

Terakee Village® No. 1

A PRUD Subdivision

A part of the Southeast Quarter of Section 17, T6N, R2W, SLB&M, U.S. Survey
Weber County, Utah
March 2019

SURVEYOR'S CERTIFICATE

I, Andy Hubbard, do hereby certify that I am a Professional Land Surveyor in the State of Utah, and that I hold Certificate No. 6242920 in accordance with Title 58, Chapter 22, of the Professional Engineers and Professional Land Surveyors Licensing Act. I also certify that I have completed a survey of the property described hereon in accordance with Section 17-23-17 and that I have verified all measurements shown hereon this plat of Terakee Village No. 1 - A PRUD Subdivision in Weber County, Utah and that it has been correctly drawn to the designated scale and is a true and correct representation of the following description of lands included in said subdivision, based on data compiled from records in the Weber County Recorder's Office. Monuments have been found or placed as represented on this plat. I furthermore certify that all lots within this Subdivision hereby meet all current lot width and area requirements of the Weber County Zoning Ordinance.

Signed this _____ day of _____, 2019.

6242920
License No.

Andy Hubbard

NOT FOR RECORDING

OWNERS DEDICATION

We the undersigned owners of the herein described tract of land, do hereby set apart and subdivide the same into lots as shown on the plat and name said tract Terakee Village No. 1 - A PRUD Subdivision and do hereby dedicate and grant to Weber County a perpetual right and easement on and over the Open Space parcels for agriculture preservation easements to guarantee to Weber County that the Open Space parcels remain open and undeveloped except for approved agricultural, recreational, Senior Assisted Living Center, and open space purposes except to be used and maintained by the owner of said parcel(s) for approved agricultural purposes, and also do grant and dedicate a perpetual right and easement over, upon and under the lands designated hereon as public utility easements, the same to be used for the maintenance and operation of public utility service line and storm drainage facilities, whichever is applicable as may be authorized by the governing authority, with no buildings or structures being erected within such easements.

We also dedicate and reserve unto themselves, their heirs, their grantees and assigns, a right-of-way to be used in common with all others within said Subdivision (and those adjoining Subdivisions that may be subdivided by the undersigned owners, their successors, or assigns) on, over and across all those portions or parts of said tract of land designated on said plat as Private Streets (Private rights-of-way) as access to the individual lots, to be maintained by a lot (unit) owners association whose membership consists of said owners, their grantees, successors, or assigns.

We also do hereby dedicate, grant and convey to Terakee Farm, Inc. the Parcels referred to as Open Spaces A, B, C and D, and also dedicate and grant a perpetual right and easement over, upon and under the lands designated hereon as Open Spaces A, B, C and D, for Storm Water Detention, Landscaping, and Secondary Water facility purposes: the same to be used for the maintenance and operation of storm drainage facilities, Secondary Water facilities as applicable as may be authorized by the governing authority, with no residential buildings or structures being erected within such parcels except for that area designated as Senior Assisted Living Center Area, as shown hereon which is defined in the Codes, Covenants, and Restrictions (CC&R's) for this development.

Signed this _____ Day of _____, 2019.

- Terakee Properties LP -

Brad Blanch - Owner
1060 East 3400 North
North Ogden, UT 84414
(801) 668-8565

ACKNOWLEDGMENT

State of Utah
County of _____ } ss

The foregoing instrument was acknowledged before me this _____ day of _____ 2019 by _____ X _____

Residing At: _____ A Notary Public commissioned in Utah
Commission Number: _____
Commission Expires: _____
Print Name

HOOPER IRRIGATION COMPANY
This is to certify that this subdivision plat was duly approved by Hopper Irrigation Company.
Signed this _____ day of _____, 2019.

Hooper Irrigation Company

WEBER COUNTY ATTORNEY

I have examined the financial guarantee and other documents associated with this subdivision plat, and in my opinion they conform with the County Ordinance applicable thereto and now in force and effect.
Signed this _____ day of _____, 2019.

Webber County Attorney

WEBER COUNTY SURVEYOR

I hereby certify that the Weber County Surveyor's Office has reviewed this plat for mathematical correctness, section corner data, and for harmony with lines and monument on record in County Offices. The approval of this plat by the Weber County Surveyor does not relieve the licensed Land Surveyor who executed this plat from the responsibilities and/or liabilities associated therewith.
Signed this _____ day of _____, 2019.

Webber County Surveyor

TAYLOR WEST WEBER WATER

This is to certify that this subdivision plat was duly approved by Taylor West Weber Water.
Signed this _____ day of _____, 2019.

Taylor West Weber Water

WEBER COUNTY ENGINEER

I hereby certify that the required public improvement standards and drawings for this subdivision conform with County standards and the amount of the financial guarantee is sufficient for the installation of these improvements.
Signed this _____ of _____, 2019.

Webber County Engineer

WEBER COUNTY PLANNING COMMISSION APPROVAL

This is to certify that this subdivision plat was duly approved by the Weber County Planning Commission.
Signed this _____ day of _____, 2019.

Chairman, Weber County Planning Commission

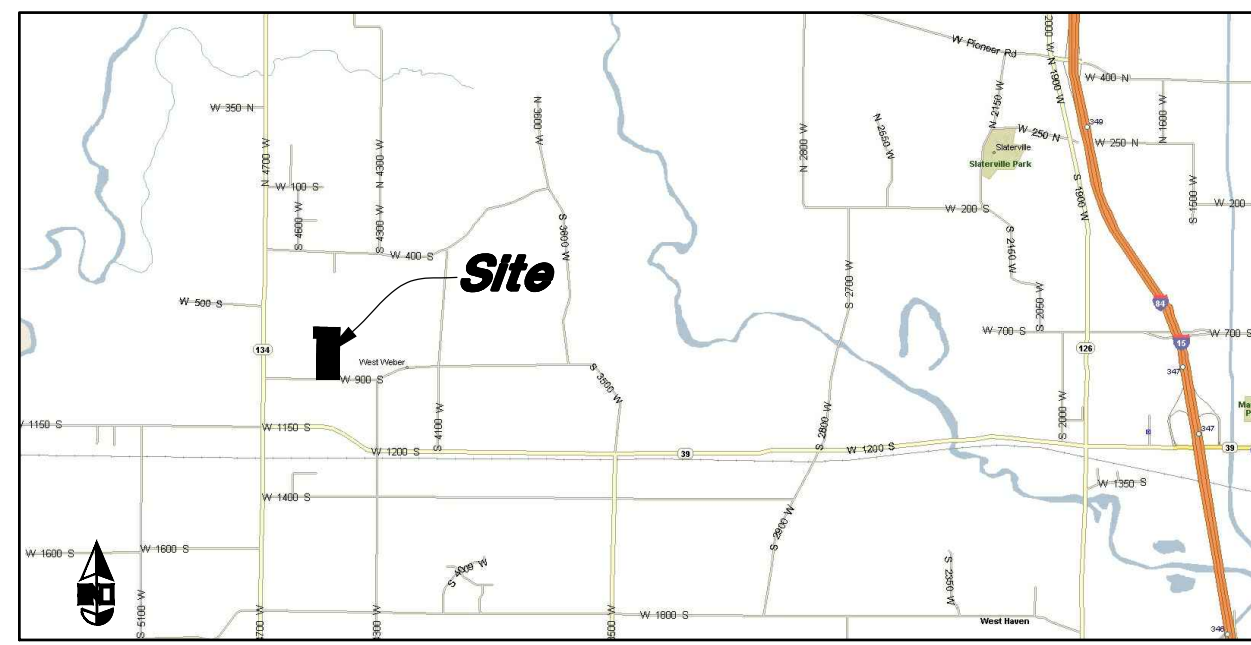
WEBER COUNTY COMMISSION ACCEPTANCE

This is to certify that this subdivision plat, the dedication of streets and other public ways and financial guarantee of public improvements associated with this subdivision, thereon are hereby approved and accepted by the Commissioners of Weber County, Utah.
Signed this _____ day of _____, 2019.

Chairman, Weber County Commission

Attest:

Title:



VICINITY MAP
Not to Scale

NARRATIVE

This Subdivision Plat was requested by Mr. Brad Blanch for the purpose of creating thirty-six (36) residential Lots and four (4) Open Space Parcels.

Brass Cap Monuments were found at the Southeast Corner the South Quarter Corner, the Southwest corner and the Center corner of Section 17, T6N, R2W, SLB&M

A line bearing North 89°05'07" West between the Southeast and South Quarter corner monuments was used as the Basis of Bearings.

The Northerly and Easterly Lines were established by comparing similar calls in adjoining deeds and honoring the historic fence line.

The South Property line was established along the Section Line as called for in the Deeds.

The North Right of way line for 900 South Street was established by offsetting the Section line 33' to the North.

The East Right of way line of 4700 West Street (Remainder Parcel) was established by Offsetting the Section line as shown on the UDOT, right of way maps (FAP-155-A(4), 4B09, B10, & B11).

The Westerly Line was created from a line to separate a future Phase of this development. Property Corners were monumented as depicted on this plat.

Once Curb and Gutter has been installed, Rivets will be set in the Top Back of Curb at the extensions of the Property Line (Not Perpendicular to the Road way).

BOUNDARY DESCRIPTION

A part of the Southeast Quarter of Section 17, Township 6 North, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, Weber County, Utah, more particularly described as follows:

Beginning at a point on the Northerly Right of Way Line of 900 South Street, said point being 1390.53 feet South 89°05'07" East along the Section Line from the South Quarter Corner of said Section 17 to the Easterly Line of the Terakee Farm Property; and running thence along said Easterly and Southerly Lines the following three (3) courses: (1) North 0°57'17" East 1073.74 feet, (2) North 89°05'07" West 95.00 feet and (3) North 0°56'37" East 250.33 feet to a point on an Existing Fence Line, said point also being the Southerly Line of the KN & LN LLC Property; thence along said Fence Line and Southerly Line South 88°53'33" East 651.21 feet to a point on an Existing Fence, said point also being the Westerly Line of the Dario & Mary R. Costesso Property; thence along said Fence Line and Westerly Line South 1°13'19" West 1321.80 feet to said Northerly Right of Way Line of said 900 South Street; thence along said Northerly Right of Way Line North 89°05'07" West 550.00 feet to the Easterly Line of said Terakee Farm Property and the Point of Beginning.

Contains 755,373 Sq. Ft. or 17.341 Acres

REMAINDER PARCEL DESCRIPTION

A part of the Southeast Quarter of Section 17, Township 6 North, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, Weber County, Utah, more particularly described as follows:

Beginning at a point on the Quarter Section Line and the Northerly Right of Way Line of 900 South Street and the Easterly Right of Way Line of 4700 South Street, said point being 36.48 feet South 89°05'07" East along the Section Line from the South Quarter Corner of said Section 17; and running thence North 1°00'33" East 1328.21 feet along said Easterly Right of Way Line of 4700 West Street; thence South 88°53'33" East 1257.74 feet; thence South 0°56'43" East 250.33 feet; thence South 89°05'07" East 95.00 feet; thence South 0°57'17" West 1073.64 feet to the Northerly Right of Way Line of said 900 South Street; thence North 89°05'07" West 1354.04 feet along said Quarter Section Line and Northerly Right of Way Line to the Point of Beginning.

Contains 40.651 Acres, More or Less

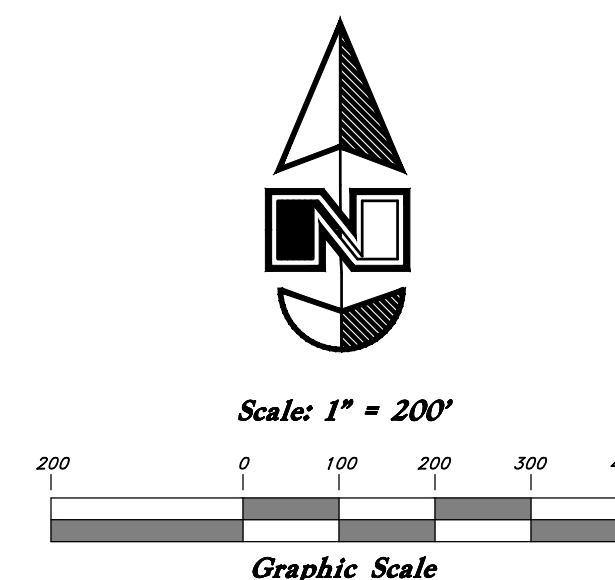
AGRICULTURAL NOTE

Agriculture is the preferred use in the agriculture zones. Agricultural operations as specified in the Land Use Code for a particular zone are permitted at any time including the operation of farm machinery and no allowed agricultural use shall be subject to restrictions on the basis that it interferes with activities of future residents of this subdivision.

ENGINEER:
Great Basin Engineering, Inc.
c/o Andy Hubbard, PLS
5746 South 1475 East Suite 200
Ogden, Utah 84405
(801) 394-4515

DEVELOPER:
Terakee Properties
c/o Brad Blanch
PO Box 14016
Ogden, Utah 84412
(801) 668-8565

GREAT BASIN ENGINEERING
5746 SOUTH 1475 EAST OGDEN, UTAH 84403
MAIN (801)394-4515 S.L.C. (801)521-0222 FAX (801)392-7544
WWW.GREATBASINENGINEERING.COM



Sheet 1 of 2

WEBER COUNTY RECORDER
ENTRY NO. _____ FEE PAID _____
RECORDED _____ FILED FOR RECORD AND AT _____
IN BOOK _____ OF OFFICIAL RECORDS, PAGE _____ RECORDED FOR _____
WEBER COUNTY RECORDER
BY: _____ DEPUTY

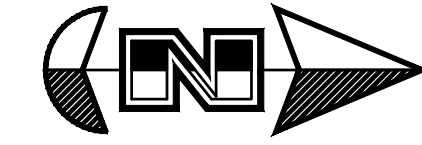
Terakee Village® No. 1

A PRUD Subdivision

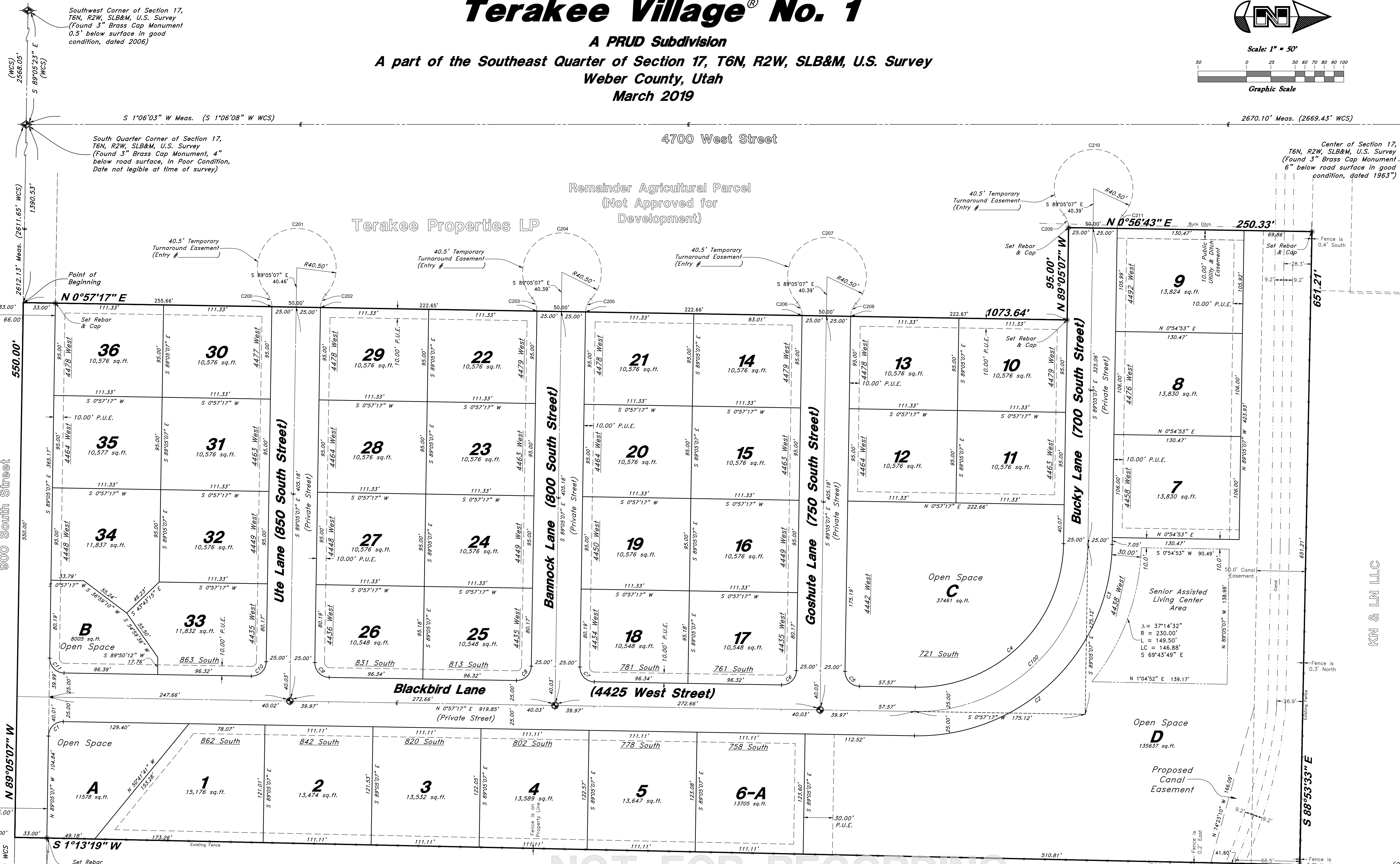
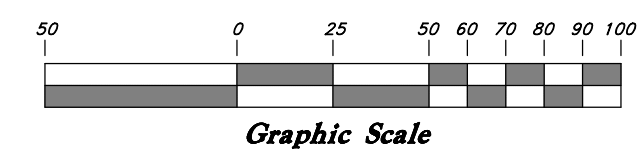
A part of the Southeast Quarter of Section 17, T6N, R2W, SLB&M, U.S. Survey

Weber County, Utah

March 2019



Scale: 1" = 50'



Legend

- ⊙ Monument to be set
- (Rad.) Radial Line
- (N/R) Non-Radial Line
- PUE Public Utility Easement
- PU&DE Public Utility & Drainage Easement
- ⊗ Fence
- ⊠ Set Hub & Tack
- A will be set Nail in Curb
- ⊙ Extension of Property
- ⊙ Set 5/8" x 24" Long Rebar & Cap w/ Lathe

BUILDING SETBACKS
 Front Yard - 20 Feet
 Side Yard - 10 Feet
 (20 Feet Corner Facing Street)
 Rear Yard - 10 Feet
 Building Height - 40 Feet Max.

PROPERTY LINE CURVE DATA

Curve	Delta	Radius	Length	Chord	Chord Bearing
C1	90°20'55"	15.00'	23.65'	21.28'	N 44°23'12" W
C2	90°02'24"	200.00'	314.30'	282.94'	N 44°03'55" W
C3	90°02'24"	200.00'	314.30'	282.94'	N 44°03'55" W
C4	90°02'24"	150.00'	235.72'	212.21'	S 44°03'55" E
C5	89°57'36"	15.00'	23.55'	21.21'	S 45°56'05" W
C6	90°02'24"	15.00'	23.57'	21.22'	S 44°03'55" E
C7	89°57'36"	15.00'	23.55'	21.21'	S 45°56'05" W
C8	90°02'24"	15.00'	23.57'	21.22'	N 44°03'55" W
C9	89°57'36"	15.00'	23.55'	21.21'	N 45°56'05" E
C10	90°02'24"	15.00'	23.57'	21.22'	N 44°03'55" W
C11	89°46'21"	15.00'	23.50'	21.17'	N 46°00'50" E

CENTERLINE CURVE DATA

Curve	Delta	Radius	Length	Chord	Chord Bearing
C100	90°02'24"	175.00'	275.01'	247.57'	S 44°03'55" E

EASEMENT CURVE DATA

Curve	Delta	Radius	Length	Chord	Chord Bearing
C200	41°56'37"	20.00'	14.64'	14.32'	S 69°56'34" W
C201	26°3'53'15"	40.50'	186.53'	60.25'	N 0°54'53" E
C202	42°02'37"	20.00'	14.68'	14.35'	S 68°09'48" E
C203	41°51'49"	20.00'	14.61'	14.29'	S 69°58'58" W
C204	26°3'53'14"	40.50'	186.53'	60.25'	N 0°59'41" E
C205	41°45'49"	20.00'	14.58'	14.26'	S 67°56'36" E
C206	41°51'49"	20.00'	14.61'	14.29'	S 69°58'58" W
C207	26°3'53'14"	40.50'	186.53'	60.25'	N 0°59'41" E
C208	41°45'48"	20.00'	14.58'	14.26'	S 67°56'36" E
C209	41°51'49"	20.00'	14.61'	14.29'	S 69°58'58" W
C210	26°3'53'14"	40.50'	186.53'	60.25'	N 0°59'41" E
C211	41°44'23"	20.00'	14.57'	14.25'	S 67°55'53" E

NOT FOR RECORDING

Dario & Mary R. Costesso

AGRICULTURAL NOTE
 Agriculture is the preferred use in the agriculture zones. Agricultural operations as specified in the Land Use Code for a particular zone are permitted at any time including the operation of farm machinery and no allowed agricultural use shall be subject to restrictions on the basis that it interferes with activities of future residents of this subdivision.

- NOTES**
- 10' wide Public Utility Easement as indicated by dashed lines, except as otherwise shown.
 - All Lots with an "A" Designation may have an ADU, which may be used for monthly rentals only when primary residence is owner occupied.
 - Agri-tourism is an approved use on agricultural lots.
 - Recommendations on the Geotechnical Report shall be followed during construction of this site.
 - Private Roads shall have a 40.5 foot temporary turnaround easement at the end of each street during the construction of each phase.
 - All Property Corners and Street Monuments to be placed before the Recording of the Plat.

GREAT BASIN ENGINEERING
 5746 SOUTH 1475 EAST OGDEN, UTAH 84403
 MAIN (801)394-4515 S.L.C. (801)521-0222 FAX (801)392-7544
 WWW.GREATBASINENGINEERING.COM

Sheet 2 of 2

WEBER COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____

RECORDED _____ FILED FOR RECORD AND AT _____

RECORDS, PAGE _____ OF OFFICIAL RECORDS, PAGE _____ RECORDED FOR _____

WEBER COUNTY RECORDER

BY: _____ DEPUTY

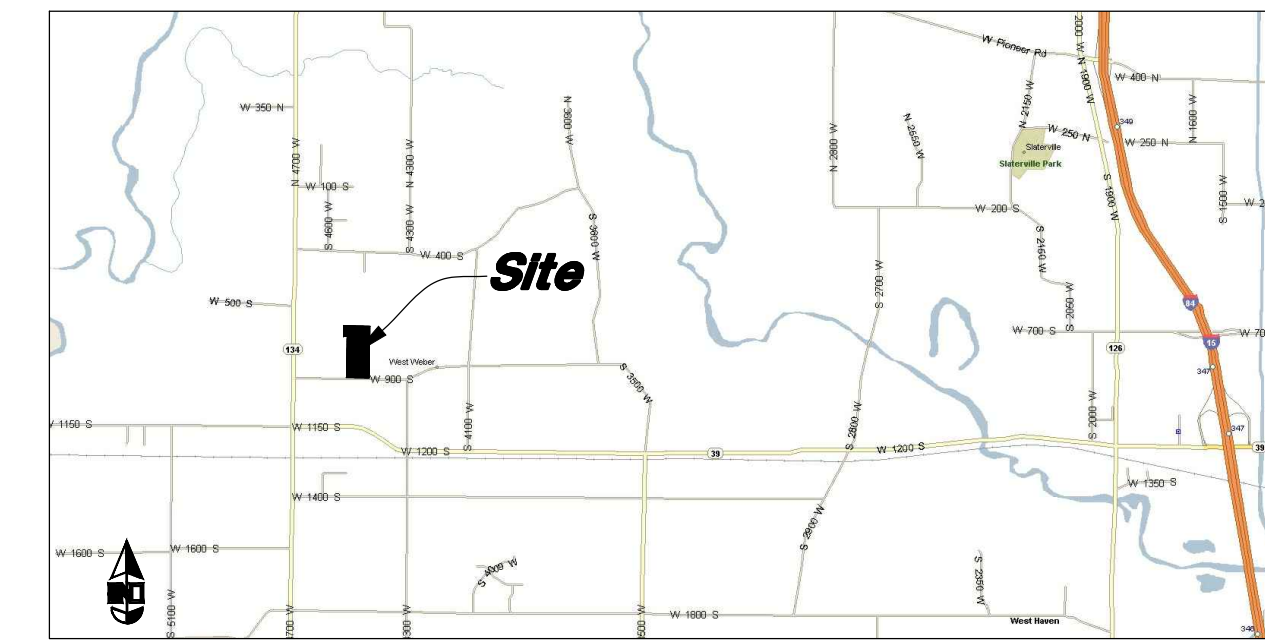
Terakee Village® No. 1

A PRUD Subdivision

A part of Section 17, T6N, R2W, SLB&M, U.S. Survey

Weber County, Utah

March 2019



VICINITY MAP
Not to Scale

*** See All Sheets***

NOTES

- All construction shall conform to Weber County standards and specifications.
- Underground utility piping materials will meet or exceed Weber County Standards.
- Culinary water services will be 3/4" Dia. C-900 DR14 PVC to be centered on the frontage and extended 10' beyond the right of way line.
- 4" Sanitary sewer laterals to be constructed 10' down slope from the center of the lot and extended 10' beyond the right of way line.
- 4" Land drain laterals to be constructed at the low corner of the lot and extended 10' beyond the right of way line.
- Saw Cut Existing Asphalt to provide a smooth clean edge.
- All Utility trenches within the Street right of way shall have a City approved imported granular backfill.
- Thrust block all water line fittings.
- All inlet grates shall be bicycle safe.
- All fire hydrants and access roads shall be installed prior to any construction of any buildings.
- All fire hydrants shall be placed with 4 1/2 inch connections facing the point of access for the Fire Department Apparatus.
- Prior to the beginning of construction of any buildings, a fire flow test of new hydrants shall be conducted to verify the actual fire flow for this project. The Fire Prevention Division shall witness this test and shall be notified a minimum of 48 hours prior to the test.
- Curb & gutter installed along 2200 South Street will be set to ensure a 1.5% minimum/3.0% Maximum cross slope from edge of asphalt. Contractor to verify prior to construction of curb.
- An excavation permit is required for all work done within the existing Right of Way.
- A Storm Water Construction Activity Permit is required for any construction that disturbs more than 5000 Sq. Ft. or 200 Cubic Yards.
- All improvements need to be either installed or escrowed prior to recording of the subdivision.
- If construction activity will disturb more than an acre then a State SWPPP will be required. This includes the construction of the homes etc. on each lot.

GENERAL UTILITY NOTES:

- Coordinate all utility connections to building with plumbing plans and building contractor.
- Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
- All catch basin and inlet box grates are to be bicycle proof.
- All inlet boxes located in curb and gutter are to be placed parallel to the curb and gutter and set under the frame and grate. Improperly placed boxes will be removed and replaced at no additional cost to the owner. Precast or cast in place boxes are acceptable.
- Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
- Gas lines, telephone lines, and cable TV lines are not a part of these plans unless otherwise noted.
- Water meters are to be installed per county standards and specifications. It will be the contractor's responsibility to install all items required.
- Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible to construct any vertical adjustments necessary to clear sewer, storm drain or other utilities as necessary including valve boxes and hydrant spools to proper grade.
- Field verify all existing and/or proposed Roof Drain/Roof Drain down spout connections to Storm Water System with Civil, Plumbing & Architectural plans. Notify Engineer of any discrepancies.
- All gravity flow utility lines shall be installed prior to any pressurized utilities unless written permission is obtained from the engineer of record before construction begins.

UTILITY PIPING MATERIALS:

- All piping to be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

CULINARY SERVICE LATERALS

- 3/4" to 2" diameter pipe - copper tube ASTM B, Type K, Soft Temper
- Over 2" diameter pipe - AWWA C-900 Class 150 pipe

WATER MAIN LINES AND FIRE LINES

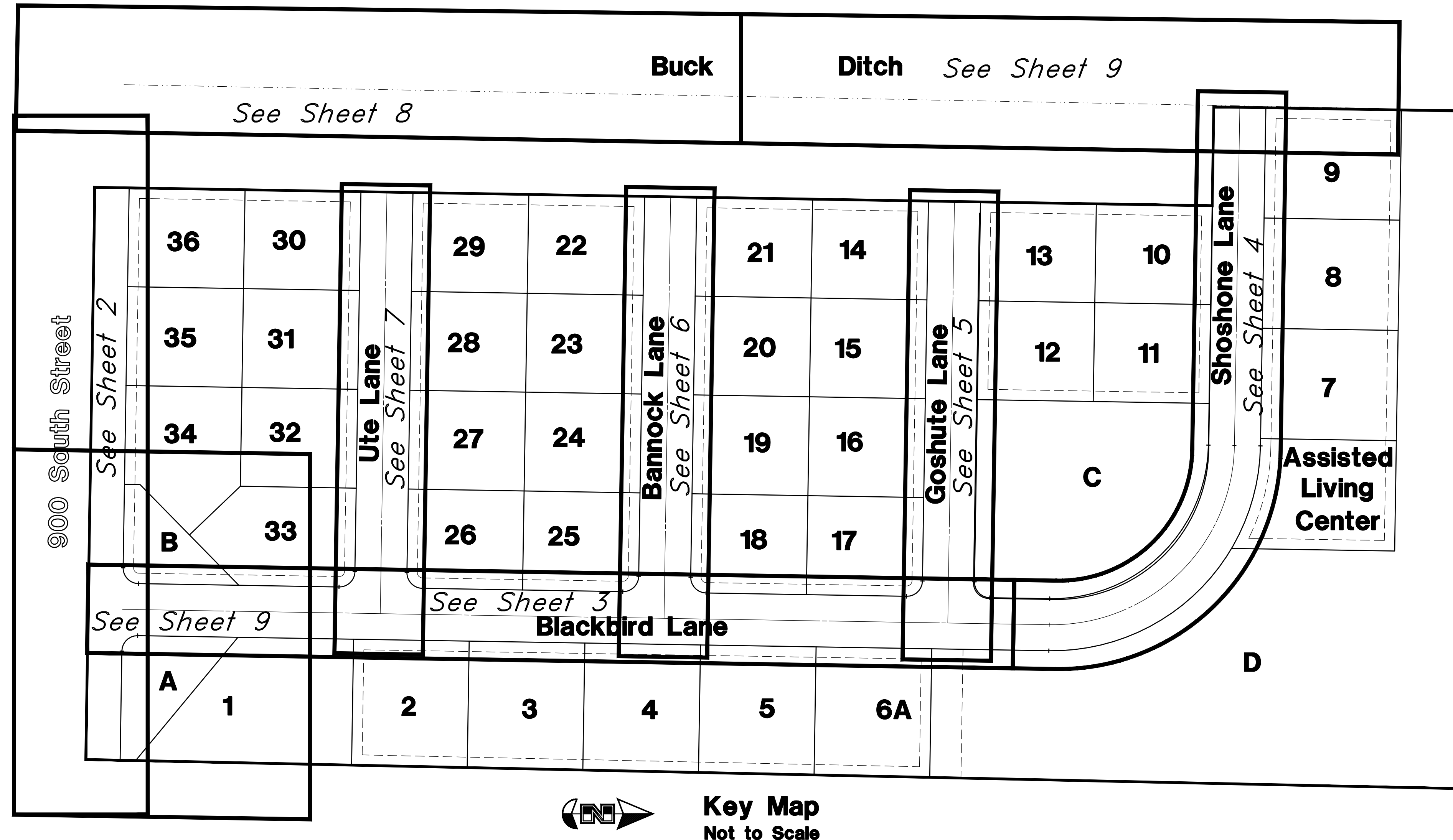
- Pipe material as shown on utility plan view or to meet city standards.

SANITARY SEWER LINES

- All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D 3034, Type PSM, SDR 35

STORM DRAIN LINES

- 10" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
- 12" to 21" pipes - Concrete Pipe, ASTM C14, Class III up to 13' of cover. For greater than 13' feet of cover, use reinforced concrete pipe and classes listed below.
- 24" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III up to 13' of cover, Class IV for 13' to 21' of cover, Class V for 21' to 32' of cover, and Special Design for cover greater than 32 feet.



Legend

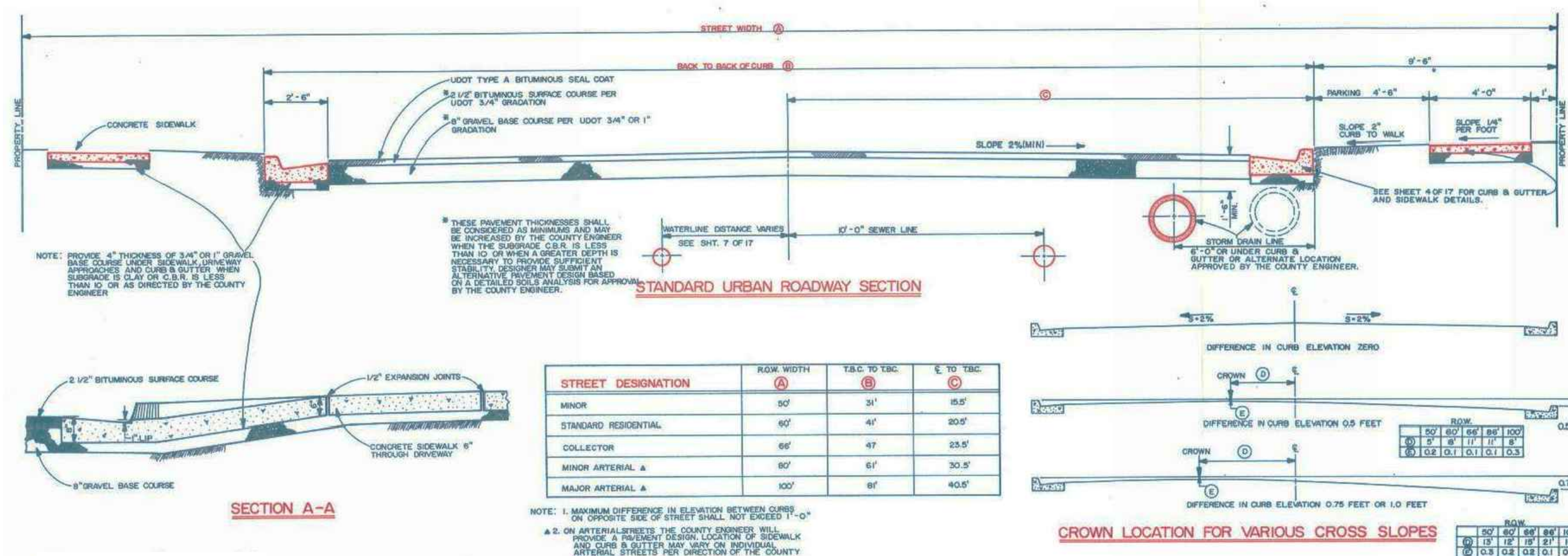
(Note: All items may not appear on drawing)

- San. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Cleanout
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Water Valve
- Sanitary Sewer
- Culinary Water
- Gas Line
- Irrigation Line
- Storm Drain
- Telephone Line
- Secondary Waterline
- Power Line
- Fire Line
- Land Drain
- Power pole
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- Polyvinyl Chloride
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Walk
- Top of Concrete
- Natural Ground
- Finish Grade
- Match Existing
- Fire Department Connection
- Finish Contour
- Exist. Contour
- Finish Grade
- Exist. Grade
- Ridge Line
- Direction of Flow
- Existing Asphalt
- New Asphalt
- Existing Concrete
- New Concrete

Key Map
Not to Scale

CAUTION NOTICE TO CONTRACTOR
The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the engineer and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.



NOT FOR RECORDING

Call before you Dig
Avoid cutting underground utility lines. It's costly.

Call 811
1-800-662-4111

Plan & Profile

Terakee Village No. 1
Approx. 900 South 4500 West
Weber County, Utah
A part of Section 17, T6N, R2W, SLB&M, U.S. Survey

16 Nov, 2018

SHEET NO.

1

of 11

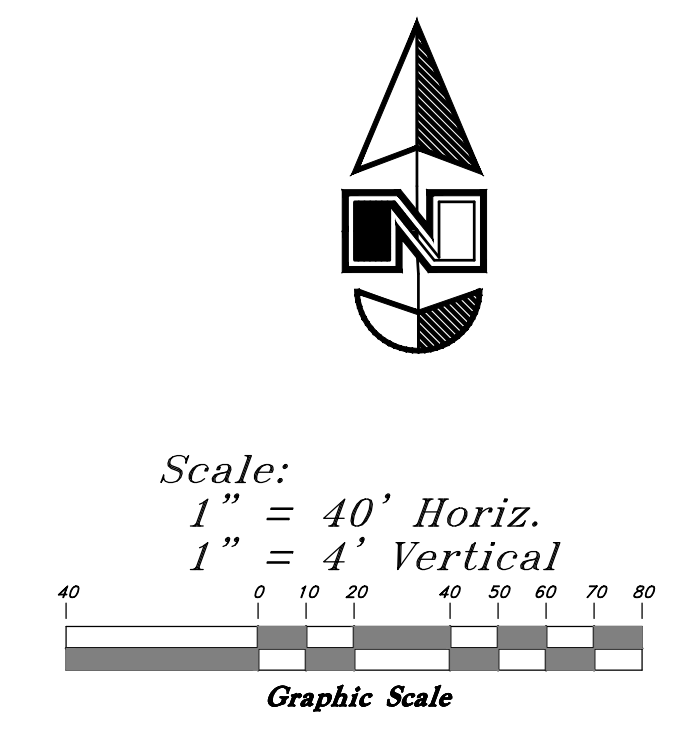
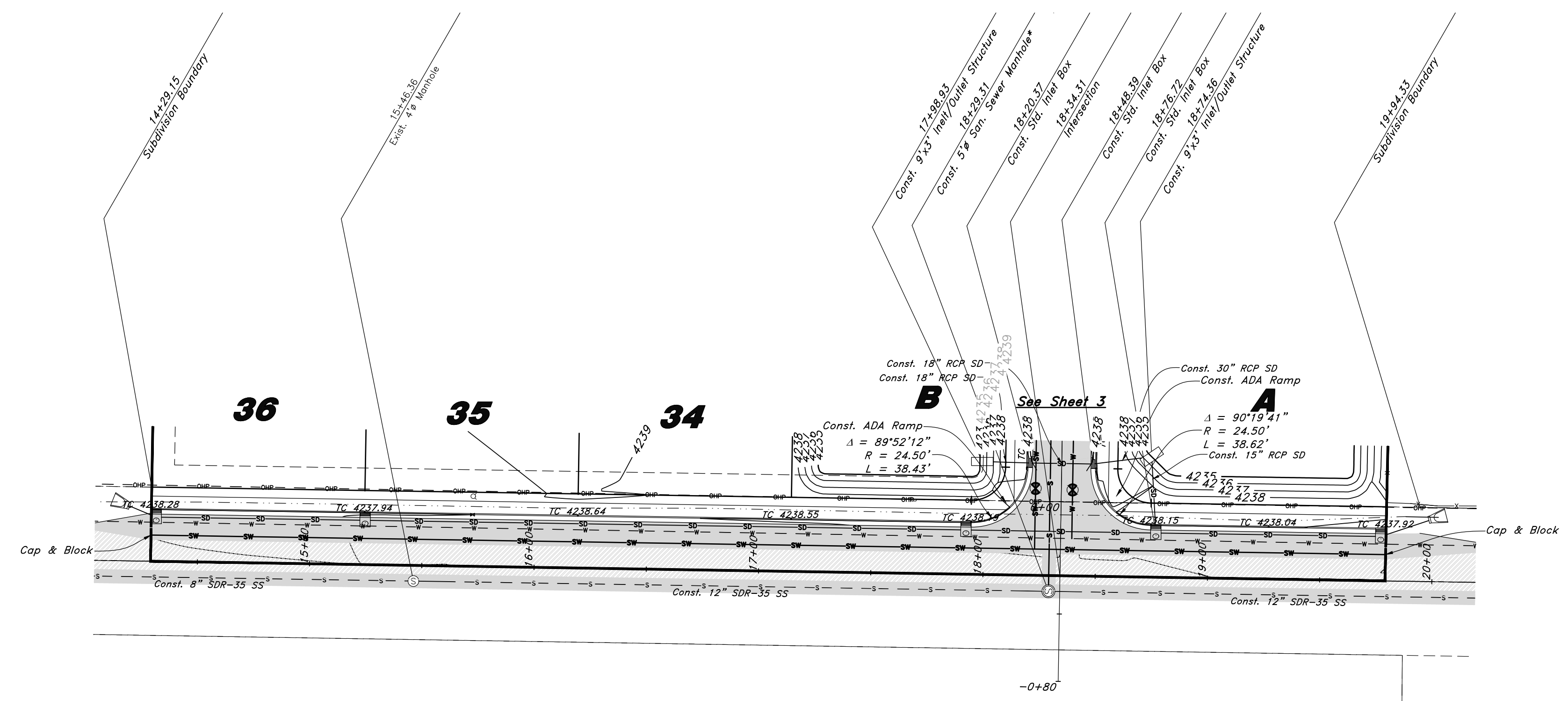
16N719 - AM

GREAT BASIN ENGINEERING
5746 SOUTH 1475 EAST, OGDEN, UTAH 84403
WWW.GREATBASINENGINEERING.COM

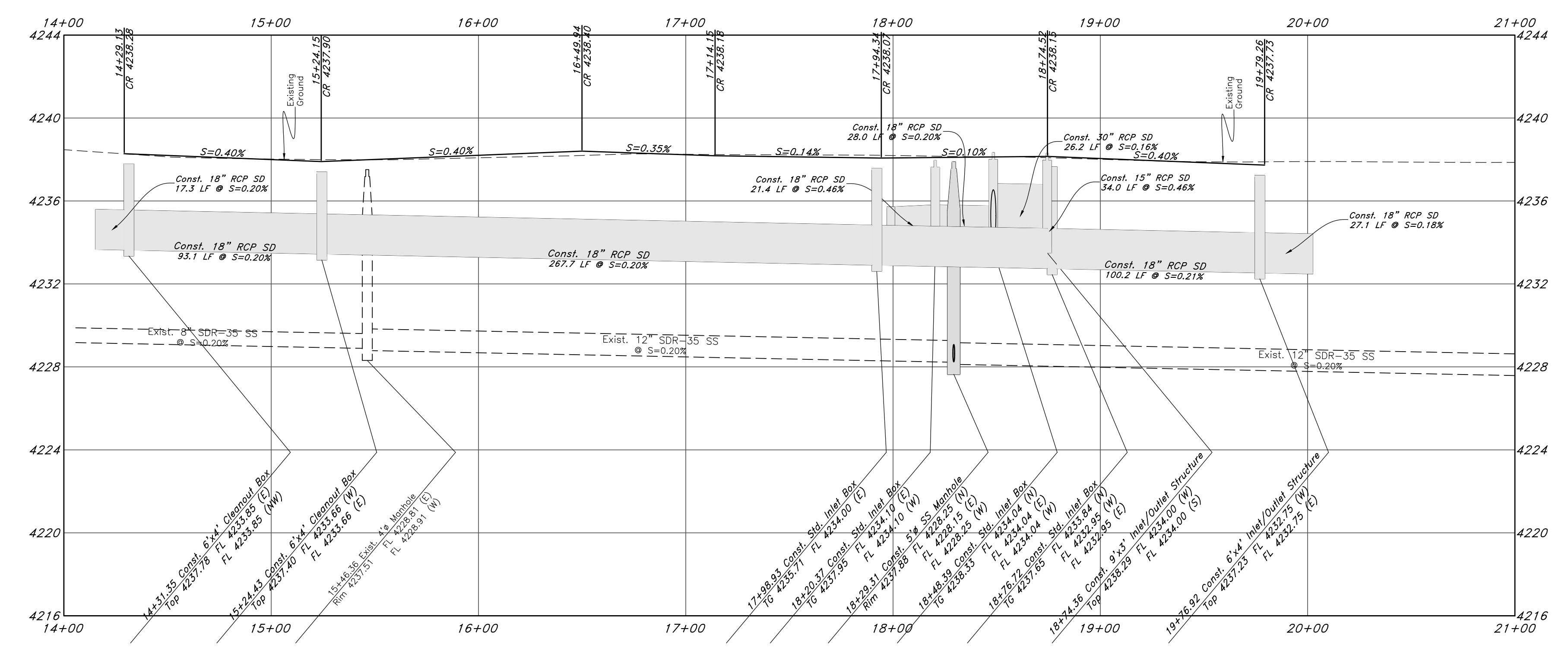
Legend

(Note: All items may not appear on drawing)

- San. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Cleanout
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve
- Sanitary Sewer
- Culinary Water
- Gas Line
- Irrigation Line
- Storm Drain
- Telephone Line
- Secondary Waterline
- Power Line
- Fire Line
- Land Drain
- Power pole
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- Polyvinyl Chloride
- PVC
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Walk
- Top of Concrete
- TCN
- NG
- Natural Ground
- Finish Grade
- ME
- Match Existing
- Fire Department Connection
- Finish Contour
- Exist. Contour
- Finish Grade
- Exist. Grade
- Ridge Line
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Existing Concrete
- New Concrete
- Spill Curb & Gutter



900 South Street



GREAT BASIN ENGINEERING
 574 SOUTH 1475 EAST, SUITE 152, OGDEN, UTAH 84403
 WWW.GREATBASINENGINEERING.COM

Plan & Profile
Terakee Village No. 1
 Approx. 900 South 4500 West
 Weber County, Utah
 A part of Section 17, T6N, R2W, S1E&M, U.S. Survey

16 Nov, 2018
 SHEET NO.
2
 of 11
 16N719 - AM

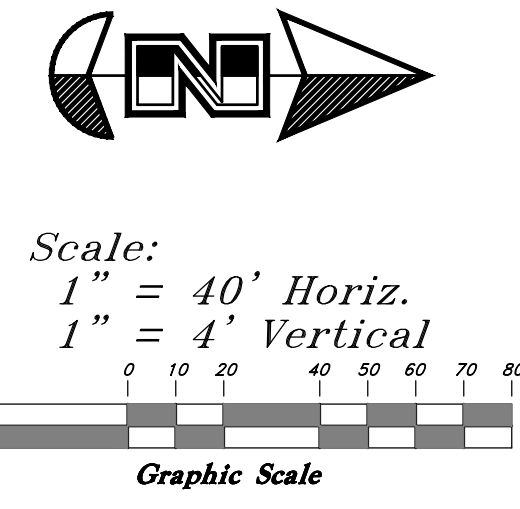
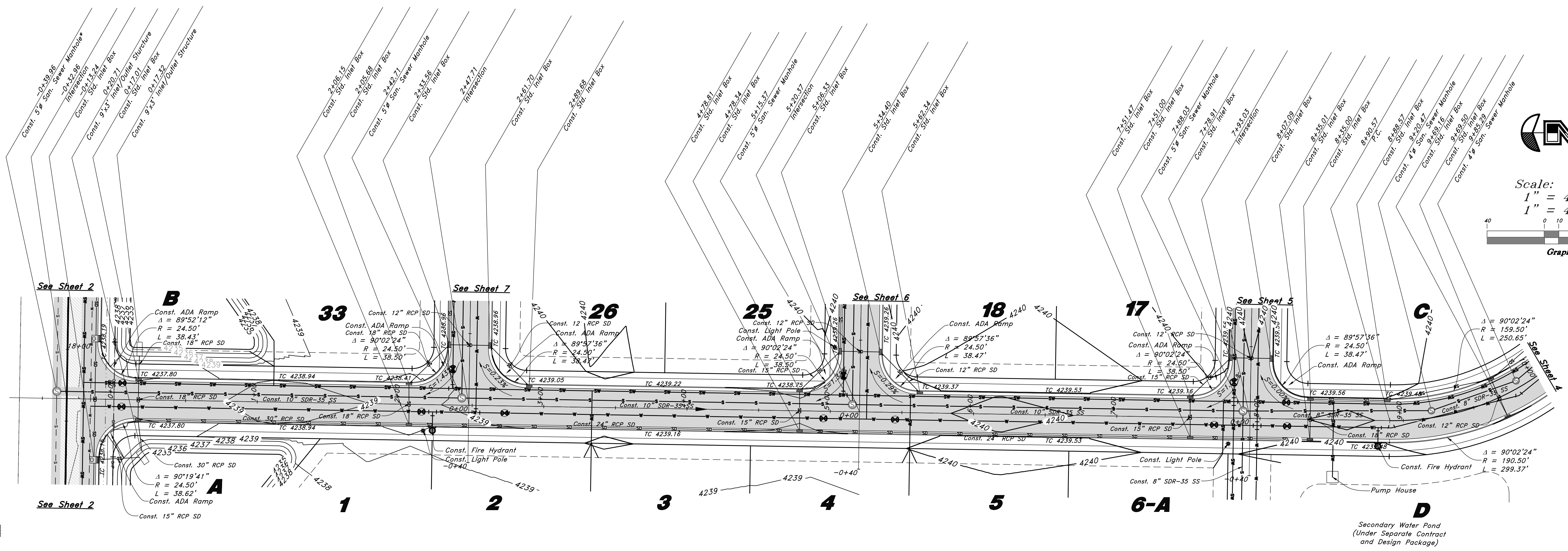


NOT FOR RECORDING

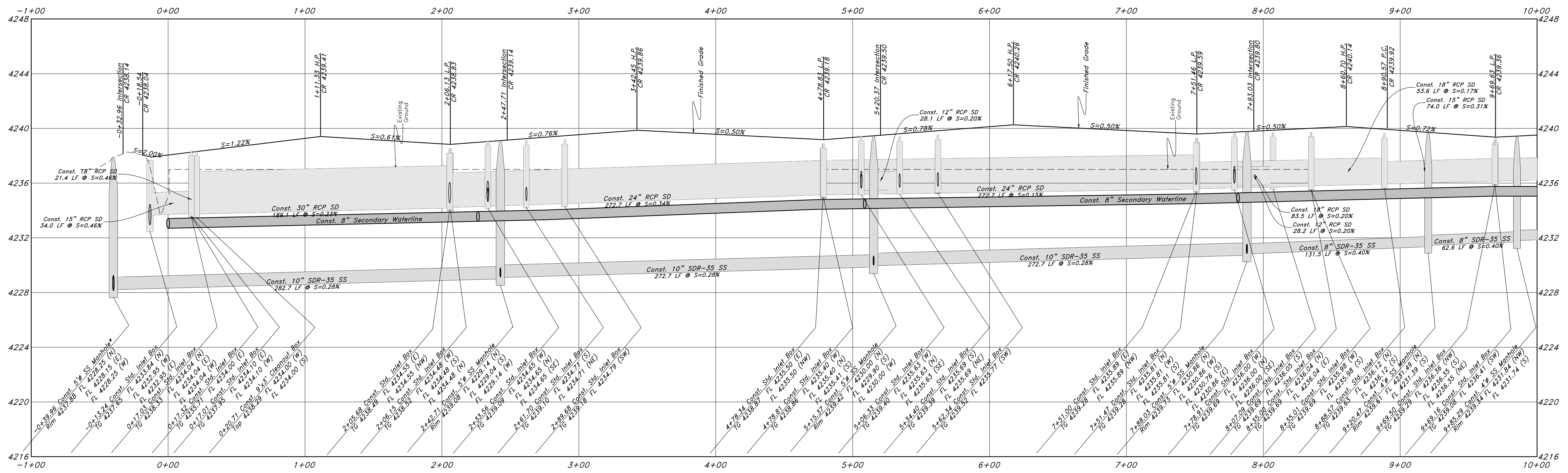
Legend

(Note: All items may not appear on drawing)

- San. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Cleanout
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve
- Sanitary Sewer
- Culinary Water
- Gas Line
- Irrigation Line
- Storm Drain
- Telephone Line
- Secondary Waterline
- Power Line
- Fire Line
- Land Drain
- Power pole
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- Polyvinyl Chloride
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Walk
- Top of Concrete
- Natural Ground
- Finish Grade
- Match Existing
- Fire Department Connection
- Finish Contour
- Exist. Contour
- Finish Grade
- Exist. Grade
- Ridge Line



Blackbird Lane



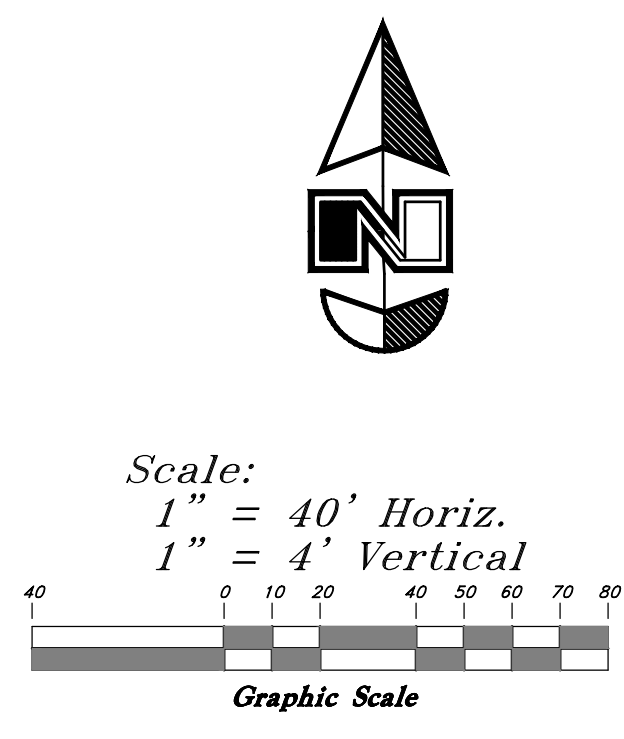
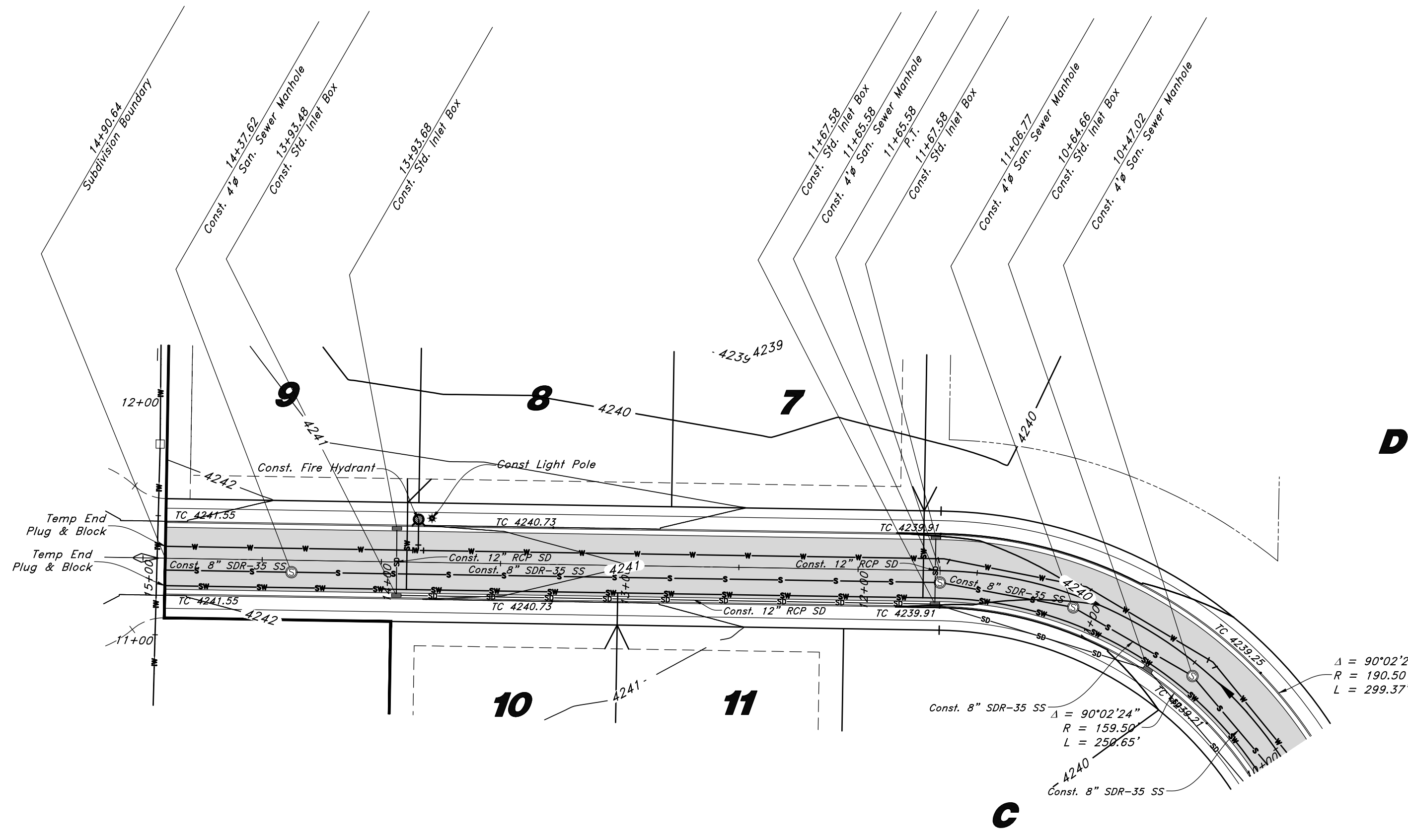
GREAT BASING ENGINEERING
 5746 BUTTE 1475 EAST OGDEN, UTAH 84403
 N.M. 801394455 SUC 601521022 FAX 801392754
 WWW.GREATBASINGENGINEERING.COM

Plan & Profile
Terakee Village No. 1
 Approx. 900 South 4500 West
 Weber County, Utah
 A part of Section 17, T6N, R2W, S16&M, U.S. Survey

16 Nov, 2018
 SHEET NO.
3
 of 11
 16N719 - AM

NOT FOR RECORDING

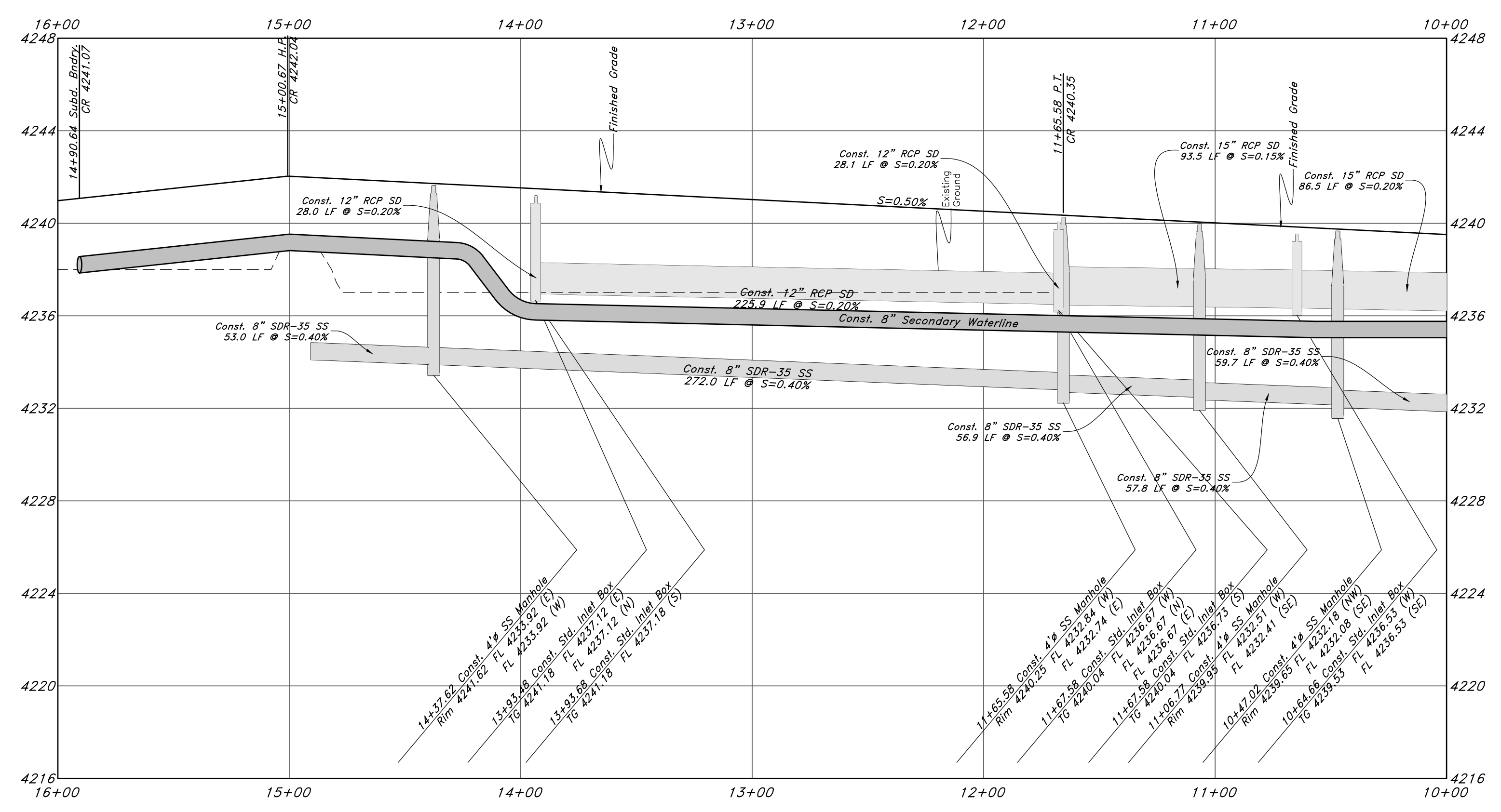




Legend
(Note: All items may not appear on drawing)

- San. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Cleanout
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve
- Sanitary Sewer
- Culinary Water
- Gas Line
- Irrigation Line
- Storm Drain
- Telephone Line
- Secondary Waterline
- Power Line
- Fire Line
- Land Drain
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- PVC
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Walk
- Top of Concrete
- Natural Ground
- Finish Grade
- Match Existing
- Fire Department Connection
- Finish Contour
- Exist. Contour
- Finish Grade
- Exist. Grade
- Ridge Line
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Existing Concrete
- New Concrete
- Spill Curb & Gutter

West Shoshone Lane



NOT FOR RECORDING



GREAT BASIN ENGINEERING
 574 SOUTH 1475 EAST, BODEN, UTAH 84403
 WWW.GREATBASINENGINEERING.COM

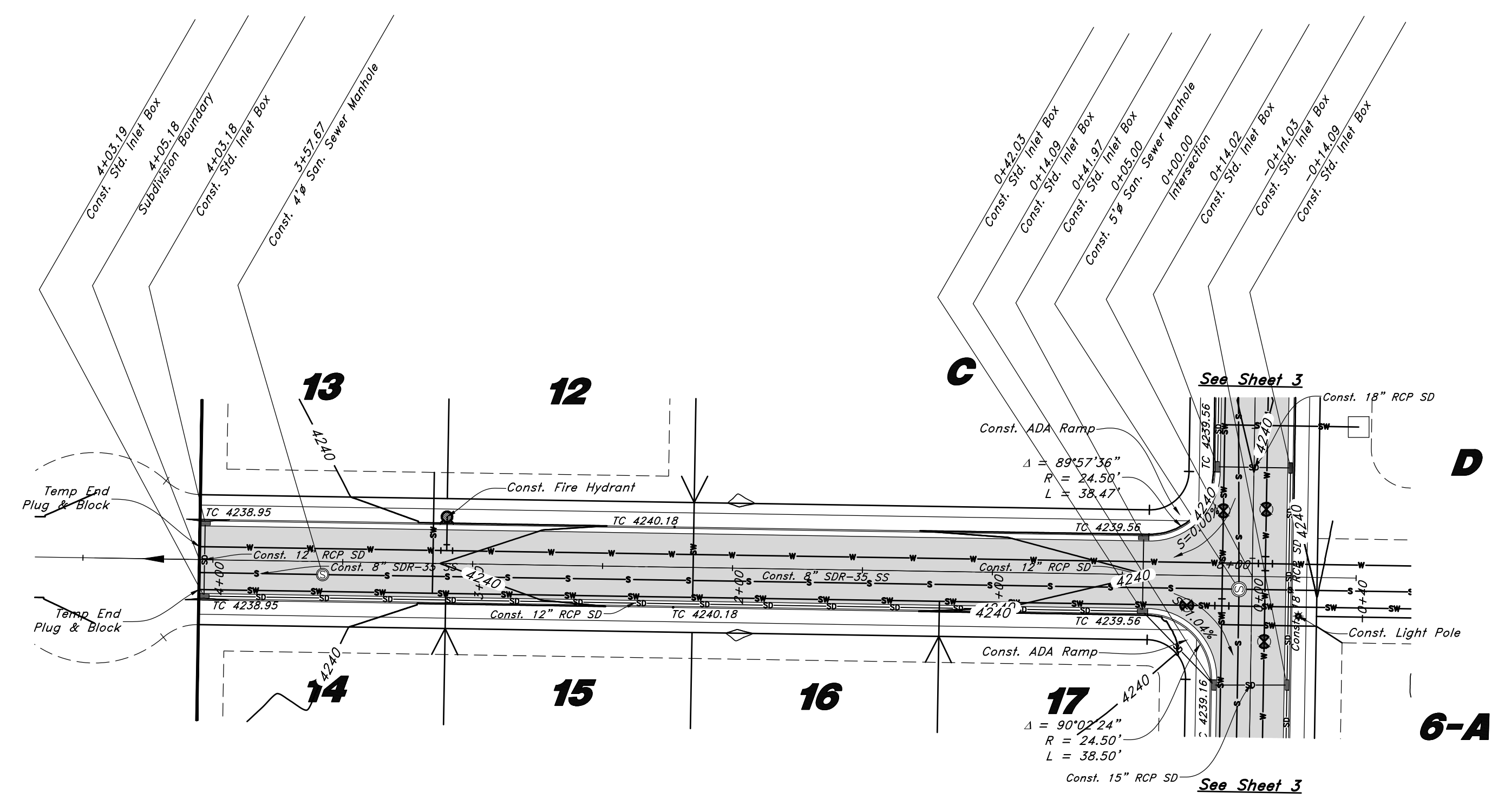
Plan & Profile
Terakee Village No. 1
 Approx. 900 South 4500 West
 Weber County, Utah
 A part of Section 17, T6N, R2W, S1E&M, U.S. Survey

16 Nov, 2018
 SHEET NO.
4
 of 11
 16N719 - AM

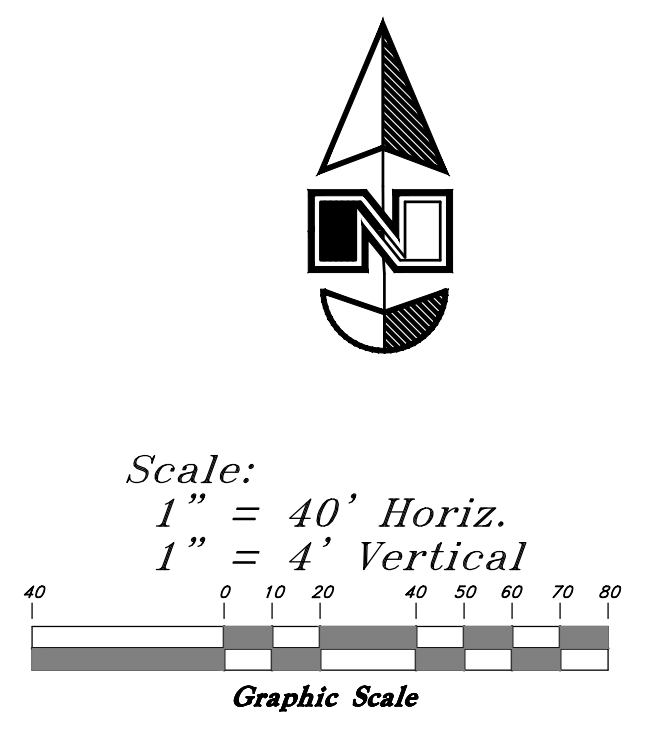
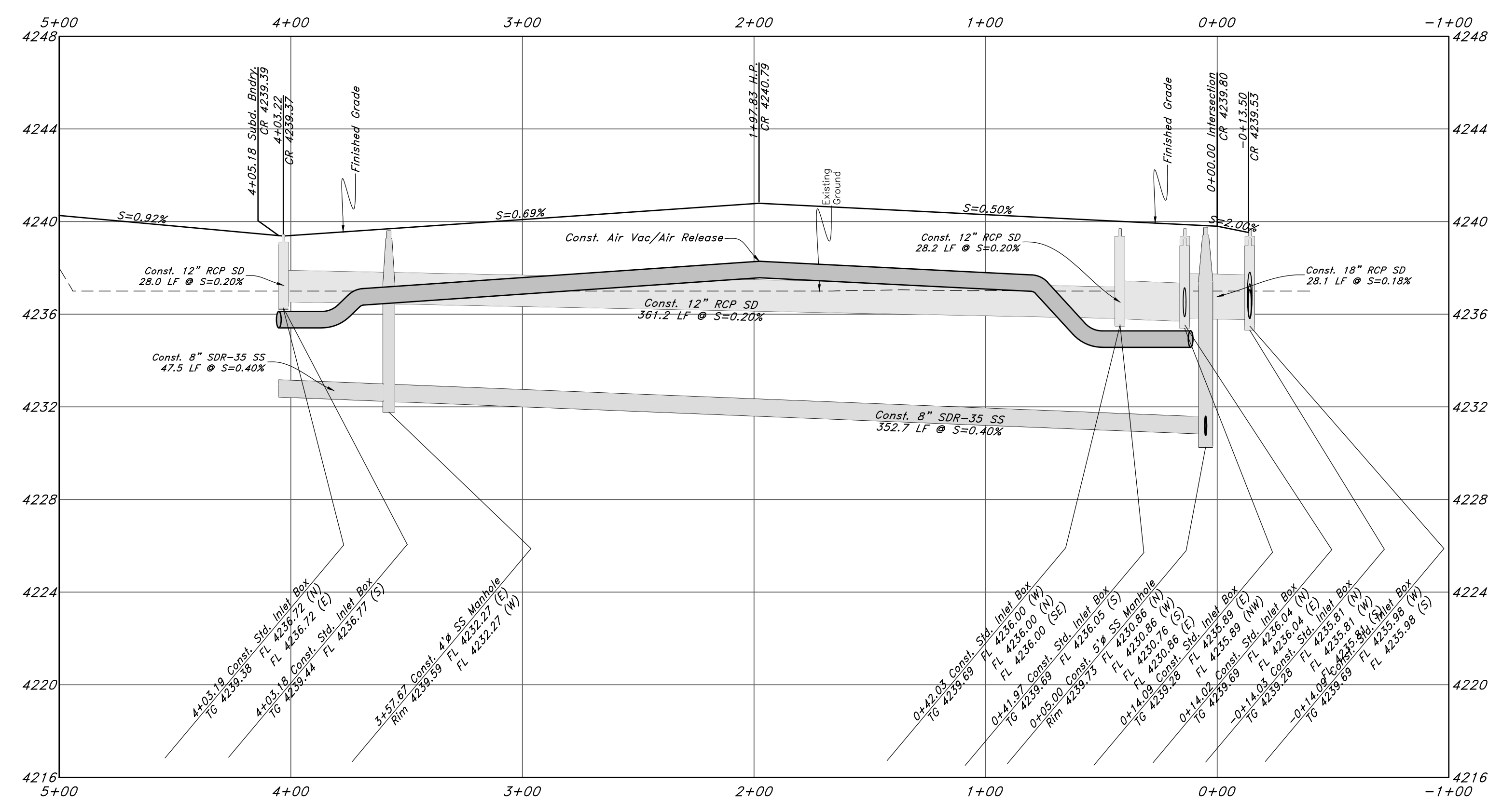
Legend

(Note: All items may not appear on drawing)

- San. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Cleanout
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve
- Sanitary Sewer
- Culinary Water
- Gas Line
- Irrigation Line
- Storm Drain
- Telephone Line
- Secondary Waterline
- Power Line
- Fire Line
- Land Drain
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- PVC
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Walk
- Top of Concrete
- Natural Ground
- Finish Grade
- Match Existing
- Fire Department Connection
- FDIC
- Finish Contour
- Exist. Contour
- Finish Grade
- Exist. Grade
- Ridge Line
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Existing Concrete
- New Concrete
- Spill Curb & Gutter



Goshute Lane



GREAT BASIN ENGINEERING
 574 SOUTH 1475 EAST, SUITE 100, UTAH 84403
 WWW.GREATBASINENGINEERING.COM

Plan & Profile
Terakee Village No. 1
 Approx. 900 South 4500 West
 Weber County, Utah
 A part of Section 17, T6N, R2W, S1E&M, U.S. Survey

NOT FOR RECORDING

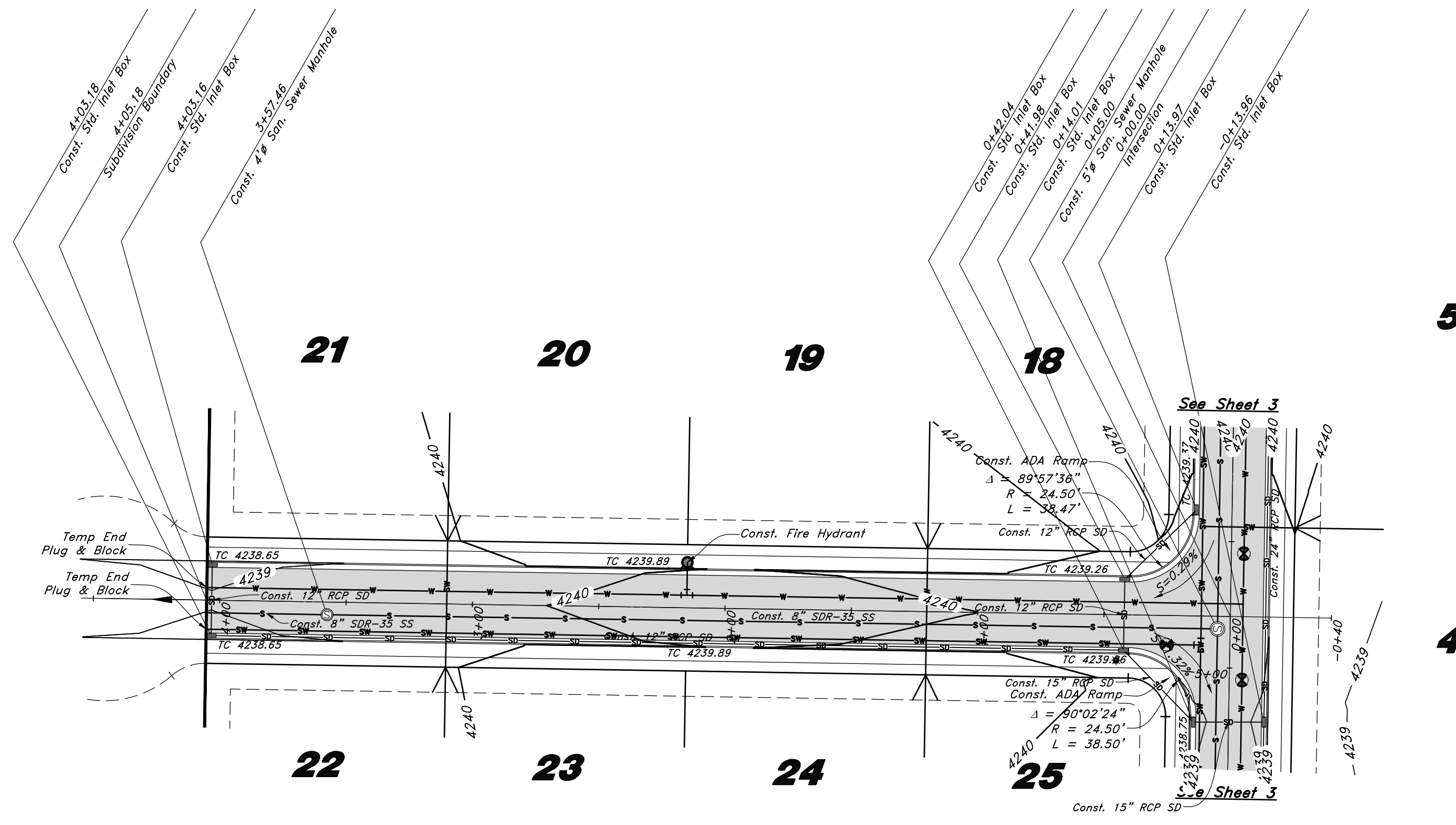
Call before you Dig
 Avoid cutting underground utility lines. It's costly.
Call 811
 1-800-662-4111

16 Nov, 2018
 SHEET NO.
5
 of 11
 16N719 - AM

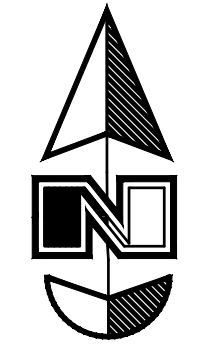
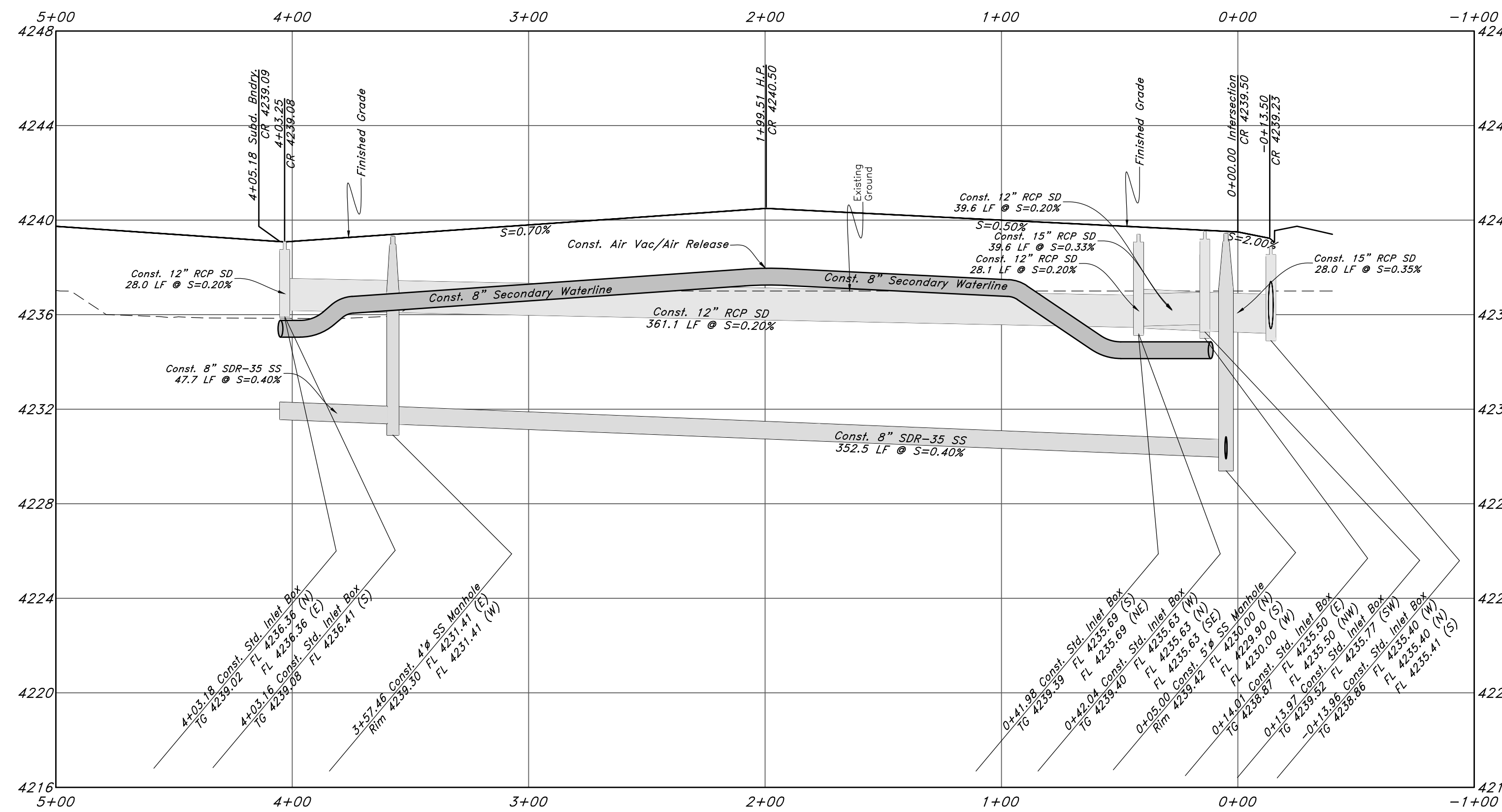
Legend

(Note: All items may not appear on drawing)

- San. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Cleanout
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve
- Sanitary Sewer
- Culinary Water
- Gas Line
- Irrigation Line
- Storm Drain
- Telephone Line
- Secondary Waterline
- Power Line
- Fire Line
- Land Drain
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- Polyvinyl Chloride
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Walk
- Top of Concrete
- Natural Ground
- Finish Grade
- Match Existing
- Fire Department Connection
- Finish Contour
- Exist. Contour
- Finish Grade
- Exist. Grade
- Ridge Line
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Existing Concrete
- New Concrete
- Spill Curb & Gutter



Bannock Lane



Scale:
1" = 40' Horiz.
1" = 4' Vertical

GREAT BASIN ENGINEERING
 574 SOUTH 1475 EAST, SUITE 100, OGDEN, UTAH 84403
 WWW.GREATBASINENGINEERING.COM

Plan & Profile
Terakee Village No. 1
 Approx. 900 South 4500 West
 Weber County, Utah
 A part of Section 17, T6N, R2W, S16&M, U.S. Survey

16 Nov, 2018
 SHEET NO.
6
 of 11
 16N719 - AM

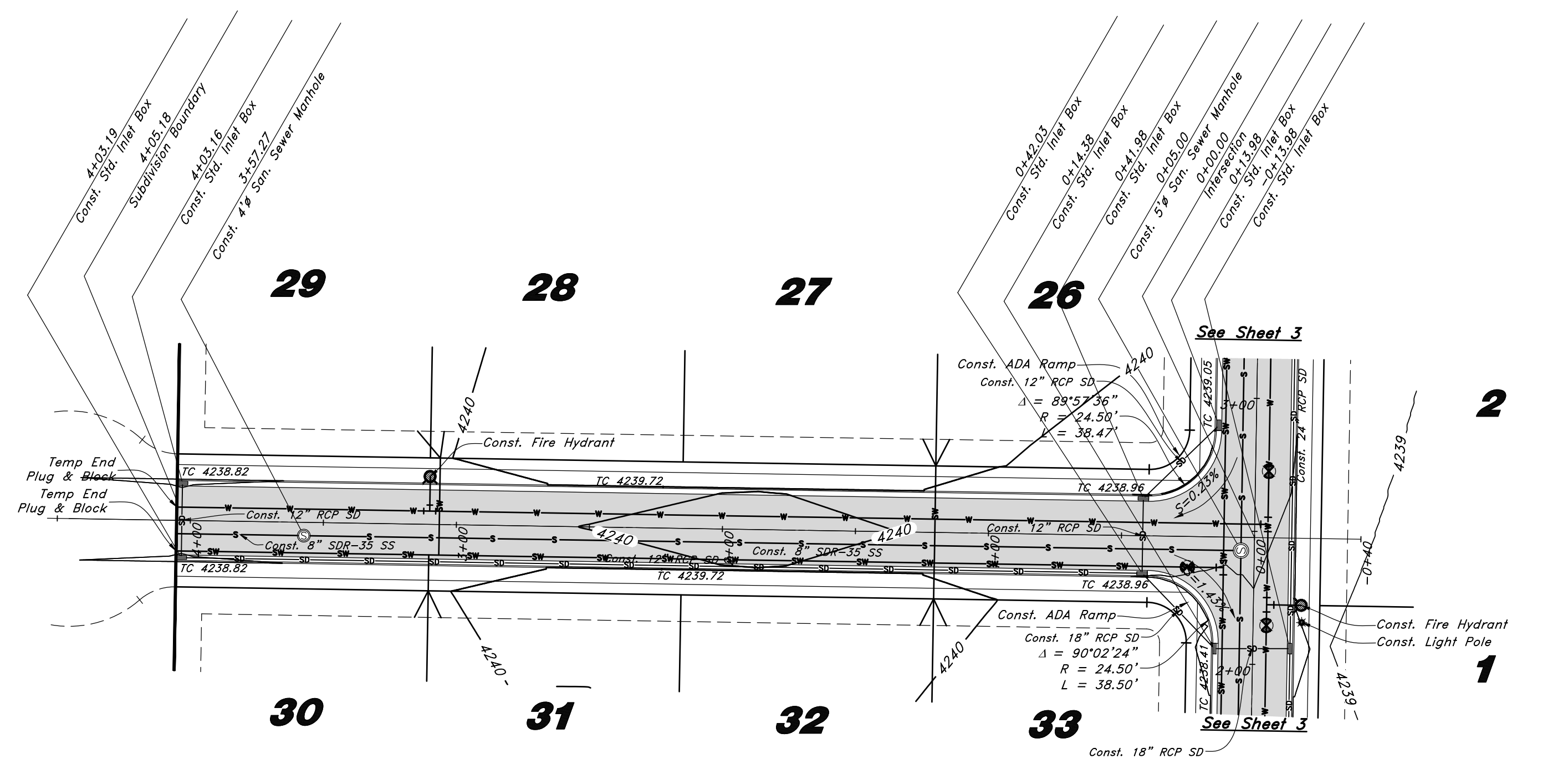
NOT FOR RECORDING



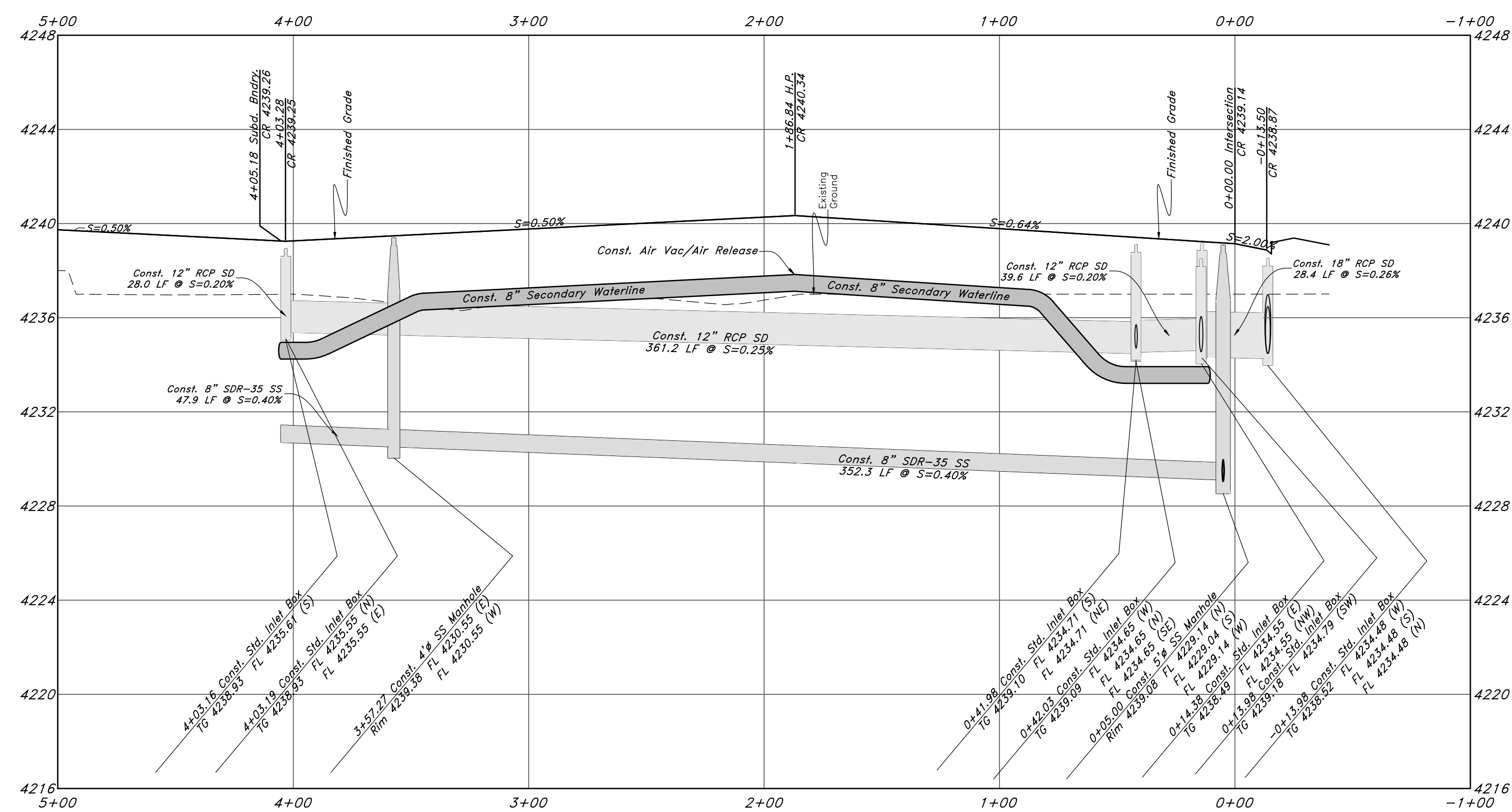
Legend

(Note: All items may not appear on drawing)

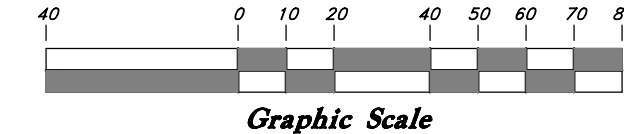
- San. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Cleanout
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve
- Sanitary Sewer
- Culinary Water
- Gas Line
- Irrigation Line
- Storm Drain
- Telephone Line
- Secondary Waterline
- Power Line
- Fire Line
- Land Drain
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- CMP
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- Polyvinyl Chloride
- PVC
- TA
- Top of Asphalt
- EA
- CA
- CL
- Centerline
- Flowline
- Finish Floor
- FF
- TC
- Top of Curb
- Top of Wall
- TW
- Top of Walk
- TCN
- Top of Concrete
- NG
- Natural Ground
- FG
- Finish Grade
- ME
- Match Existing
- FDC
- Fire Department Connection
- 95.337A
- 95.721A
- R
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Existing Concrete
- New Concrete
- Spill Curb & Gutter



Ute Lane



Scale:
1" = 40' Horiz.
1" = 4' Vertical



GREAT BASIN ENGINEERING
 574 SOUTH 1475 EAST, SUITE 100, DENVER, COLORADO 80202
 WWW.GREATBASINENGINEERING.COM

Plan & Profile
Terakee Village No. 1
 Approx. 900 South 4500 West
 Weber County, Utah
 A part of Section 17, T6N, R2W, S16&M, U.S. Survey

Call before you Dig
 Avoid cutting underground utility lines. It's costly.
Call 811
 1-800-662-4111

16 Nov, 2018

SHEET NO.

7

of 11

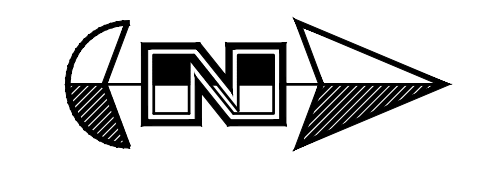
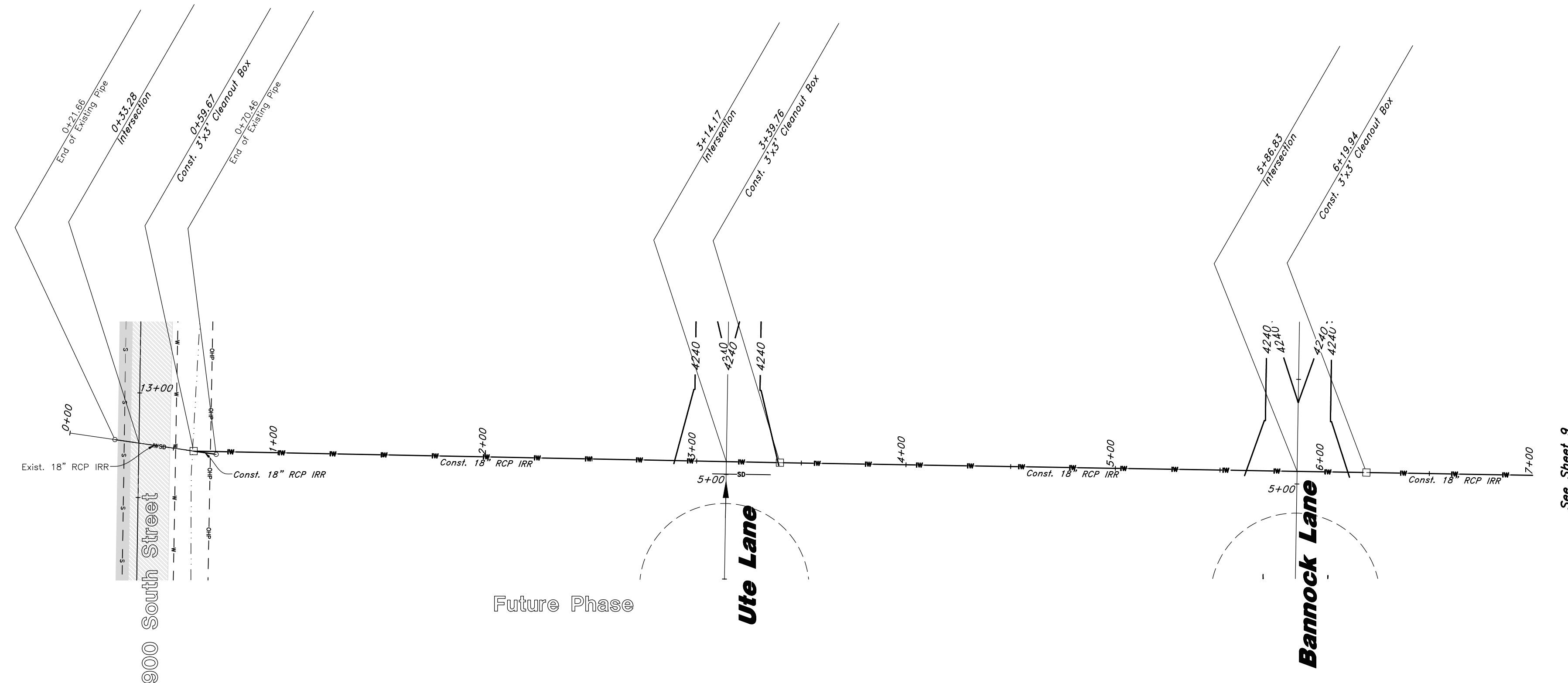
16N719 - AM

NOT FOR RECORDING

Legend

(Note: All items may not appear on drawing)

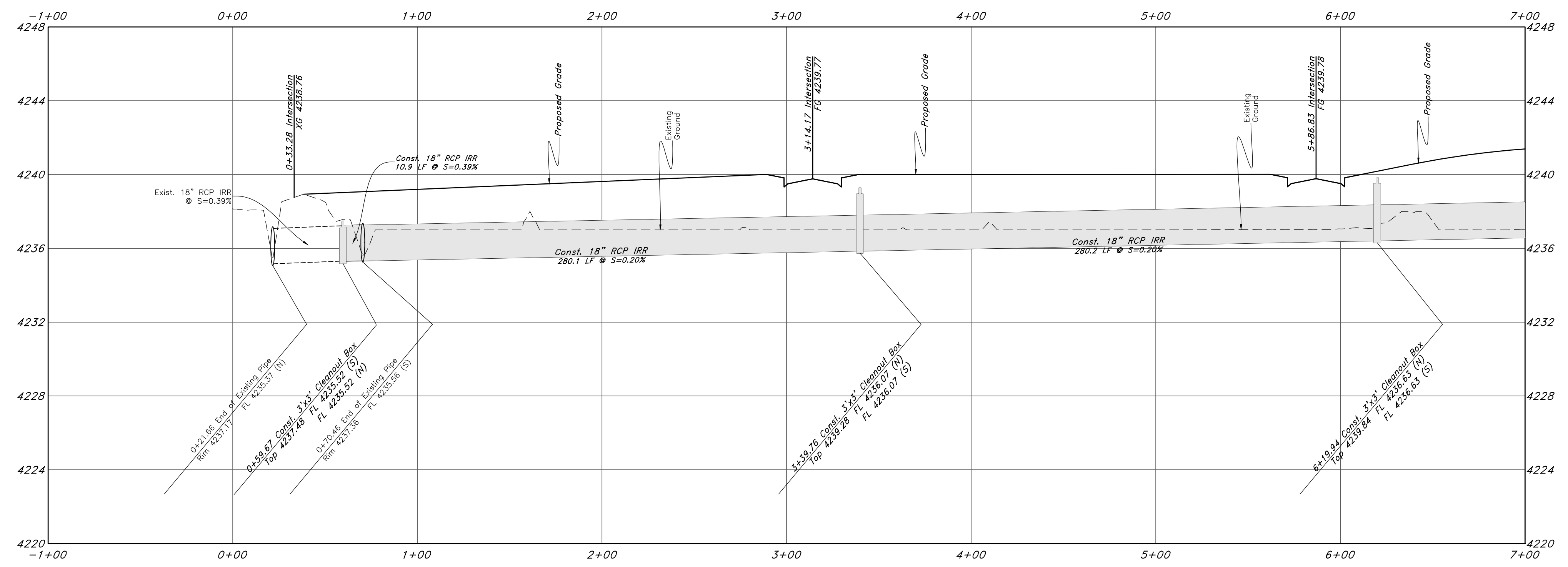
- San. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Cleanout
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve
- Sanitary Sewer
- Culinary Water
- Gas Line
- Irrigation Line
- Storm Drain
- Telephone Line
- Secondary Waterline
- Power Line
- Fire Line
- Land Drain
- Power pole
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- Polyvinyl Chloride
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Walk
- Top of Concrete
- Natural Ground
- Finish Grade
- Match Existing
- Fire Department Connection
- Finish Contour
- Exist. Contour
- Finish Grade
- Exist. Grade
- Ridge Line
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Existing Concrete
- New Concrete
- Spill Curb & Gutter



Scale:
1" = 40' Horiz.
1" = 4' Vertical

Graphic Scale

Buck Ditch



GREAT BASIN ENGINEERING
 574 SOUTH 1475 EAST, BOULEVARD, UTAH 84403
 801.394.4155 | SUC@GBENGINEERING.COM
 WWW.GREATBASINENGINEERING.COM

Plan & Profile
Terakee Village No. 1
 Approx. 900 South 4500 West
 Weber County, Utah
 A part of Section 17, T6N, R2W, S1E&M, U.S. Survey

16 Nov, 2018
 SHEET NO.
8
 of 11
 16N719 - AM

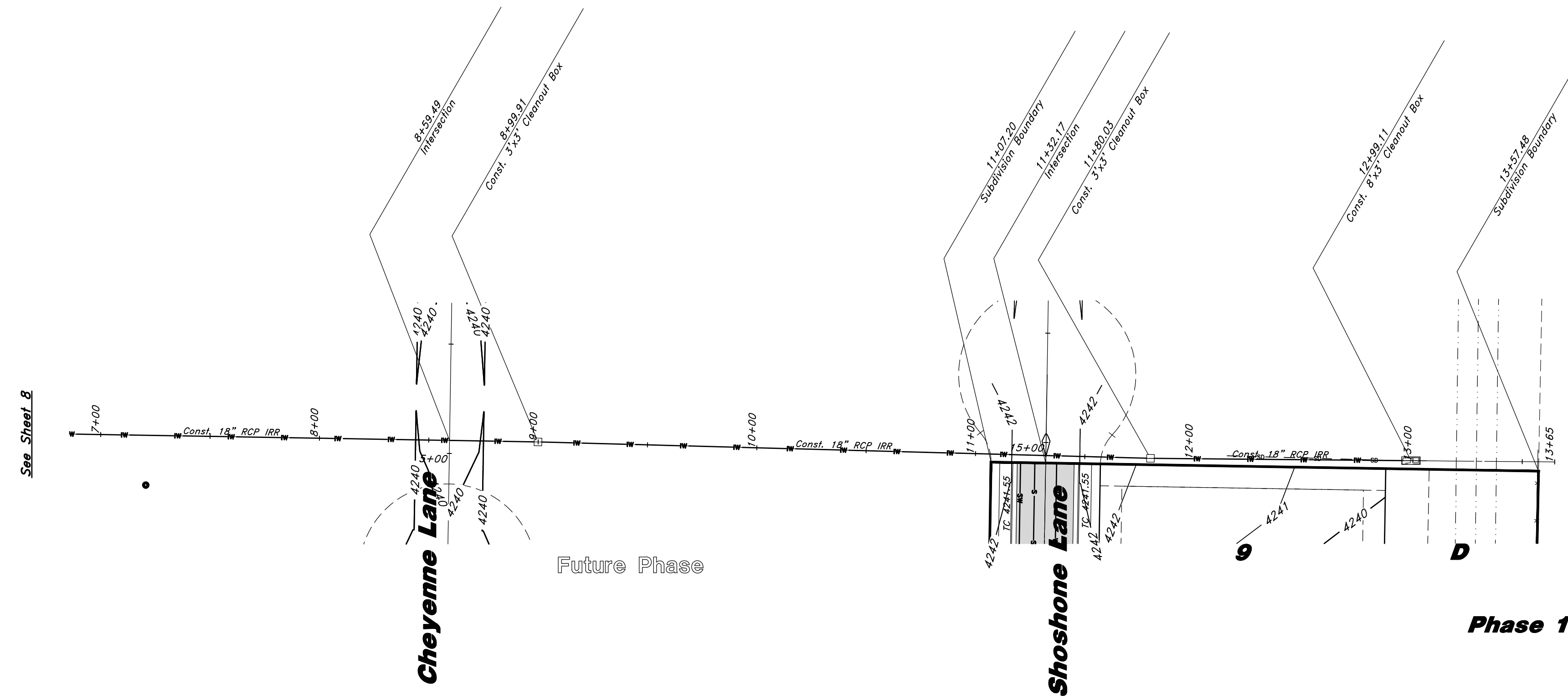
NOT FOR RECORDING



Legend

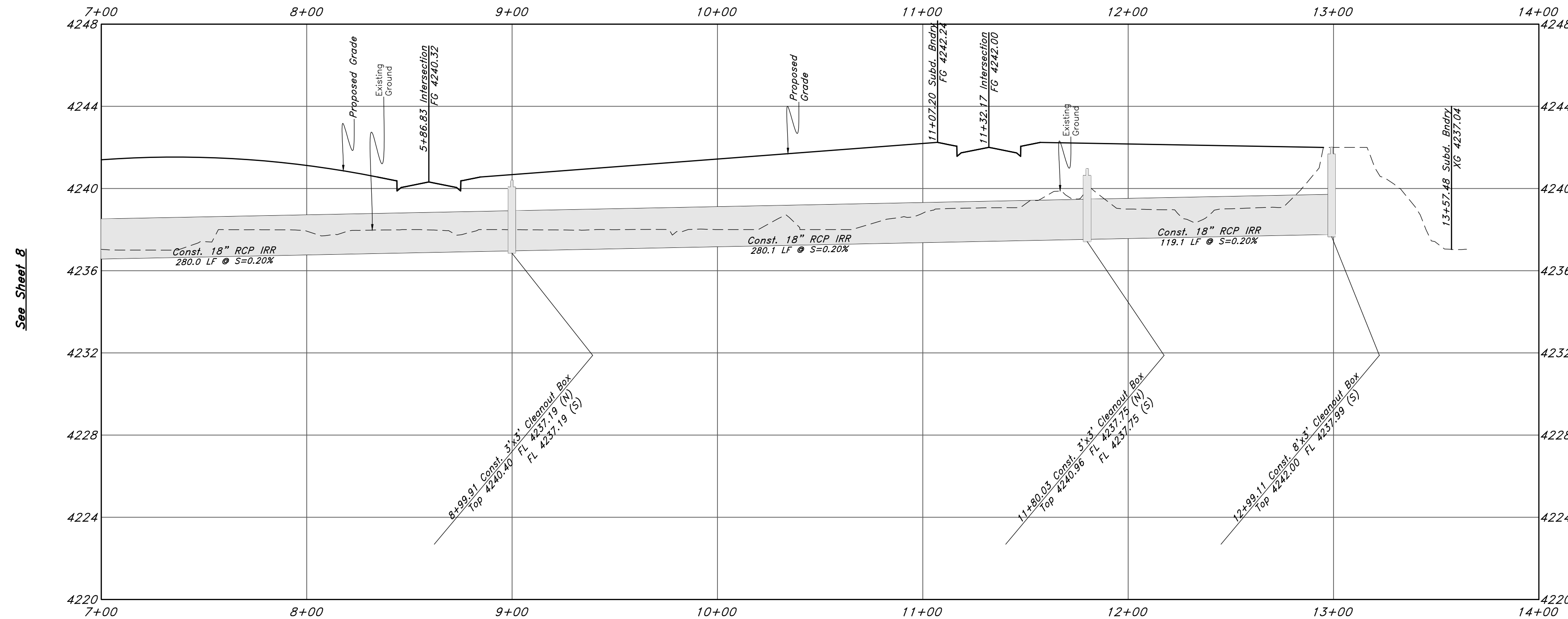
(Note: All items may not appear on drawing)

- San. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Cleanout
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve
- Sanitary Sewer
- Culinary Water
- Gas Line
- Irrigation Line
- Storm Drain
- Telephone Line
- Secondary Waterline
- Power Line
- Fire Line
- Land Drain
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- Polyvinyl Chloride
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Walk
- Top of Concrete
- Natural Ground
- Finish Grade
- Match Existing
- Fire Department Connection
- Finish Contour
- Exist. Contour
- Finish Grade
- Exist. Grade
- Ridge Line
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Existing Concrete
- New Concrete
- Spill Curb & Gutter



Scale:
 1" = 40' Horiz.
 1" = 4' Vertical

Buck Ditch



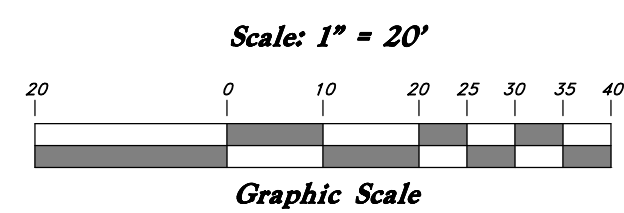
GREAT BASIN ENGINEERING
 574 SOUTH 1475 EAST, BOULEVARD, UTAH 84403
 NORTH SALT LAKE CITY, UTAH 84119
 WWW.GREATBASINENGINEERING.COM

Plan & Profile
Terakee Village No. 1
 Approx. 900 South 4500 West
 Weber County, Utah
 A part of Section 17, T6N, R2W, S1E&M, U.S. Survey

16 Nov, 2018
 SHEET NO.
9
 of 11
 16N719 - AM

NOT FOR RECORDING

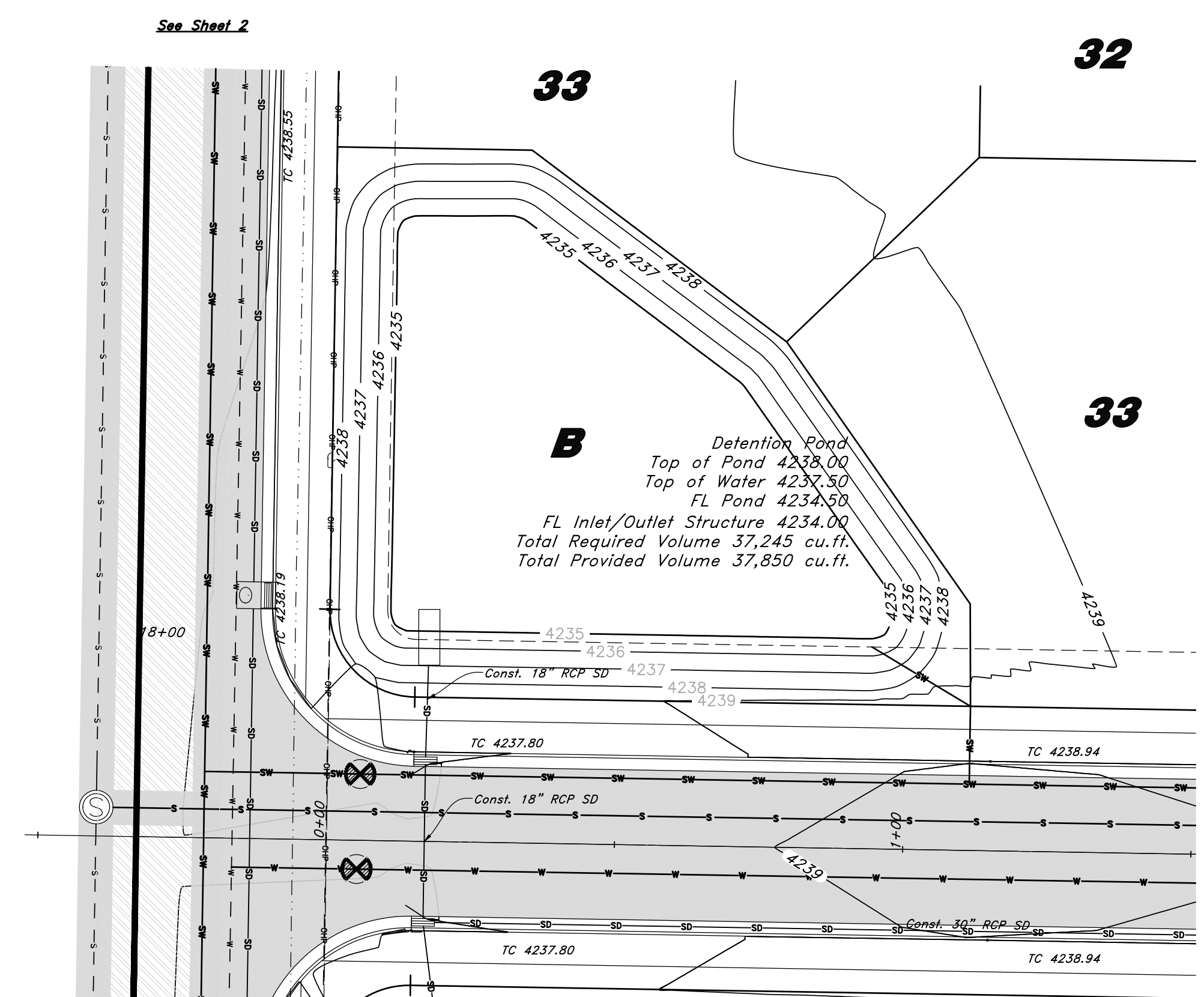
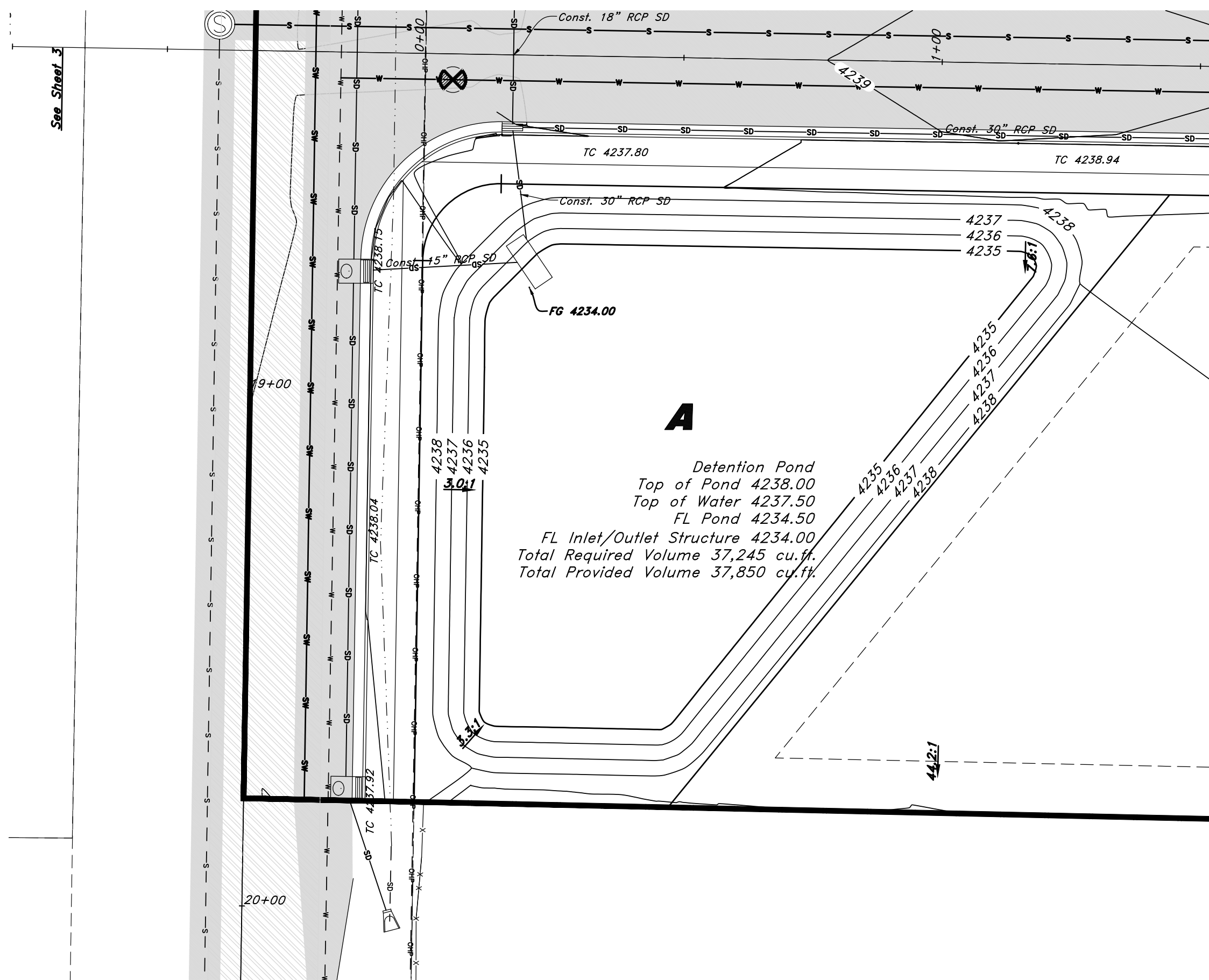




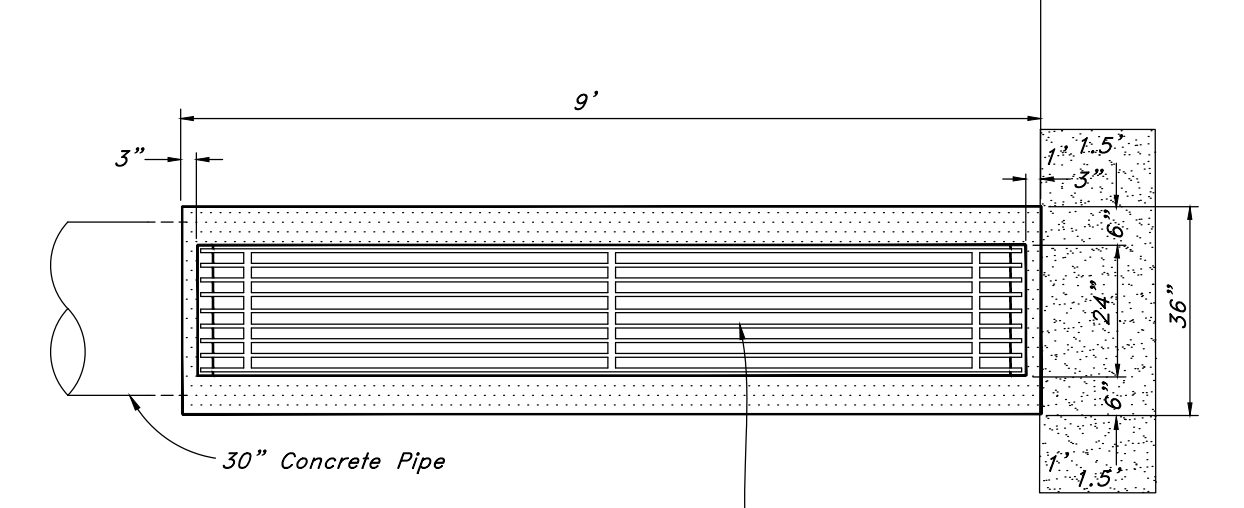
Legend

(Note: All items may not appear on drawing.)

- San. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Cleanout
- Electrical Manhole
- Catch Basin
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve
- Sanitary Sewer
- Culinary Water
- Gas Line
- Irrigation Line
- Storm Drain
- Telephone Line
- Secondary Waterline
- Power Line
- Fire Line
- Land Drain
- Power pole
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- Polyvinyl Chloride
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Walk
- Top of Concrete
- Top of Ground
- Natural Ground
- Finish Grade
- Match Existing
- Fire Department Connection
- Finish Contour
- Exist. Contour
- Finish Grade
- Exist. Grade
- Ridge Line

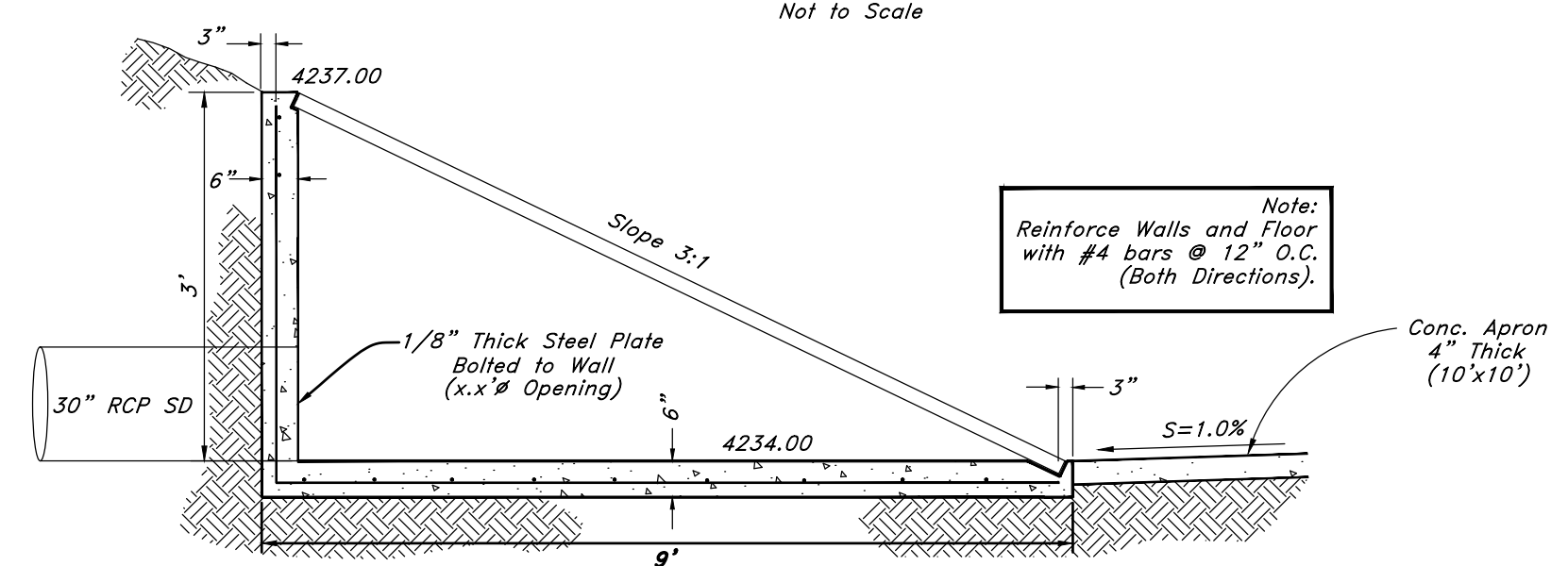


Detention Pond

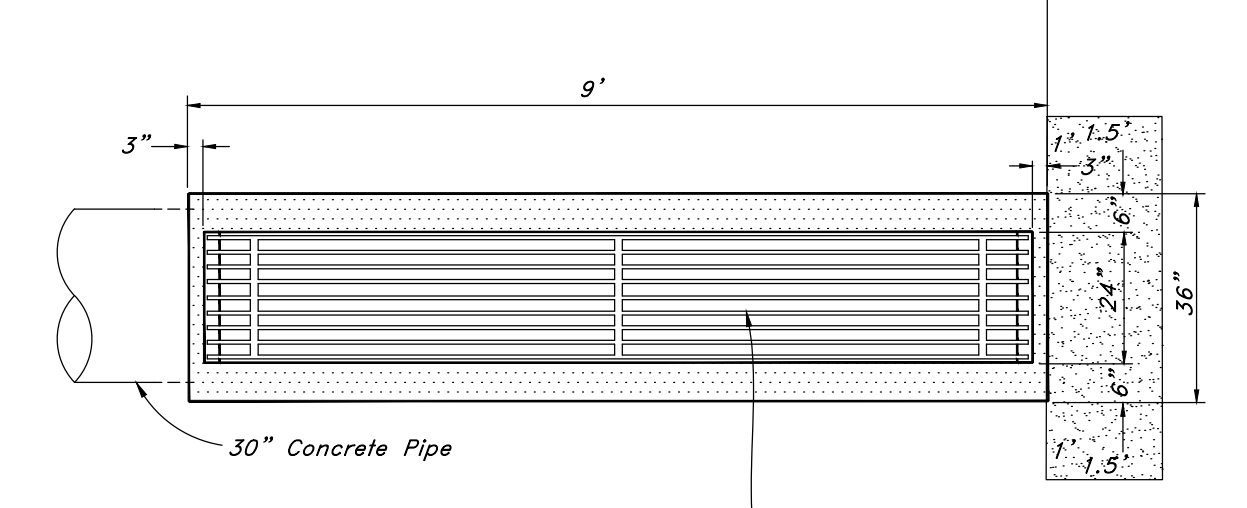


Fabricate 9'-6" x 30" steel grate from 1/2" x 2" A-36 steel bars @ 2 1/2" O.C. (Grate to be Paint grate w/ 2 finish coats of low luster black enamel.)

Plan View Detail of Inlet / Outlet Structure

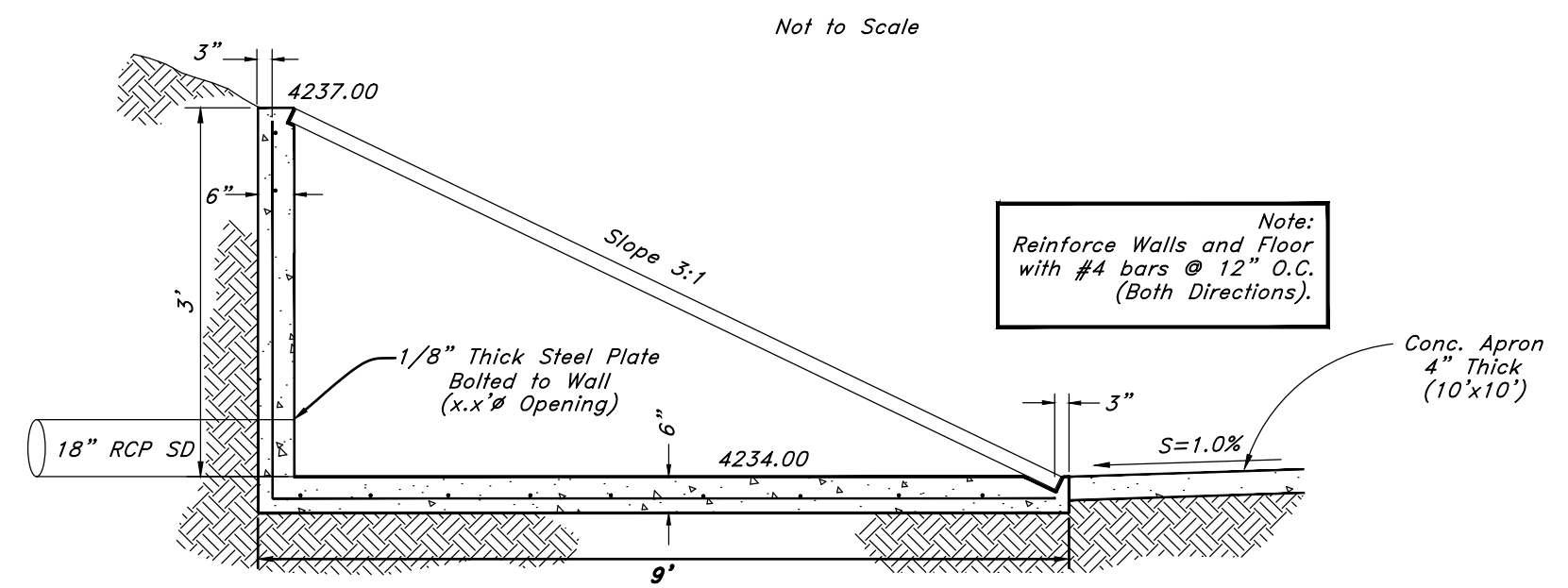


Profile View Detail of Inlet / Outlet Structure



Fabricate 9'-6" x 30" steel grate from 1/2" x 2" A-36 steel bars @ 2 1/2" O.C. (Grate to be Paint grate w/ 2 finish coats of low luster black enamel.)

Plan View Detail of Inlet / Outlet Structure



Profile View Detail of Inlet / Outlet Structure

GREAT BASIN ENGINEERING
 574 SOUTH 1475 EAST, SUITE 100, OGDEN, UTAH 84403
 801-392-7544 FAX 801-392-7544
 WWW.GREATBASINENGINEERING.COM

Plan & Profile
Terakee Village No. 1
 Approx. 900 South 4500 West
 Weber County, Utah
 A part of Section 17, T6N, R2W, S1E&M, U.S. Survey

16 Nov, 2018
 SHEET NO.
10
 of 11
 16N719 - AM

NOT FOR RECORDING

Call before you Dig
 Avoid cutting underground utility lines. It's costly.
Call 811
 1-800-662-4111

* See All Sheets*

NOTES

- 1. All construction shall conform to Weber County standards and specifications.
2. All Construction on the Secondary Water Line shall meet or exceed Hooper Irrigation Company.
3. Undergound utility piping materials will meet or exceed Weber County Standards.
4. Culinary water services will be 3/4" Dia. C-900 DR14 PVC to be centered on the frontage and extended 10' beyond the right of way line.
5. 4" Sanitary sewer laterals to be constructed 10' down slope from the center of the lot and extended 10' beyond the right of way line.
6. 4" Land drain laterals to be constructed at the low corner of the lot and extended 10' beyond the right of way line.
7. Saw Cut Existing Asphalt to provide a smooth clean edge.
8. All Utility trenches within the Street right of way shall have a City approved imported granular backfill.
9. Thrust block all water line fittings.
10. All inlet grates shall be bicycle safe.
11. All fire hydrants and access roads shall be installed prior to any construction of any buildings.
12. All fire hydrants shall be placed with 4 1/2 inch connections facing the point of access for the Fire Department Apparatus.
13. Prior to the beginning of construction of any buildings, a fire flow test of new hydrants shall be conducted to verify the actual fire flow for this project.
14. The Fire Prevention Division shall witness this test and shall be notified a minimum of 48 hours prior to the test.
15. Curb & gutters installed along 2200 South Street will be set to ensure a 1.5% minimum/3.0% Maximum cross slope from edge of asphalt. Contractor to verify prior to construction of curb.
16. An excavation permit is required for all work done within the existing Right of Way.
17. A Storm Water Construction Activity Permit is required for any construction that disturbs more than 5000 Sq. Ft. or 200 Cubic Yards.
18. All improvements need to be either installed or escrowed prior to recording of the subdivision.
19. If construction activity will disturb more than an acre then a State SWPPP will be required. This includes the construction of the homes etc. on each lot.

GENERAL UTILITY NOTES:

- 1. Coordinate all utility connections to building with plumbing plans and building contractor.
2. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
3. All catch basin and inlet box grates are to be bicycle proof.
4. All inlet boxes located in curb and gutter are to be placed parallel to the curb and gutter and set under the frame and grate. Improperly placed boxes will be removed and replaced at no additional cost to the owner. Precast or cast in place boxes are acceptable.
5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
6. Gas lines, telephone lines, and cable TV lines are not a part of these plans unless otherwise noted.
7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible to construct any vertical adjustments necessary to clear sewer, storm drain or other utilities as necessary including valve boxes and hydrant spools to proper grade.
9. Field verify all existing and/or proposed Roof Drain/Roof Drain down spout connections to Storm Water System with Civil, Plumbing & Architectural plans. Notify Engineer of any discrepancies.
10. All gravity flow utility lines shall be installed prior to any pressurized utilities unless written permission is obtained from the engineer of record before construction begins.

UTILITY PIPING MATERIALS:

All piping to be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

CULINARY SERVICE LATERALS

- 1. 3/4" to 2" diameter pipe - copper tube ASTM B, Type K, Soft Temper
2. Over 2" diameter pipe - AWWA C-900 Class 150 pipe

WATER MAIN LINES AND FIRE LINES

- 1. Pipe material as shown on utility plan view or to meet city standards.

SANITARY SEWER LINES

- 1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D 3034, Type PSM, SDR 35

STORM DRAIN LINES

- 1. 10" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
2. 12" to 21" pipes - Concrete Pipe, ASTM C14, Class III up to 13' of cover. For greater than 13' feet of cover, use reinforced concrete pipe and classes listed below.
3. 24" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III up to 13' of cover, Class IV for 13' to 21' of cover, Class V for 21' to 32' of cover, and Special Design for cover greater than 32 feet.

CURB AND GUTTER CONSTRUCTION NOTES:

- 1. Open face gutter shall be constructed where drainage is directed away from curb.
2. Open face gutter locations are indicated by shading and notes on site and grading plan.
3. It is the responsibility of the surveyor to adjust top of curb grades at the time construction staking.
4. Refer to the typical details for a standard and open face curb and gutter for dimensions.
5. Transitions between open face and standard curb and gutter are to be smooth. Hand form these areas if necessary.

ADA NOTES:

Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If grades on plans do not meet this requirement notify Consultants immediately. The Client, Contractor, and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of the ADA and/or FHAA.

Terakee Village® No. 1

A PRUD Subdivision

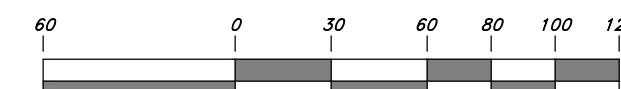
A part of Section 17, T6N, R2W, SLB&M, U.S. Survey

Weber County, Utah

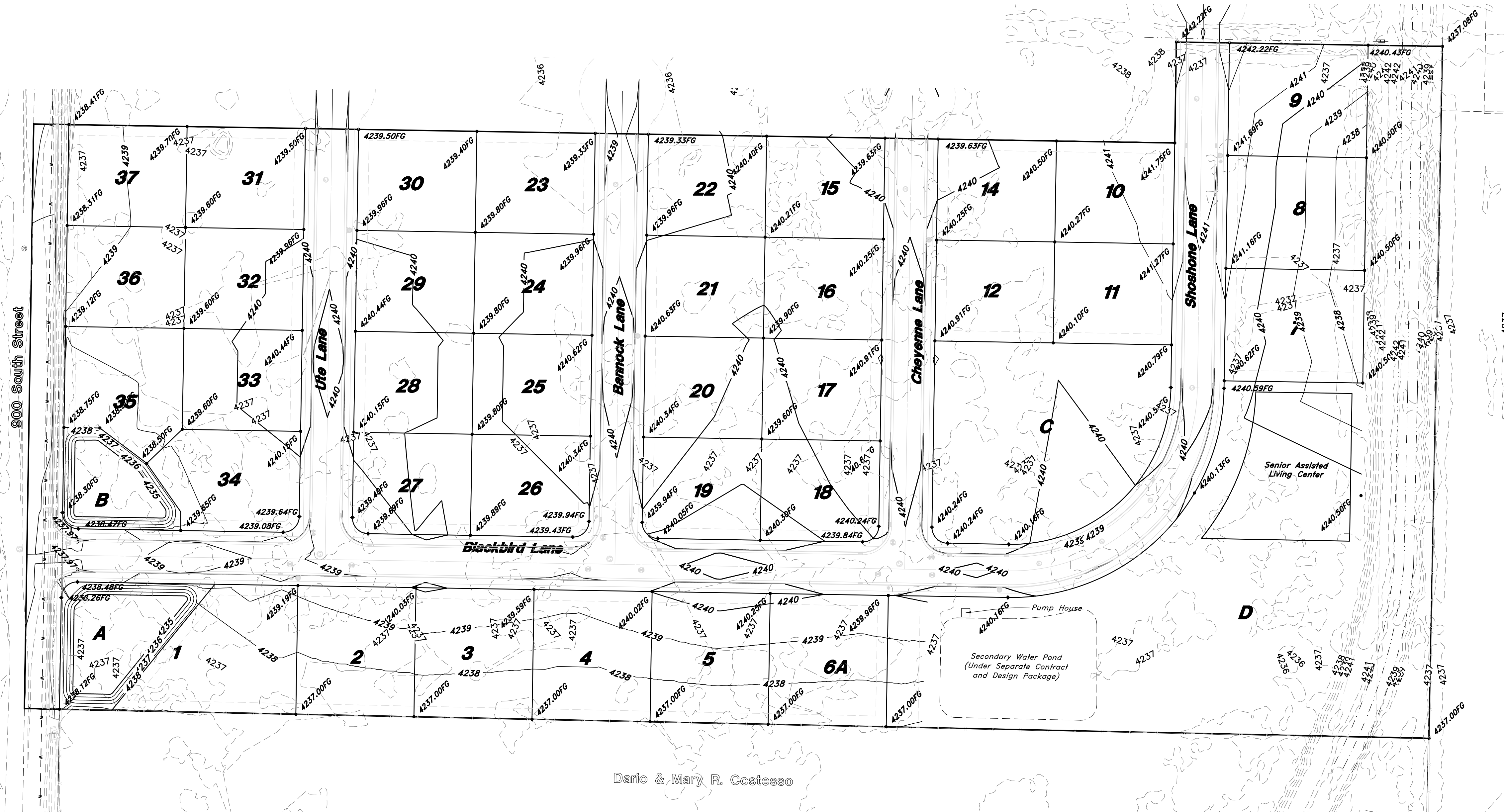
March 2019



Scale: 1" = 60'



Graphic Scale



Dario & Mary R. Costesso

Legend

(Note: All items may not appear on drawing)

Table with 3 columns: Symbol, Description, and Notes. Includes symbols for San. Sewer Manhole, Water Manhole, Storm Drain Manhole, Cleanout, Electrical Manhole, Catch Basins, Fire Hydrant, Fire Hydrant, Fire Hydrant, Water Valve, Sanitary Sewer, Culinary Water, Gas Line, Irrigation Line, Storm Drain, Telephone Line, Secondary Waterline, Power Line, Fire Line, Land Drain, Power pole w/guy, Light Pole, Fence, Flowline of ditch, Overhead Power Line, Corrugated Metal Pipe, Concrete Pipe, Reinforced Concrete Pipe, Ductile Iron, Polyvinyl Chloride, Top of Asphalt, Edge of Asphalt, Centerline, Flowline, Finish Floor, Top of Curb, Top of Wall, Top of Walk, Top of Concrete, Natural Ground, Finish Grade, Match Existing, Fire Department Connection, Finish Contour, Exist. Contour, Finish Grade, Exist. Grade, Ridge Line, Direction of Flow, Existing Asphalt, New Asphalt, Existing Concrete, New Concrete.

CAUTION NOTICE TO CONTRACTOR

The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Call before you Dig

Avoid cutting underground utility lines.



1-800-662-4111

Grading & Drainage Plan

Terakee Village No. 1

Approx. 900 South 4500 West Weber County, Utah A part of Section 17, T6N, R2W, SLB&M, U.S. Survey

16 Nov, 2018

SHEET NO.

11

of 11

16N719 - AM

Vertical sidebar containing company logo 'GREAT BASIN ENGINEERING', contact information '5746 SOUTH 1475 EAST, BODEN, UTAH, 84403', website 'WWW.GREATBASINENGINEERING.COM', and a table with columns 'REV', 'DATE', and 'DESCRIPTION'.

NOT FOR RECORDING