

IMPROVEMENT DRAWINGS FOR EDGEWATER BEACH RESORT - PHASE 3

6350 STATE ROUTE 39 HUNTSVILLE, UT

BASIS OF BEARING:

THE BASIS OF BEARINGS FOR THIS PLAT IS THE SECTION LINE BETWEEN THE SOUTH QUARTER CORNER AND THE SOUTHWEST CORNER OF SECTION 13, TOWNSHIP 6 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. SHOWN HEREON AS N89°36'57"E

BENCHMARK ELEVATION

MONUMENT NO. 3-JRH
ELEVATION=4969.025'
(MAINTAINED BY WEBER COUNTY SURVEYOR)

ENGINEER:

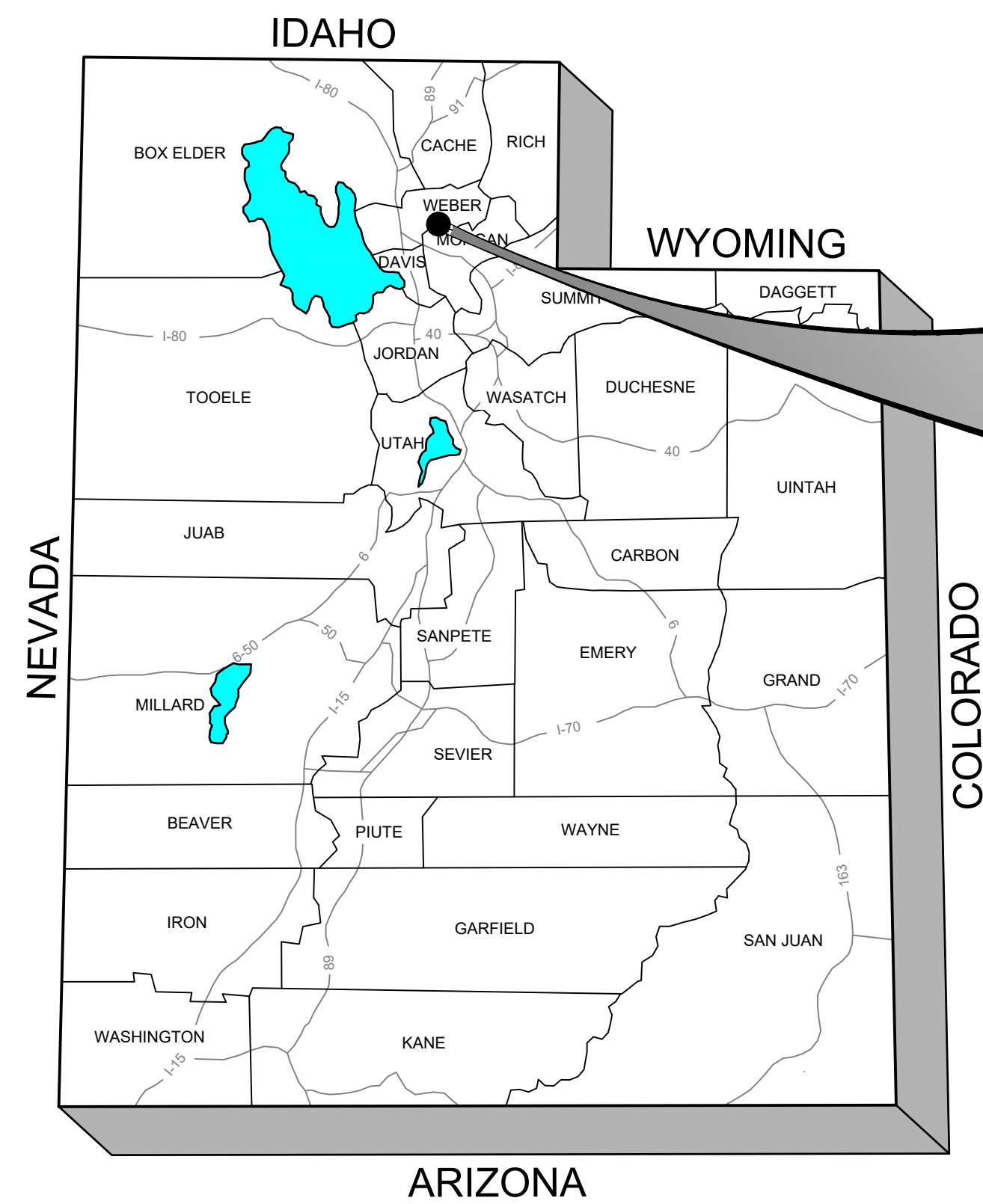
HORROCKS ENGINEERS
2162 West Grove Pkwy., Suite 400
Pleasant Grove, UT 84062
(801) 763-5100
CONTACT: DAVE PETERSEN, PE

UTILITIES:

POWER- ROCKY MTN POWER
GAS- DOMINION ENERGY
SEWER- MOUNTAIN SEWER
WATER- LAKEVIEW WATER

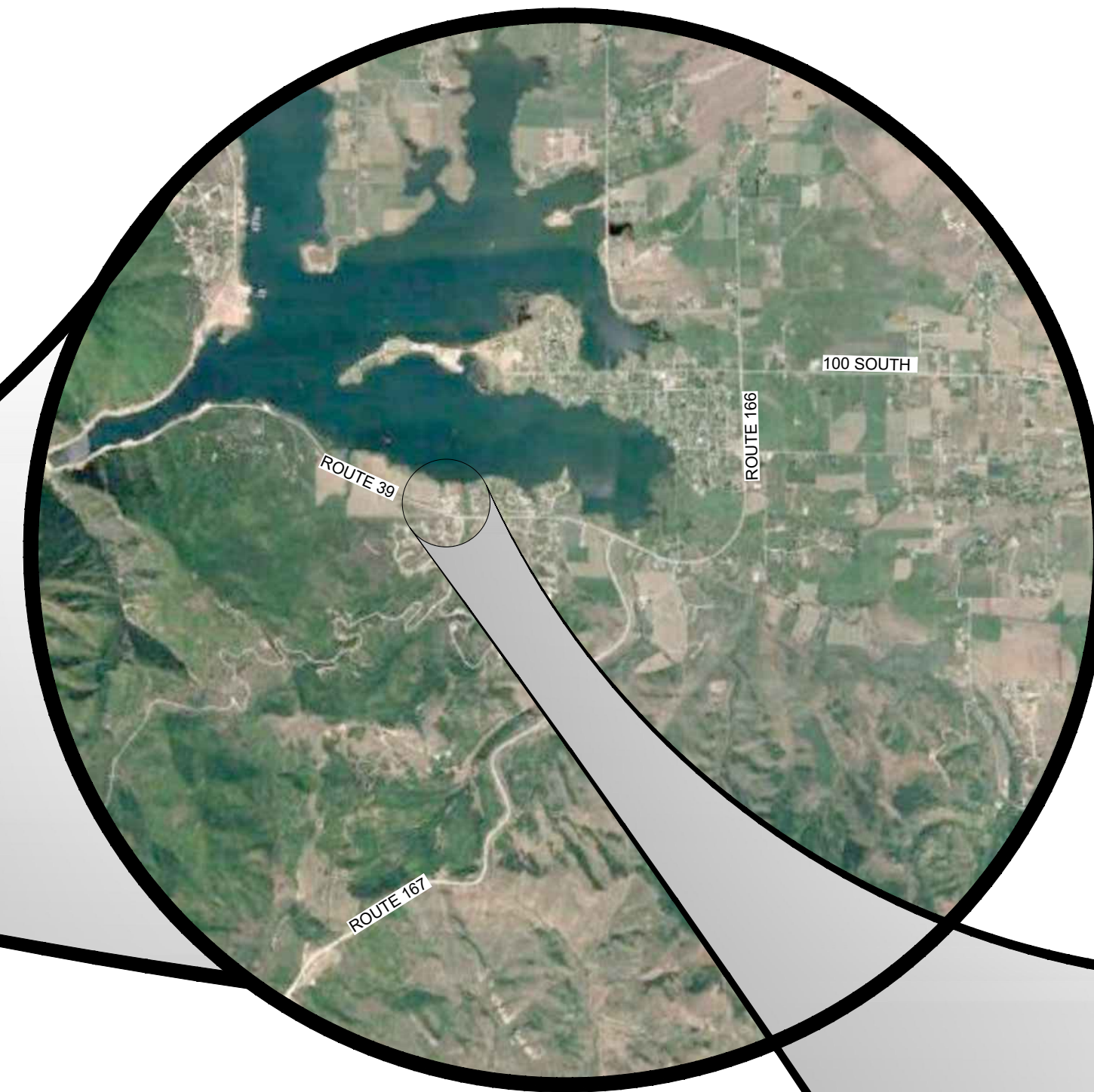
APPLICANT / OWNER

JACK FISHER HOMES
DAN ROSS
1148 W LEGACY CROSSING BLVD., STE 400
CENTERVILLE, UTAH 84014
801-335-8500

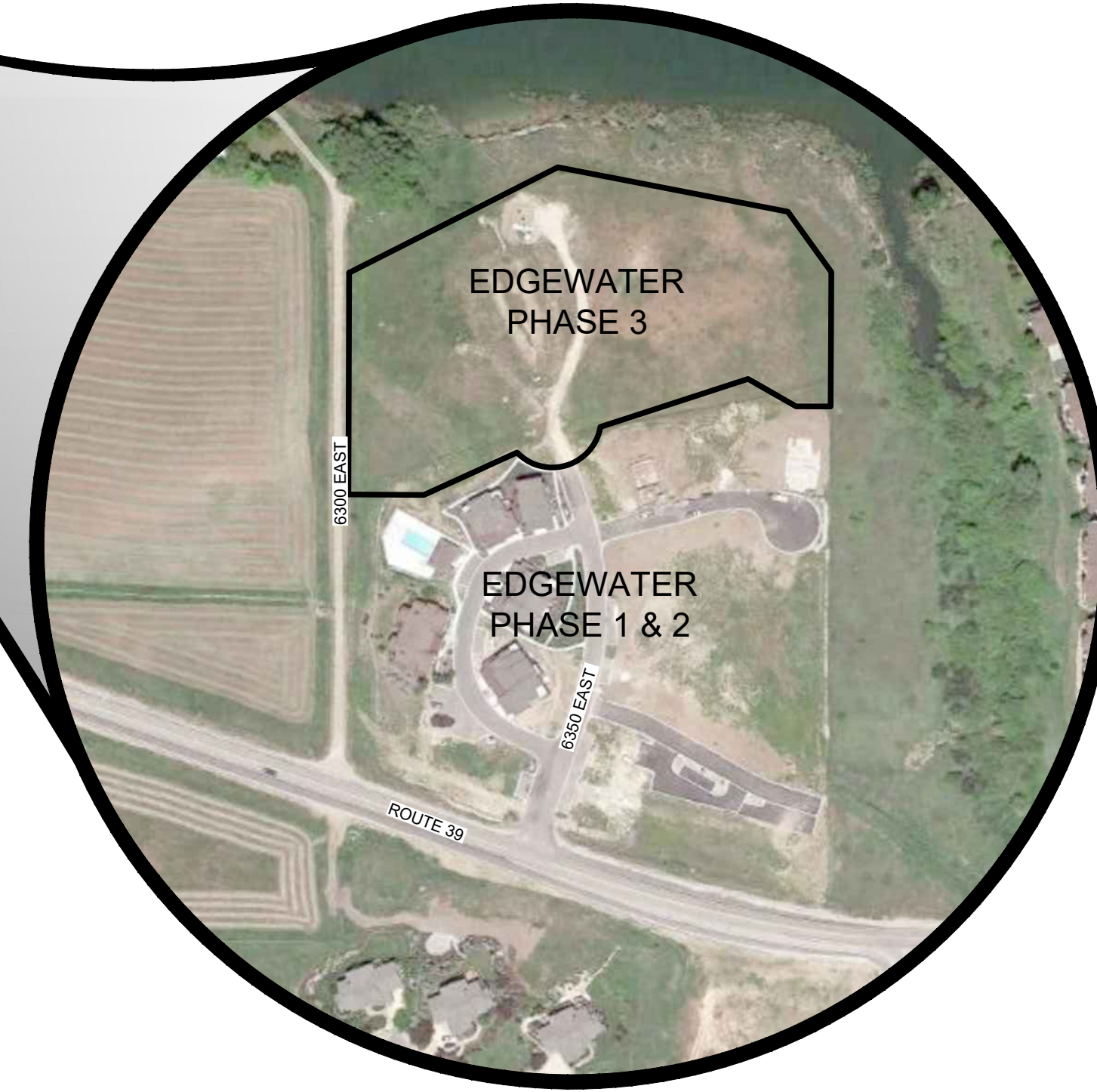


ARIZONA

STATE MAP



VICINITY MAP



PROJECT SITE

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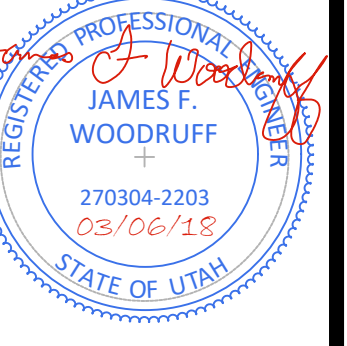
**Know what's below.
Call before you dig.**



HORROCKS ENGINEERS
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Pleasant Grove, UT 84062
(801) 763-5100
www.horrocks.com

WARNING
IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

REVISIONS	REV #	DATE	BY	CHKD	APP'D
DRAWING INFO	DATE	DESIGNED	DRAWN	CHECKED	PROJECT
	NOV 1, 2017	DM	SB	DM	OC-707-1510



EDGEWATER PHASE 3
6350 STATE ROUTE 39
HUNTSVILLE, UT

COVER
CLIENT: JACK FISHER HOMES

GI 001

SEWER

POWER

HATCH PATTERNS

STANDARD SYMBOLS

ABBREVIATIONS

Table with columns for EXISTING and PROPOSED symbols for SEWER and POWER. Includes symbols for unknown, 4", 6", 8", 10", 12" sizes and lateral connections.

Table of HATCH PATTERNS showing various textures for BUILDING / PAD, CONCRETE SIDEWALK / FLATWORK, DECORATIVE BRICK, POOL DECK, XERISCAPE, LANDSCAPE AREAS / GRASS, HEAVY DUTY PAVEMENT SECTION, LIGHT DUTY PAVEMENT SECTION, ADA ACCESS RAMP TRUNCATED DOMES, RIPRAP, and GRAVEL.

Table of STANDARD SYMBOLS for EXISTING and PROPOSED. Includes symbols for SEWER MANHOLE, STORM DRAIN MANHOLE, WATER MANHOLE, ELECTRICAL MANHOLE, TELEPHONE MANHOLE, FIBER OPTIC MANHOLE, IRRIGATION MANHOLE, GAS MANHOLE, CABLE TV MANHOLE, STORM DRAIN CATCH BASIN, IRRIGATION BOX, ELECTRICAL JUNCTION BOX, ELECTRICAL BOX, TELEPHONE BOX, CABLE TV BOX, FIBER OPTIC BOX, WATER METER, GAS METER, GATE VALVE, BUTTERFLY VALVE, PRESSURE REDUCING VALVE, FIRE HYDRANT, ELECTRICAL POWER POLE, TRAFFIC SIGNAL POLE, LIGHT POLE, SIGN (SINGLE POLE), SIGN (2 POLE), SIGN (3 POLE).

Vertical list of ABBREVIATIONS including ABC, AC, BC, BOT, B.S.L, BLDG, BV, BVCE, BVCS, BW, C&G, CL, CB, CI, CLR, CO, COM, CONC, CONSTRUCT, COW, CR, CTS, C.Y., d, DIA, DIM, DIP, DTL, DWG, E, EA, EL, ESMT, EVCE, EVCS, EW, EX, FF, FE, FG, FIP, FL, FLG, FM, FP, FPS, FRP, FT, FUT, G, GB, GV, HGL, HORIZ, HPFL, HWL, ID, IN, INV, L.F., LIS, L.E., LT, MAX, MFRS, MGD, MH, MIP, ML, MIN, NO, N, N/A, NTD, NTS, OC, OC-EW, OD, P, PC, PC.VC, PCC, PERM, PH, PI, P.I.VC, PL, PRC, PT, PT.VC, PUE, PVC, PVI, PWD, Q, RW, REQD, RES, REV, RGRCPC, RT, S, S.L, SD, SDMH, SEC, SHT, SPEC, ST or STL, STA, STD, SVE, SVT, T.B., TBM, TC, TEMP, TRANS, TF, TL, TRW, TS, TW, TYP, UTC, UG, UNO, V, VERT, V.G., V.POV, V.PRV, V.T., W, WL, WA.

STORM DRAIN

COMMUNICATIONS

SURFACE FEATURES

CONSTRUCTION KEYNOTE TAGS

Table with columns for EXISTING and PROPOSED symbols for STORM DRAIN and COMMUNICATIONS. Includes symbols for unknown, 10", 12", 15", 18", 24", 30", 36" sizes and land.

Table of SURFACE FEATURES including PROPERTY BOUNDARY, PARCEL LINE, CURB & GUTTER, 10' PUBLIC UTILITY & DRAINAGE EASEMENT (P.U.E.), EXISTING MAJOR CONTOURS, EXISTING MINOR CONTOURS, MAJOR CONTOURS, MINOR CONTOURS, ROCK WALL, SCREEN WALL, MODULAR BLOCK WALL, CONCRETE WALL, CONSTRUCTION FENCE, BARB WIRE FENCE, CHAIN LINK FENCE, VINYL FENCE, DECORATIVE FENCE, EXISTING RAILROAD TRACKS.

Table of CONSTRUCTION KEYNOTE TAGS including D00, D99, DEMO PLAN, GRADING PLAN, SITE PLAN, WATER, SEWER, DRAIN, IRRIGATION, CABLE TV, TELEPHONE, GAS, MISCELLANEOUS.

WATER

GAS

CALLOUTS

DETAIL REFERENCE

Table with columns for EXISTING and PROPOSED symbols for WATER and GAS. Includes symbols for unknown, 1", 2", 3", 4", 6", 8", 10", 12" sizes and high pressure service.

Table of CALLOUTS including PROPOSED BUILDING FINISHED FLOOR ELEVATION, PROPOSED TBC SPOT ELEVATION (@ PC'S, PT'S & PL), PROPOSED EOP SPOT ELEVATION (@ EDGE OF), PARKING STALL COUNT.

Table of DETAIL REFERENCE including CURVE DATA (e, R, L, T, P.I., N, E) and NOTES (1. XXXXX, 2. XXXXX, 3. XXXXX).

IRRIGATION

MISCELLANEOUS

Table with columns for EXISTING and PROPOSED symbols for IRRIGATION and MISCELLANEOUS. Includes symbols for unknown, 1", 2", 4", 6", 8" sizes and signal.

MATCHLINE STA. XX+XX.XX (SEE SHEET PP-XX)

DETAIL NAME SCALE: NTS

HORROCKS ENGINEERS logo and contact information: 2162 West Grove Pkwy., Suite 400 Pleasant Grove, UT 84062 (801) 763-9100 www.horrock.com

WARNING scale bar from 0 to 2 feet. Text: IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE.

REVISIONS table with columns for DATE, REV #, and DATE. Includes drawing info: NOV 1, 2017, DESIGNED, DM, DRAWN, SB, CHECKED, DM, PROJECT: OG-707-1510.

Professional Engineer seal for James F. Woodruff, State of Utah, No. 270304-2203, expires 05/06/19.

EDGEWATER PHASE 3 6350 STATE ROUTE 89 HUNTSVILLE, UT LEGEND CLIENT: 6350 STATE ROUTE 89 HUNTSVILLE, UT

GI 003 logo

EDGEWATER BEACH RESORT PHASE 3

A PLANNED RESIDENTIAL UNIT DEVELOPMENT (P.R.U.D.)

PART OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 6 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
WEBER COUNTY, UT
OCT 2017

BASIS OF BEARING

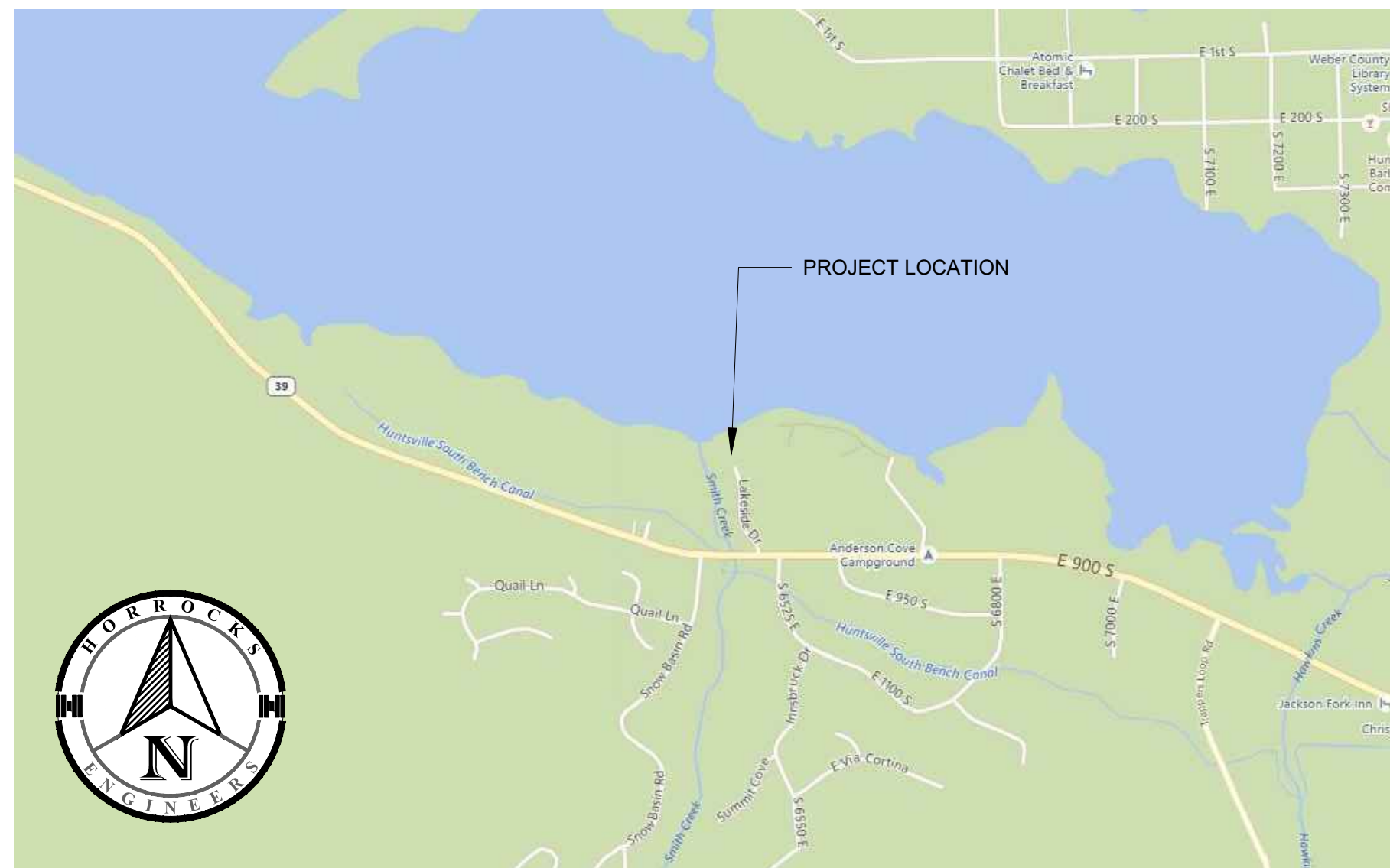
THE BASIS OF BEARING IS N.00°25'49"E. (RECORD N.00°25'44"E.) 5316.87' BETWEEN THE SOUTHWEST AND THE NORTHWEST CORNER OF SECTION 13, T.6N., R.1E., SLB&M.

NARRATIVE

THE PURPOSE OF THIS SURVEY IS TO CREATE A SUBDIVISION PLAT TO BE KNOWN AS "EDGEWATER BEACH RESORT PHASE 3". FOUND SECTION CORNERS AND REFERENCE MONUMENTS WERE USED TO DETERMINE THE BASIS OF BEARING. THE BEARING ALONG THE WEST LINE OF SECTION 13 AS IT IS SHOWN ON A RECORD OF SURVEY TITLED "A PORTION OF THE PINEVIEW FEDERAL BOUNDARY PROJECT FOR PROPOSED EDGEWATER BEACH RESORT AT SNOWBASIN ROAD & LAKESIDE VILLAGE CONDOMINIUMS", SURVEY FILING NO. 003429, WAS HELD AS THE BASIS OF BEARING. THE PROPERTY IS BOUNDED BY THE USA LAND ON THE EAST, EDGEWATER BEACH RESORT PHASE 1-1ST AMENDMENT ON THE WEST, AND STATE HIGHWAY 39 ON THE SOUTH. HIGHWAY RIGHT OF WAY MARKERS WERE FOUND ON THE GROUND AND HELD FOR THE LOCATION OF THE HIGHWAY AND THE NORTH LINE OF THIS SURVEY WAS ESTABLISHED BY THE PROPERTY OWNER TO BE THE NORTH LINE OF THIS SUBDIVISION.

NOTES

- ALL PATIOS, DECKS AND DRIVEWAYS TO PADS ARE DEDICATED LIMITED COMMON AREAS. THEY ARE SET ASIDE AND RESERVED FOR THE OWNERS OF THE RESPECTIVE PAD TO WHICH THEY ARE ATTACHED.
- ALL OTHER AREAS CONTAINED WITHIN THE PROJECT, BUT NOT SHOWN WITH DIAGONAL STRIPE OR CROSS HATCHED LINES ARE DEDICATED AS COMMON AREA, INCLUDING PARKING, PRIVATE STREETS, PUBLIC UTILITY, STORM WATER DETENTION AND DRAINAGE EASEMENT AREA. COMMON AREAS ARE "TO BE USED FOR RECREATIONAL AND OPEN SPACE PURPOSES FOR THE BENEFIT OF EACH EDGEWATER BEACH RESORT HOA, INC. MEMBER IN COMMON AND GRANT AND DEDICATE TO THE GOVERNING AUTHORITY A PERPETUAL OPEN SPACE RIGHT AND EASEMENT ON AND OVER THE COMMON AREA TO GUARANTEE THAT THE COMMON AREAS REMAIN OPEN AND UNDEVELOPED EXCEPT FOR APPROVED RECREATIONAL, PARKING AND OPEN SPACE PURPOSES".
- CULINARY WATERLINE AND THE SANITARY SEWER MAIN TO BE OWNED AND MAINTAINED BY LAKEVIEW WATER SYSTEM AND MOUNTAIN SEWER CORPORATION RESPECTIVELY.
- THERE ARE NO CONVERTIBLE OR WITHDRAWALABLE AREAS IN THIS PROJECT PHASE.
- ALL BUILDING TIE DIMENSIONS ARE PERPENDICULAR TO BOUNDARY LINE OR ROAD CENTERLINE.
- ALL AREAS LABELED AS COMMON AREA, INCLUDING PRIVATE STREETS ARE TO BE DESIGNATED AS A PUBLIC UTILITY EASEMENT. SEE OWNERS DEDICATION AND CONSENT TO RECORD FOR ADDITIONAL INFORMATION.



VICINITY MAP
NO SCALE

DEVELOPER

JACK FISHER HOMES
BROCK LOOMIS
1148 W LEGACY CROSSING BLVD., STE 400
CENTERTVILLE, UTAH 84014
801-335-8500

LAND USE

TOTAL AREA 208,800 S.F. (4.79 ACRES)
COMMON AREA 149,140 S.F. (3.42 ACRES) 71%
ROAD AREA 49,420 S.F. (1.13 ACRES)
OPEN AREA 99,720 S.F. (2.29 ACRES)
PRIVATELY OWNED BUILDING 59,660 S.F. (1.37 ACRES) 29%

OWNERS DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS: _____ WHICH IS THE OWNER OF THE TRACT OF LAND DESCRIBED HEREON MAKE THIS CERTIFICATE FOR AND ON BEHALF OF SAID CORPORATION AND HAVE CAUSED; 1. A SURVEY TO BE MADE AND 2. THIS PLANNED RESIDENTIAL UNIT DEVELOPMENT PLAT, CONSISTING OF (2) SHEETS. WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO UNITS AND PADS AND PUBLIC AND PRIVATE STREETS AS SHOWN HEREON AND NAME SAID TRACT EDGEWATER BEACH RESORT PHASE 3, A PLANNED RESIDENTIAL UNIT DEVELOPMENT, AND DO HEREBY:

DEDICATE TO PUBLIC USE ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS PRIVATE STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES. DEDICATE AND RESERVE UNTO THEMSELVES, THEIR HEIRS, THEIR GRANTEEES AND ASSIGNS, A RIGHT-OF-WAY TO BE USED IN COMMON WITH ALL OTHERS WITHIN SAID SUBDIVISION (AND THOSE ADJOINING SUBDIVISIONS THAT MAY BE SUBDIVIDED BY THE UNDERSIGNED OWNERS, THEIR SUCCESSORS, OR ASSIGNS) ON, OVER AND ACROSS ALL THOSE PORTIONS OR PARTS OF SAID TRACT OF LAND DESIGNATED ON SAID PLAT AS PRIVATE STREETS AS ACCESS TO THE INDIVIDUAL UNITS AND PADS, TO BE MAINTAINED BY A UNIT AND PAD OWNERS ASSOCIATION WHOSE MEMBERSHIP CONSISTS OF SAID OWNERS, THEIR GRANTEEES, SUCCESSORS, OR ASSIGNS. GRANT AND CONVEY TO EDGEWATER BEACH RESORT HOA, INC., ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS COMMON AREAS TO BE USED FOR RECREATIONAL AND OPEN SPACE PURPOSES FOR THE BENEFIT OF EACH EDGEWATER BEACH RESORT HOA, INC. MEMBER IN COMMON WITH ALL OTHERS IN THE SUBDIVISION, THE SAME TO BE USED FOR THE INSTALLATION MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINE, STORM DRAINAGE FACILITIES, IRRIGATION CANALS OR FOR THE PERPETUAL PRESERVATION OF WATER CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY THE GOVERNING AUTHORITY, WITH NO BUILDINGS OR STRUCTURES BEING ERECTED WITHIN SUCH EASEMENTS. GRANT AND DEDICATE UNTO ALL OWNERS OF UNITS AND PADS UPON SUCH LAND DRAINS, AN EASEMENT OVER SUCH LAND DRAINS FOR THE PURPOSE OF PERPETUAL MAINTENANCE AND OPERATION. DEDICATE, GRANT AND CONVEY TO THE GOVERNING AUTHORITY, OR ITS DESIGNEE, ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS PARKS THE SAME TO BE USED AS A PUBLIC OPEN SPACE. ALL COMMON AREA, INCLUDING THE PRIVATE STREETS, IS CONSIDERED TO BE AN EASEMENT FOR PUBLIC UTILITY AND DRAINAGE PURPOSES.

SIGNED THIS _____ DAY OF _____, 20____.

BOUNDARY DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 6 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH RIGHT OF WAY LINE OF STATE HIGHWAY 39, SAID POINT BEING THE NORTHWEST CORNER OF EDGEWATER BEACH RESORT PHASE 1 - 1ST AMENDMENT AND LIES N00°25'49"E 602.20 FEET AND N89°34'11"E 7.10 FEET FROM THE SOUTHWEST CORNER OF SECTION 13; THENCE CONTINUING N00°09'59"E 302.43 FEET ALONG THE WESTERLY BOUNDARY OF SAID SUBDIVISION; THENCE NORTH 63°12'30" EAST 319.26 FEET; THENCE SOUTH 79°03'30" EAST 319.70 FEET; THENCE SOUTH 35°45'20" EAST 101.60 FEET; THENCE SOUTH 0°20'30" WEST 183.33 FEET TO THE NORTH PROPERTY LINE OF EDGEWATER PHASE 2; THENCE ALONG SAID BOUNDARY NORTH 89°39'30" WEST 47.12 FEET; THENCE NORTH 60°22'18" WEST 75.49 FEET; THENCE SOUTH 72°01'51" WEST 211.70 FEET TO A POINT ON A 66.72 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT (CENTER BEARS S9°42'22"W); THENCE RUNNING SOUTHWESTERLY ALONG SAID CURVE 147.18 FEET THROUGH A CENTRAL ANGLE OF 126°22'53" (CHORD S72 54°23'W 119.10') TO A POINT ON A LINE; THENCE S65°29'31"W 139.65 FEET; THENCE NORTH 89°34'11" WEST 103.01 FEET TO THE POINT OF BEGINNING.

CONTAINING 208,760 SQUARE FEET OR 4.793 ACRES.

SURVEYOR'S CERTIFICATE

I, C. DAVID MCKINNEY, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED CERTIFICATE NUMBER 5251295. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND WILL PLACE MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT ALL LOTS MEET THE REQUIREMENTS OF THE WEBER COUNTY LAND USE CODE.



WEBER COUNTY SURVEYOR:

I HEREBY CERTIFY THAT THE WEBER COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT AND ALL CONDITIONS FOR APPROVAL BY THIS OFFICE HAVE BEEN SATISFIED. THE APPROVAL OF THIS PLAT BY THE WEBER COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.

SIGNED THIS _____ DAY OF _____.

ACKNOWLEDGMENT

STATE OF UTAH)
COUNTY OF _____)ss.

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____ SIGNER(S) OF THE ABOVE OWNER'S DEDICATION AND CERTIFICATION, WHO BEING BY ME DULY SWORN, DID ACKNOWLEDGE TO ME _____ SIGNED IT FREELY, VOLUNTARILY, AND FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES NOTARY PUBLIC

ACKNOWLEDGMENT

STATE OF UTAH)
COUNTY OF _____)ss.

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____ BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE _____ AND _____ OF SAID CORPORATION AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES NOTARY PUBLIC

WEBER COUNTY PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED BY THE WEBER COUNTY PLANNING COMMISSION. SIGNED THIS _____ DAY OF _____, 20____.

CHAIRMAN, WEBER COUNTY PLANNING COMMISSION

WEBER COUNTY ENGINEER

I HEREBY CERTIFY THAT THE REQUIRED PUBLIC IMPROVEMENT STANDARDS AND DRAWINGS FOR THIS SUBDIVISION CONFORM WITH THE COUNTY STANDARDS AND THE AMOUNT OF THE FINANCIAL GUARANTEE IS SUFFICIENT FOR THE INSTALLATION OF THESE IMPROVEMENTS.

SIGNED THIS _____ DAY OF _____, 20____

WEBER COUNTY ENGINEER

WEBER COUNTY COMMISSION ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF WEBER COUNTY, UTAH. SIGNED THIS _____ DAY OF _____, 20____.

CHAIRMAN, WEBER COUNTY COMMISSION

ATTEST

TITLE

WEBER COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____
FILED FOR RECORD AND RECORDED,
_____ AT _____ IN BOOK _____
OF THE OFFICIAL RECORDS, PAGE _____
RECORDED FOR: _____

WEBER COUNTY RECORDER

DEPUTY

WEBER COUNTY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT, AND IN MY OPINION THEY CONFORM WITH THE COUNTY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND AFFECT. SIGNED THIS _____ DAY OF _____, 20____.

WEBER COUNTY ATTORNEY

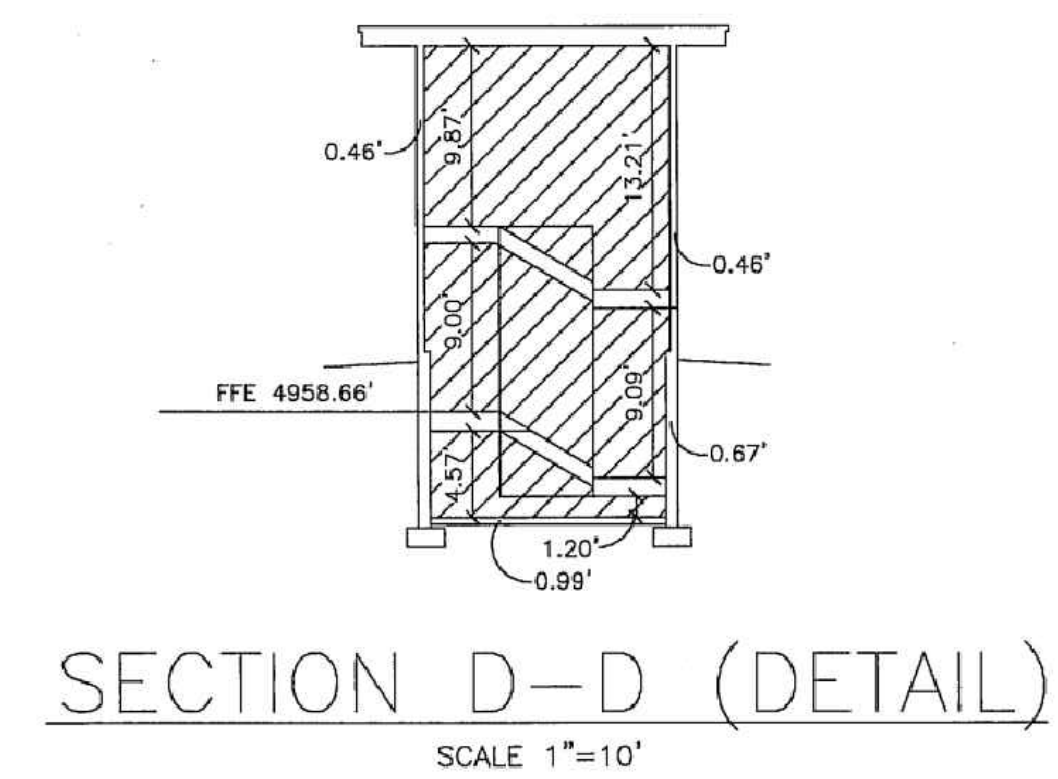
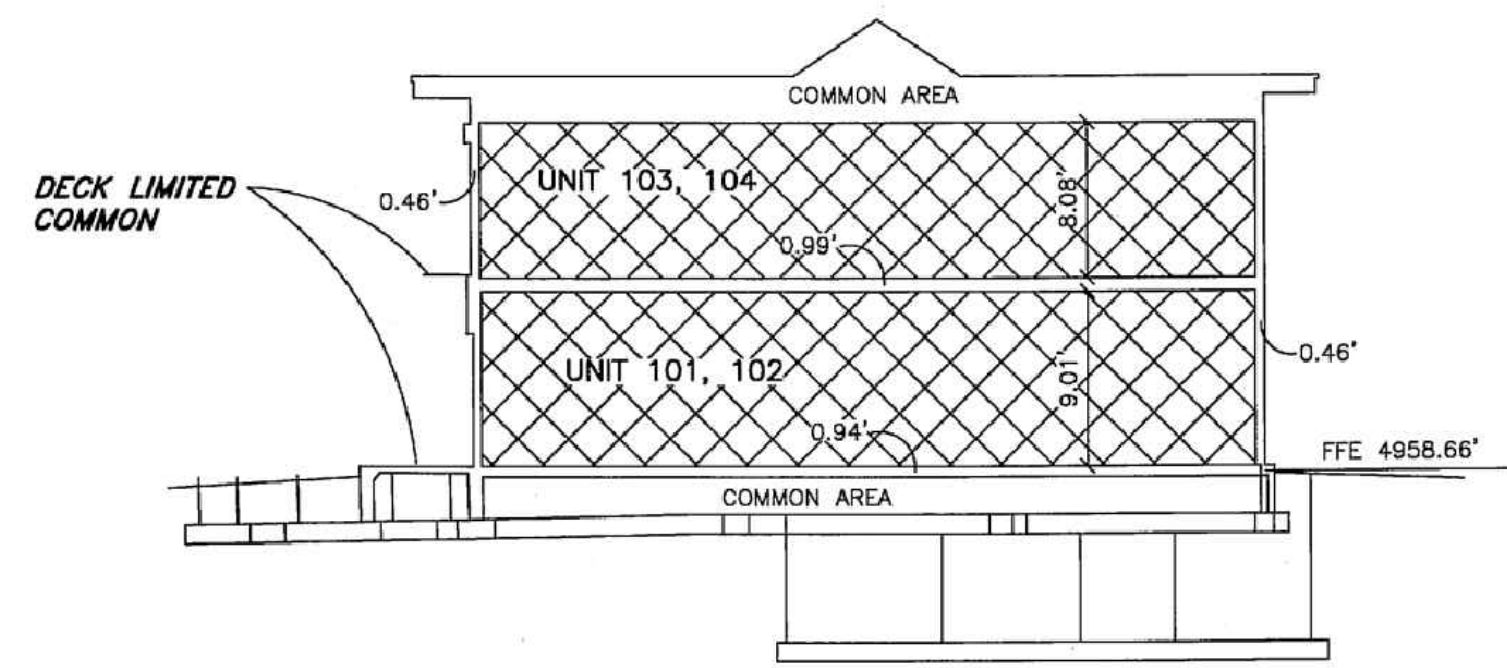
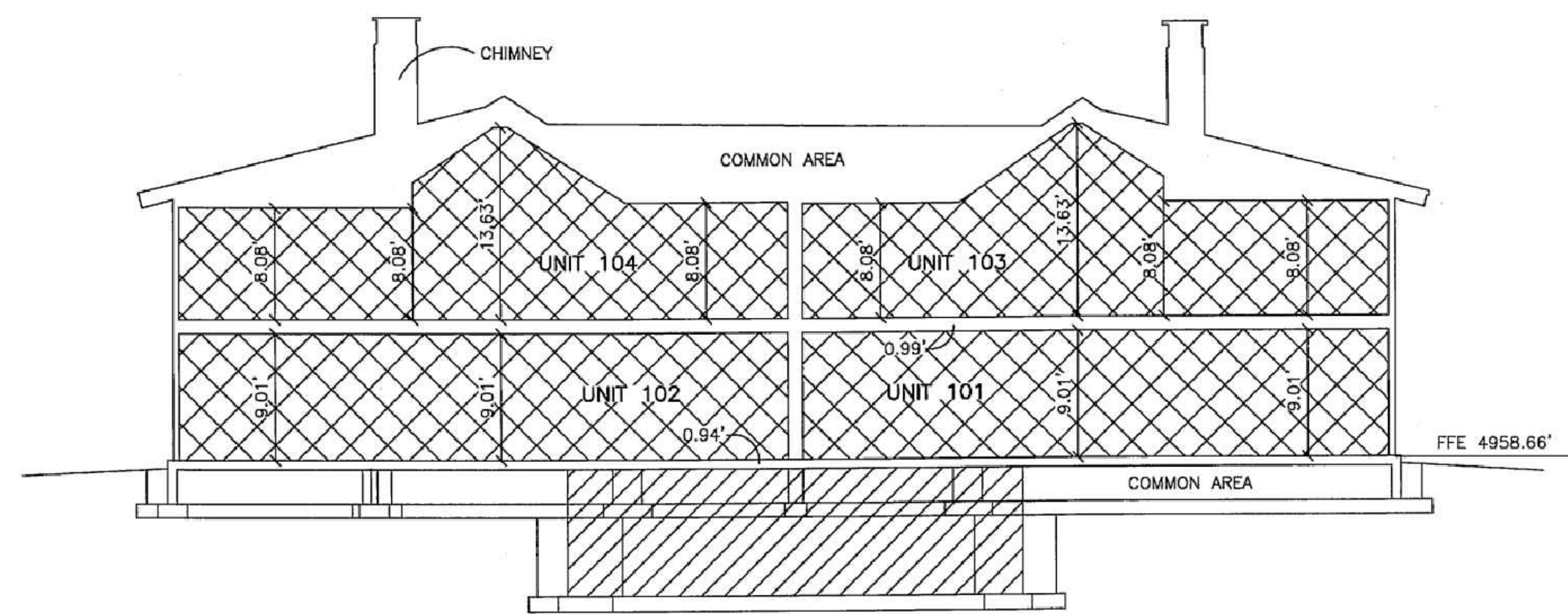
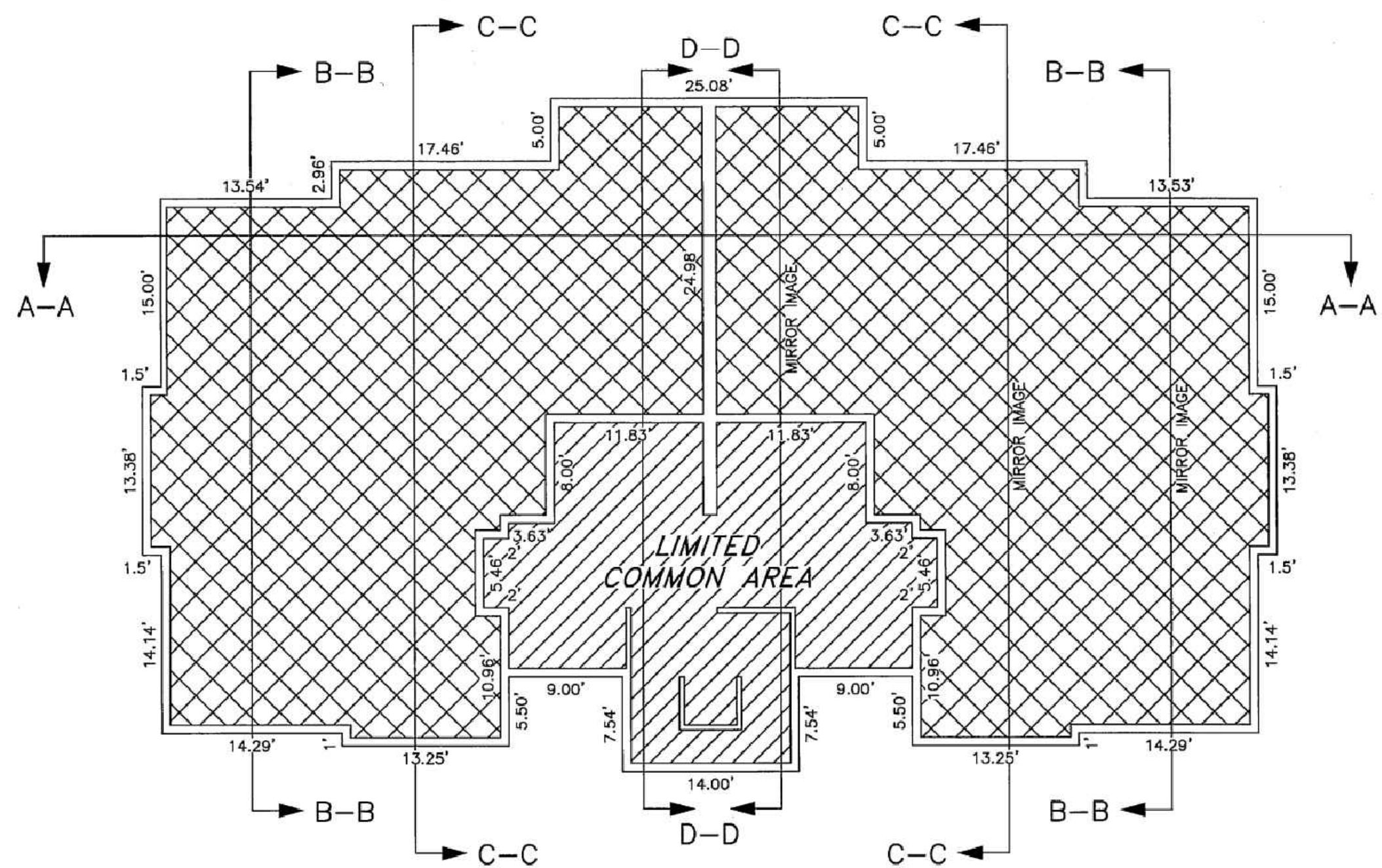
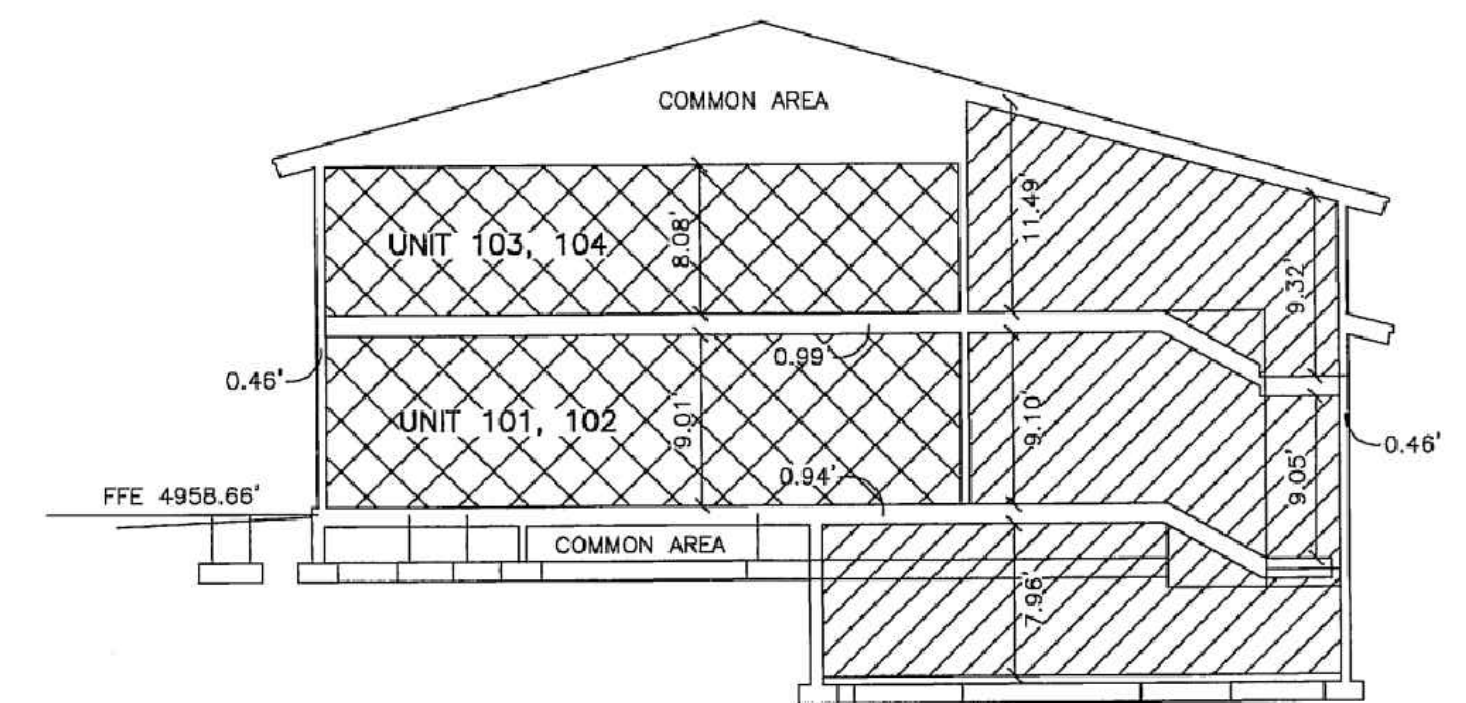
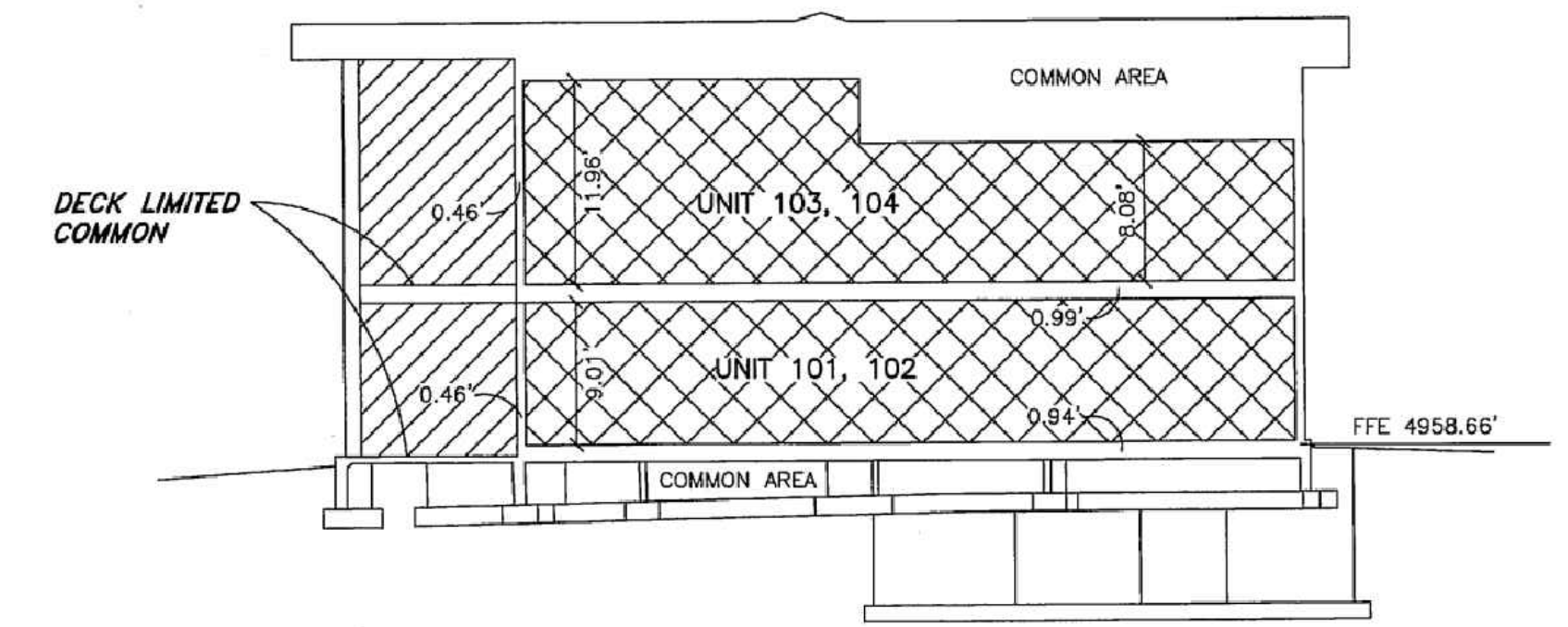
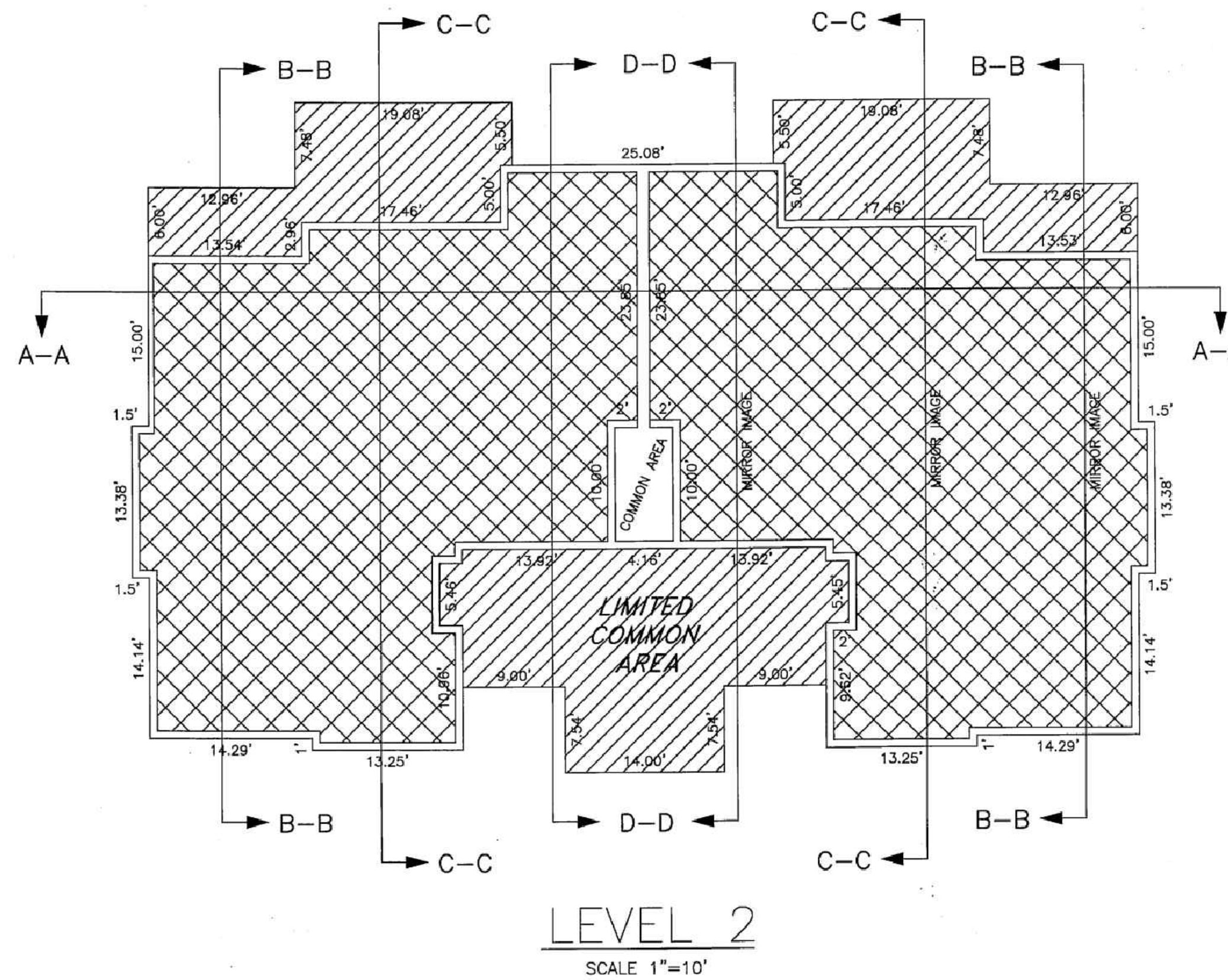
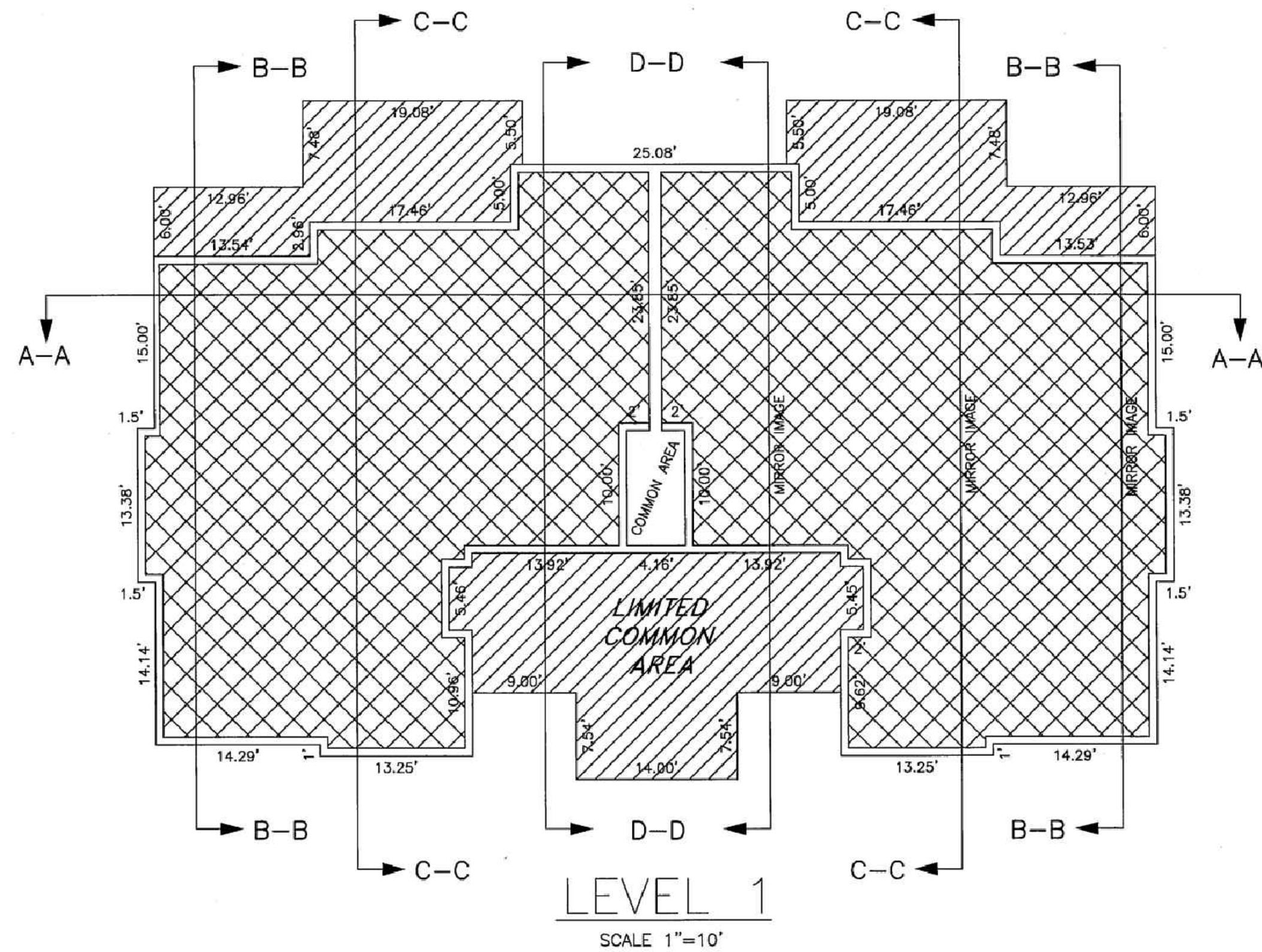
WEBER-MORGAN HEALTH DEPARTMENT


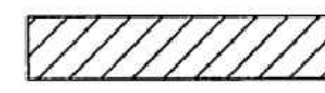

I HEREBY CERTIFY THAT THE SOILS, PERCOLATION RATES, AND SITE CONDITIONS FOR THIS SUBDIVISION HAVE BEEN INVESTIGATED BY THIS OFFICE AND ARE APPROVED FOR ON-SITE WASTEWATER DISPOSAL SYSTEMS. SIGNED THIS _____ DAY OF _____, 20____.

DIRECTOR, WEBER-MORGAN HEALTH DEPARTMENT

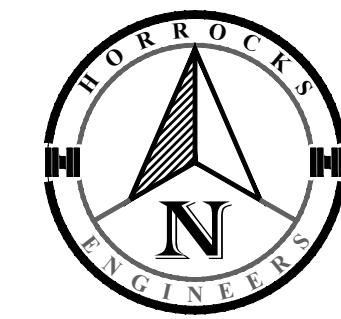


2162 West Grove Pkwy., Suite 400
Pleasant Grove, UT 84062
(801) 763-5100



-  COMMON AREAS
-  LIMITED COMMON AREAS AND FACILITIES
-  PRIVATE OWNERSHIP

CONDOMINIUM NOTES:
UNITS 101-104 ARE CONDOMINIUM UNITS
ALL DRIVEWAYS, PATIOS, DECKS, BALCONIES ON UNITS 101-104 ARE CONSIDERED LIMITED COMMON AREA. THEY ARE SET ASIDE AND RESERVED FOR THE USE OF THE RESPECTIVE CONDOMINIUM UNIT TO WHICH THEY ARE ATTACHED OR APPURTENANT.
DIMENSIONS ON BUILDINGS VARY SLIGHTLY. AS-BUILT DIMENSIONS WILL CONTROL.



0 30' 60'
 SCALE: 1" = 30'

CONSTRUCTION KEYNOTES

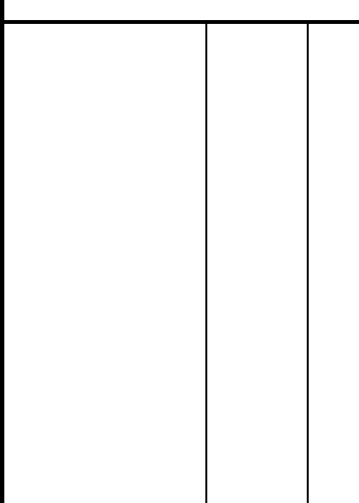
- ① INSTALL CURB AND GUTTER (SEE DETAIL 1 - SHEET CS-501)
- ② INSTALL 5' OR 6' WALKWAY (SEE DETAIL 2 - SHEET CS-501)
- ③ INSTALL CURB WALL (SEE DETAIL 3 - SHEET CS501)
- ④ INSTALL WATERWAY (SEE DETAIL 4 - SHEET CS501)

WARNING

IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

REVISIONS	
REV #	DATE

DRAWING INFO	
DATE	
NOV 1, 2017	
DESIGNED: DM	
DRAWN: SB	
CHECKED: DM	
PROJECT: OC-707-1510	



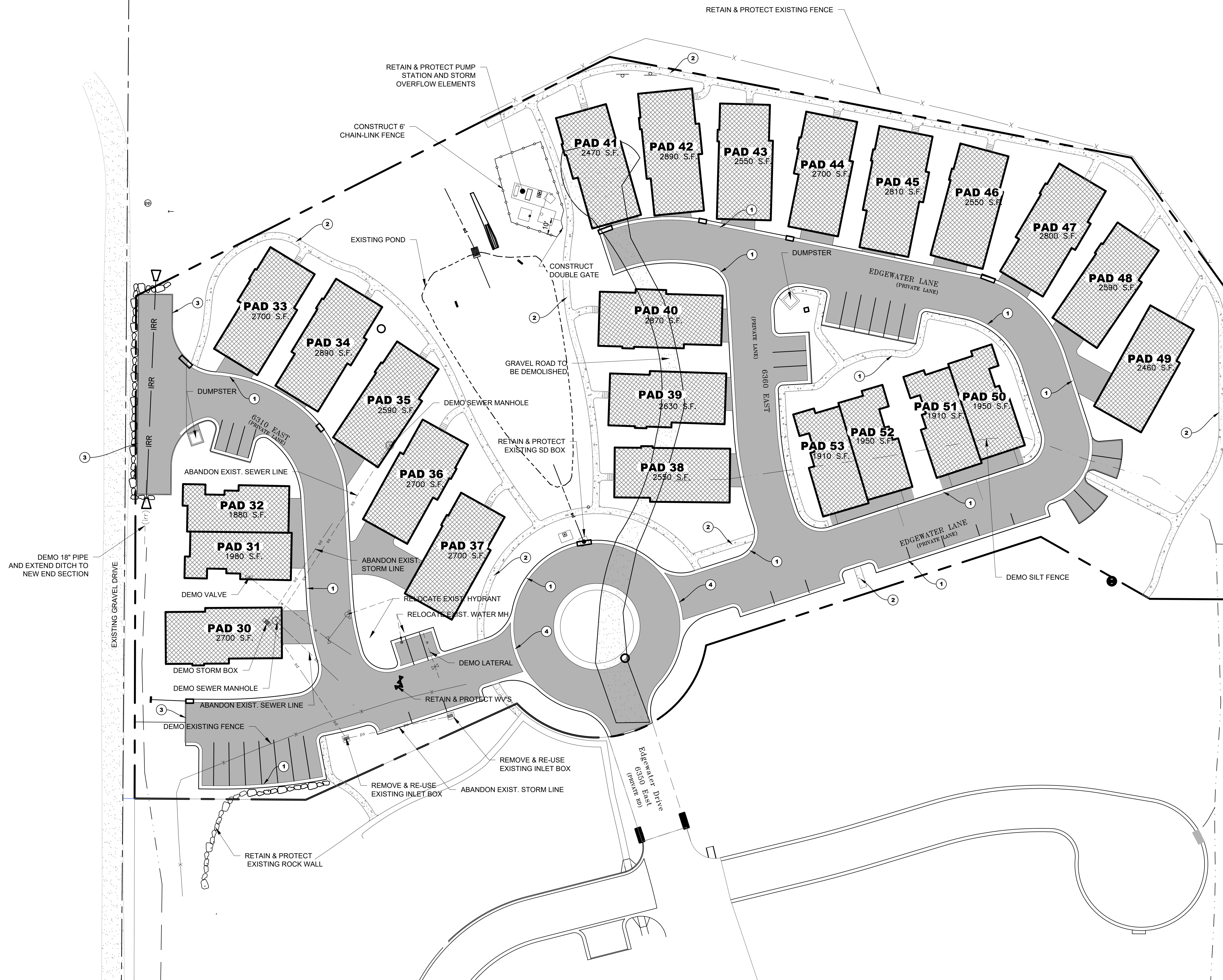
EDGEWATER PHASE 3

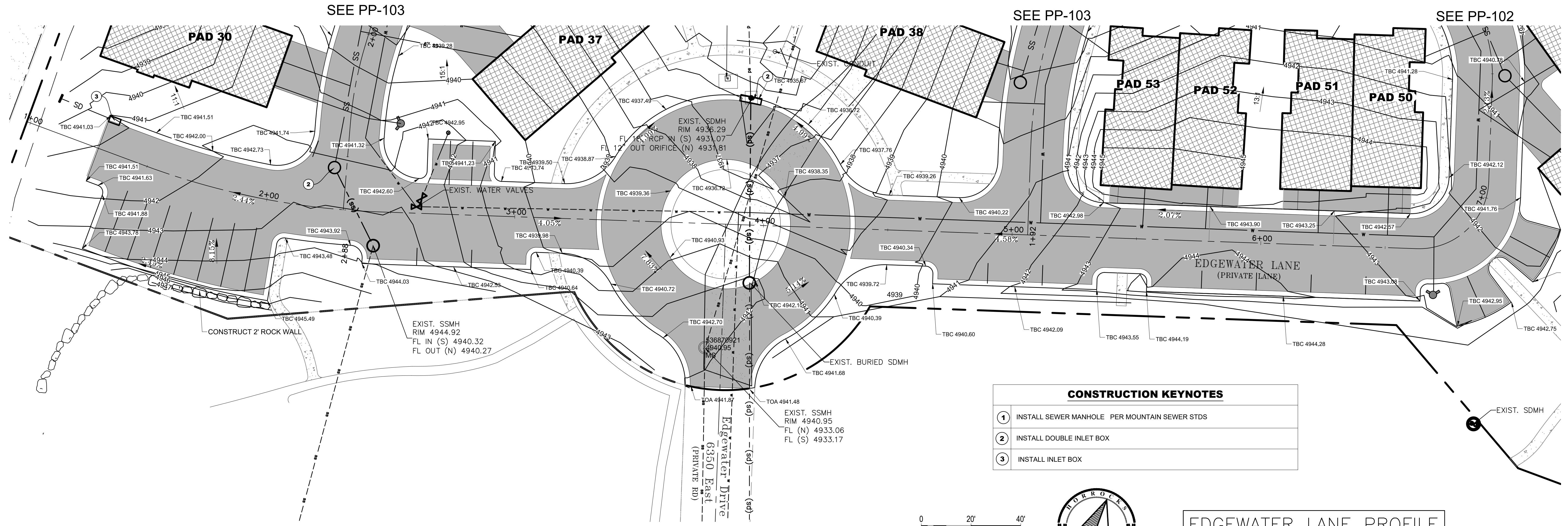
6350 STATE ROUTE 39
 HUNTSVILLE, UT

DEMOLITION / SITE PLAN

CLIENT:

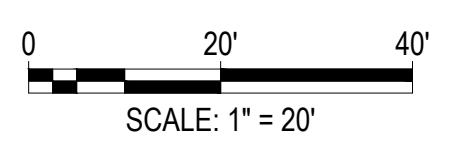
CD-101



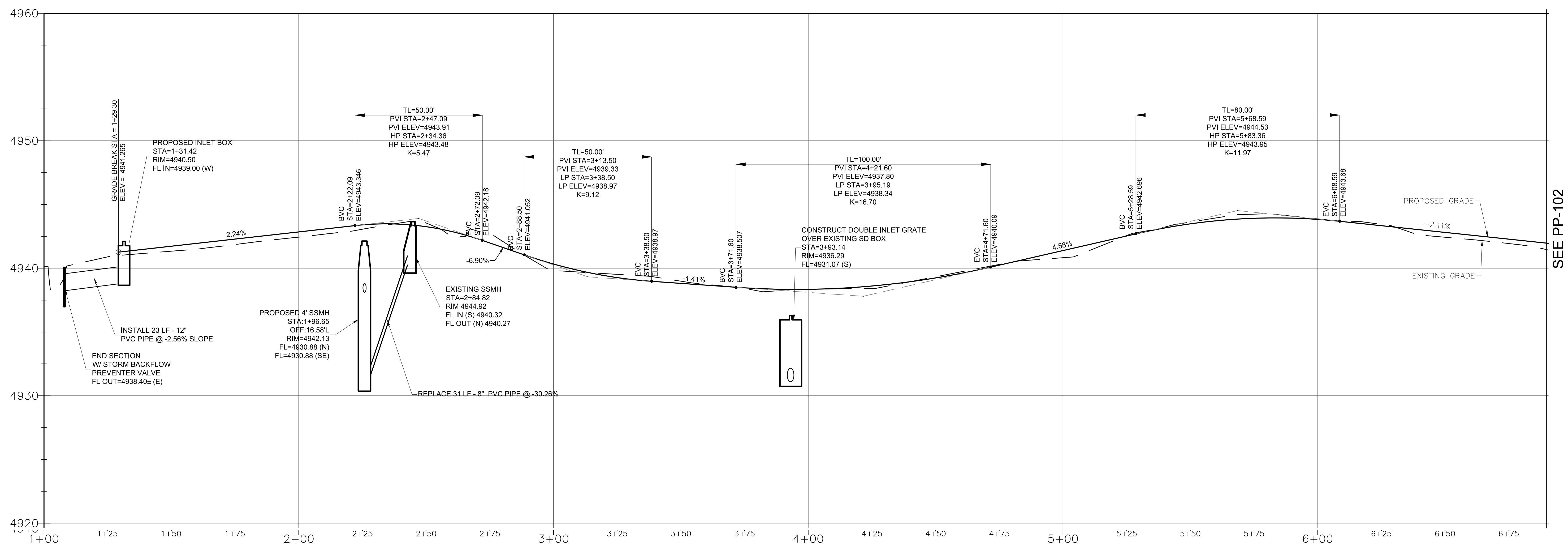


CONSTRUCTION KEYNOTES

- INSTALL SEWER MANHOLE PER MOUNTAIN SEWER STDS
- INSTALL DOUBLE INLET BOX
- INSTALL INLET BOX

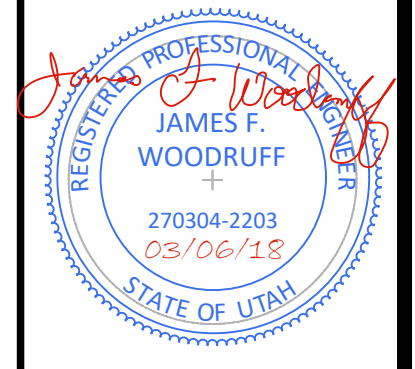


EDGEWATER LANE PROFILE



WARNING
 IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

REVISIONS	REV #	DATE	BY	CHKD
DRAWING INFO	NOV 1, 2017	DM	SB	DM
DESIGNED				
DRAWN				
CHECKED				
PROJECT	OC-707-1510			

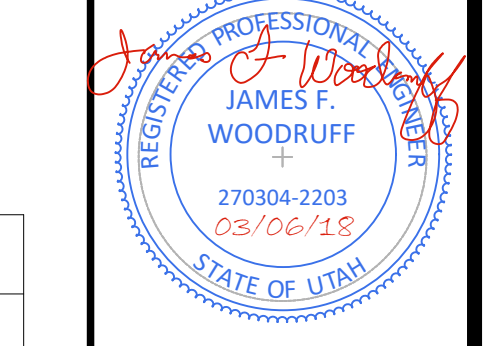


EDGEWATER PHASE 3
 6350 STATE ROUTE 39
 HUNTSVILLE, UT
 CLIENT: PLAN & PROFILE - EDGEWATER LANE

WARNING
 IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

REVISIONS	DATE	BY	CHKD	APP'D
NOV 1, 2017	DM	SB	DM	

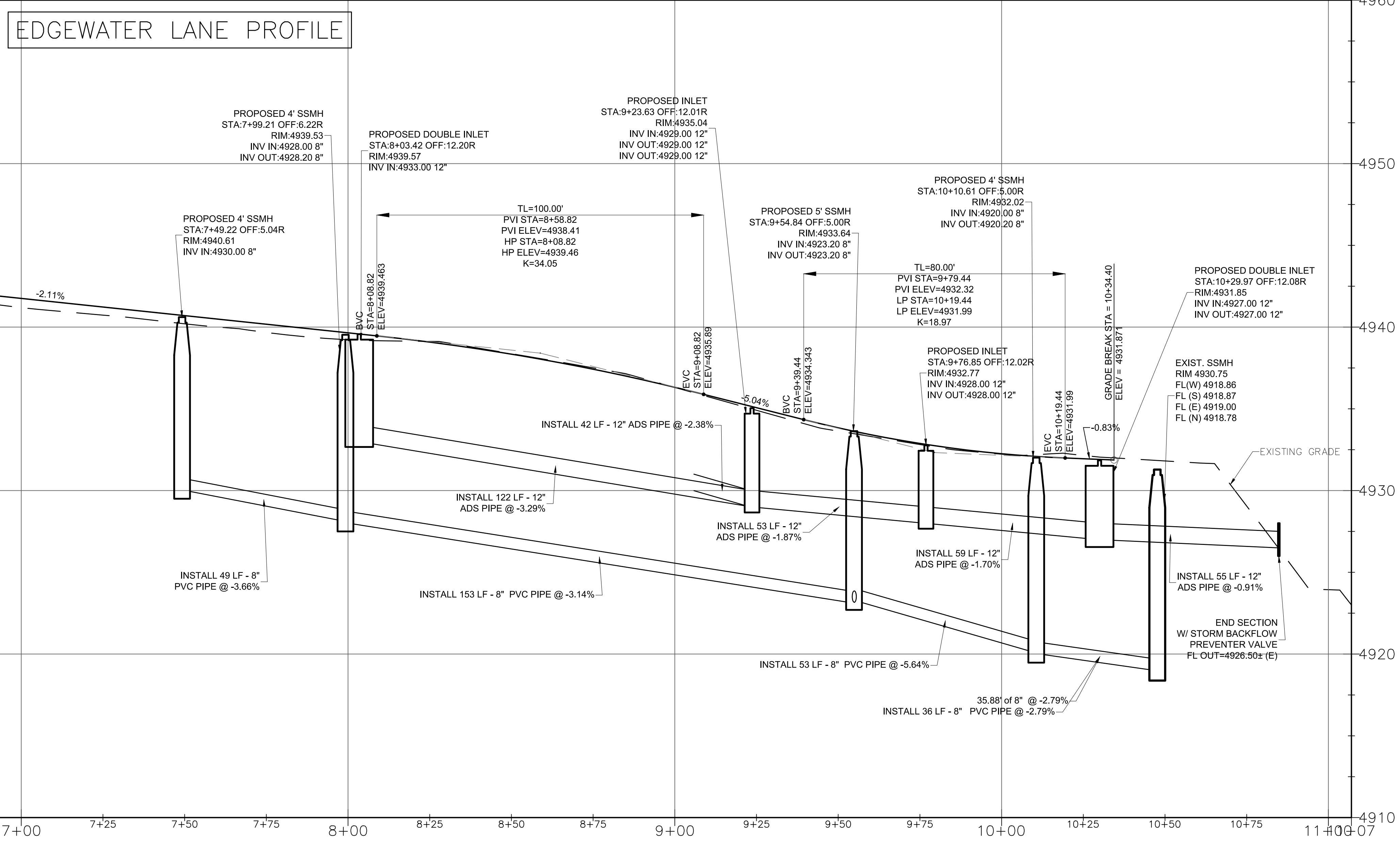
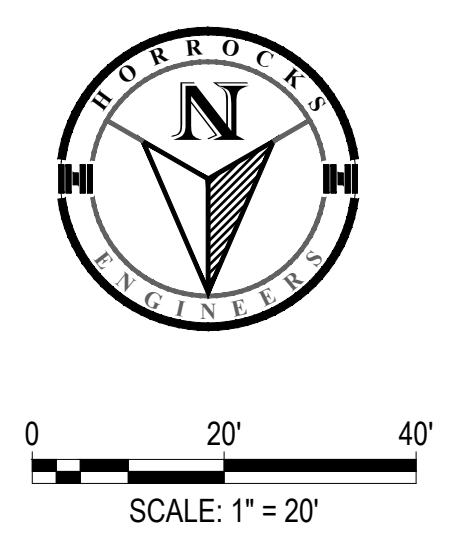
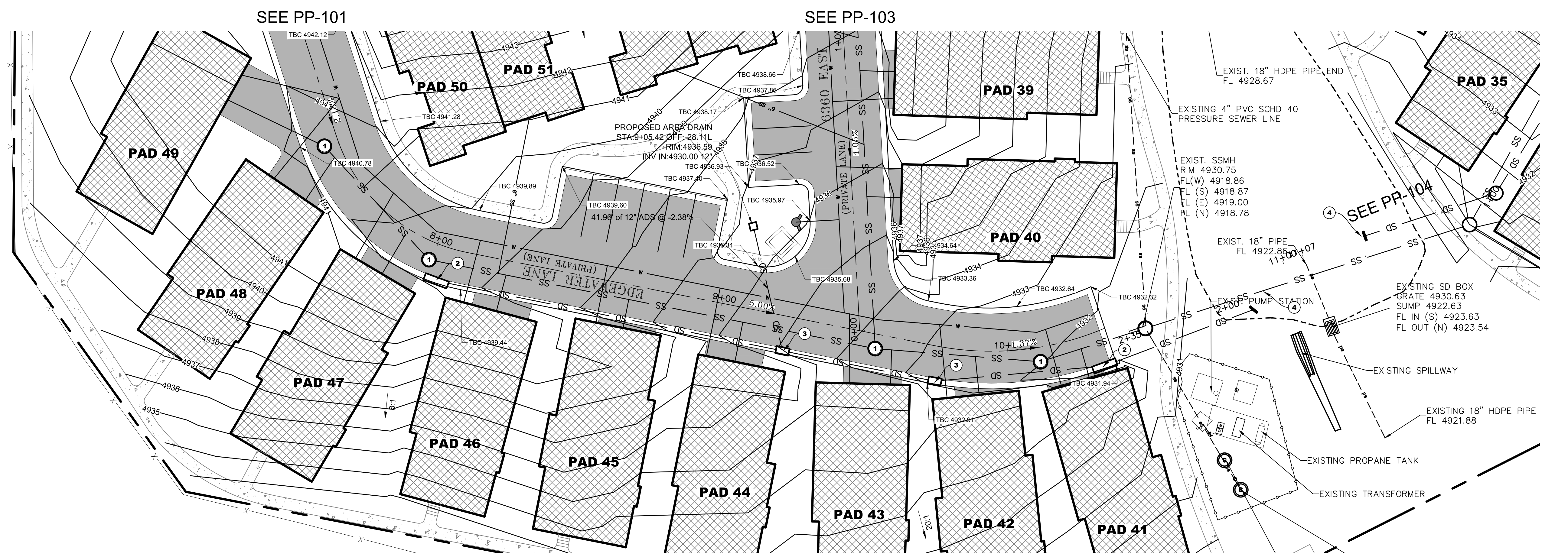
DRAWING INFO
 DATE: NOV 1, 2017
 DESIGNED: DM
 DRAWN: SB
 CHECKED: DM
 PROJECT: OC-707-1510



EDGEWATER PHASE 3
 6350 STATE ROUTE 39
 HUNTSVILLE, UT

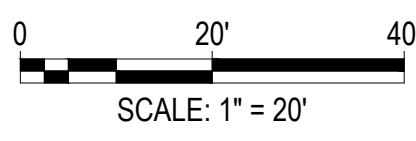
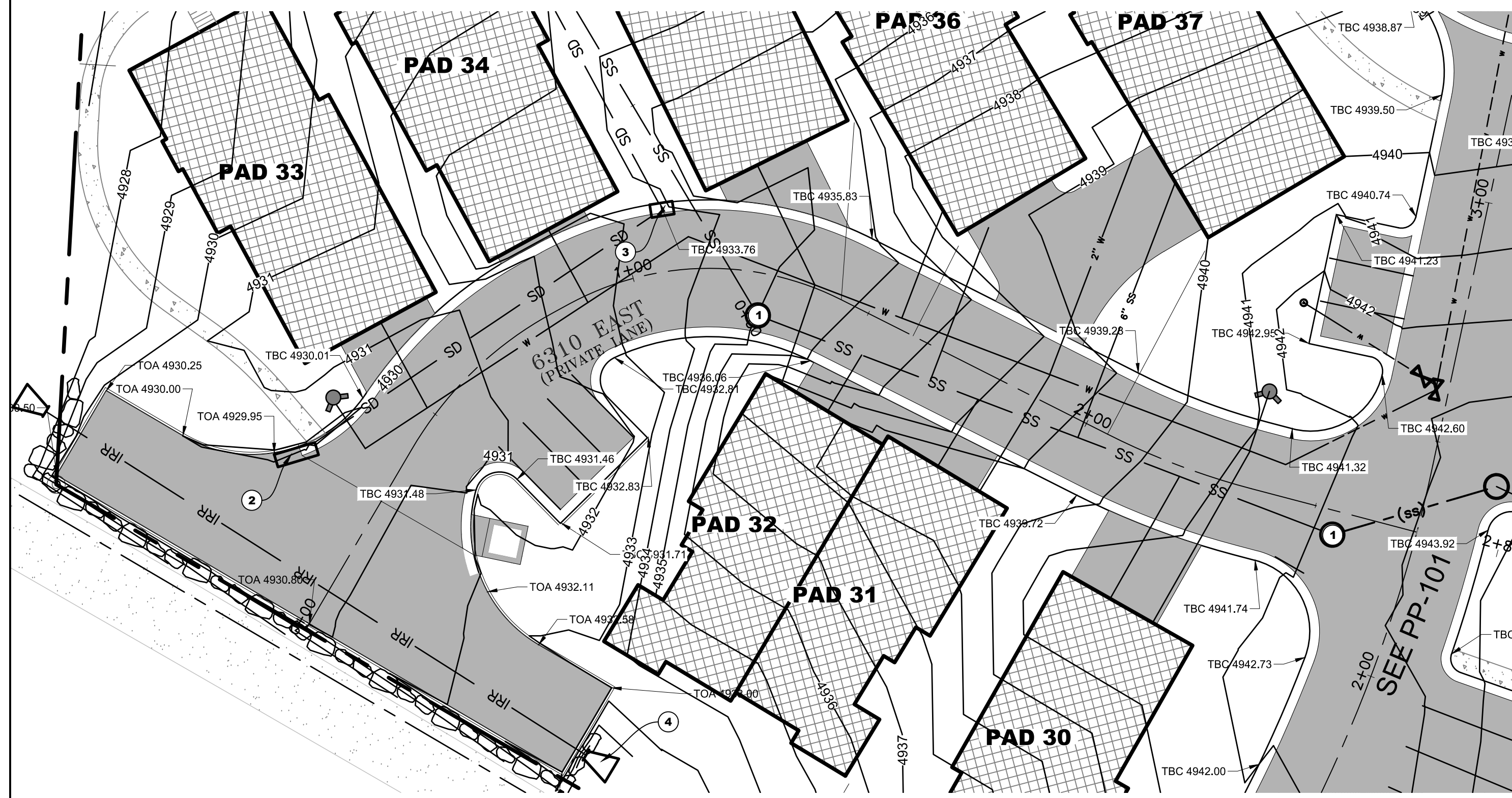
PLAN & PROFILE - EDGEWATER LANE

CLIENT:

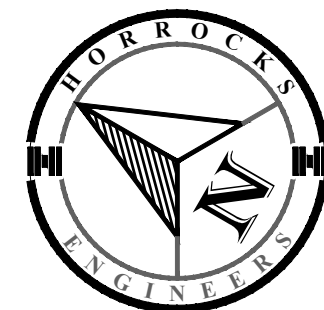


CONSTRUCTION KEYNOTES

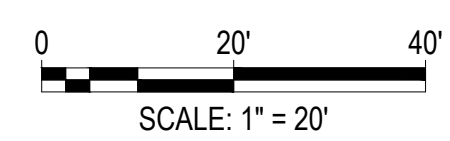
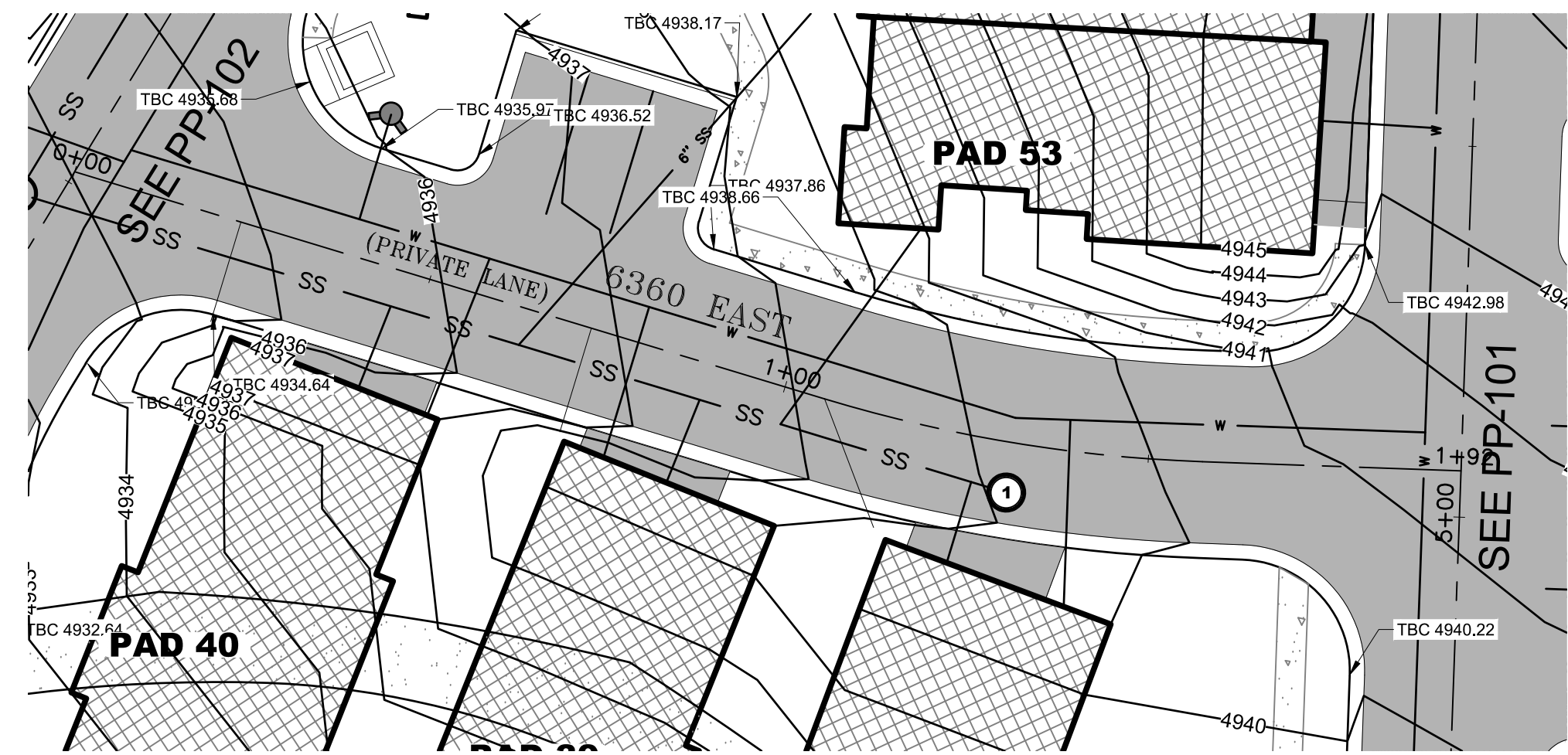
1	INSTALL SEWER MANHOLE PER MOUNTAIN SEWER STDS
2	INSTALL DOUBLE INLET BOX
3	INSTALL INLET BOX
4	END SECTION



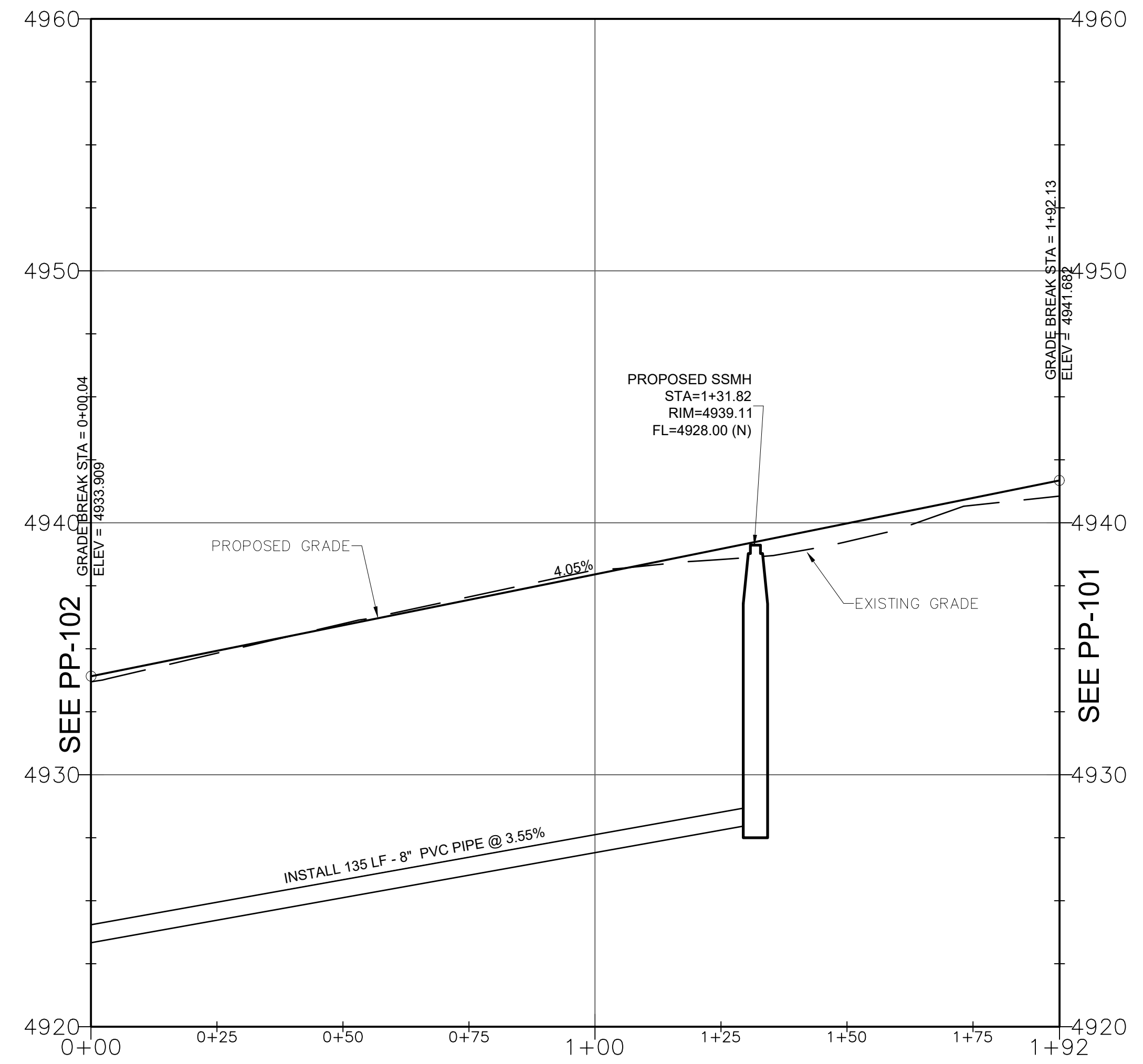
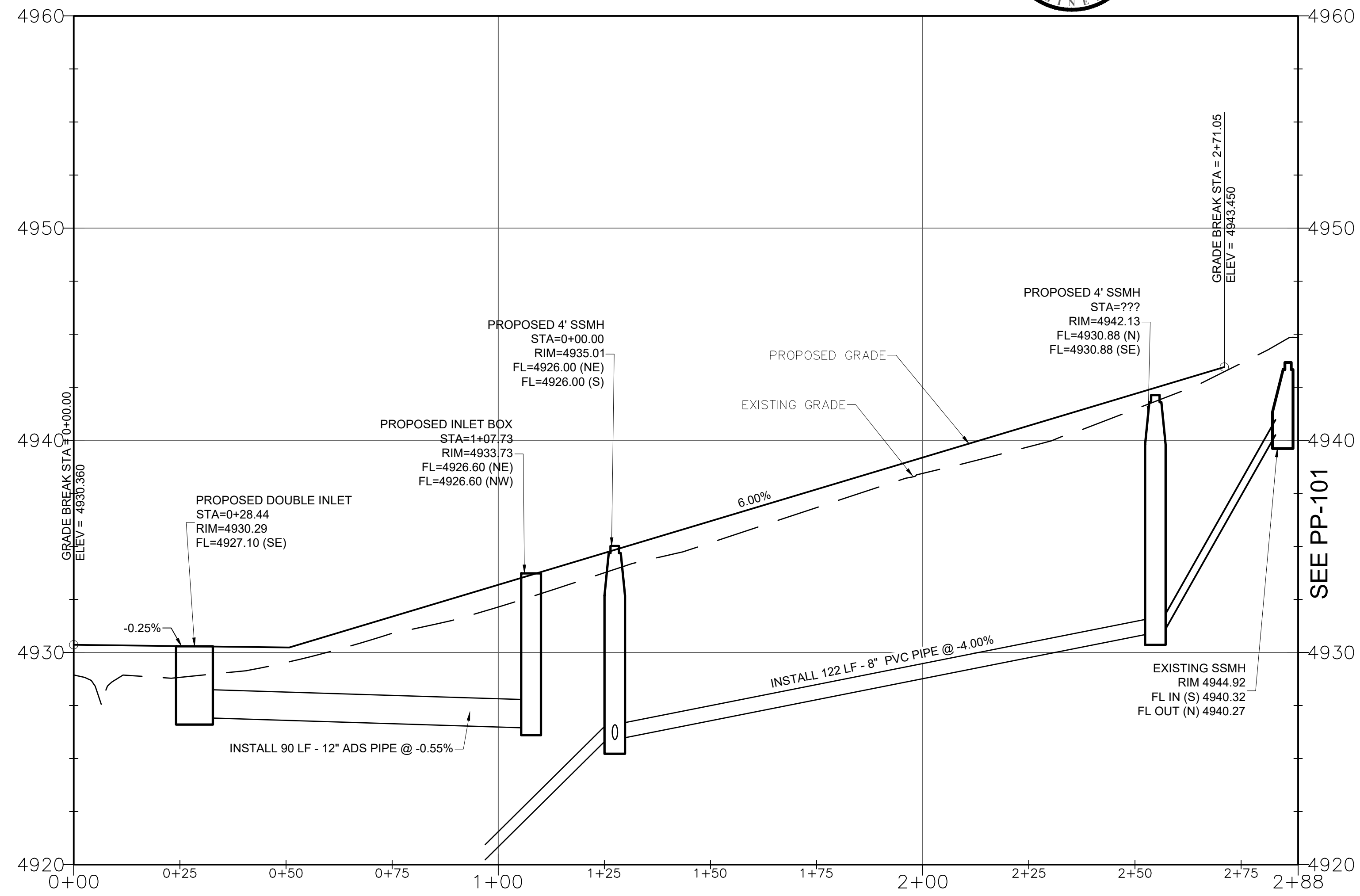
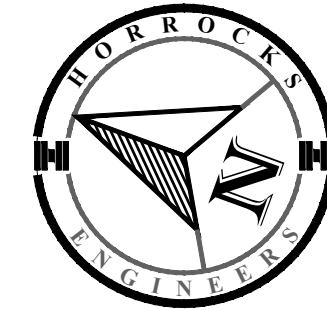
6310 E PROFILE



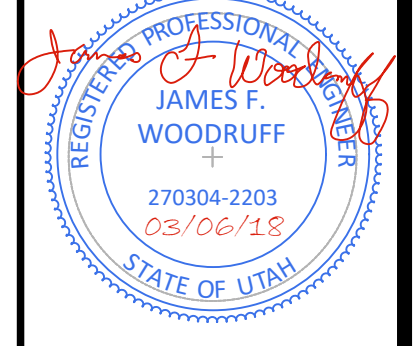
CONSTRUCTION KEYNOTES	
1	INSTALL SEWER MANHOLE PER MOUNTAIN SEWER STDS
2	INSTALL DOUBLE INLET BOX
3	INSTALL INLET BOX
4	END SECTION



6360 E PROFILE



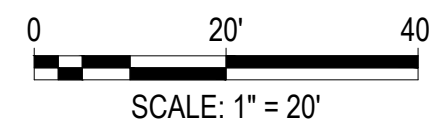
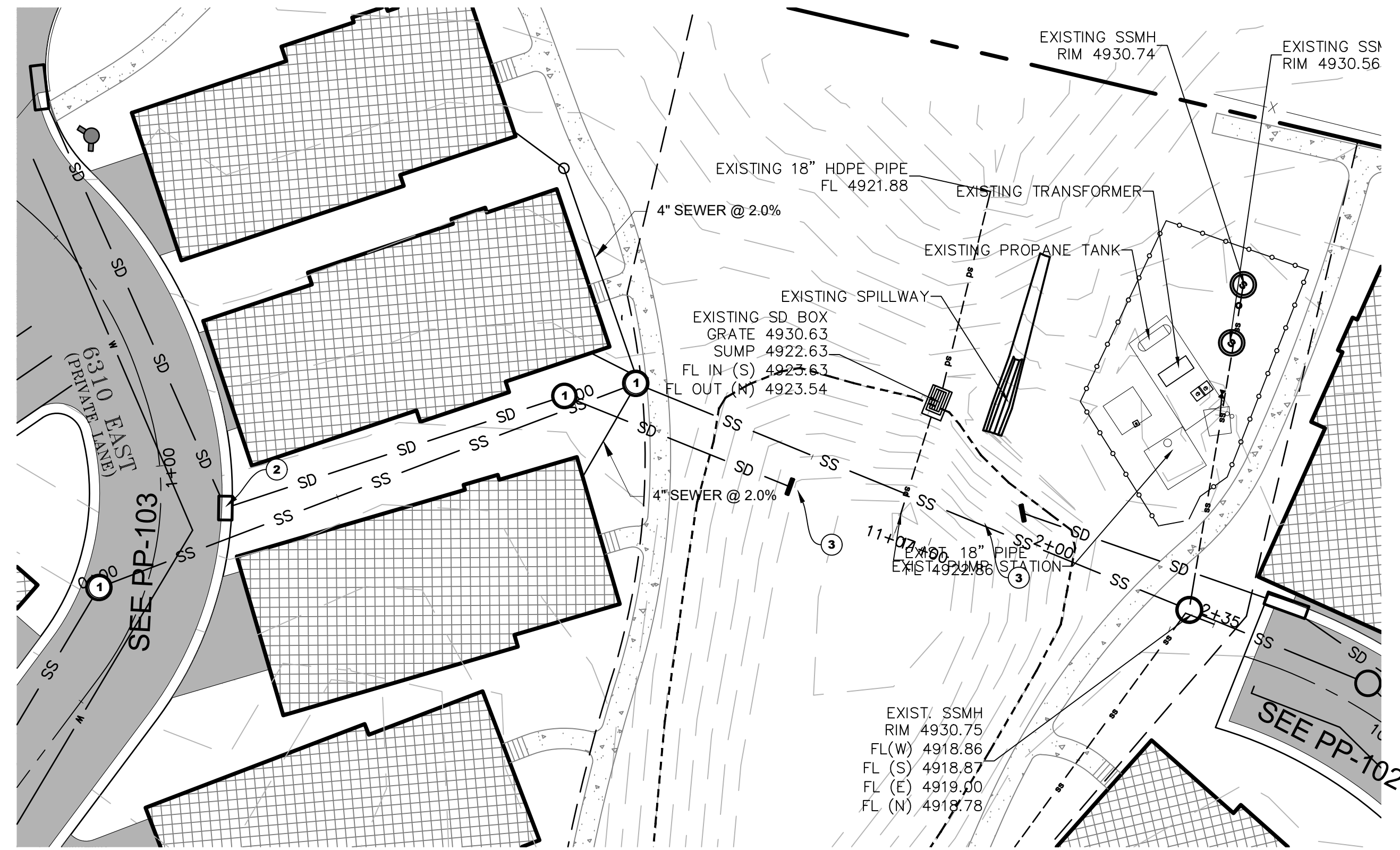
DRAWING INFO	
DATE	NOV 1, 2017
DESIGNED	DM
DRAWN	SB
CHECKED	DM
PROJECT	OC-707-1510



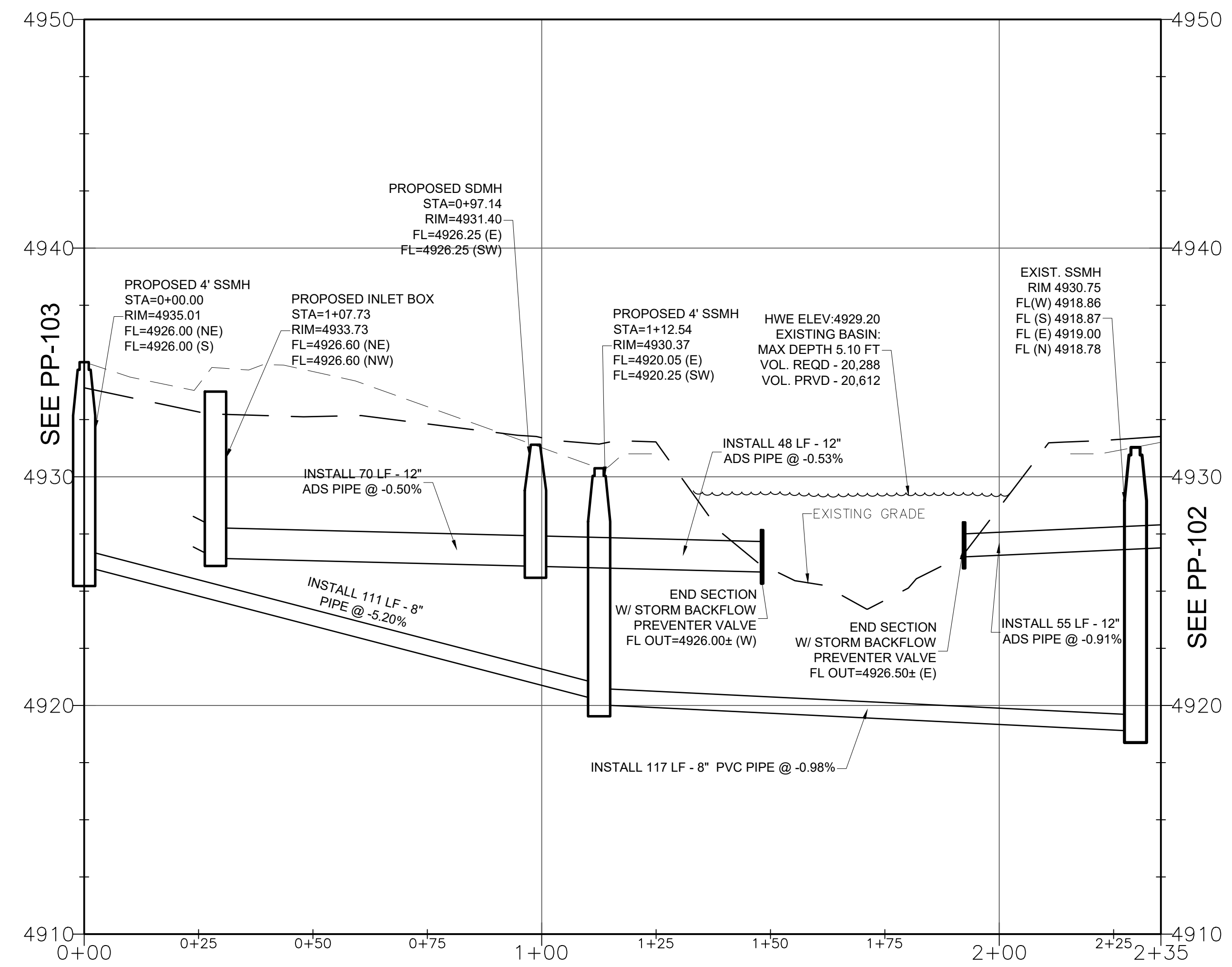
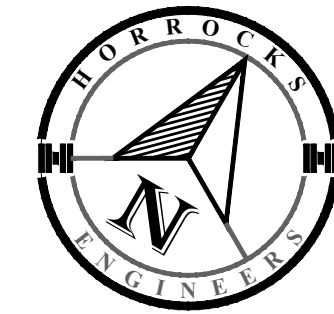
EDGEWATER PHASE 3
 6350 STATE ROUTE 39
 HUNTSVILLE, UT

PLAN & PROFILE - 6310 E / 6360 E

CLIENT:



UTILITY TO BASIN PROFILE

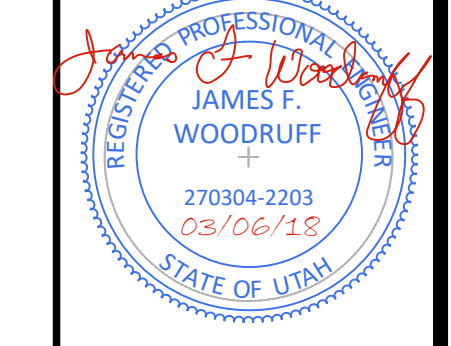


CONSTRUCTION KEYNOTES	
1	INSTALL SEWER MANHOLE PER MOUNTAIN SEWER STDS
2	INSTALL INLET BOX
3	END SECTION

WARNING
 IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

REVISIONS	REV #	DATE

DRAWING INFO	DATE	DESIGNED	DRAWN	CHECKED	PROJECT
NOV 1, 2017	DM	SB	DM	OC-707-1510	



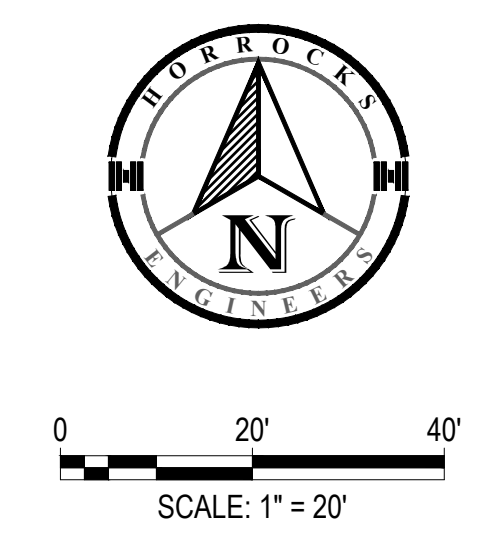
EDGEWATER PHASE 3
 6350 STATE ROUTE 39
 HUNTSVILLE, UT

PLAN & PROFILE - UTILITY TO BASIN
 CLIENT:



EXISTING BASIN:
 MAX DEPTH 5.10 FT
 VOL. REQD - 20,288
 VOL. PRVD - 20,612

- Notes:**
1. ALL RESIDENTIAL UNITS HAVE A BASEMENT
 2. ALL SIDEWALKS ARE 4' WIDE UNLESS OTHERWISE NOTES.
 3. CROSS-SLOPE OF SIDEWALK TO BE A MAXIMUM OF 2.0%.
 4. CONTRACTOR TO SLOPE GROUND AWAY FROM ALL BUILDINGS AT A MINIMUM SLOPE OF 2% FOR 10 FEET.

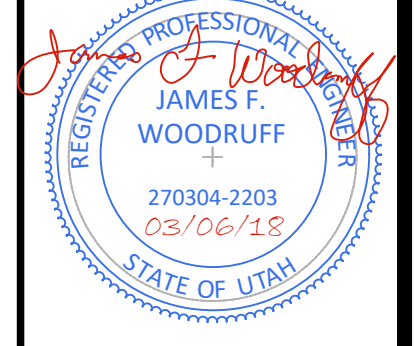


WARNING

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REVISIONS	DATE	REV #	DATE
DRAWING INFO	NOV 1, 2017		
DESIGNED	DM		
DRAWN	SB		
CHECKED	DM		
PROJECT	OC-707-1510		

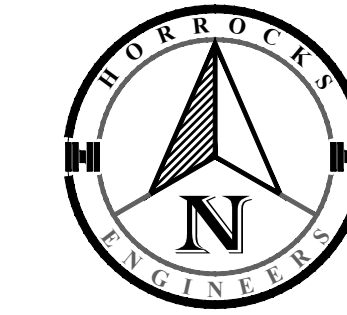
SEE 2ND SHEET FOR LISTING



EDGEWATER PHASE 3
 6350 STATE ROUTE 39
 HUNTSVILLE, UT

GRADING PLAN

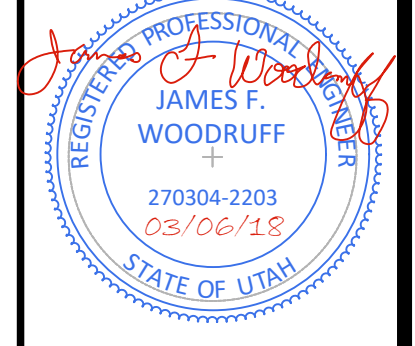
CLIENT:



0 30' 60'
SCALE: 1" = 30'

WARNING
IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

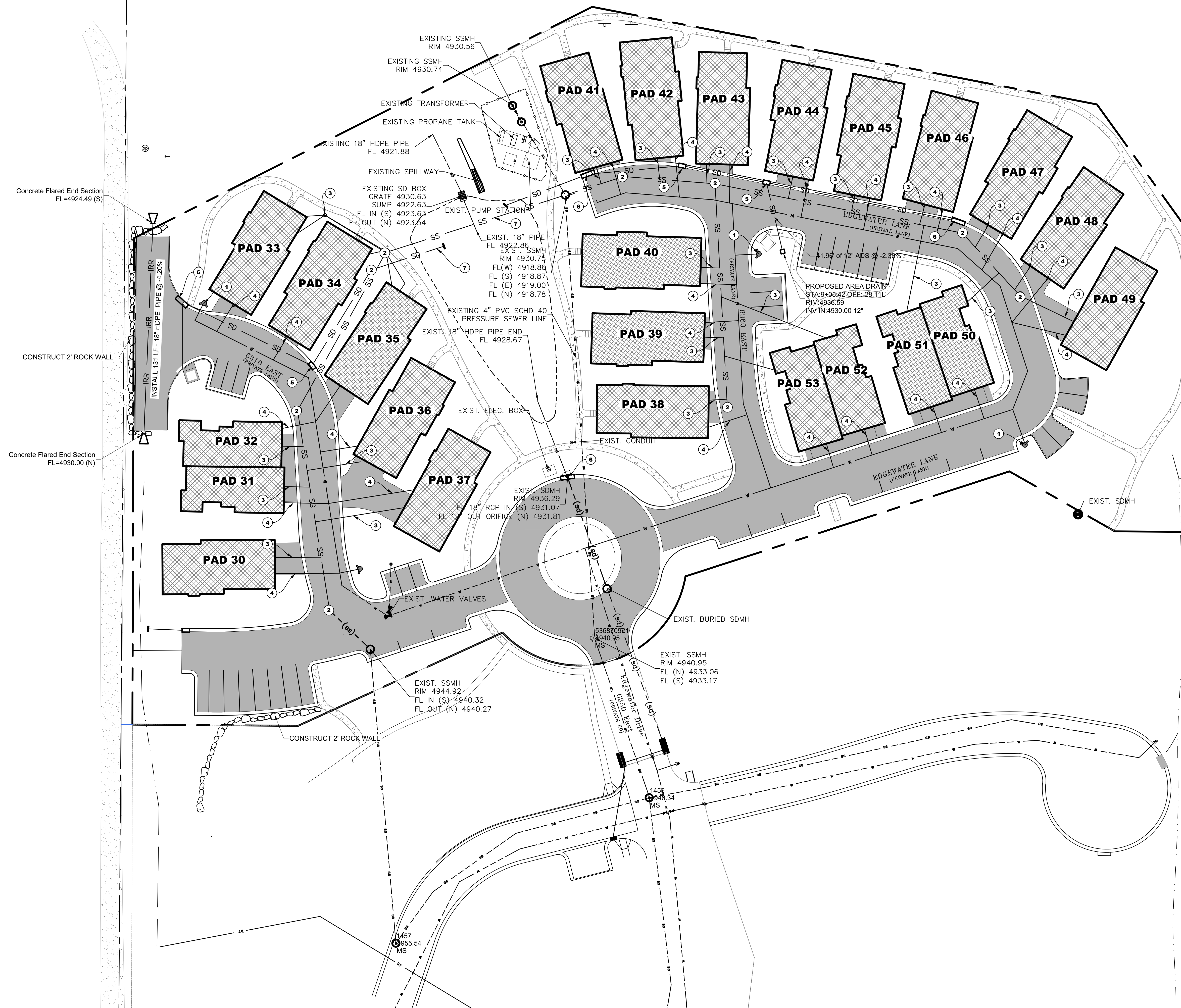
REVISIONS	DATE	REV #	BY	DATE
DRAWING INFO	NOV 1, 2017		DM	
DESIGNED			SB	
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CHECKED				
PROJECT	OC-707-1510			



EDGEWATER PHASE 3
6350 STATE ROUTE 39
HUNTSVILLE, UT

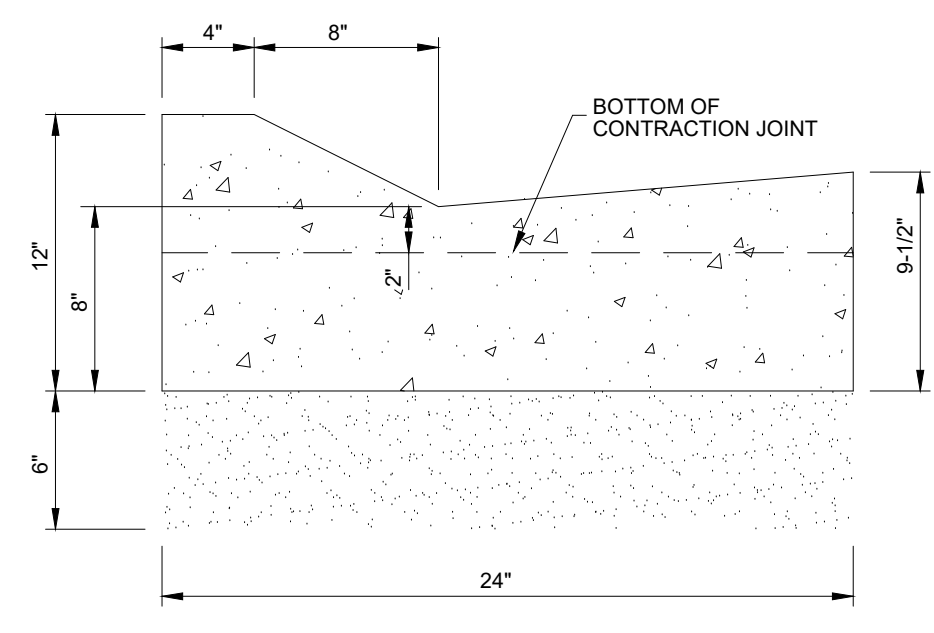
OVERALL UTILITY PLAN

CLIENT:

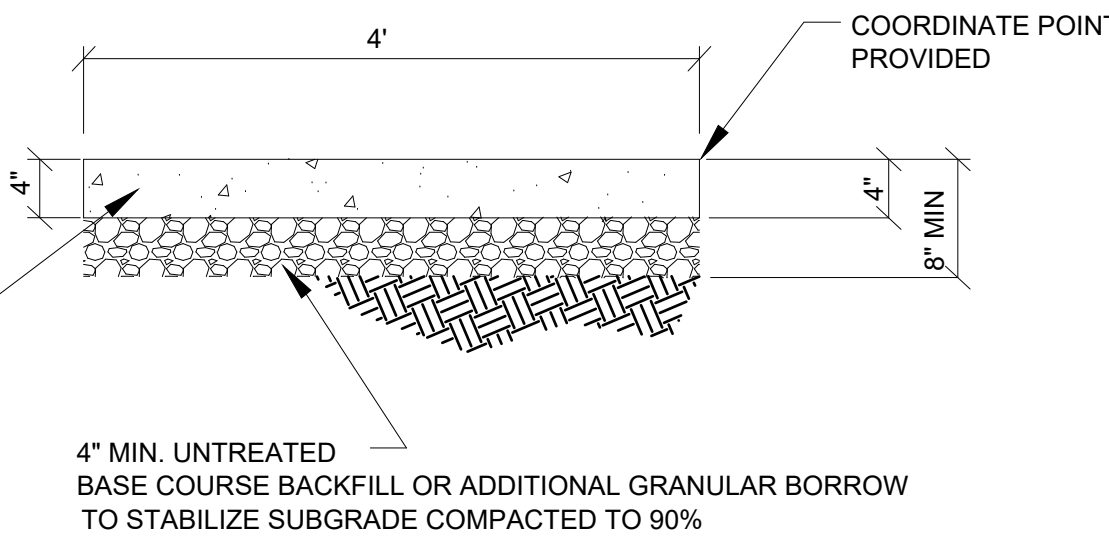


CONSTRUCTION KEYNOTES	
1	INSTALL HYDRANT (SEE DETAIL 8 SHEET CS-501)
2	INSTALL SEWER MANHOLE PER MOUNTAIN SEWER STDS
3	INSTALL SEWER LATERAL (SEE DETAIL SS-3A SHEET CU501)
4	INSTALL 3/4" WATER SERVICE WITH 3/4" METER PER LAKEVIEW WATER STDS
5	INSTALL INLET BOX (SEE DETAIL 315 SHEET CS501)
6	INSTALL DOUBLE INLET BOX (SEE DETAIL 315 SHEET CS501)
7	END SECTION

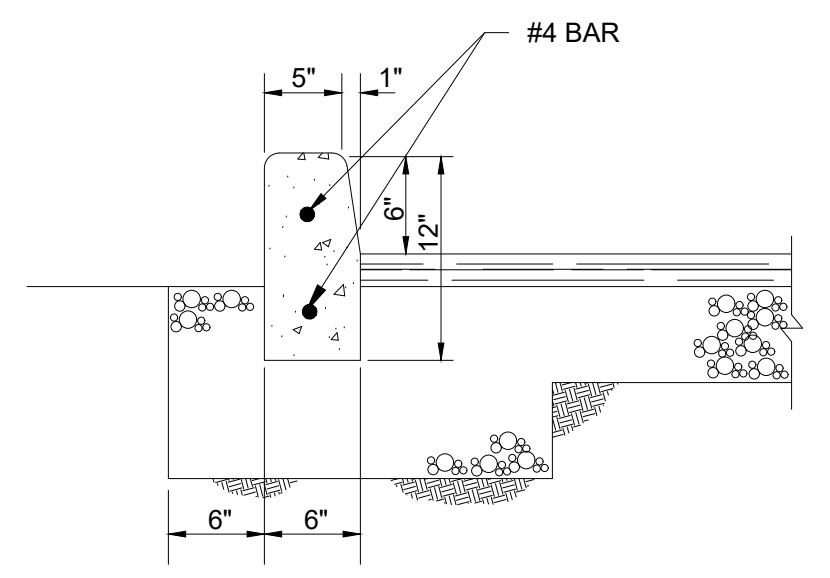
- NOTES:**
- ALL SANITARY SEWER GRAVITY PIPE WILL BE PVC C-900 CLASS DR24 WITH MARKED SEWER TAPE AND WIRE
 - ALL CULINARY WATER PIPE WILL BE C-900 CLASS DR18 WITH MARKED WATER TAPE AND WIRE AND 5' COVER
 - ALL STEEL CASING WILL BE BORED WITH CASING EXTRUDING 5' PAST EDGE OF ASPHALT
 - ALL PRESSURE SANITARY SEWER PRESSURE PIPE WILL BE PVC C-900 DR18 WITH MARKED SEWER TAPE AND WIRE
 - ALL CASINGS WILL BE BORED AND EXTEND 5' BEYOND THE EDGE OF PAYMENT AT BOTH ENDS



1 TYPE 'F' CURB AND GUTTER
SCALE: NONE

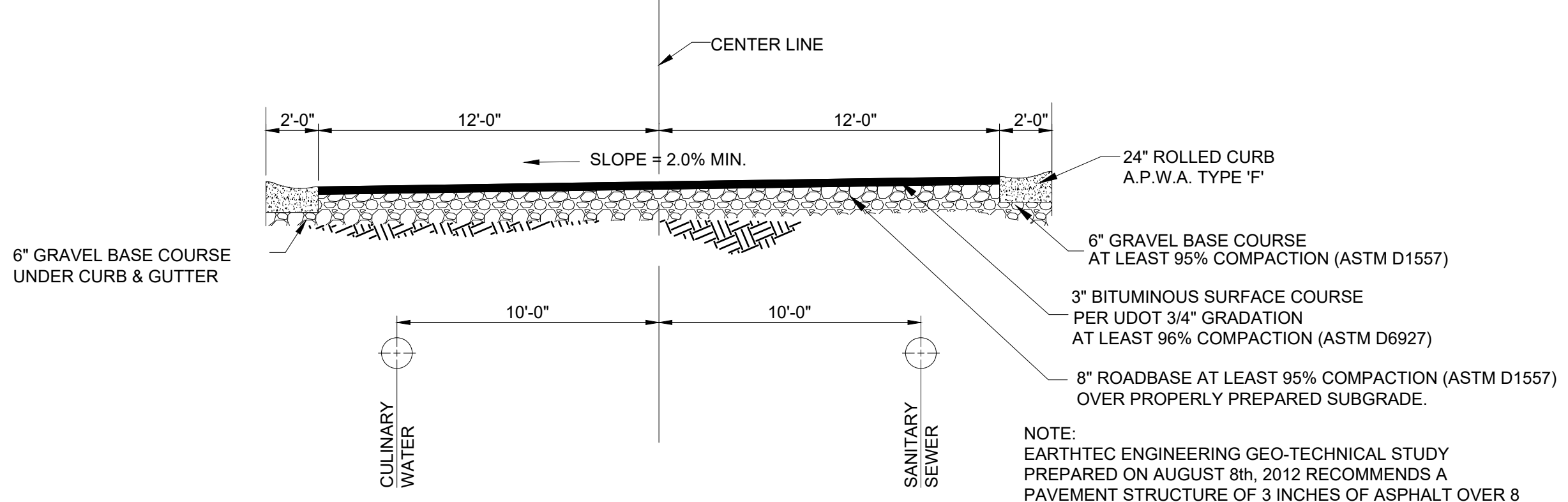


2 WALKWAY
SCALE: NONE
(REFER TO SITE SPECIFIC GEOTECHNICAL REPORT)



3 CURB DETAIL
SCALE: NONE

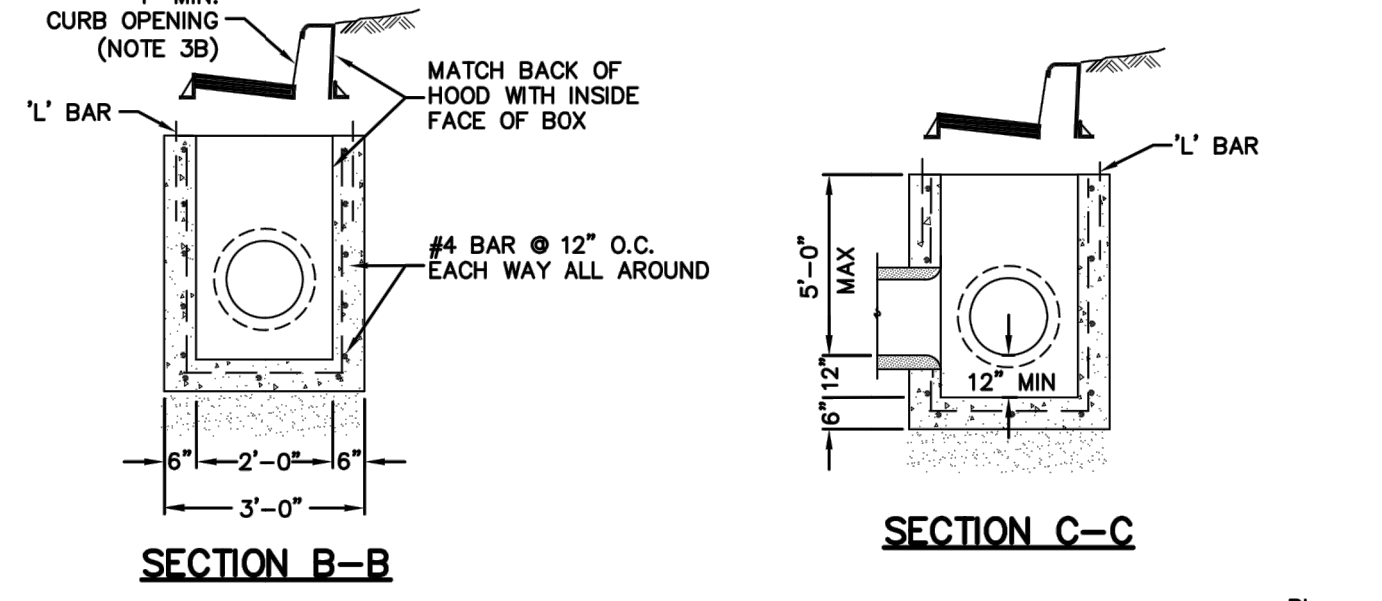
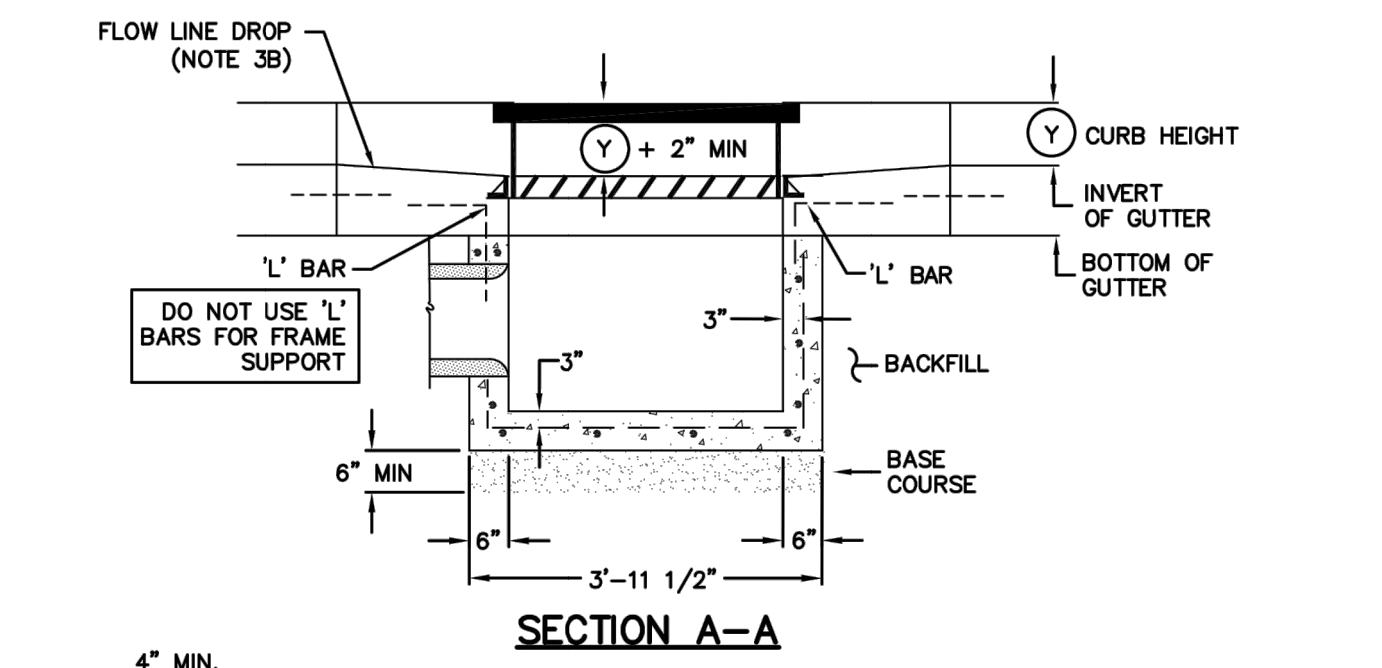
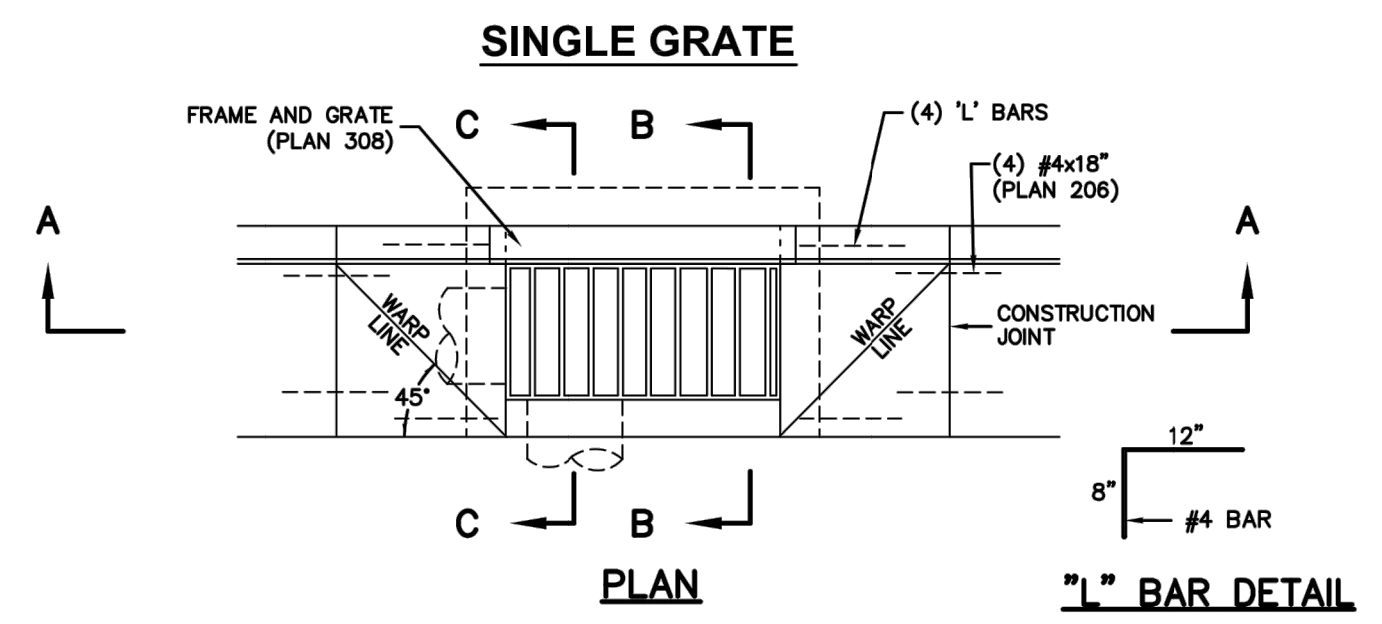
NOTE:
PROVIDE 1/8\"/>



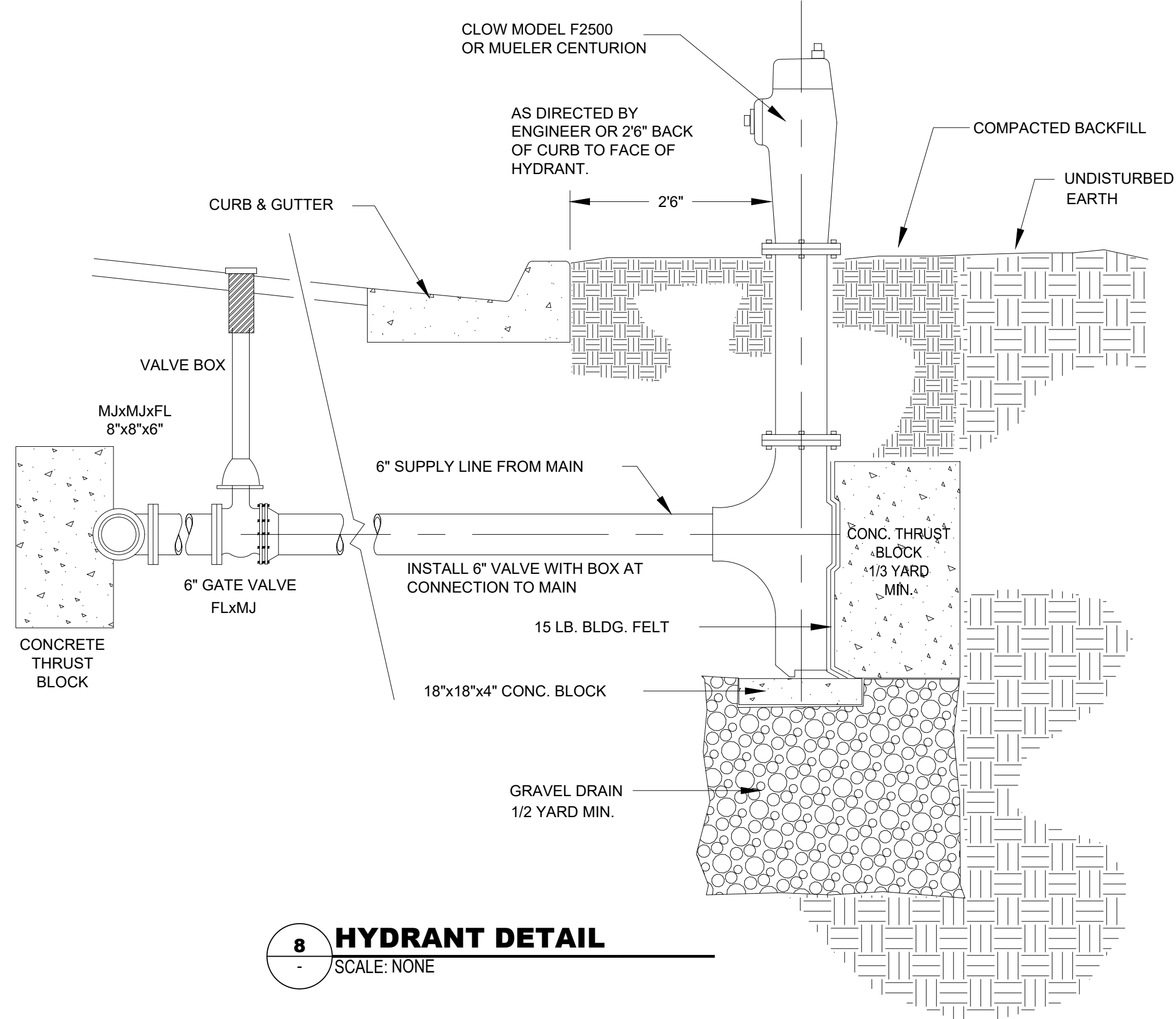
4 2 FT WATERWAY
SCALE: NONE

NOTE:
EARTHTEC ENGINEERING GEO-TECHNICAL STUDY
PREPARED ON AUGUST 8th, 2012 RECOMMENDS A
PAVEMENT STRUCTURE OF 3 INCHES OF ASPHALT OVER 8
INCHES OF COMPACTED ROAD BASE (PG. 19), CBR (3)
TRAFFIC VOLUME ESTIMATED 500 VPD (UDOT PAVEMENT
DSN 1996). SOIL BORINGS FROM TP-4, AND TP-5.

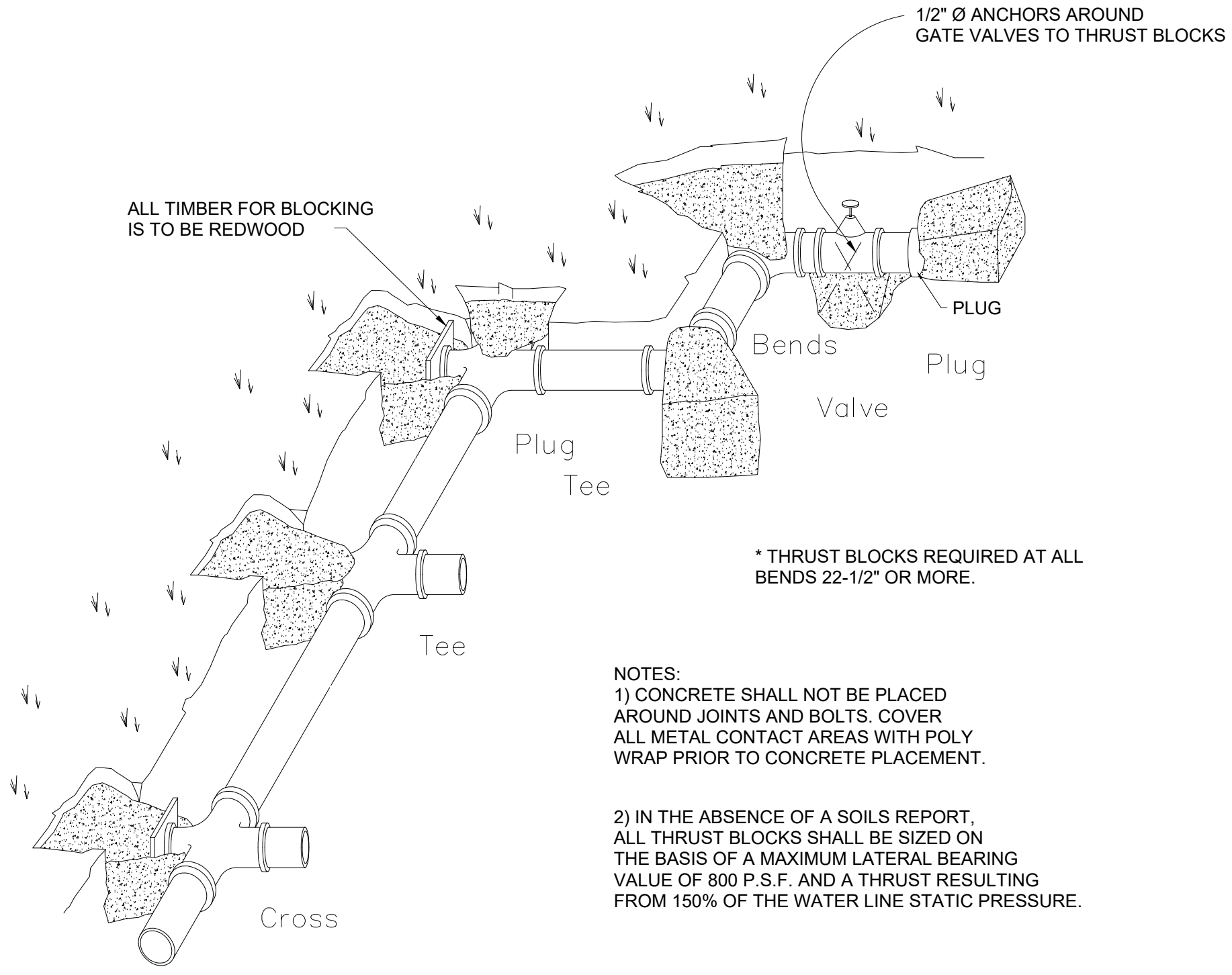
5 PRIVATE ROAD SECTION
SCALE: NONE



Catch basin
September 2010
155
Plan 315
Sheet 1 of 2

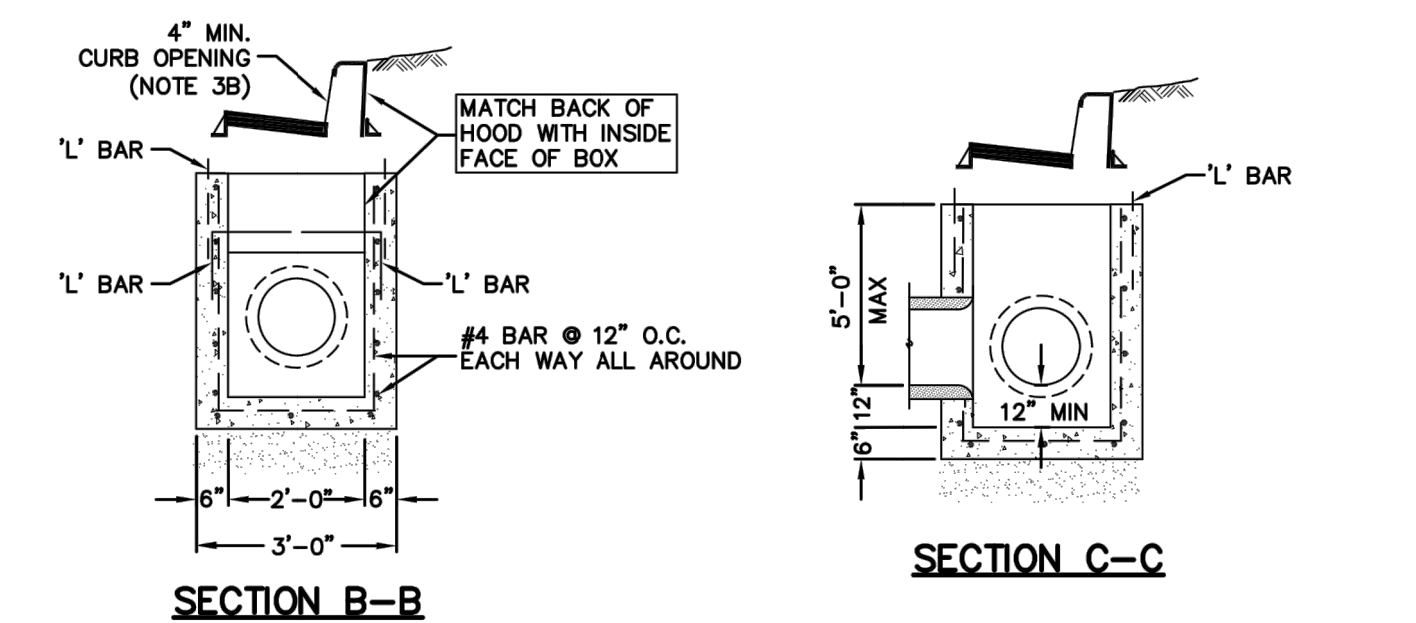
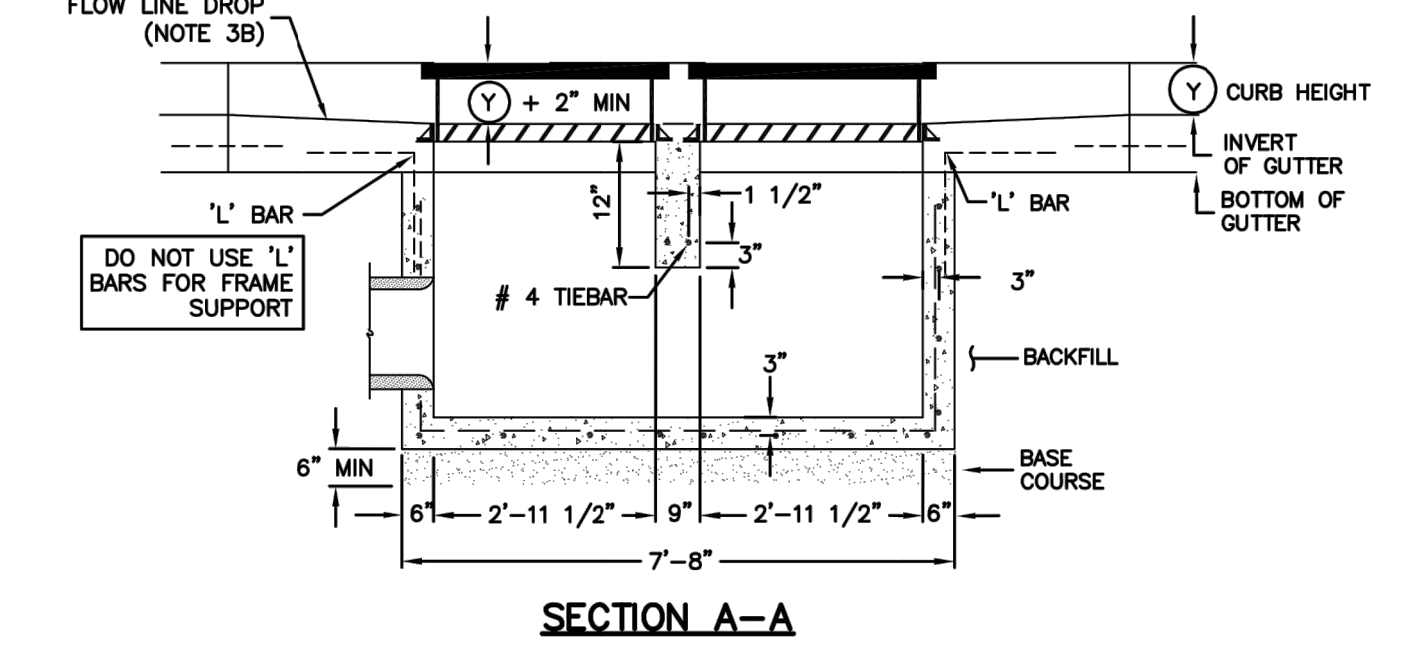
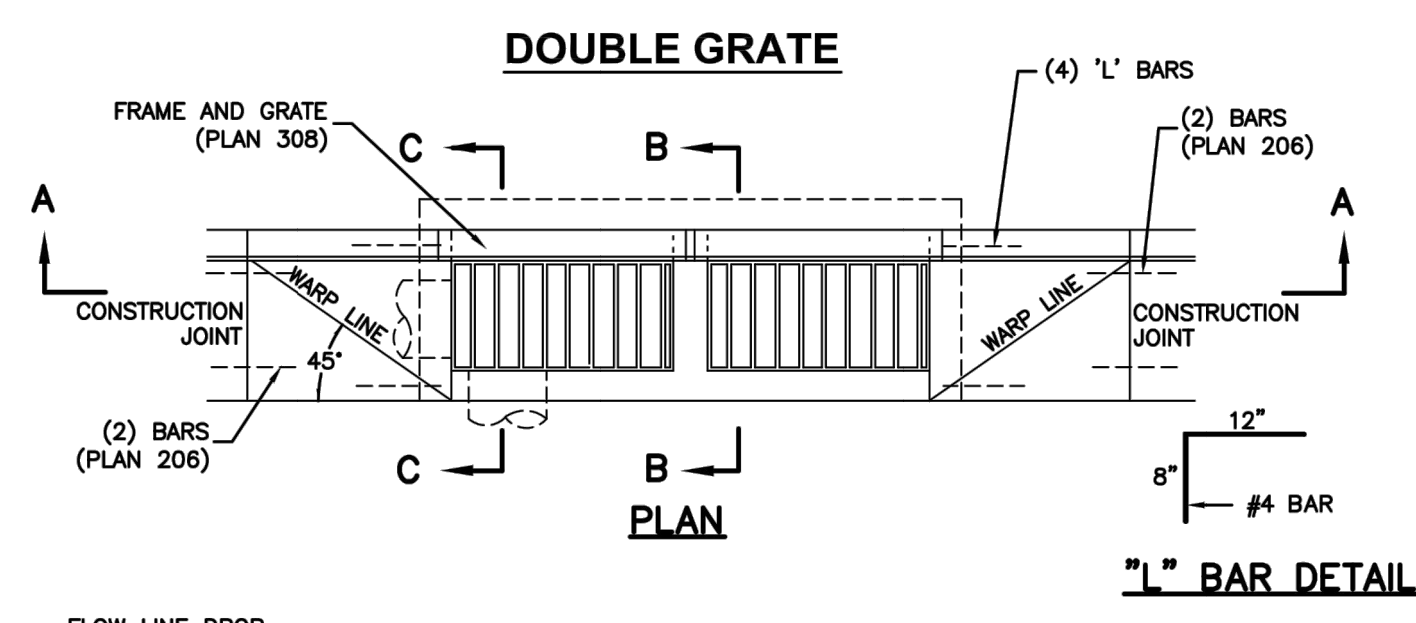


8 HYDRANT DETAIL
SCALE: NONE



9 THRUST BLOCK DETAIL
SCALE: NONE

NOTES:
1) CONCRETE SHALL NOT BE PLACED AROUND JOINTS AND BOLTS. COVER ALL METAL CONTACT AREAS WITH POLY WRAP PRIOR TO CONCRETE PLACEMENT.
2) IN THE ABSENCE OF A SOILS REPORT, ALL THRUST BLOCKS SHALL BE SIZED ON THE BASIS OF A MAXIMUM LATERAL BEARING VALUE OF 800 P.S.F. AND A THRUST RESULTING FROM 150% OF THE WATER LINE STATIC PRESSURE.



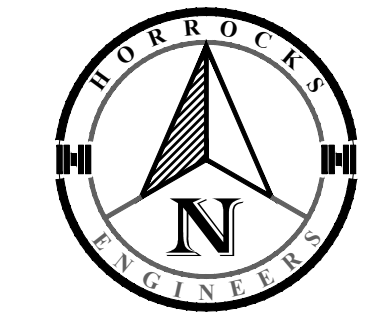
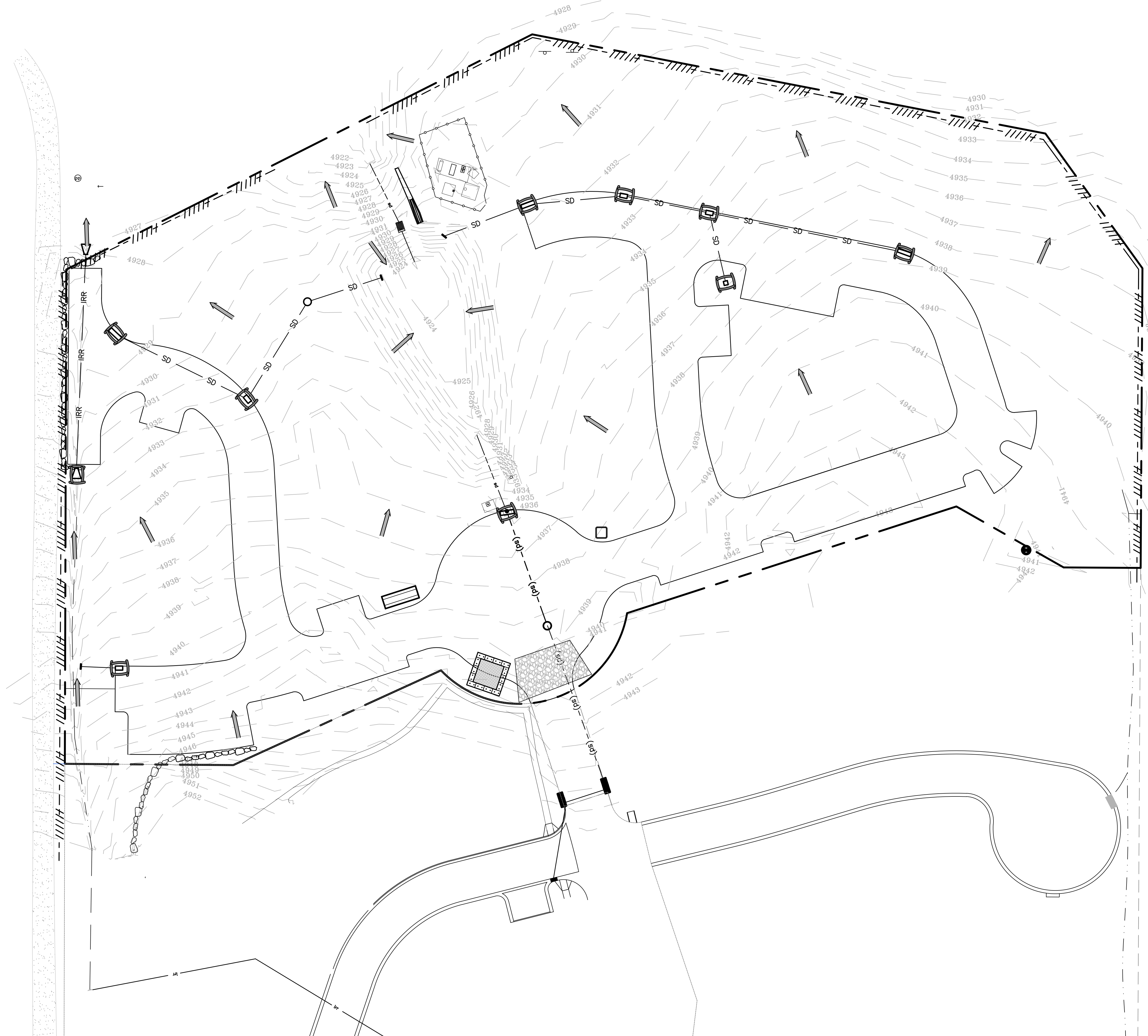
Catch basin - double grate
September 2010
157
Plan 315
Sheet 2 of 2

WARNING
IF THIS BAR DOES NOT MEASURE 2\"/>

REVISIONS	REV #	DATE	DESIGNED	DM	DRAWN	SB	CHECKED	DM	PROJECT	OC-707-1510


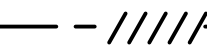




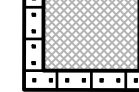
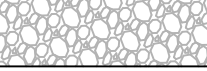
REGISTERED PROFESSIONAL ENGINEER
JAMES F. WOODRUFF
270304-2203
03/06/15
STATE OF UTAH

EDGEWATER PHASE 3
6350 STATE ROUTE 39
HUNTSVILLE, UT
CLIENT:



0 30' 60'
SCALE: 1" = 30'

LEGEND

-  PROPERTY BOUNDARY
-  SILT FENCE (SEE DETAIL 2 SHEET CS-502)
-  DIRECTION OF EXISTING OVERLAND FLOW
-  INLET PROTECTION (SEE DETAIL 3 SHEET CS-502)
-  PORTABLE TOILET CONTAINMENT
-  JOBSITE DUMPSTER
-  CONCRETE WASHOUT AREA (SEE DETAIL 4 SHEET CS-502)
-  STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL 1 SHEET CS-502)


HORROCKS ENGINEERS
 2162 West Grove Pkwy., Suite 400
 Pleasant Grove, UT 84062
 (801) 763-5100
 www.horrock.com

WARNING
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DRAWING INFO		REVISIONS	
DATE	REV #	DATE	DESCRIPTION
NOV 1, 2017	DM		
DESIGNED	DM		
DRAWN	SB		
CHECKED	DM		
PROJECT	OC-707-1510		



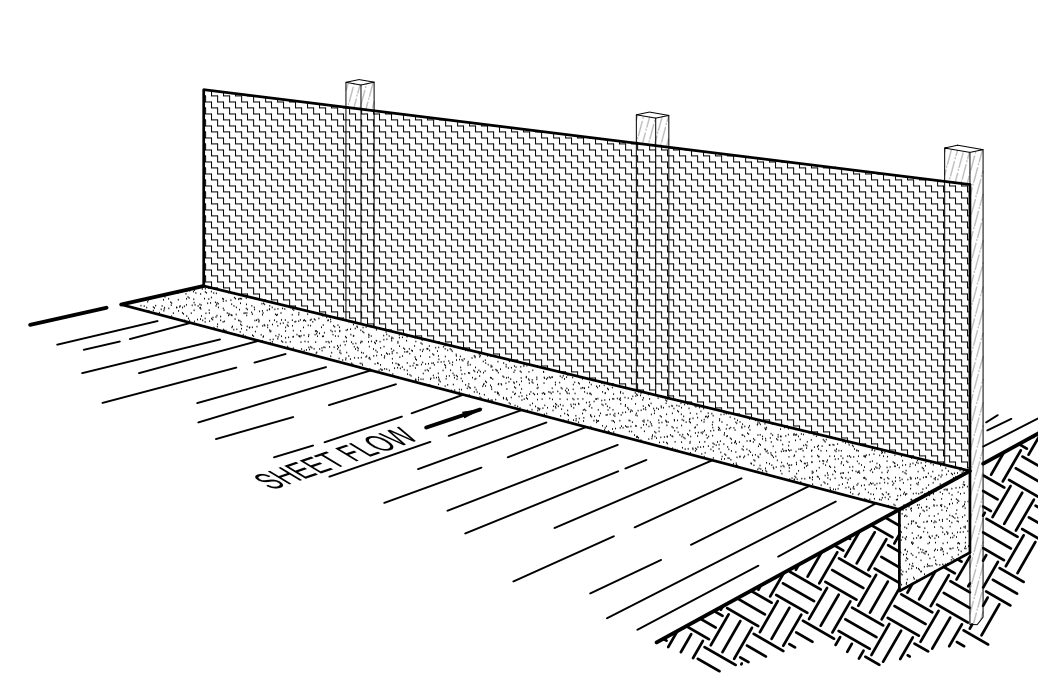
EDGEWATER PHASE 3
 6350 STATE ROUTE 39
 HUNTSVILLE, UT
SWPPP PLAN
 CLIENT:



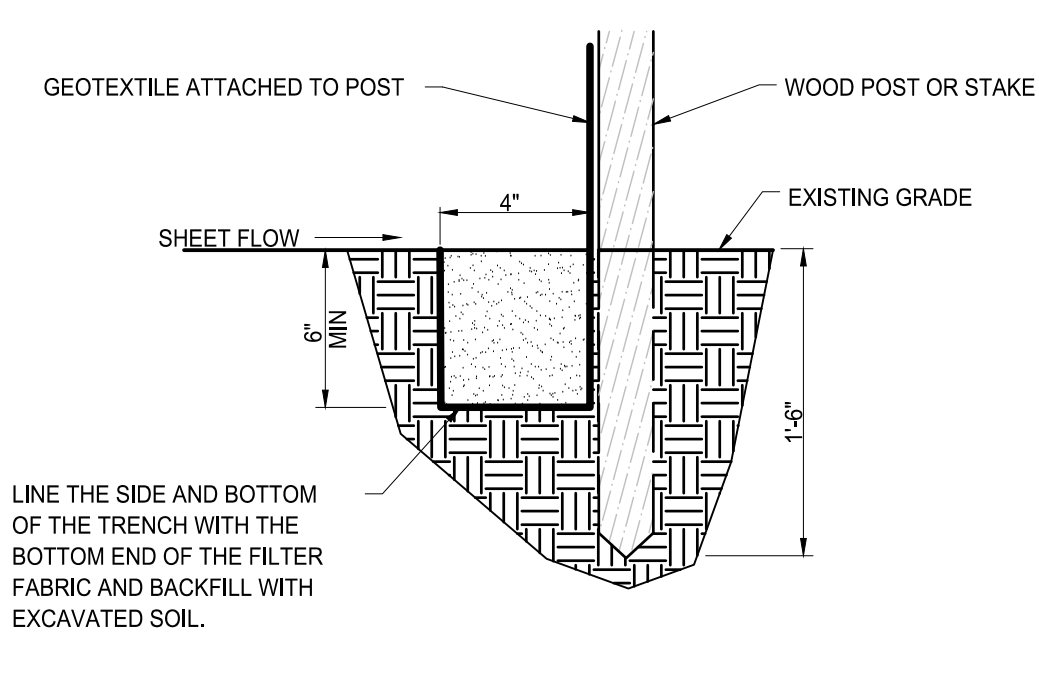
CS-101

Notes:

- Describe all BMP's to protect storm water inlets:
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
 - Equipment / building / concrete wash areas:
To be performed in designated areas only and surrounded with silt fence barriers.
 - Soil contaminated by soil amendments:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Areas of contaminated soil:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Fueling area:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle maintenance areas:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle parking areas:
To be performed in designated areas only and surrounded with silt fence.
 - Equipment storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Materials storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Waste containment areas:
To be performed in designated areas only and surrounded with silt fence.
 - Service areas:
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
- Construction Vehicles and Equipment:
 - Maintenance
 - Maintain all construction equipment to prevent oil or other fluid leaks.
 - Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
 - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
 - Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
 - Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, batteries, hydraulic, and transmission fluids.
 - Fueling
 - If fueling must occur on-site, use designated areas away from drainage.
 - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
 - Cover retention area with an impervious material and install in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
 - Use drip pans for any oil or fluid changes.
 - Washing
 - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
 - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into creeks, rivers, and other water bodies.
 - Use phosphate-free, biodegradable soaps.
 - Do not permit steam cleaning on-site.
- Spill Prevention and Control
 - Minor Spills:
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
 - Contain the spread of the spill.
 - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
 - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up property contaminated soil.
 - If the spill occurs during rain, cover the impacted area to avoid runoff.
 - Record all steps taken to report and contain spill.
 - Major Spills:
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
 - Maintain good housekeeping practices.
 - Enclose or cover building material storage areas.
 - Properly store materials such as paints and solvents.
 - Store dry and wet materials under cover, away from drainage areas.
 - Avoid mixing excess amounts of fresh concrete or cement on-site.
 - Perform washout of concrete trucks offsite or in designated areas only.
 - Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
 - Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
 - All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
 - Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
 - The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
 - A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.
 - Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
 - Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
 - All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
 - Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
 - All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the Engineer of record of the governing agency.
 - The placement of additional devices to reduce erosion damage within the site is left to the discretion of the Engineer of record.
 - Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
 - Erosion control devices will be modified as need as the project progresses, and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
 - Part III.D.4 of general permit UTR300000 identifies the minimum inspection requirements.
 - Part II.D.4.C identifies the minimum inspection report requirements.
 - Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 300000.



Perspective View



Section

INSTALLATION
The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

Slope Steepness (%)	Max. Slope Length m (ft)
<2%	30.5m (100ft)
2-5%	22.9m (75ft)
5-10%	15.2m (50ft)
10-20%	7.6m (25ft)
>20%	4.5m (15ft)

PREFABRICATED SILT FENCE ROLLS
*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
*Unroll the silt fence, positioning the post against the downstream wall of the trench.
*Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then abut the end posts to create a tight seal as shown in Figure 1.
*Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
*Bury the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

should generally be less than three (3) times the height of the fence.
*If a steel or plastic mesh is required to reinforce the geotextile, it shall have a minimum mesh opening of 15.2cm (6").
*Fasten the mesh to the upslope side of the posts using heavy duty wire staples, tie wires or hog strings. Extend the mesh into the bottom of the trench.
*The geotextile shall then be stapled or wired to the posts. An extra 20-50cm (8-20") of geotextile shall extend into the trench.

INSPECTION
*Inspect the silt fence daily during periods of rainfall, immediately after significant rainfall event and weekly during periods of no rainfall. Make any repairs immediately.
*When sediment deposits behind the silt fence are one-third of the fence height, remove and properly dispose of the silt accumulations. Avoid damage to the fabric during cleanout.

REMOVAL
*Silt fence should not be removed until construction ceases and the upslope area has been properly stabilized and/or revegetated.

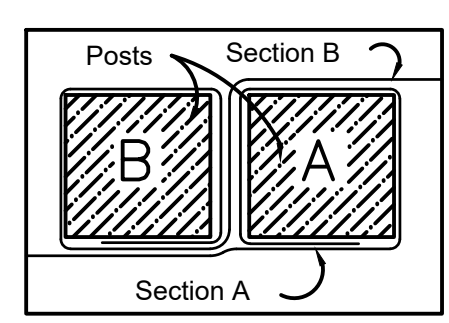
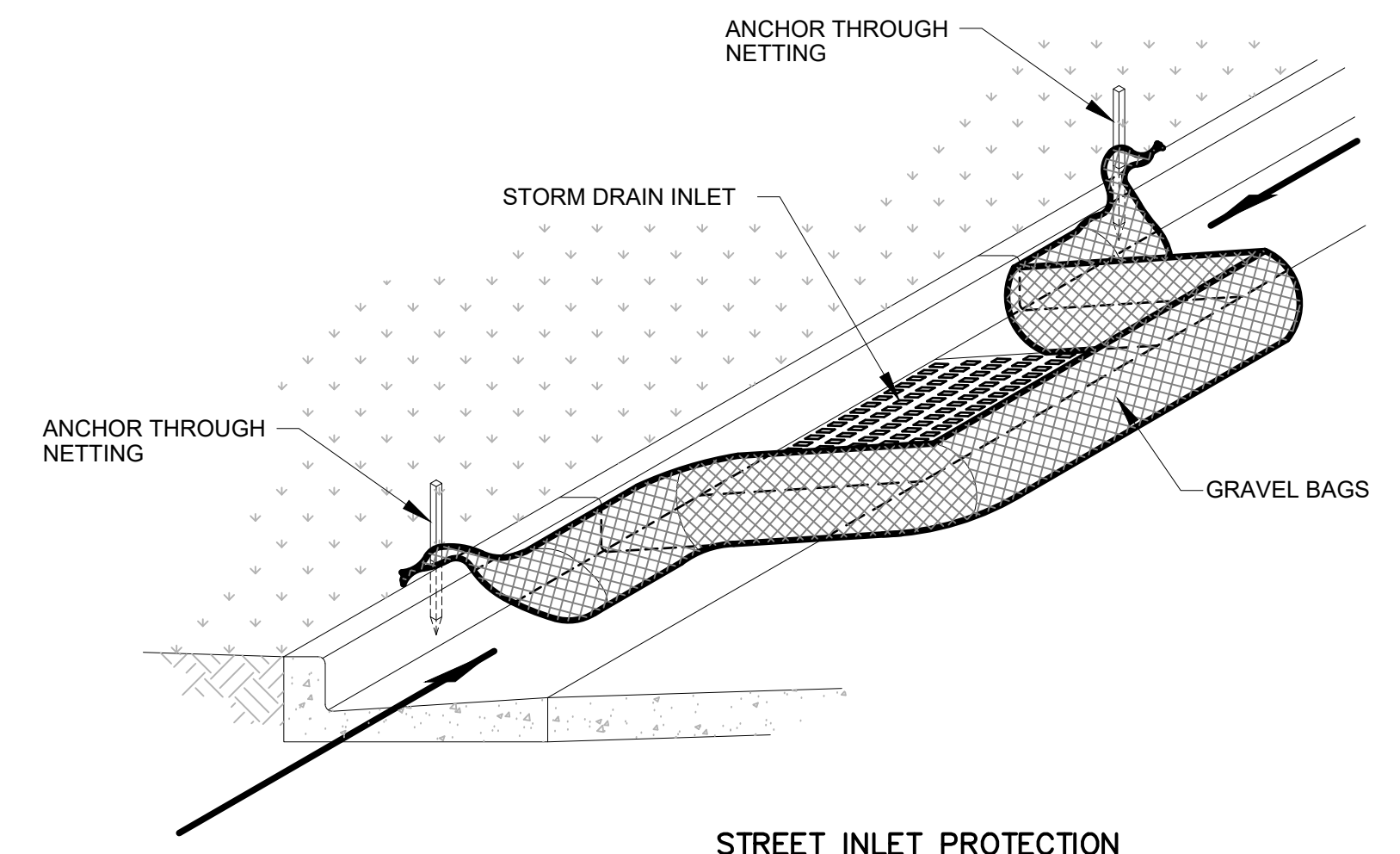


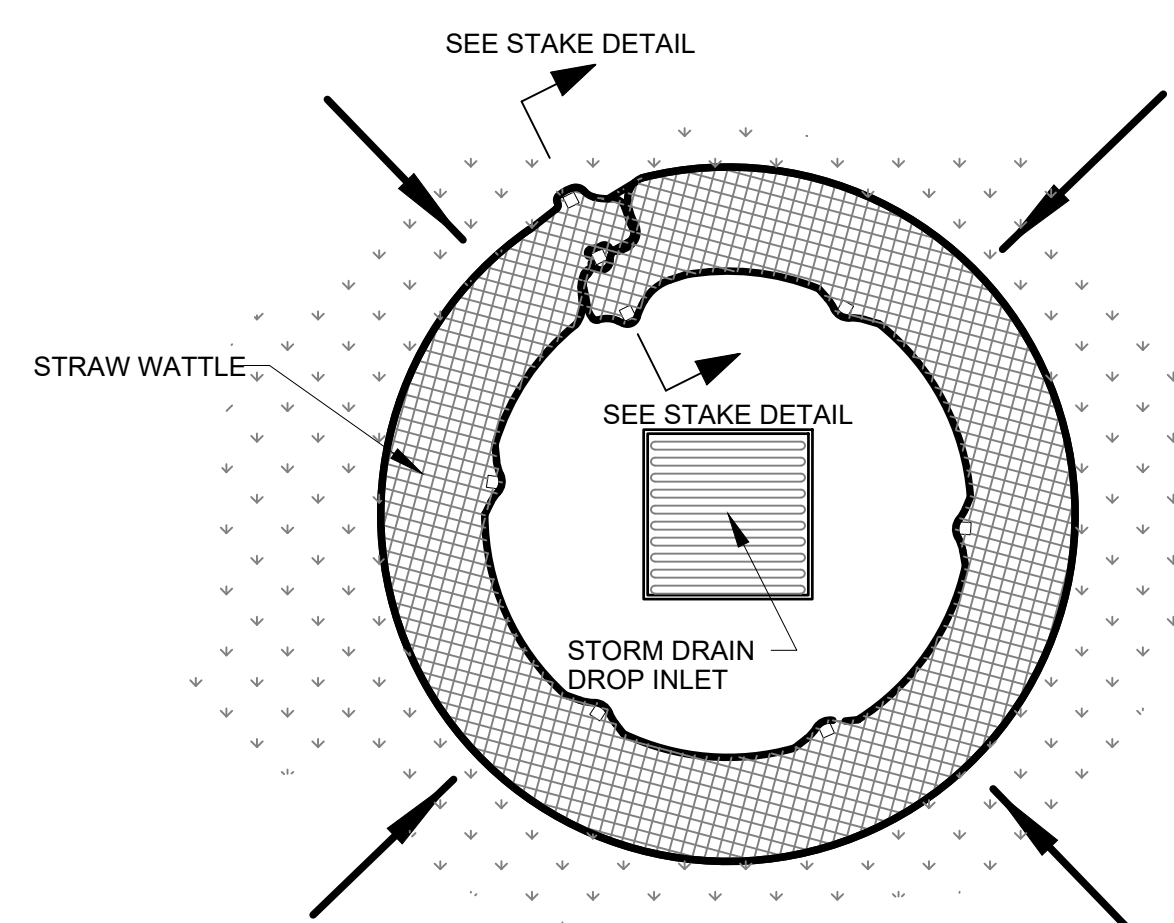
Figure 1: Top View of Roll-to-Roll Connection

FIELD ASSEMBLY:
*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
*Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing

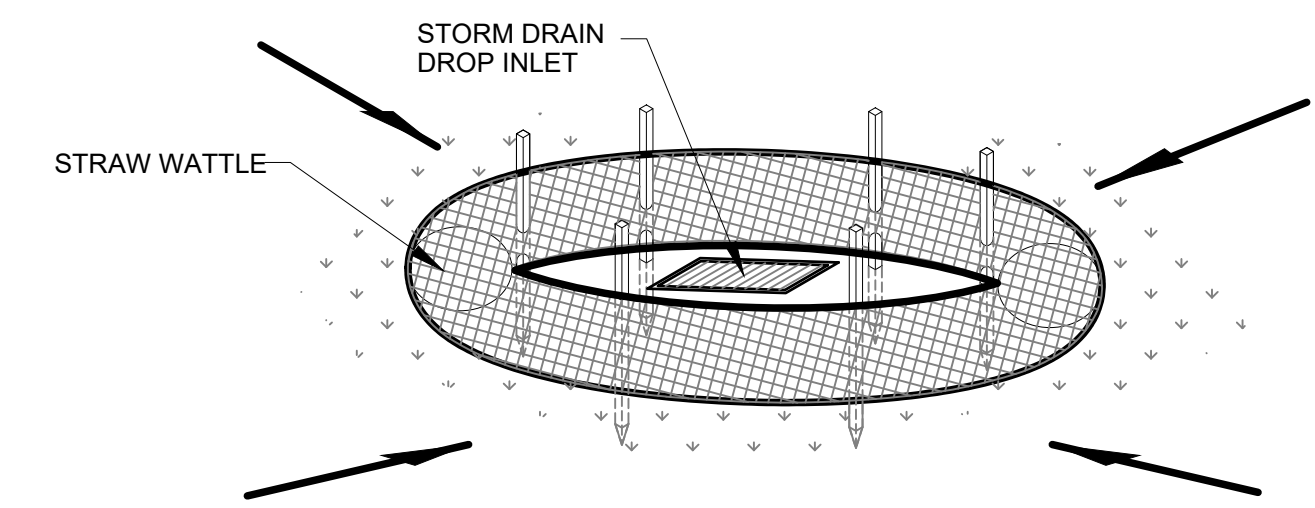
2 SILT FENCE DETAIL SCALE: NONE



STREET INLET PROTECTION

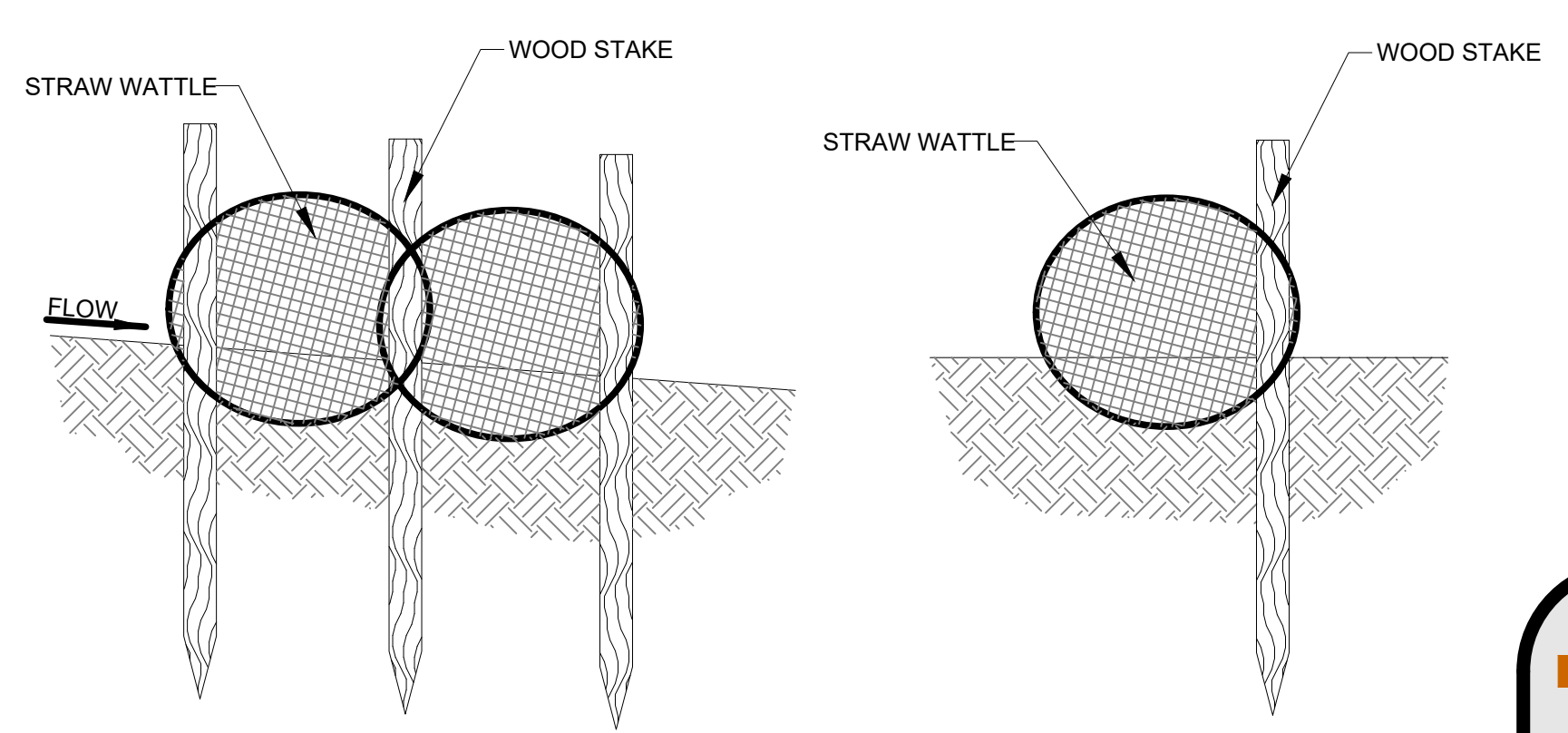


Plan View

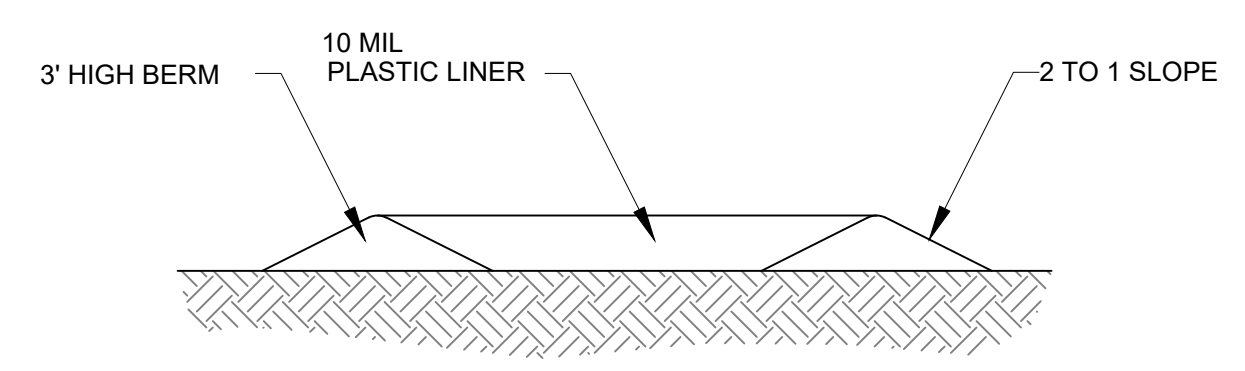


Drop Inlet Protection

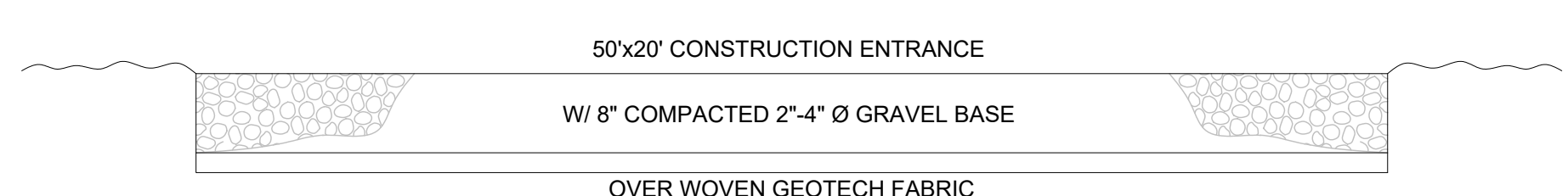
3 INLET PROTECTION SCALE: NONE



5 STAKE DETAIL SCALE: NONE



4 CONCRETE WASHOUT W/ 10 MIL PLASTIC LINER SCALE: NONE



1 CONSTRUCTION ENTRANCE SCALE: NONE

WARNING
IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

REVISIONS	REV #	DATE	BY	CHKD
DRAWING INFO	NOV 1, 2017	DM	SB	DM

REGISTERED PROFESSIONAL ENGINEER
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03/06/15
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