, the majority of intersections of the affected network of the project function well in both the a.m. and p.m. peaks, and the proposed development will have a minimal impact on operation.

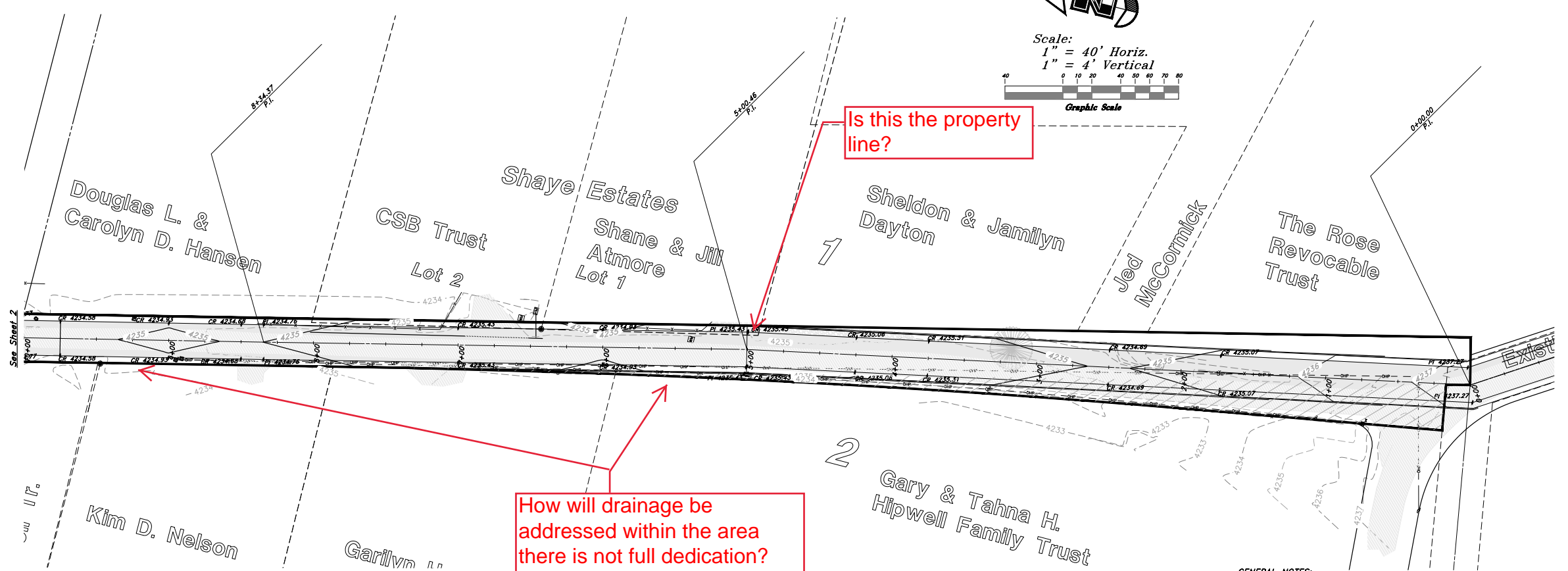
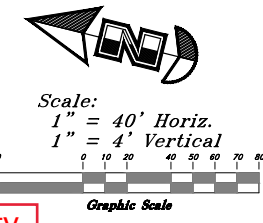
The intersection of 400 South and 3600 West will be most impacted by the increased traffic. It is recommended to widen the 3600 West connection, where possible, and improve the geometry, pavement markings and signage at 400 South.

It is also recommended to add traffic calming features, such as speed bumps, pavement markings, and median features to the reconstructed portion of 3600 West, to keep traffic speeds down.

Intersection	A.M. Peak Hour		P.M. Peak Hour	
	ICU*	Level of Service	ICU*	Level of Service
SR-39 & 4100 West	36.6% 36.6%	A	36.9% 39.6%	A
4100 West & 400 S	14.4% 18.6%	A	13.3% 15.4%	A
4100 West & 900 S	19.0% 19.0%	A	22.2% 22.2%	A
900 South & 3600 W	13.3% 13.5%	A	13.3% 15.6%	A
3600 South & 400 S (to Site Entrance)	13.3% 18.4%	A	14.7% 19.5%	A
SR-134 & SR-39	44.0% 46.0%	A	50.2% 56.1%	A
SR-134 & 900 South	32.9% 34.1%	A	39.0% 41.6%	A
3500 West & SR-39	32.2% 32.6%	A	40.7% 47.3%	A
SR-134 & 400 South	33.5% 36.9%	A	34.0% 43.8%	A

* Intersection Capacity Utilization (ICU)
Top Number = Current ICU
Bottom Number = Projected ICU with Entire Development In Place

TENTATIVE FINAL

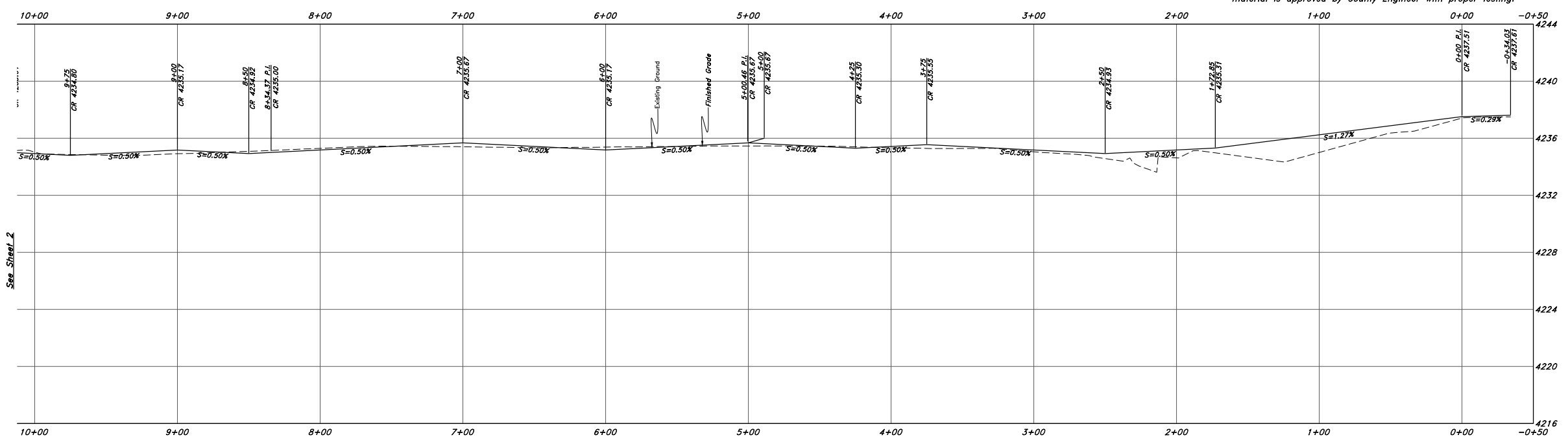


Legend

(Note: All items may not appear on drawing)

- Water Meter
- San. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Cleanout
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve
- Sanitary Sewer
- Culinary Water
- Gas Line
- Irrigation Line
- Storm Drain
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- Secondary Waterline
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- Land Drain
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- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
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- PVC
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Walk
- Top of Concrete
- Natural Ground
- Finish Grade
- Match Existing
- Fire Department Connection
- FD Connection
- Exist. Contour
- Finish Grade
- Exist. Grade
- Ridge Line
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Existing Concrete
- New Concrete
- Spill Curb & Gutter
- Demo Tree

3600 West Street



- GENERAL NOTES:**
1. All construction must meet or exceed Weber County Standards and Specifications.
 2. Verify the Depth & Location of all utility crossings & connections prior to their Construction.
 3. Contractor is responsible for Looping Culinary and Secondary Waterlines to Maintain depth of cover and separation between gravity fed utility lines.
 4. Saw Cut existing Asphalt to expose a smooth clean edge and a minimum 1 foot of undisturbed road base from under existing asphalt.
 5. Field verify size & type of exist. utilities prior to construction of laterals.
 6. Import fill required for trenches within the Right of Way unless on site material is approved by County Engineer with proper testing.

CAUTION NOTICE TO CONTRACTOR
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PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
 The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

TENTATIVE FINAL



GREAT BASIN ENGINEERING
 5746 SOUTH 1475 EAST OGDEN, UTAH 84403
 MAIN (801) 394-4515 S.L.C (801) 521-0222 FAX (801) 392-7544
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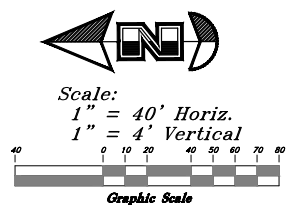
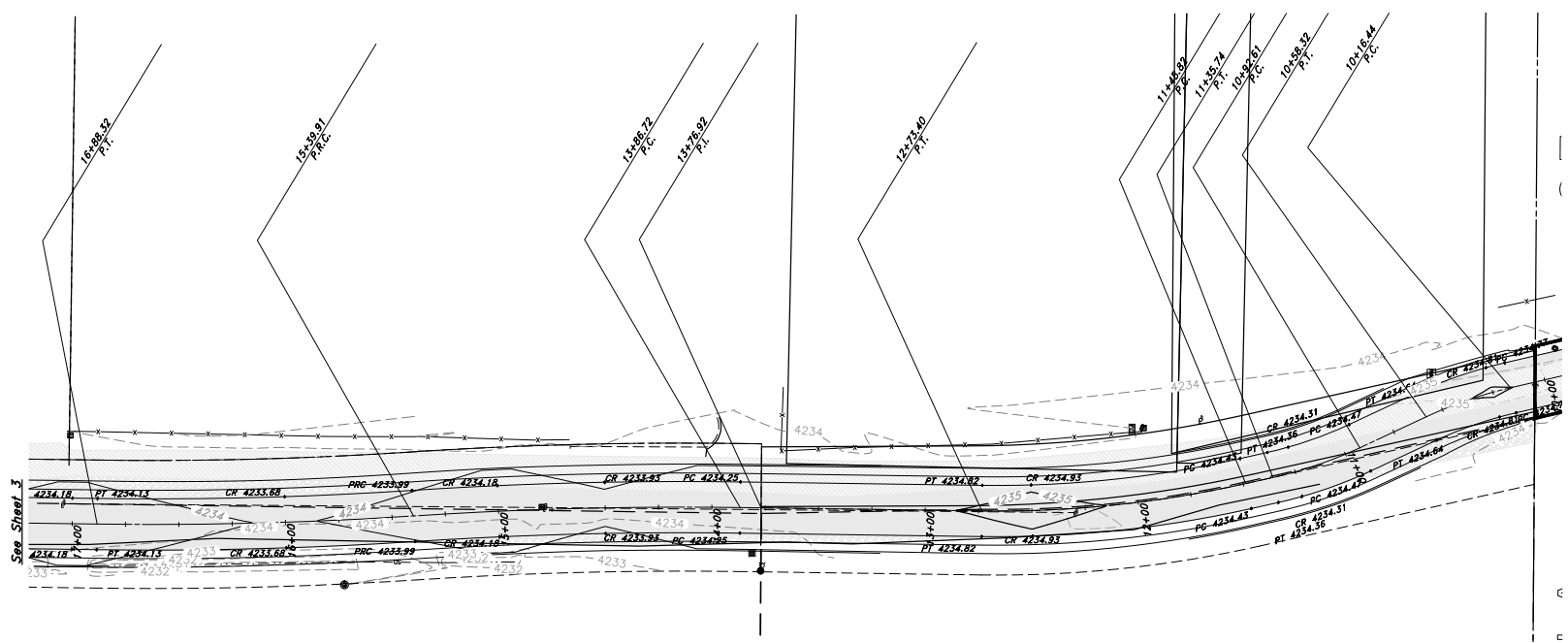
Plan & Profile
3600 West Road Dedication
 3600 West Street
 Weber County, Utah
 A part of Section 16, T6N, R2W, S16&M, U.S. Survey

21 Mar, 2017
 SHEET NO.
1
 16N704

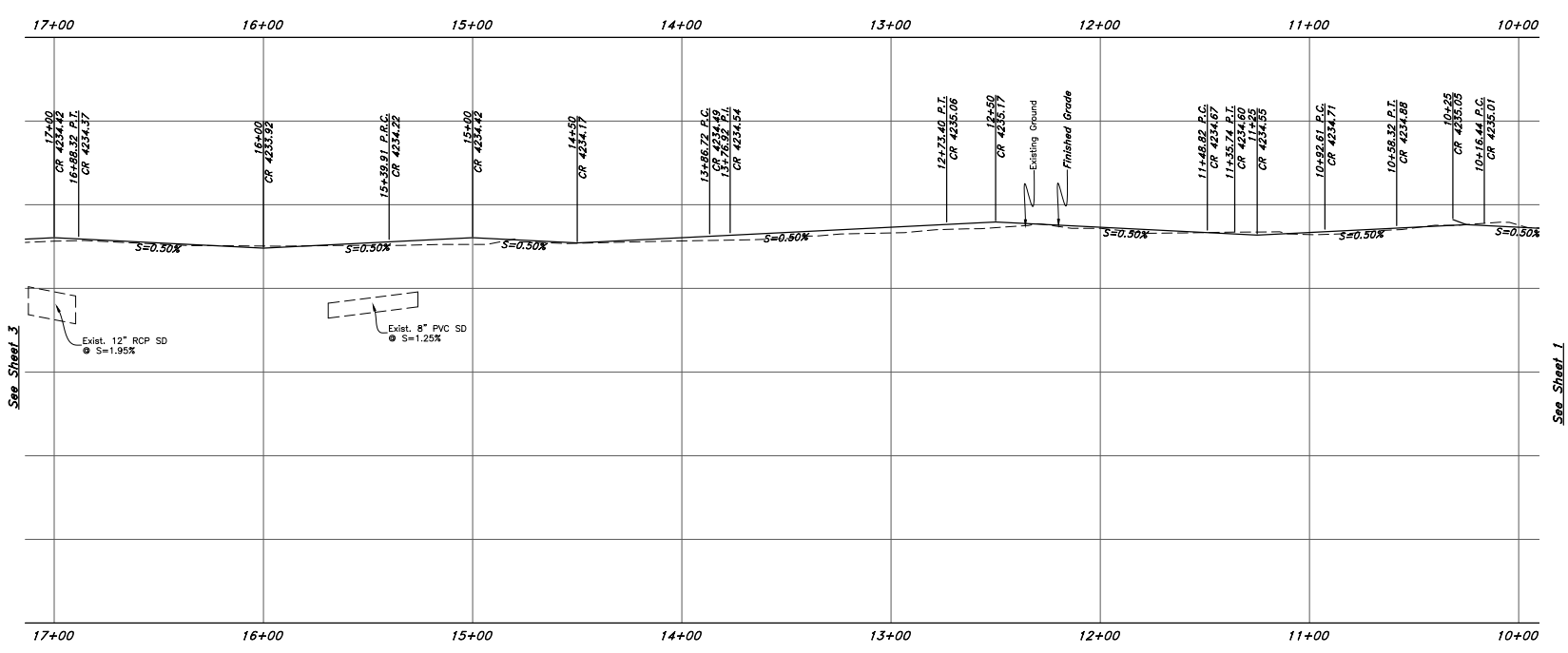
Legend

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- Land Drain
- Power pole
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- Polyvinyl Chloride
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Walk
- Top of Concrete
- Natural Ground
- Finish Grade
- ME
- Match Existing
- Fire Department Connection
- Finish Contour
- Exist. Contour
- Finish Grade
- Exist. Grade
- Ridge Line
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Existing Concrete
- New Concrete
- Spill Curb & Gutter
- Demo Tree



3600 West Street



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TENTATIVE FINAL



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Plan & Profile

3600 West Road Dedication

3600 West Street
 Weber County, Utah
 A part of Section 16, T6N, R2W, S16&M, U.S. Survey

21 Mar, 2017

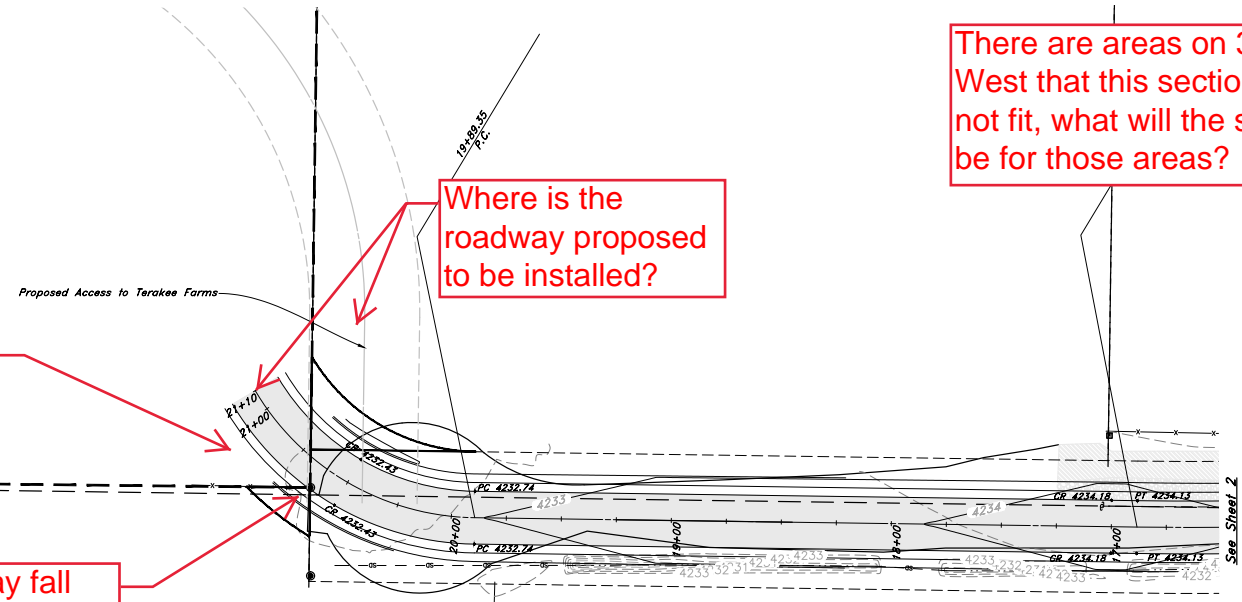
SHEET NO. **2**

16N704

Legend

(Note: All items may not appear on drawing)

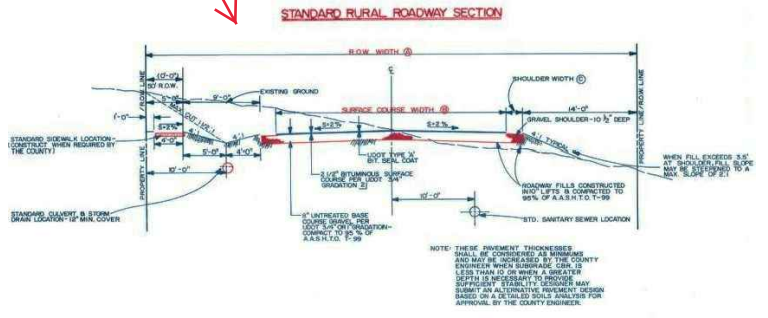
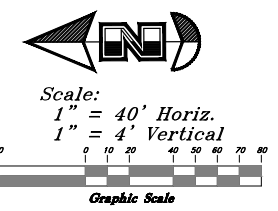
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There are areas on 3600 West that this section will not fit, what will the section be for those areas?

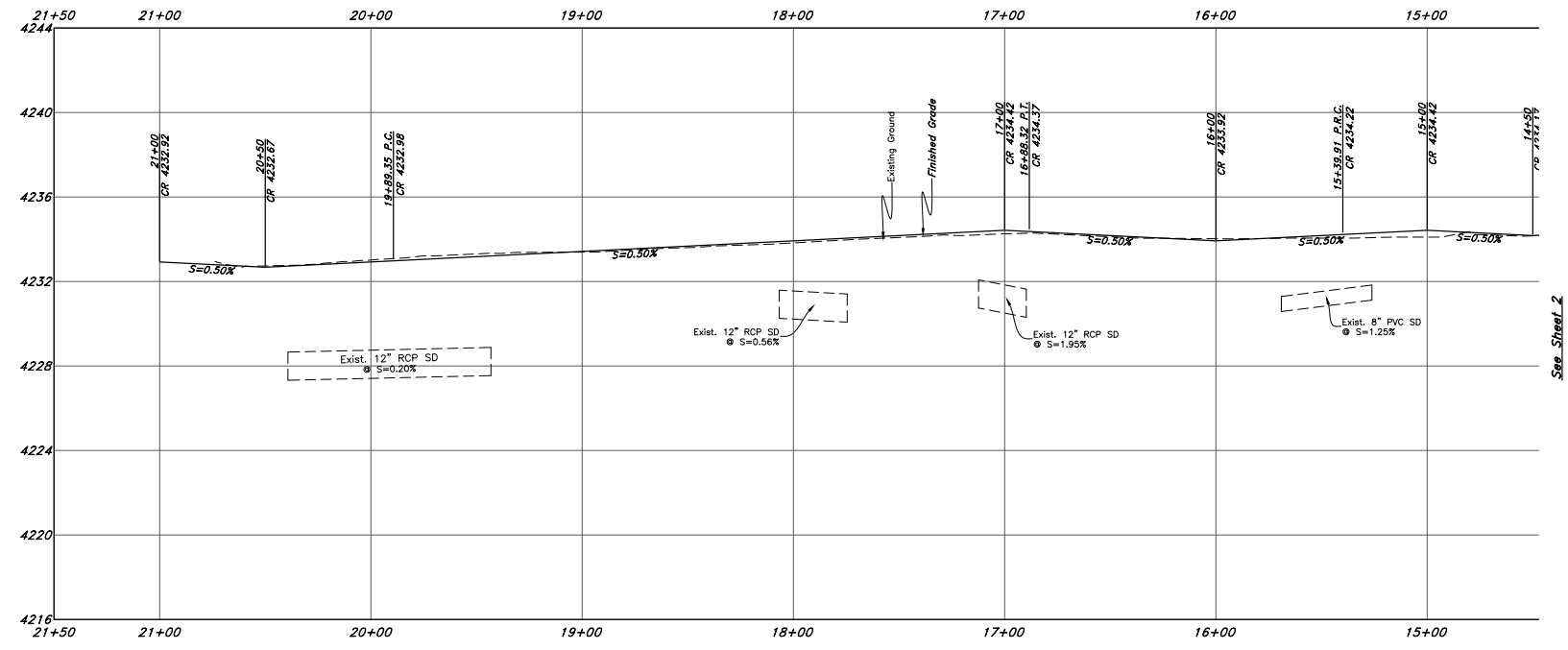
When submitting the improvement plans please address the curve design speed and what the speed of the roadway will be.

Will the roadway fall within a dedicated ROW?



STREET DESIGNATION	FLOW WIDTH (ft)	SURFACE COURSE WIDTH (ft)	SHOULDER WIDTH (ft)
1) MINOR ARTERIAL OR PRIVATE ROADWAYS	50'	24'	4'
STANDARD RESIDENTIAL	50'	24'	4'
COLLECTOR	50'	24'	5'
2) MINOR ARTERIAL	50'	44' (20' ±)	4' ±
3) MAJOR ARTERIAL	100' (CONSULT)	COUNTY ENGINEER FOR SPECIFIC REQUIREMENTS	

3600 West Street



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TENTATIVE FINAL



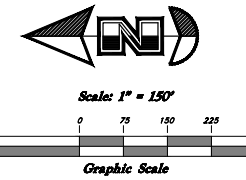
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Plan & Profile
3600 West Road Dedication
 3600 West Street
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 A part of Section 16, T6N, R2W, S16&M, U.S. Survey

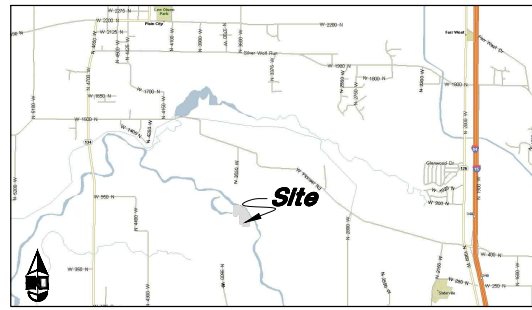
21 Mar, 2017
 SHEET NO.
3
 16N704

Preliminary Plan for Terakee Farm PRUD Subdivision

A part of Section 9, T6N, R2W, SLB&M, U.S. Survey
Weber County, Utah
November 2017



The river bank (High Water Mark) will need to be shown and the 100Ft. setback from it.



VICINITY MAP
(Not to Scale)

FLOOD PLAIN

This property lies within flood zone X (unshaded) as shown on the FEMA Flood Insurance Rate Map for Weber County, Utah, Community Panel Number 49057CD189E dated 16 Dec, 2005. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual chance flood plain" (no shading) as well as Special Flood Hazard Areas subject to inundation by the 1% Annual Chance Flood Event.

GENERAL NOTES

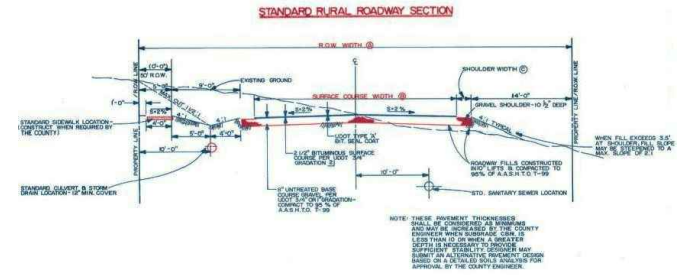
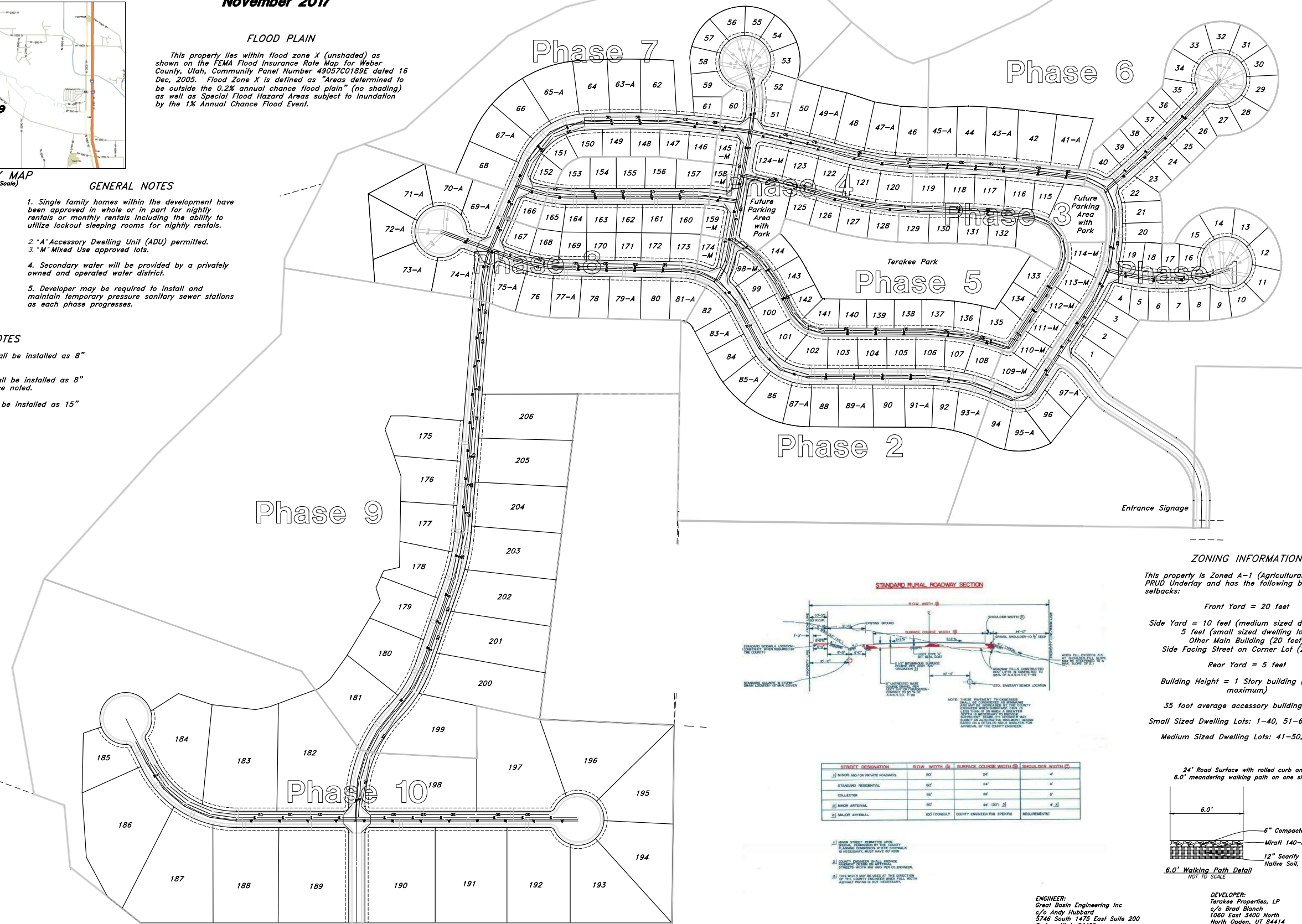
1. Single family homes within the development have been approved in whole or in part for nightly rentals or monthly rentals including the ability to utilize lockout sleeping rooms for nightly rentals.
2. 'A' Accessory Dwelling Unit (ADU) permitted.
3. 'M' Mixed Use approved lots.
4. Secondary water will be provided by a privately owned and operated water district.
5. Developer may be required to install and maintain temporary pressure sanitary sewer stations as each phase progresses.

UTILITY NOTES

1. All Sanitary Sewer Lines shall be installed as 8" SDR-35 unless otherwise noted.
2. All Culinary Water Lines shall be installed as 8" DR-14 900 PVC unless otherwise noted.
3. All Storm Drain Lines shall be installed as 15" RCP unless otherwise noted.

LEGEND

- E - Centerline
- UGT - Buried Telephone line
- OHT - Overhead Telephone line
- OHP - Overhead Power line
- UGP - Power line
- SS - Sanitary Sewer line
- W - Culinary Water line
- G - Gas line
- SD - Storm Drain line
- SW - Secondary Waterline
- LD - Land Drain line
- W - Irrigation Waterline
- X-X-X - Fence Power Meter
- PM - Power Pole
- WM - Water Meter
- GM - Gas Meter
- PM - Power Meter
- TB - Telephone Box
- SM - Sewer Manhole
- DM - Drain Manhole
- WM - Water Manhole
- CB - Cleanout Box
- TA - Top of Asphalt
- EA - Edge of Asphalt
- NG - Natural Ground
- LG - Lip of Gutter
- SP - Service Pole
- LP - Light Pole
- PP - Power Pole
- TP - Telephone Pole
- FH - Fire Hydrant
- DIT - Flowline of Ditch
- TOE - Toe of Slope
- TOP - Top of Slope
- CO - Cleanout
- FC - Fence
- FL - Flowline
- DMH - Drain Manhole
- SE - Spot Elevation
- CO - Contour
- AS - Asphalt
- CO - Concrete
- BL - Building
- CB - Catch Basin
- C.M.P. - Corrugated Metal Pipe
- R.C.P. - Reinforced Concrete Pipe
- CONC - Edge of Concrete
- RWALL - Retaining Wall
- SMH - Sewer Manhole
- WV - Water Valve
- CB - Catch Basin
- DV - Diversion Box
- TC - Top of Curb
- SW - Sidewalk
- GAS - Gas line Marker
- GUY - Guy Wire
- BLDG - Building Corner
- FH - Fire Hydrant
- NG - Natural Ground
- WV - Water Valve
- LP - Light Pole
- PP - Power Pole w/guy
- DT - Deciduous Tree
- CT - Coniferous Tree
- ARP - Area Reference Plat
- BL - Building Columns
- LS - Landscaping



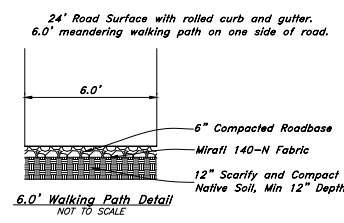
STREET DESIGNATION	ROW WIDTH @	SURFACE COURSE WIDTH @	SHOULDER WIDTH @
1) MINOR ARTERIAL/PRIVATE ROADS	50'	24'	4'
STANDARD RESIDENTIAL	60'	24'	4'
COLLECTOR	60'	24'	4'
2) MAJOR ARTERIAL	90'	44' (30' @)	4'
3) MAJOR ARTERIAL	100' (CONSULT COUNTY ENGINEER FOR SPECIFIC REQUIREMENTS)		

- 1) ROAD STREET PERMITTED UNDER LOCAL ORDINANCES AND/OR PRIVATE DEEDS. A DRAINAGE DESIGN MUST BE SUBMITTED TO THE COUNTY ENGINEER FOR REVIEW AND APPROVAL. IF NECESSARY, ROAD DESIGN MUST BE FOR ONE WAY TRAFFIC.
- 2) STREET DESIGNER SHALL PROVIDE ALL DIMENSIONS AND NOTES FOR ALL UTILITIES. STREET WIDTH MAY VARY PER LOCAL ORDINANCES.
- 3) THIS WIDTH MAY BE USED BY THE DESIGNER OF THE COUNTY ENGINEER'S OFFICE. LOCAL ORDINANCES AND/OR PRIVATE DEEDS MAY REQUIRE A DIFFERENT WIDTH.

ZONING INFORMATION

This property is Zoned A-1 (Agricultural) with PRUD Underlay and has the following building setbacks:

- Front Yard = 20 feet
- Side Yard = 10 feet (medium sized dwelling lot)
5 feet (small sized dwelling lots)
- Other Main Building (20 feet)
- Side Facing Street on Corner Lot (20 feet)
- Rear Yard = 5 feet
- Building Height = 1 Story building (40 feet maximum)
- 35 foot average accessory building height
- Small Sized Dwelling Lots: 1-40, 51-61, 98-174,
- Medium Sized Dwelling Lots: 41-50, 62-97



ENGINEER:
Great Basin Engineering Inc
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DEVELOPER:
Terakee Properties, LP
c/o Brad Blanch
1060 East 3400 North
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Preliminary Plan
Terakee Farm PRUD Subdivision
Approx 700 North 3600 West
Weber County, Utah
A part of Section 9, T6N, R2W, SLB&M, U.S. Survey

6 Nov. 2017

SHEET NO.

1

of 2

PRELIMINARY PLAN

16N704 - Prelim - Phase 1