

March 10, 2019

## **DETENTION POND PLAN**

Terakee Village PRUD

### **Storm Water Detention Ponds**

- **Open Spaces A & B.** Ownership and management defined in Open Space Preservation Plan within Terakee Neighborhoods Covenants, Conditions and Restrictions (CC&R) document.
- **Buck Ditch.** Ownership and management defined in Open Space Preservation Plan within Terakee Neighborhoods Covenants, Conditions and Restrictions (CC&R) document.
- **Detention Pond Area.** Open Space A contains 7,534 square feet and Open Space B contains 5,964 square feet, for a total of 13,498 square feet.  
Detention Ponds A & B will be connected together via a 12” storm drain pipe under Blackbird Lane.
- **Required Detention Volume.** Terakee Village PRUD Phase 1 and additional lots on the east side of the ‘Buck Ditch’ have a required storm water detention volume of 17,452 cubic feet.
- **Provided Detention Volume.** Detention areas A & B provided 25,032 cubic feet volume based on the following design parameters (please see the attached Terakee Village PRUD final plat):
  - ✓ Top of Berm(s) = 4238.00
  - ✓ Top of Water = 4237.00

- ✓ Bottom of Pond(s) = 4234.50
- ✓ Floor Inlet/Outlet Structure = 4234.00

## Secondary Water Detention Pond

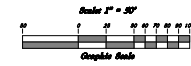
- **Open Space D.** Ownership and management defined in Open Space Preservation Plan within Terakee Neighborhoods Covenants, Conditions and Restrictions (CC&R) document.
- **Buck Ditch.** Ownership and management defined in Open Space Preservation Plan within Terakee Neighborhoods Covenants, Conditions and Restrictions (CC&R) document.
- **Dimensions.** The secondary water pond will be 103.60' wide and 420.46' long for a total footprint of 43,560 square feet. it will be located to the north and adjacent to Lot 6-A.
- **Terakee Village PRUD Secondary Water Pond Volume.** The total volume of Terakee Village PRUD Secondary Water Pond will be 216,000 cubic feet based on the following design parameters (please see the attached Terakee Village PRUD final plat):
  - ✓ Top of Berm = 4238.00
  - ✓ Top of Water = 4237.50
  - ✓ Bottom of Pond = 4233.00
- **Secondary Water Source.** Pond intake will be sourced from the 'Buck Ditch' via a transfer box located within Cheyenne Lane private right of way. The secondary water pump assembly and control will pressurize water into the

secondary lines defined in the Phase 1 Terakee Village PRUD final engineering drawings provide.

- **Hooper Irrigation Water.** Ownership and management defined in Open Space Preservation Preservation Plan within Terakee Neighborhoods Covenants, Conditions and Restrictions (CC&R) document. Building lots, Open Space Areas, and Terakee Farm Agricultural Parcels will be sprinkle and/or drip irrigated via the Terakee Farm PRUD Secondary Water Pond located within Open Space D. Twenty (20) shares of Hooper Irrigation Company water will be required (please see attached secondary water calculations). As evidenced through the Real Estate Purchase Contracts provided, developer has the needed Hooper Irrigation Company water shares.
- **Wetland Mitigation.** The 0.897 acres of wetland area contained in Open Space D will be mitigated with the Army Corp of Engineers by paying into the Machine Lake Mitigation Bank.

# Tarakee Village® No. 1

A PRUD Subdivision  
A part of Section 17, T6N, R2W, S18&M, U.S. Survey  
Weber County, Utah  
January 2019



2970.10' Max. (2668.43' WCS)

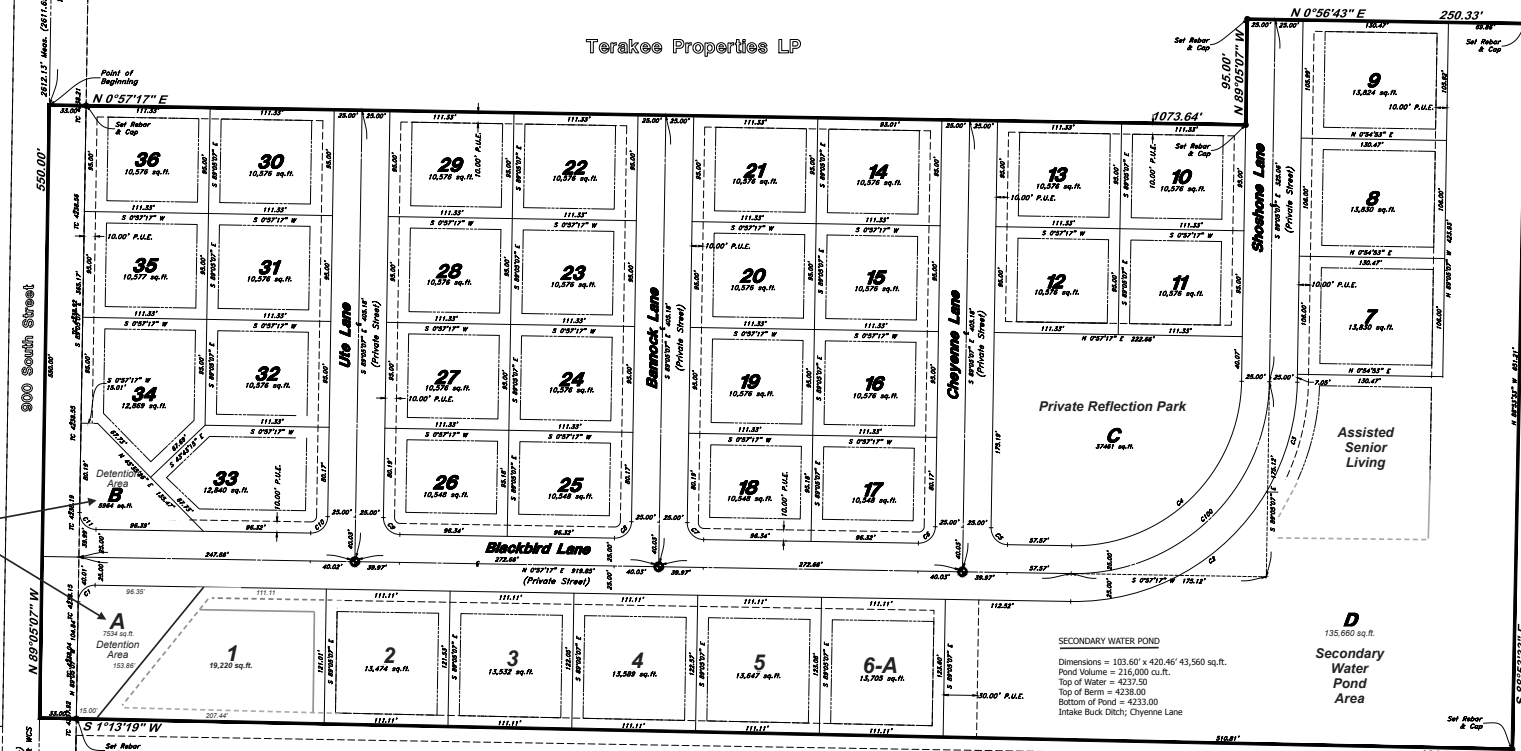
Southwest Corner of Section 17,  
T6N, R2W, S18&M, U.S. Survey  
(Found Brass Cap Monument)

S 1°04'03" W Max. (S 1°08'08" W WCS)

South Quarter Corner of Section 17,  
T6N, R2W, S18&M, U.S. Survey  
(Found 3" Brass Cap Monument,  
Date not legible at time of survey)

Center of Section 17,  
T6N, R2W, S18&M, U.S. Survey  
(Found 3" Brass Cap Monument  
in concrete flush with road)

Tarakee Properties LP



DETENTION PONDS A & B  
Open Spaces A & B = 13,498 sq.ft.  
Required Volume = 13,452 cu.ft.  
Provided Volume = 25,032 cu.ft.  
Top of Water = 4237.00  
Top of Berms = 4238.00  
Bottom of Pond = 4234.50  
Floor Inlet/Outlet Structure = 4234.00

- Legend**
- ⊙ Monument to be set
  - (---) Radial Line
  - (---) Non-Radial Line
  - PUE Public Utility Easement
  - P.U.D.E. Public Utility & Drainage Easement
  - Fence
  - Set Hub & Tack
  - ▲ will be set Half in Curb
  - Extension of Property
  - Set 5/8" x 24" Long (Incur & Cap w/ Loche)

**Building Setbacks:**  
Front Yard = 20 feet  
Side Yard = 10 feet  
Rear Yard = 10 feet  
Side Facing Street on Corner Lot = 20 feet  
Building Height = 40 feet maximum

PROPERTY LINE CURVE DATA					
Curve	Delta	Radius	Length	Chord	Chord Bearing
C1	80°20'33"	15.00'	23.65'	21.28'	N 44°23'12" W
C2	80°23'17"	200.00'	210.79'	201.17'	N 20°14'32" W
C3	20°18'50"	200.00'	103.80'	103.30'	W 74°16'34" E
C4	80°02'24"	15.00'	23.57'	21.21'	S 44°03'58" E
C5	80°23'28"	15.00'	23.55'	21.21'	S 44°06'05" W
C6	80°02'24"	15.00'	23.57'	21.22'	S 44°03'58" E
C7	80°23'28"	15.00'	23.55'	21.21'	S 44°06'05" W
C8	80°02'24"	15.00'	23.57'	21.22'	N 44°03'58" E
C9	80°23'28"	15.00'	23.55'	21.21'	N 44°06'05" E
C10	80°02'24"	15.00'	23.57'	21.22'	N 44°03'58" E
C11	80°48'21"	15.00'	23.50'	21.17'	N 44°00'30" E

CENTERLINE CURVE DATA					
Curve	Delta	Radius	Length	Chord	Chord Bearing
C100	30°02'24"	175.00'	375.01'	247.52'	S 44°03'58" E

Dario & Mary R. Costeoso

- Notes:**
- Lot 6 may have an ADU
  - ADUs may be used for monthly rentals only when primary residence is owner occupied.
  - Agri-tourism is an approved use on agricultural lots.
  - Ditch along 900 South Street to be piped with 15" RCP storm drain.
  - Recommendations on the Geotech Report shall be followed during construction of this site.
  - Private roads shall have a 50 foot temporary turnaround easement at the end of each street during the construction of each phase.

**AGRICULTURAL NOTE**

Agriculture is the preferred use in the agriculture zones. Agricultural operations as specified in the Land Use Code for a particular zone are permitted at any time including the operation of farm machinery and no allowed agricultural uses shall be subject to restrictions on the basis that it interferes with activities of future residents of this subdivision.

Sheet 2 of 2

WEBER COUNTY RECORDER

ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_

RECORDED \_\_\_\_\_ FILED FOR RECORD AND \_\_\_\_\_

RECORDS IN BOOK \_\_\_\_\_ OF OFFICIAL \_\_\_\_\_

RECORDS, PAGE \_\_\_\_\_ RECORDED \_\_\_\_\_

FOR \_\_\_\_\_

WEBER COUNTY RECORDER

BY: \_\_\_\_\_ DEPUTY



**Terakee Village PRUD**

February 2019

Secondary Water Share Requirements

**LOT SIZES**

**YARD SIZES**

Lot Size	# Lots	Average		Typical		Yard		Total
		Acre Size	Total Acres	Footprint*	Yard Size	Acre Size	Yard Acres	
10,548	4	0.24	0.97	3,500	7,048	0.16	0.65	
10,576	40	0.24	9.71	3,500	7,076	0.16	6.50	
10,577	2	0.24	0.49	3,500	7,077	0.16	0.32	
10,578	2	0.24	0.49	3,500	7,078	0.16	0.32	
11,196	4	0.26	1.03	3,500	7,696	0.18	0.71	
11,197	1	0.26	0.26	3,500	7,697	0.18	0.18	
11,201	1	0.26	0.26	3,500	7,701	0.18	0.18	
12,840	1	0.29	0.29	3,500	9,340	0.21	0.21	
12,869	1	0.30	0.30	3,500	9,369	0.22	0.22	
13,011	1	0.30	0.30	3,500	9,511	0.22	0.22	
13,476	1	0.31	0.31	3,500	9,976	0.23	0.23	
13,534	1	0.31	0.31	3,500	10,034	0.23	0.23	
13,592	1	0.31	0.31	3,500	10,092	0.23	0.23	
13,628	1	0.31	0.31	3,500	10,128	0.23	0.23	
13,651	1	0.31	0.31	3,500	10,151	0.23	0.23	
13,709	1	0.31	0.31	3,500	10,209	0.23	0.23	
13,826	1	0.32	0.32	3,500	10,326	0.24	0.24	
13,830	2	0.32	0.63	3,500	10,330	0.24	0.47	
13,892	1	0.32	0.32	3,500	10,392	0.24	0.24	
13,894	3	0.32	0.96	3,500	10,394	0.24	0.72	
14,725	1	0.34	0.34	3,500	11,225	0.26	0.26	
14,773	5	0.34	1.70	3,500	11,273	0.26	1.29	
15,041	1	0.35	0.35	3,500	11,541	0.26	0.26	
19,221	1	0.44	0.44	3,500	15,721	0.36	0.36	
21,560	1	0.49	0.49	3,500	18,060	0.41	0.41	
<b>Total/Averages:</b>	<b>79</b>	<b>0.31</b>	<b>21.50</b>			<b>0.23</b>	<b>15.15</b>	

Total/Averages:

79

0.31

21.50

0.23

15.15

\*Includes house, detached garage & driveway

**OPEN SPACES**

A	7,534	0.17
B	5,964	0.14
C	37,461	0.86
E	6,334	0.15
F	8,421	0.19
G	1,707	0.04
H	1,707	0.04
Park Strip	25,099	0.58

**2.16**

Secondary Pond Requirements

Per Share			Total Shares	Total Cubic Feet	Cubic Feet Required to Equal 1 Acre Foot	Acre Foot Pond Storage Requirement
Cubic Feet Per Second	Time	Total Cubic Feet				
3.0	48.0	8,640	<b>20.0</b>	172,800	43,560	<b>3.97</b>

Terakee Village Flood Irrigated Acres 17.31

Terake Farm Flood Irrigated Acres 20.00

Total Flood Irrigated Acres 37.31

**SPRINKLER EFFICIENCY 18.66**

Detention Pond Requirements

Required Cubic Feet	Acre Foot Equivalency	Open Space A & B		Open Space E & F	
		Square Feet	Acre Feet	Square Feet	Acre Feet
31,025	<b>0.71</b>	13,498	0.31	14,746	0.34

Total Open Space		Provided
Square Feet	Acre Feet	Cubic Feet*
28,244	<b>0.65</b>	56,488

+Plan Design = 3 foot depth including 1 foot overflow