



## Land Use Permit

### Weber County Planning Commission

2380 Washington Blvd. STE 240

Ogden, UT 84401

Phone: (801) 399-8791 FAX: (801) 399-8862

webercountyutah.gov/planning

**Permit Number: LUP326-2017**

Permit Type: Structure

Permit Date: 10/17/2017

### Applicant

**Name:** John Plunket

**Business:**

**Address:** PO Box 2237

Park City, UT 84060

**Phone:** 435-901-2980

### Owner

**Name:**

**Business:** Lot 29 LLC

**Address:** PO Box 2237

Park City, UT 84060

**Phone:** 435-901-2980

### Parcel

**Parcel:** 231290006

**Zoning:** DRR-1 **Area:** .7147 **Sq Ft:**

**Lot(s):** 29

**Subdivision:** Summit Eden Phase 1B

**Address:** 7977 Heartwood Drive Eden, UT 84310

**T - R - S - QS:** 7N - 2E - 5 - SW

### Proposal

**Proposed Structure:** Single Family Dwelling

**Building Footprint:** 2110

**Proposed Structure Height:** 24

**Max Structure Height in Zone:** 35

**# of Dwelling Units:** 1

**# of Accessory Bldgs:** 0

**# Off Street Parking Reqd:** 1

**\*Is Structure > 1,000 Sq. Ft?** Yes

**\*If True Need Certif. Statement**

### Permit Checklist

**Access Type:** Across Front Lot Line

**Alternative Access File #** N/A

**Greater than 4218 ft above sea level?** Yes

**Wetlands/Flood Zone?** No

**Additional Setback Reqd. ?** No

**Meet Zone Area Frontage?** Yes

**> 200 ft from paved Road?** Yes

**Hillside Review Reqd?** No

**Culinary Water District:** PMWSD

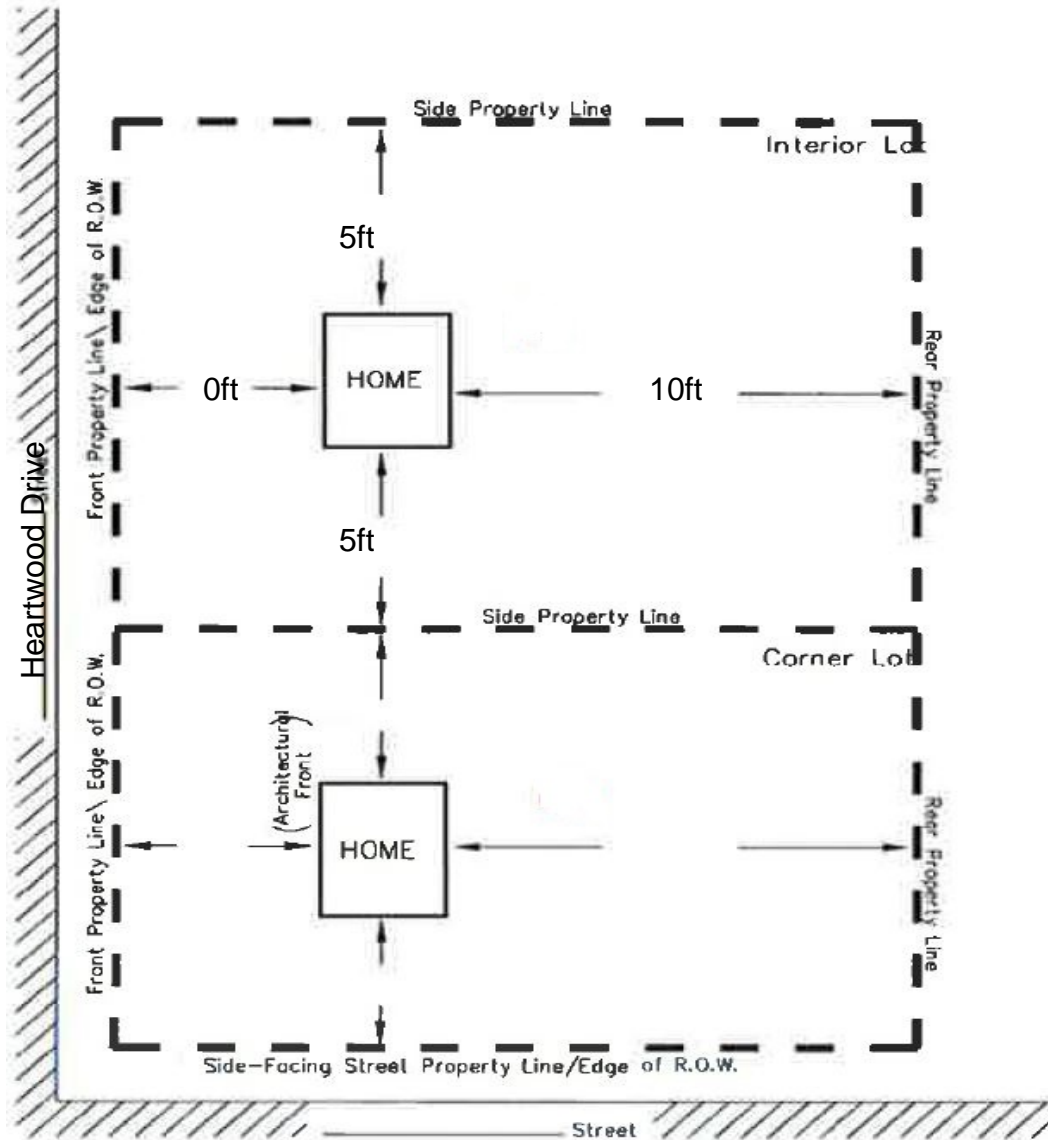
**Waste Water System:** PMWSD

### Comments

All recommendations and requirements that are outlined in the IGES Geologic and Geotechnical report dated September 13, 2017 (Project# 01496-004) must be strictly adhered to. An IGES engineering geologist and or geotechnical engineer should observe the foundation excavation to assess that potentially adverse geologic conditions are not present within the building foundation excavation. It shall be understood, by the applicant, the geo-technical engineer and engineering geologist that if any geologic hazards are revealed during the excavation and construction phase of the dwelling, work on Lot 29 will cease pending the development of appropriate mitigation measures and subsequent approval by the County. Due to the misc improvements outside of the building envelope, an easement modification for the ski and bike trail will need to be recorded prior to receiving a certificate of occupancy. A Natural Hazards Disclosure must be recorded by Weber County prior to receiving CofO.

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## Structure Setback Graphic: New Dwelling, Addition, Etc.



### MINIMUM YARD SETBACKS New Dwelling, Addition, Etc.

**NOTICE FOR APPLICANT (Please Read Before Signing)**

Proposals for the installation of an individual water supply and for a sanitary waste disposal system (septic tank) for any structure designed for human occupation must be approved by Weber County Health Department prior to installation.

Ronda Kippen

10/17/2017

\_\_\_\_\_  
Planning Dept. Signature of Approval

\_\_\_\_\_  
Date

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this land use will be complied with whether specified herein or not. I make this statement under penalty of perjury.

\_\_\_\_\_  
Contractor/Owner Signature of Approval

\_\_\_\_\_  
Date